



Development Services Department
303 First St. P.O. Box 1129
New Bern, NC 28563
(252) 639-7581

TO: New Bern Historic Preservation Commission
FROM: Matt Schelly, AICP, City Planner
DATE: July 7, 2020
RE: Regular Meeting, **5:30 PM, Wednesday, July 15, 2020**, in the Courtroom,
Second Floor, City Hall, 303 Pollock St.

REGULAR MEETING AGENDA – 5:30 PM

1. Opening of Meeting with Roll Call
2. Approval of Minutes of Previous Meeting(s)
3. Hearings on Certificates of Appropriateness:
 - A. Hearings: Introduction, Swearing-In, Summary of Process**
 - Introduction of Hearings and Rules of Procedure
 - Swearing-In of Speakers
 - Summary of the Hearing Process

Applications:

- B. 419 Metcalf St.** – to include installation and screening of a mechanical unit in the Primary AVC.
- C. 218 Metcalf St.** - to include, in the Primary AVC, replacing asphalt shingle roofing with Guideline compliant standing seam metal roofing on the porch roof and the small pent roof.
- D. 226 New St.** - to include replacing asphalt shingle roofing with Guideline compliant standing seam metal roofing on the main and both porch roofs of the house.
- E. 312 Metcalf St.** - to include installation of a new accessory structure and a concrete patio in the Tertiary AVC.
- F. 514 Metcalf St.** – to include replacement of brick steps with new brick steps in the Primary AVC; replacement of brick steps with a new wood deck, trellis, and railing, replacement of utility screening with similar new screening, and installation of a new accessory building in the Tertiary and Secondary AVCs.
- G. 609 New St.** – to include in the Tertiary AVC replacement of rear steps with new deck and railing, switch a window and exterior door, remove existing garage, install a new carport

and storage accessory structure and driveway; and in the Primary AVC replace two Yew trees with Oak Leaf Hydrangeas and add two new Greek krater (vases) on pedestals.

- H. 532 Queen St.** – to include a new brick patio; new, low, brick wall; and a new accessory structure with painted wood siding, wood windows and door, and asphalt roofing shingles in the Secondary AVC.
- I. 710 Howard St.** – to include replacement of the concrete entry porch & stairs with wood porch, stairs, & railing on brick piers; demolish rear stairs & replace door with window in the Primary and Secondary AVCs.
- J. 902 Pollock St.** – to include adding signage, replacing particle board siding with horizontal cement siding and vertical corrugated metal siding, replacing the overhead and walk-in doors, and repainting the historic wall sign in the Primary AVC; and replacing particle board siding with horizontal cement siding or vertical corrugated metal siding, and screening of HVAC units and utility modifications in the Secondary AVC.

****Please note that applications for these projects, including proposed plans, are available for review during normal business hours in the Development Services Department (303 First Street).***

4. General Public Comments

5. Guidelines Update Committee

A. Report by Committee

6. Old Business: None

7. New Business

A. SHPO Training - group viewing opportunity

8. HPC Administrator's Report

A. Report on COAs Issued Since Prior Regular Meeting

MAJORS:

210 Eden St.: new sewer pump station

206 Craven St.: replacement doors

520 New St.: landscaping plan

704 E Front St.: house elevation

MINORS:

514 E Front St.: tree replacement

309 New St.: HVAC screening

601 Hancock St.: new generator

722 Pollock St.: new generator

214 Pollock St.: street tree replacement

760 E. Front St.: pier extension

315 Bern St.: pergola

B. Other Items and Updates

Letter from HDRA: process

9. Commissioners' Comments

10. Adjourn

Everything comes together here.

FEE SCHEDULE (office use only)

[] \$22 Standard Application (minor)

[] \$107 Standard Application (major)



HPC Administrator
HPCadmin@newbernnc.gov

Work: (252) 639-7583

Fax: (252) 636-2146

Application for a Certificate of Appropriateness
(For Alterations to Properties in Locally Designated Historic Districts)

For assistance, see "CoA Instructions," as well as "Historic District Guidelines," available online at:

<https://www.newbernnc.gov> Go to: Departments, Development Services, then:

- For the CoA Instructions: Document Center, Alphabetical Listing, Certificate of Appropriateness – Instructions for COA application
- For the Historic District Guidelines: Historic Preservation, HPC Guidelines, Historic District Guidelines

Type of Project: ☒ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:			
Property Address (Include year built, if known): 419 Metcalf Street Built in 1770			
Property Owner Name(s):	Owner Mailing Address:	Phone #s:	Email:
Chris Mcgrath Cher Durham	419 Metcalf Street	919-614-7121	cpmgrath803@gmail.com
Applicant Name (if different):	Applicant Mailing Address:	Phone #s:	Email:

II. Project Information: <i>(See "CoA Instructions" & "Historic Guidelines" for help in completing this section)</i>	
<p>1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)</p> <p>Mini split installation and covering of line sets on the exterior of the house. The mini splits will efficiently cool and heat the house with minimal disruption to the exterior appearance. The condenser units are screened from street visibility. The contractor required the unit be located at the street side due to the room location.</p> <p style="text-align: right;">Continued on additional sheet or attached brochure <input type="checkbox"/></p>	
<p>2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (only need the guideline numbers): 2.3.1, 2.3.2</p> <p style="text-align: right;">Continued on additional sheet or attached brochure <input type="checkbox"/></p>	
<p>3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):</p> <p>Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).</p> <p style="text-align: right;">Vinyl, line set covers Please see attached. Plants to screen the condenser unit.</p> <p style="text-align: right;">Continued on additional sheet or attached brochure <input checked="" type="checkbox"/></p>	

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☐ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☐ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☒ I am the owner of the Property, or
- ☐ I am acting on behalf of the owner of the property and have attached the notarized authorization form indicating the owner(s) consent to represent them for this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.


Signature of Applicant/Owner

5/26/2020

Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST.. FOR A MAJOR PROJECT, SUBMITTAL AND FEE PAYMENT MUST BE NO LESS THAN 2 WEEKS PRIOR TO THE UPCOMING HPC REGULAR MEETING. FOR FURTHER INFORMATION, CONTACT THE HISTORIC PRESERVATION COMMISSION ADMINISTRATOR AT (252) 639-7583.

To Whom It May Concern:

The mini-split HVAC systems installed at 419 Metcalf street, New Bern have the following line set limitations set by the manufacturer.

The 9,000 BTU capacity units cooling and heating the upstairs and downstairs bedrooms have a minimum copper line length guideline of 10 feet. The maximum line set length is 50 feet. The length from side of the house to the other condenser unit on the back of the house is 65 feet.

The length from the front of the house to the side condenser unit is 70 feet.

The structural layout of the rooms dictated the placement of the indoor units and therefore the line sets that extend out of the interior.

This necessitated the placement of the condenser unit on the front of the house behind the bushes.

The placement of this unit within the limitations of the manufacturer guidelines was also made due to the ability to completely screen it from view with the strategic placement of natural bushes that are evergreen.

Thank you,



Daniel J. Cushine

HVAC Contractor

910-545-3983



Chris McGrath

Homeowner

919-614-7121









The
Clark House
circa 1870
Private Residence

419





419 Metcalf

Staff photos taken 2020-04-27: HVAC Unit Situation Investigation





Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description:

419 Matcalf St. - installation & screening of a mechanical unit in the front yard.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-8

Required Setbacks (primary structure): ^{2x} Front 51m. Side 5' Rear 6'

Accessory Setbacks: From Nearest Structure 8' Side 3' Rear 3'

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: 50'

Required Site Improvements: Landscaping — Buffer — Parking —

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets X Does Not Meet _____ the requirements of the Land Use Ordinance.

Comments:

_____ Zoning Administrator [Signature] 6/12/2020

Chief Building Inspector please review the application and include any comments below

The proposed project Will X Will Not _____ require a ^{Mechanical} building permit(s).

Comments:

_____ Chief Building Inspector [Signature] 6/12/2020

Certificate of Appropriateness Findings & Recommendations

HPC Regular Meeting - June 2020

Applicant: Chris McGrath & Cher Durham

Applicant Address: 419 Metcalf St., New Bern, NC 28560

Project Address: 419 Metcalf St., New Bern, NC 28560

Historic Property Name: Clark-Welsh House

Status: **Contributing:** X **Non-contributing:** **Vacant:**

NR Inventory Description (2003): (c. 1800) Two stories with steep gambrel roof; two bays wide, three bays deep; entrance in left front bay; one-story, gable-end wing on north side of main block abuts exterior end chimney.

Sandbeck Description (1988): The Clark House, 419 Metcalf St., ca. 1800.

The Clark house is distinguished from New Bern's other surviving vernacular gambrel-roofed dwellings by its uncommon plan, diminutive scale, and extremely vertical roofline.

The charming original configuration of the house is still discernable beneath the twentieth-century additions of a small room on the south slope of the gambrel, and a front portico. The single-pile structure, covered with both beaded and plain weatherboards, has six-over-six Sash, and at the west end a large exterior chimney, the latter recently rebuilt. Most of the windows and dormers are [a]symmetrically positioned, reflecting the irregular plan within. Extending to the west is a one-story gable-roofed addition dating from the second half of the nineteenth century. The one-story shed-roofed passage along the south side is enigmatic; it is most likely either an original porch which was later enclosed, or an original enclosed area intended to provide the necessary covered circulation between the first floor rooms and the stair which rises from a doorway opening onto the passage. The location of the one-story rear wing and the presence of a fireplace for that room in the main chimney suggest that this wing may have replaced an original one-story shed kitchen in that location, much like the arrangement seen at the Osgood Cottage.

419 Metcalf St. – to include installation and screening of a mechanical unit in the Primary AVC. This is an after-the-fact application.

Staff submits the following Historic District Guidelines as appropriate to this application:

Utilities

2.3.1 Locate equipment in Secondary and Tertiary AVCs and screen items from public view with vegetation, fencing and similar site constructions.

2.3.2 Paint equipment and exposed utilities to compliment mounting surfaces and reduce their visibility.

Modifications

3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.

3.2.2 Modifications to a structure should not conceal, damage or remove significant design components or architectural features.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is site work within the Primary AVC;

Certificate of Appropriateness Findings & Recommendations

HPC Regular Meeting - June 2020

2. The proposed design, components, and materials do not meet the requirements of the Guidelines;
3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
4. The project, as it exists, is incongruous with the Guidelines.

MOTION

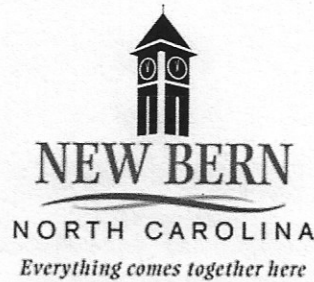
Staff recommends the Commission approve, with conditions, this application to include: installation and screening of a mechanical unit in the Primary AVC, citing the aforementioned guidelines. The conditions for approval that we recommend are:

- 1) ensure current and subsequent owners will maintain full screening of the HVAC unit, and submit such documentation to the HPC Administrator,**
- 2) relocate the line sets to minimize visual impact on the structure, and**
- 3) both of the aforementioned recommendations are to be achieved within 6 months of this meeting.**

If the applicants are not agreeable to these conditions, we recommend denial of the application and the applicant will need to obtain an appropriate CoA by moving the HVAC unit to a compliant location and locating the line sets as approved by the HPC at that time.

FEE SCHEDULE (office use only)

- ☐ \$22 Standard Application (minor)
☐ \$107 Standard Application (major)



HPC Administrator
 HPCadmin@newbern-nc.org
 Work: (252) 639-7583
 Fax: (252) 636-2146

Application for a Certificate of Appropriateness
(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☒ Other

I. Applicant/Owner Information:

Property Address (Include year built, if known): 218 Metcalf, New Bern, NC 28562; Built: 1907

Property Owner Name(s): George and Virginia Howard	Owner Mailing Address: PO Box 744 Pell City, AL 35125	Phone #'s: 205-910-7081 205-329-0087	Email: HOW123G@gmail.com GIGIELMO@gmail.com
---	---	--	---

Applicant Name (if different):	Applicant Mailing Address:	Phone #'s:	Email:
--------------------------------	----------------------------	------------	--------

II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)
 Shingled front porch roof (see pictures #1, #2 and #3) is leaking and rotting (see picture #4) and needs replacement. Proposed to replace with standing seam metal roof, matching existing roof. Making these changes leaves a small shingled area of the roof (see picture #5), that we propose to change to the same standing seam roof to match the rest of the house, and will result in the entire house having matching standing seam metal roof material.

Continued on additional sheet or attached brochure ☐

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number): Section 4.5 (Roofs) on page 4-8 to 4-11.

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):
 Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).
 Material will be the exact same standing seam tin roof material on recently used on addition in the rear (Kynar Firestone, 26 gauge, regal red color; brochure attached).

Continued on additional sheet or attached brochure ☐

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☐ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☐ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☐ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

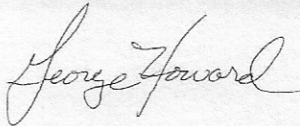
Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☒ I am the owner of the Property, or
- ☐ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.



Signature of Applicant/Owner

June 8, 2018

Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.



Picture #1: Front of house showing porch



Picture #2: current shingled roof



Picture #3: current shingled roof



Picture #4: current leak and rot on roof



Picture #5: Small shingled area remaining (circled in red) to be replaced with standing seam metal to be consistent with rest of house



Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 218 Metcalf St. - replacing asphalt shingle roofing with standing seam metal roofing on the porch roof and the small pent roof.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-10

Required Setbacks (primary structure): Front 5' Side 5' Rear 6'

Accessory Setbacks: From ^{Prim.} Nearest Structure 8' Side 3' Rear 3'

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: 45'

Required Site Improvements: Landscaping N/A Buffer Parking

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet ☐ the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator [Signature] 7/10/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will ☒ Will Not ☐ require a building permit(s).

Comments: Building permit required if cost of construction exceeds \$15,000

Chief Building Inspector [Signature] 7/10/20

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - July 2020

Applicant: George & Virginia Howard

Applicant Address: PO Box 744, Pell City, AL 35125

Project Address: 218 Metcalf St., New Bern, NC 28560

Historic Property Name: Underwood House

Status: **Contributing:** **X** **Non-contributing:**

NR Inventory Description (2003): c. 1907-1908; Queen Anne style; two stories; two bays wide; one-story, pedimented front porch; attic gable above right front bay contains lunette window; hip roof; interior chimney.

Sandbeck Description (1988): The Underwood House, 218 Metcalf St., ca. 1907-1908.

This two-story side-hall-plan frame house, which combines elements of the late Queen Anne and Neo-Classical Revival styles, ... The popular early-twentieth-century two-bay hipped roof form seen here is embellished by the addition of front and side gables, a three-sided bay lighting the stair hall, and a Neo-Classical Revival porch and front gable fanlight. ...

704 E. Front St. – to include, in the Primary AVC, replacing asphalt shingle roofing with Guideline compliant standing seam metal roofing on the porch roof and the small pent roof.

Staff submits the following Historic District Guidelines are appropriate to this application:

Modifications

- 3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.
- 3.2.2 Modifications to a structure should not conceal, damage or remove significant design components or architectural features.
- 3.2.4 Rebuild missing or insensitively altered design components based on documented evidence of the original configuration.

Roofs

- 4.5.4 Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation. Provide double locked seams with flush ridge and hip flashings on contributing structures.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is located within the Primary AVC;
2. The proposed modifications do not conceal, damage, or remove significant design components or architectural features;
3. The proposal removes the remaining asphalt fiberglass shingle roofing, replacing it with metal roofing in the documented historic character;
4. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application for, in the Primary AVC, replacing asphalt shingle roofing with Guideline compliant standing seam metal roofing on the porch roof and the small pent roof, citing the aforementioned guidelines.

FEE SCHEDULE (office use only)
 [] \$22 Standard Application (minor)
 [] \$107 Standard Application (major)



HPC Administrator
HPCAdmin@newbernnc.gov
 Work: (252) 639-7583
 Fax: (252) 636-2146

Application for a Certificate of Appropriateness
(For Alterations to Properties in Locally Designated Historic Districts)

For assistance, see "CoA Instructions," as well as "Historic District Guidelines," available online at:

<https://www.newbernnc.gov> Go to: Departments, Development Services, then:

- For the CoA Instructions: Document Center, Alphabetical Listing, Certificate of Appropriateness – Instructions for COA application
- For the Historic District Guidelines: Historic Preservation, HPC Guidelines, Historic District Guidelines

Type of Project: ☒ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:			
226 NEW STREET NEW BERN, NC 28560 1917			
RON SAULNIER	226 NEW STREET NEW BERN , NC	864-607-8423	KICKIN05@MSN.COM
STEVE BENGEL	1311 N CRAVEN STREET NEW BERN, NC 28560	P252-670-1199	STEVE@REBENGEL.COM

II. Project Information: <i>(See "CoA Instructions" & "Historic Guidelines" for help in completing this section)</i> 1. REMOVE EXISTING SHINGLE ROOF AND REPLACE WITH A 1" HIGH SEAM, 21" WIDE FLAT PLAN, STANDING SEAM, GALVANIZED, METAL ROOF WITH HISTORICALLY CORRECT DETAILING, SUCH AS SEAMED HIPS AND RIDGES. THE EXISTING SHINGLES MAY HAVE BEEN INSTALLED ABOUT TEN YEARS AGO AND AS YOU CAN SEE FROM PETER SANDBECK'S BOOK OF NEW BERN, A METAL ROOF WAS IN PLACE IN 1988. (PICTURE AND HISTORY IS ON PAGE 247 OF SANDBECK'S BOOK). <div align="right">Continued on additional sheet or attached brochure <input checked="" type="checkbox"/></div>
2. 4.5.4 Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (only need the guideline numbers): <div align="right">Continued on additional sheet or attached brochure <input type="checkbox"/></div>
3. 1" HIGH SEAM, STANDING SEAM, 21" WIDE FLAT PLAN, GALVANIZED, METAL ROOF WITH HISTORICALLY CORRECT DETAILING, SUCH AS SEAMED HIPS AND RIDGES. THE PICTURE ON PAGE 4-10 IN YOUR GUIDELINES SHOWS SUCH A ROOF. Provide a detailed description of materials to be used (copies of brochures, texture, etc.): Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s). <div align="right">Continued on additional sheet or attached brochure X</div>

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☐ ☒ Photographs of the building and location where the proposed work will be completed
- ☐ ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☐ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☐ ☒ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

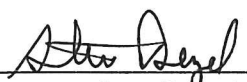
Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and have attached the notarized authorization form indicating the owner(s) consent to represent them for this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.



Signature of Applicant/Owner

6-12-2020

Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST.. FOR A MAJOR PROJECT, SUBMITTAL AND FEE PAYMENT MUST BE NO LESS THAN 2 WEEKS PRIOR TO THE UPCOMING HPC REGULAR MEETING. FOR FURTHER INFORMATION, CONTACT THE HISTORIC PRESERVATION COMMISSION ADMINISTRATOR AT (252) 639-7583.

Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION

Dear Sir or Madame:

I am the owner of the property located at:

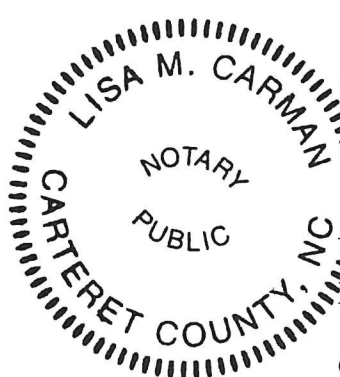
226 NEW STREET NEW BERN , NC 28560

I hereby authorize R E BENGEL SHEET METAL CO to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

226 NEW STREET NEW BERN, NC 28560 Phone 864-607-8423

 *Ron Saulnier*
Owner's Signature
Ron Saulnier
RON SAULNIER
6-11-2020

Sworn to and subscribed before me this 15th day of June, 2020

Lisa M. Carman
Notary Public:

My commission expires: 4-30-2023

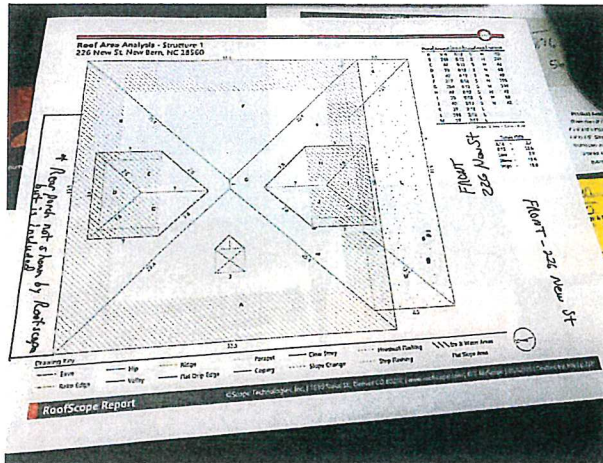
RoofScope

226 New St., New Bern, NC 28560

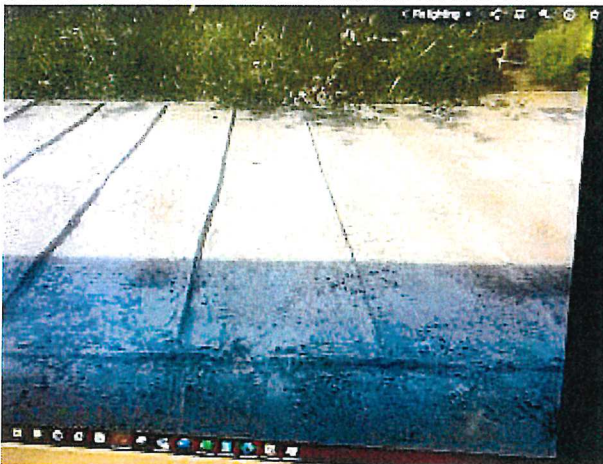
Project Totals	
Total Roof Area	14,118 SQ.
Low Slope (2:12 or less)	2,711 SQ.
Steep Slope (12:12 or greater)	13,377 SQ.
High-Rise (over 6 stories)	11,817 SQ.
DWR (Blue or White Shingles)	1,080,000 SF
Roof Frames	13
Structures	1
Eave	228.90 LF
Gable	2,017 LF
Total Perimeter	230.53 LF
Ridge	16,650 LF
Hip	1,571.10 LF
Valley	35.96 LF
Step Flashing	47.65 LF
Headwall Flashing	37.50 LF

FRONT

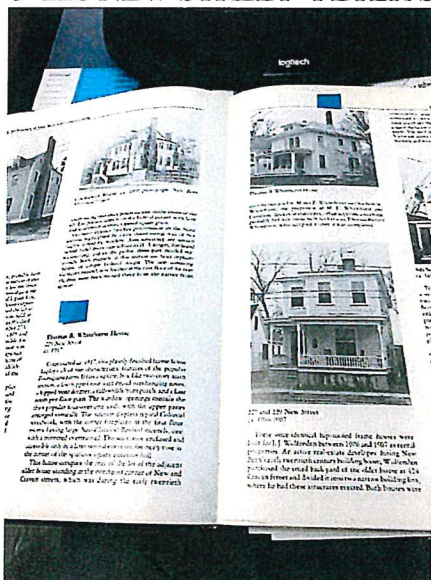
4-226 NEW STREET- ROOF DRAWING



5-226 NEW STREET- EXISTING ROOF

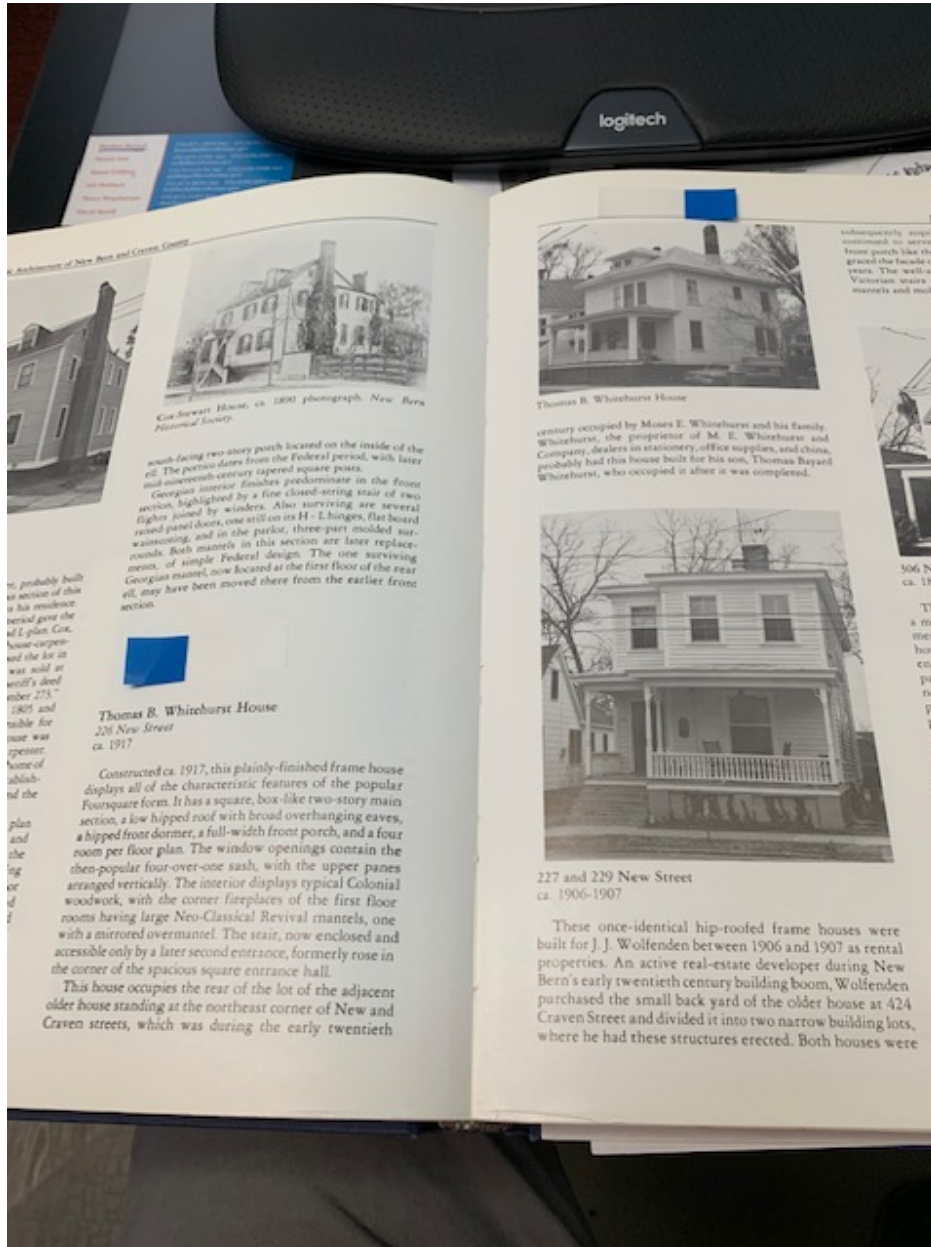


6- 226 NEW STREET- PETER SANDBECK'S ARTICLE



226 New St.

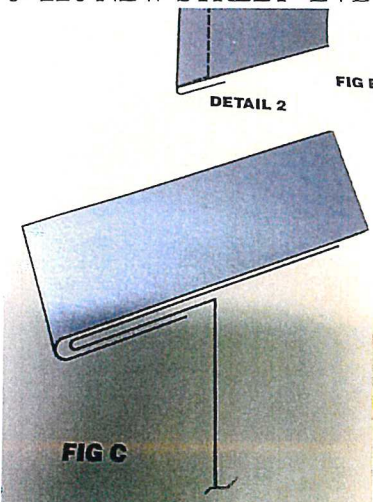
Documentation of previous metal roofing on main roof



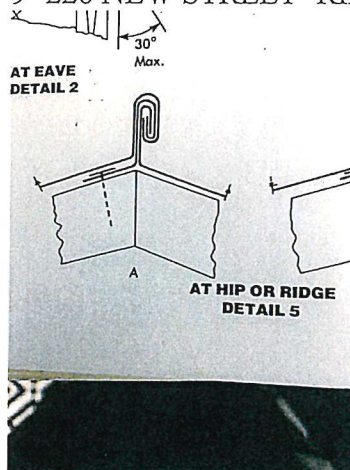
7- 226 NEW STREET- SEAM DETAIL



8- 226 NEW STREET- EVE DETAIL



9- 226 NEW STREET- RIDGE DETAIL





Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 226 New St. - replacing asphalt shingle roofing with standing seam metal roofing on the main and both porch roofs of the house.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-10

Required Setbacks (primary structure): Front Sim. Side 5' Rear 6'

Accessory Setbacks: From ^{Prim.} Nearest Structure 8' Side 3' Rear 3'

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: 45'

Required Site Improvements: Landscaping N/A Buffer — Parking —

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet ☐ the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator [Signature] 7/10/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will ☒ Will Not ☐ require a building permit(s).

Comments: Building permit required if cost of construction exceeds \$15,000

Chief Building Inspector [Signature] 7/10/20

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - July 2020

Applicant: Ron Saulnier/Steve Bengel

Applicant Address: 226 New St., New Bern, NC 28560

Project Address: 226 New St., New Bern, NC 28560

Historic Property Name: Thomas B. Whitehurst House

Status: **Contributing:** X **Non-contributing:**

NR Inventory Description (2003): c. 1917; Foursquare; two stories; three bays wide at first level, tripartite window at second level; full-width hip roof porch; hip roof with hipped dormer; interior chimney.

Sandbeck Description (1988): The Thomas B. Whitehurst House, 226 New St., ca. 1917.

... this plainly-finished frame house displays all of the characteristic features of the popular Foursquare form. It has a square, box-like two-story main section, a low hipped roof with broad overhanging eaves, a hipped front dormer, a full-width front porch, ...

226 New St. - to include replacing asphalt shingle roofing with Guideline compliant standing seam metal roofing on the main and both porch roofs of the house.

Staff submits the following Historic District Guidelines are appropriate to this application:

Modifications

- 3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.
- 3.2.2 Modifications to a structure should not conceal, damage, or remove significant design components or architectural features.
- 3.2.4 Rebuild missing or insensitively altered design components based on documented evidence of the original configuration.

Roofs

- 4.5.4 Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation. Provide double locked seams with flush ridge and hip flashings on contributing structures.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is located within the Primary, Secondary, and Tertiary AVCs;
2. The proposed modifications do not conceal, damage, or remove significant design components or architectural features;
3. The proposal removes the remaining asphalt fiberglass shingle roofing, replacing it with metal roofing in the documented historic character;
4. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application for replacing asphalt shingle roofing with Guideline compliant standing seam metal roofing on the main and both porch roofs of the house, citing the aforementioned guidelines.

FEE SCHEDULE (office use only)
 [] \$22 Standard Application (minor)
 [] \$107 Standard Application (major)



HPC Administrator
 HPCadmin@newbernnc.gov
 Work: (252) 639-7583
 Fax: (252) 636-2146

RECEIVED
 JUN 19 2020

Application for a Certificate of Appropriateness
 (For Alterations to Properties in Locally Designated Historic Districts)

BY: *MS*

For assistance, see "CoA Instructions," as well as "Historic District Guidelines," available online at:

<https://www.newbernnc.gov> Go to: Departments, Development Services, then:

- For the CoA Instructions: Document Center, Alphabetical Listing, Certificate of Appropriateness – Instructions for COA application
- For the Historic District Guidelines: Historic Preservation, HPC Guidelines, Historic District Guidelines

Type of Project: ☐ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☒ Other

I. Applicant/Owner Information:

Property Address (Include year built, if known):

312 Metcalf St., New Bern, NC 28560 Year-1900

Property Owner Name(s): Dave Stelkema	Owner Mailing Address: 1336 Gurten St. New Bern, NC 28562	Phone #s: 231-499-0870	Email: denali-2@icloud.com
Applicant Name (if different):	Applicant Mailing Address:	Phone #s:	Email:

II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

We would like to build a 10x12 side gabled storage shed with a concrete floor, wood siding, and architectural shingles. It would have a wood door and a window centered on either side in the front. And because we are doing a concrete floor, we would also like to do a concrete patio, 10x15, by the back door behind the house at the same time.

Continued on additional sheet or attached brochure ☐

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (only need the guideline numbers):

2.10 Accessory Structures

4.10 Decks and patios

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

4 inch concrete with 1/2" rebar for floor. The siding will be wood, either flush (shiplap joint) or flush (Germanor drop siding) as referenced in 4.3. The roof will be architectural shingles as referenced in 5.5.6 Roofing. The doors and windows

Continued on additional sheet or attached brochure ☐

will also be wood as referenced in 4.3. Patio - plain concrete slab behind house referenced 4.10

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☐ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☐ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:



I am the owner of the Property, or



I am acting on behalf of the owner of the property and have attached the notarized authorization form indicating the owner(s) consent to represent them for this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.



Signature of Applicant/Owner

6-18-20

Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST.. FOR A MAJOR PROJECT, SUBMITTAL AND FEE PAYMENT MUST BE NO LESS THAN 2 WEEKS PRIOR TO THE UPCOMING HPC REGULAR MEETING. FOR FURTHER INFORMATION, CONTACT THE HISTORIC PRESERVATION COMMISSION ADMINISTRATOR AT (252) 639-7583.

BROAD STREET

(D.B. 1628, Pg. 866)

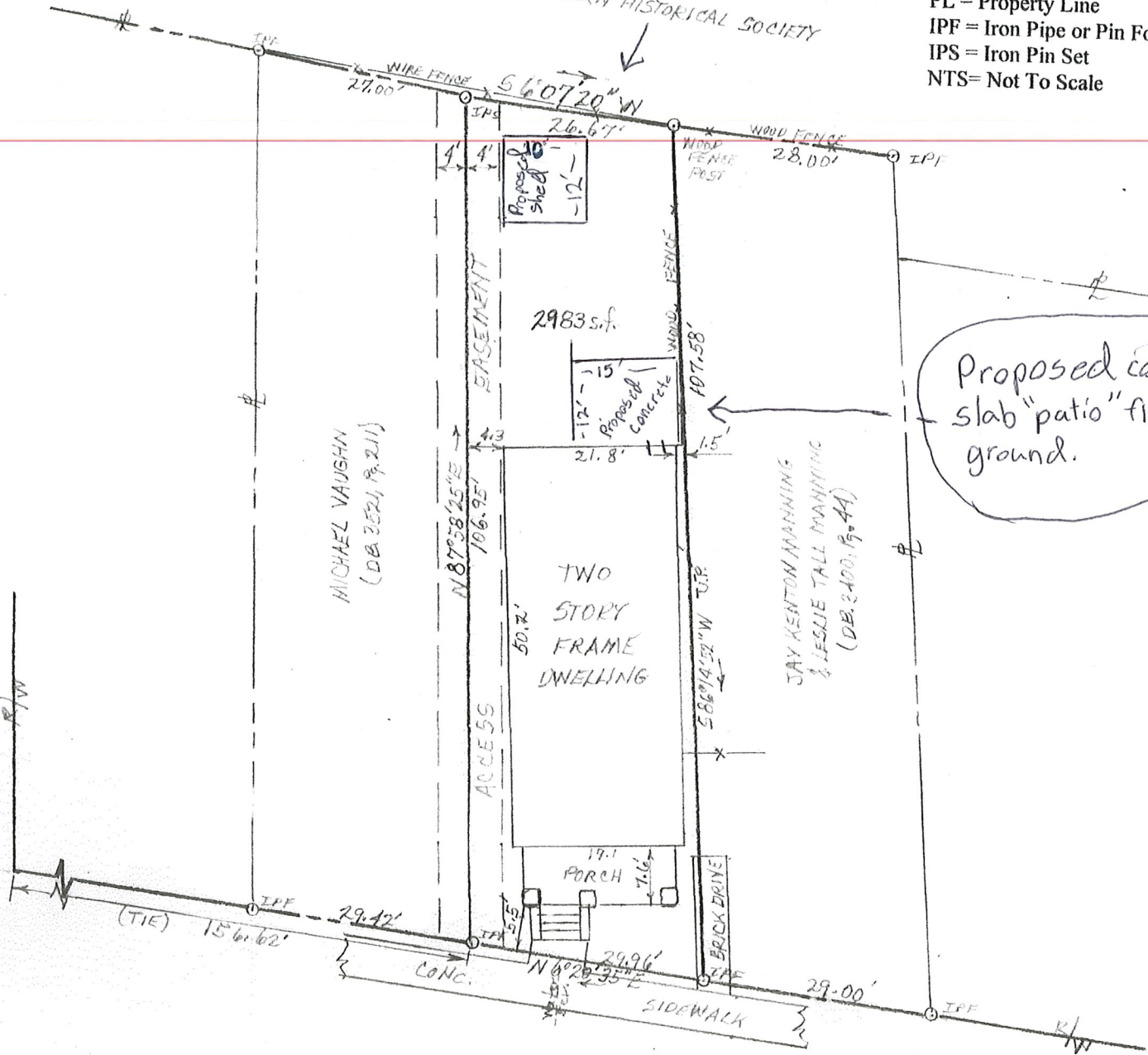
10'x12'
Proposed shed

NEW BERN HISTORICAL SOCIETY

LEGEND:

RW = Right of Way Line
PL = Property Line
IPF = Iron Pipe or Pin Found
IPS = Iron Pin Set
NTS = Not To Scale

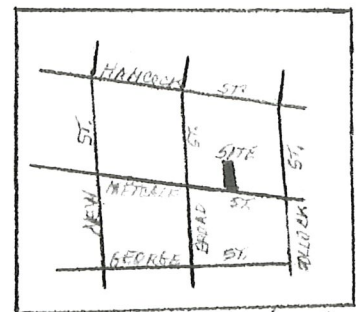
Proposed concrete
slab "patio" flush with
ground.



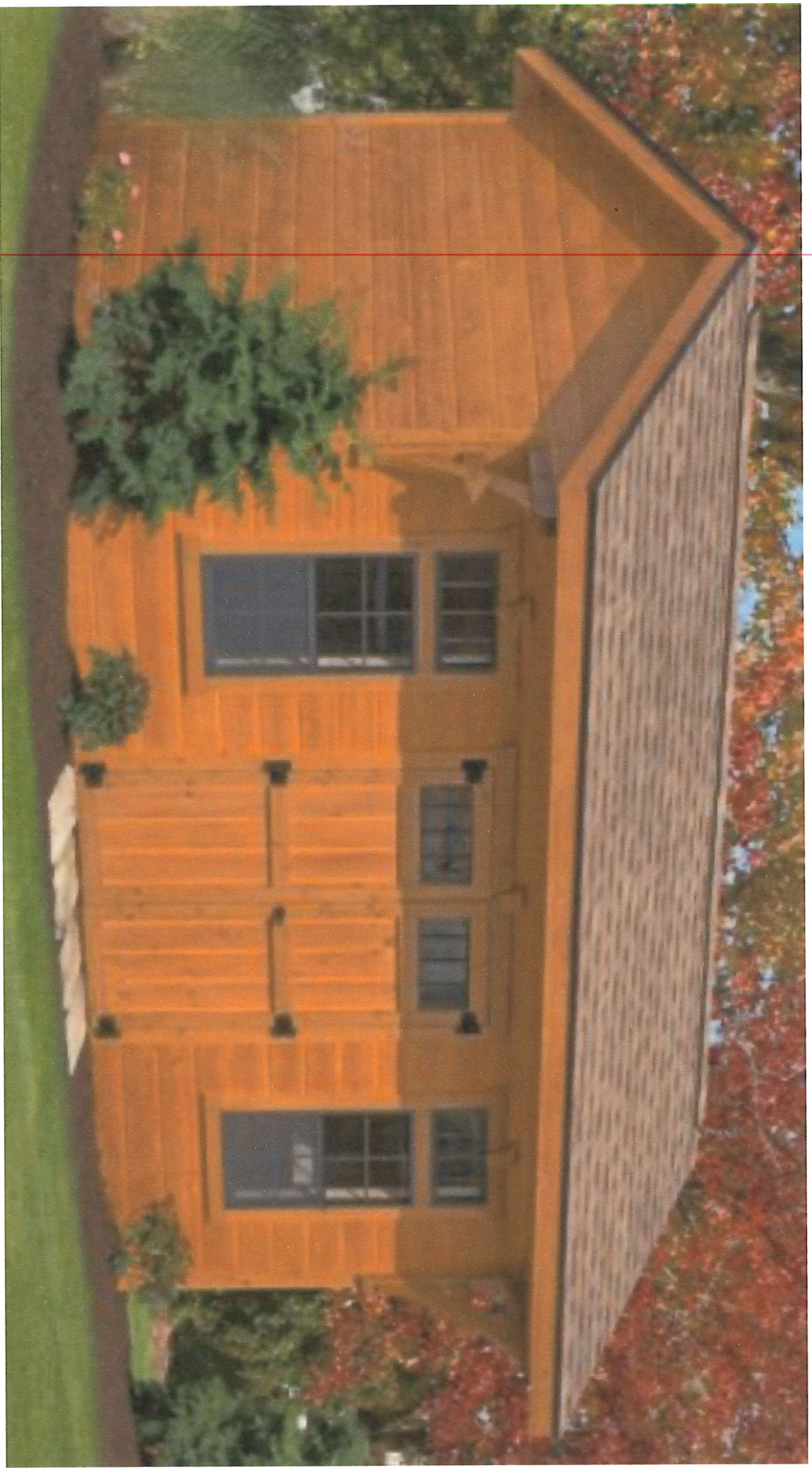
METCALF STREET
(60' R/W)

NOTES:

1. This plat represents a survey of an existing parcel of land and is not a subdivision of land and is for exhibit or illustration purposes only.
2. Deed Reference: D.B. 2276, Page 857.
3. The proposed dwelling is located in FEMA Flood Zone X, according to Map No. 3720548900J, dated July 2, 2004.



VICINITY MAP (NTS)



This style, but not this color.



312 Metcalf St - Photos from Applicant

From: Dave Stellema <denali.2@icloud.com>

Sent: Monday, June 22, 2020 6:56 PM

To: Matthew Schelly <SchellyM@newbernnc.gov>

Subject: Re: 312 Metcalf CoA application

Hey good evening!

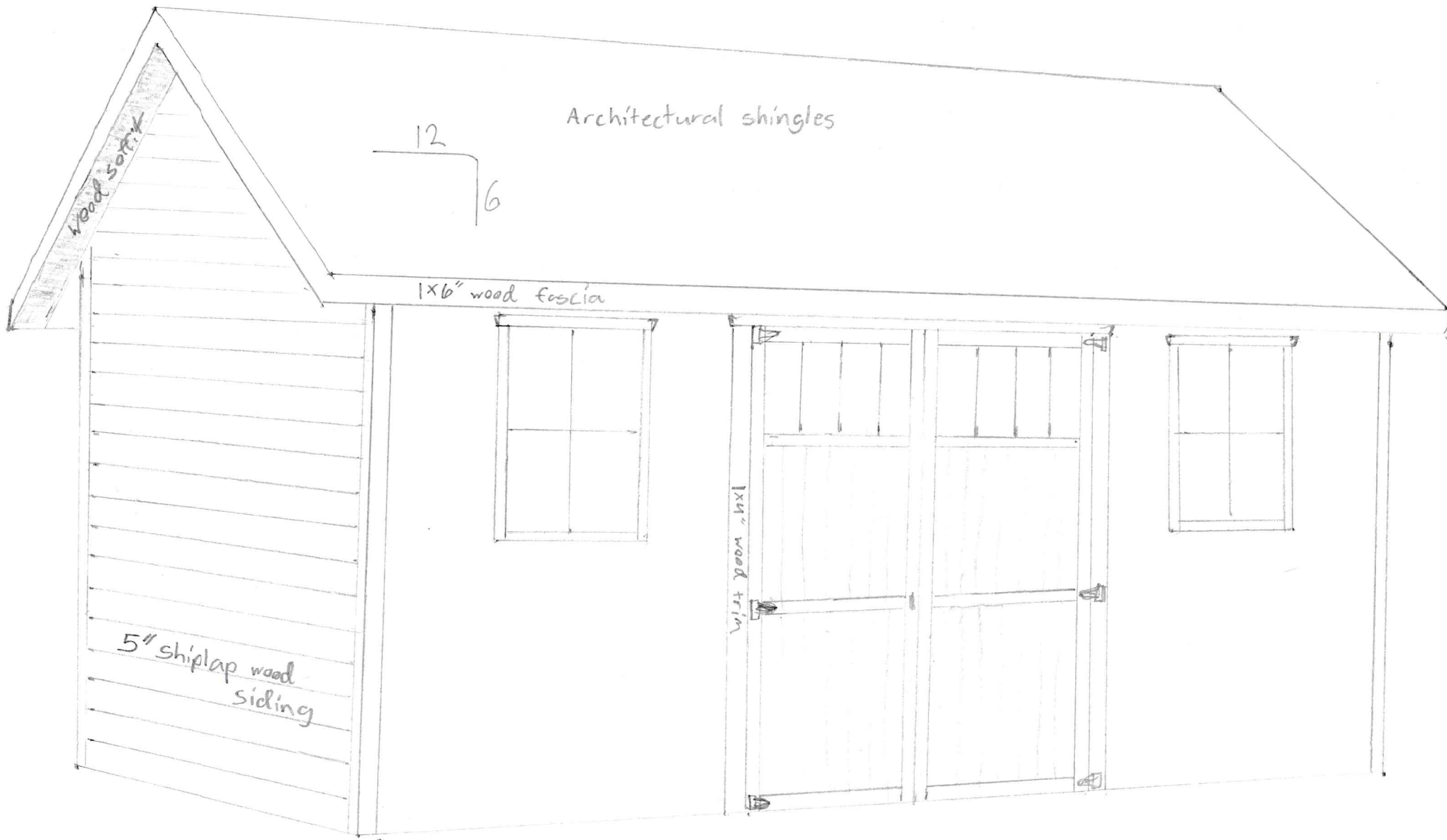
I've took some pictures of the back yard where the shed would sit, and of the back of the house where where the patio would be. I won't be moving the door just building three wood steps down to the patio. If you need more info let me know. Also would be interested in any info to remove that paint from the brick!

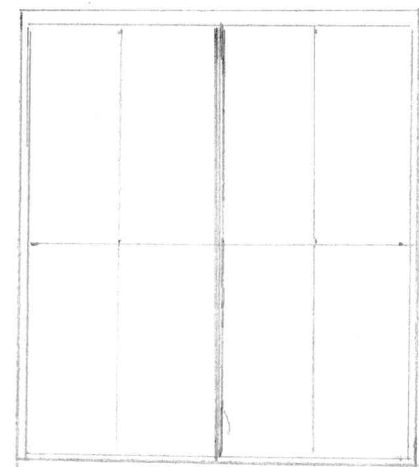
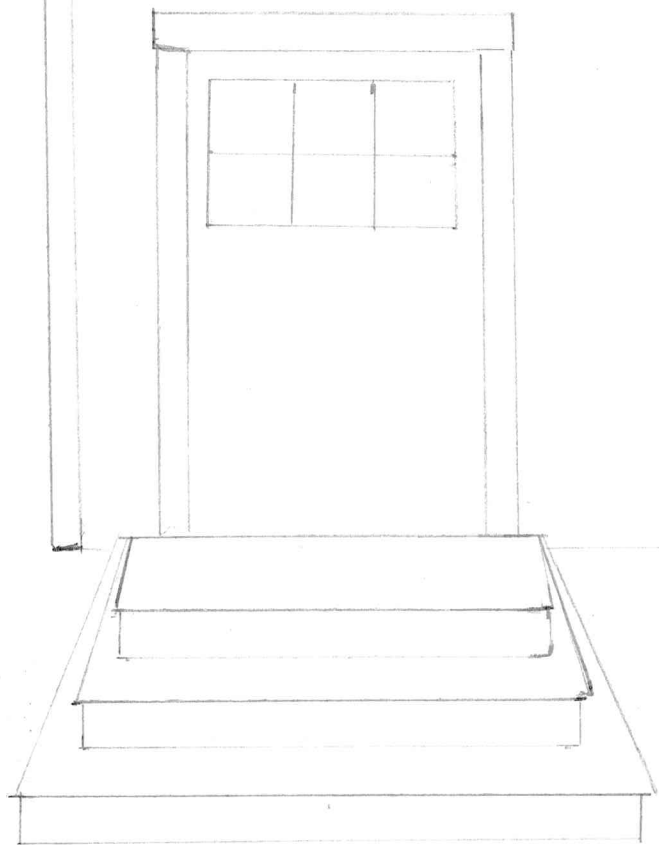
Dave Stellema

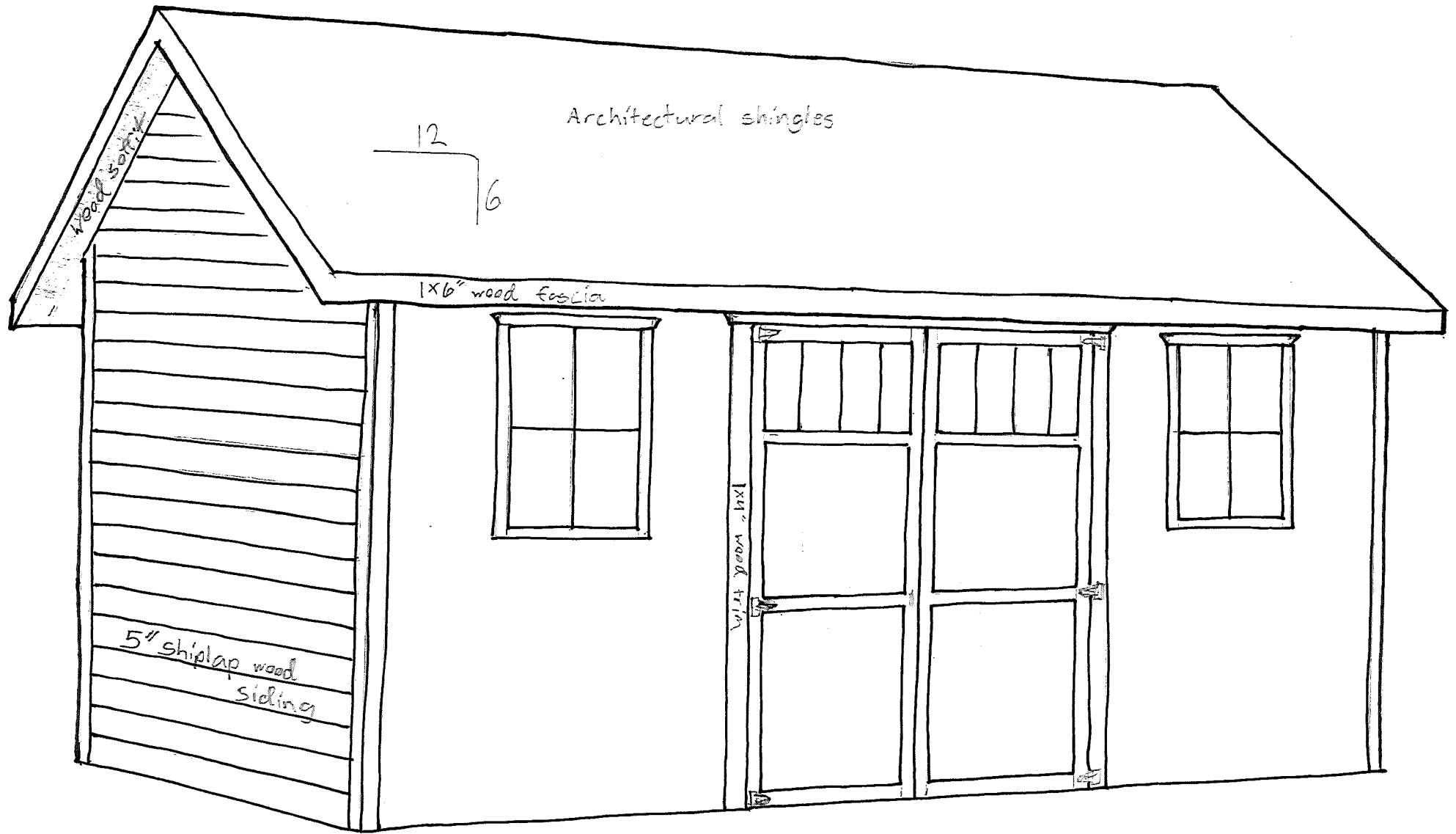
















Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 312 Metcalf St. - new accessory structure and a concrete patio.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: C-SA

Required Setbacks (primary structure): Front Sim. Side 5' Rear 6'

Accessory Setbacks: From ^{Prim.} Nearest Structure 8' Side 3' Rear 3'

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: 50'

Required Site Improvements: Landscaping N/A Buffer Parking

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet ☐ the requirements of the Land Use Ordinance.

Comments: Project must meet the relevant setbacks
Zoning Administrator [Signature] 7/10/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will ☐ Will Not ☒ require a building permit(s).

Comments: Building permit not required if no dimension is greater than 12'
Chief Building Inspector [Signature] 7/10/20

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - July 2020

Applicant: Dave Stellema

Applicant Address: 1336 Gurten St., New Bern, NC 28562

Project Address: 312 Metcalf St., New Bern, NC 28560

Historic Property Name: Willis House

Status: **Contributing:** **X** **Non-contributing:**

NR Inventory Description (2003): c. 1913; Two stories; two bays wide, five bays deep; two-over-two sash; hip-roofed porch, square poses [posts], brick piers; gable-front roof, interior chimney in north roof slope.

Sandbeck Description (1988): N/A

312 Metcalf St. - to include installation of a new accessory structure and a concrete patio in the Tertiary AVC.

Staff submits the following Historic District Guidelines are appropriate to this application:

Accessory Structures

- 2.6.1 Locate accessory structures in Secondary or Tertiary AVCs, and behind primary structures when possible. Accessory structures are to be secondary to the primary structure in regard to mass, scale, form, and texture.
- 2.6.2 It is appropriate for outbuildings, and similar structures with substantial foundations, to have a similar form and detailing as the primary structure. Reduce these elements in scale to compliment the outbuilding massing, and incorporate less ornate and simpler elements than found on the primary structure.
- 2.6.3 Accessory structures such as sheds, gazebos, pergolas, arbors, trellises, and similar types of site improvements with minimal foundations are to serve as focal points within rear yard landscapes. These forms and detailing have little relationship to historic fabric and can be easily removed without creating permanent damage.

Decks and Patios

- 4.6.4 Construct low profile decks and patios that eliminate requirements for handrails and excessive screening.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

- 1. The project is located within the Tertiary AVC;
- 2. The proposed modifications do not conceal, damage, or remove significant design components or architectural features;
- 3. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application for installation of a new accessory structure and a concrete patio in the Tertiary AVC, citing the aforementioned guidelines.

FEE SCHEDULE (office use only)
☐ \$22 Standard Application (minor)
☐ \$107 Standard Application (major)



HPC Administrator
HPAdmin@newbern-nc.org
Work: (252)639-7583
Fax: (252)636-2146

Application for a Certificate of Appropriateness
(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☒ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:			
Property Address (Include year built, if known): 514 Metcalf Street (built 1904-1907)			
Property Owner Name(s): Cory Hunter	Owner Mailing Address: 514 Metcalf Street New Bern, NC 28560	Phone #'s: 252-675-2878	Email: coryhunter@msn.com
Applicant Name (if different): GO Architectural Design, PLLC Sarah Afflerbach, AIA	Applicant Mailing Address: 1202A Pollock Street New Bern, NC 28560	Phone #'s: 252-633-0322	Email: sarah@goarchdesign.com

II. Project Information: <i>(See "CoA Instructions" & "Historic Guidelines" for help in completing this section)</i>
<p>1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)</p> <p>Replace existing brick masonry steps at front porch and add a painted decorative metal railing on either side of step. Remove existing brick masonry steps at the rear door and replace with a preservative treated wood deck, pickets, railing, trellis and lattice screening. Create a new free standing garden shed in the rear yard with hardie board siding, fiberglass door, and asphalt shingles. See plans.</p> <p align="right">Continued on additional sheet or attached brochure <input checked="" type="checkbox"/></p>
<p>2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):</p> <p>Accessory Structures 2.6.1-2.6.3 Foundations 4.1.3 Entrances 4.4.1, 4.4.4 Decks and Patios 4.6.1-4.6.4 Masonry 5.1.1-6</p> <p align="right">Continued on additional sheet or attached brochure <input type="checkbox"/></p>
<p>3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):</p> <p>Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).</p> <p>Brick masonry to match existing, painted ornamental metal, preservative treated wood, hardie board siding, asphalt shingles.</p> <p align="right">Continued on additional sheet or attached brochure <input type="checkbox"/></p>

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☐ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.

Sam Atterbach
Signature of Applicant/Owner

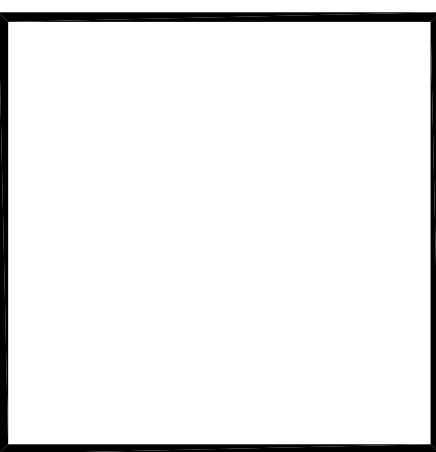
6/25/20
Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT.
THESE PLANS CONTAIN PROPRIETARY INFORMATION OF
GO ARCHITECTURAL DESIGN PLLC. THEY ARE SUBJECT
TO FEDERAL COPYRIGHT AND OTHER APPLICABLE
FEDERAL AND STATE PROPERTY, TRADE AND RELATED
LAWS. THESE PLANS, INCLUDING THE INFORMATION
CONTAINED WITHIN, SHALL NOT BE SHARED,
REPRODUCED, DISTRIBUTED OR USED IN ANY WAY
WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.
ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION
OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL
PROSECUTION AND PENALTIES.



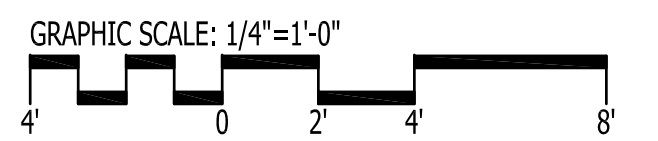
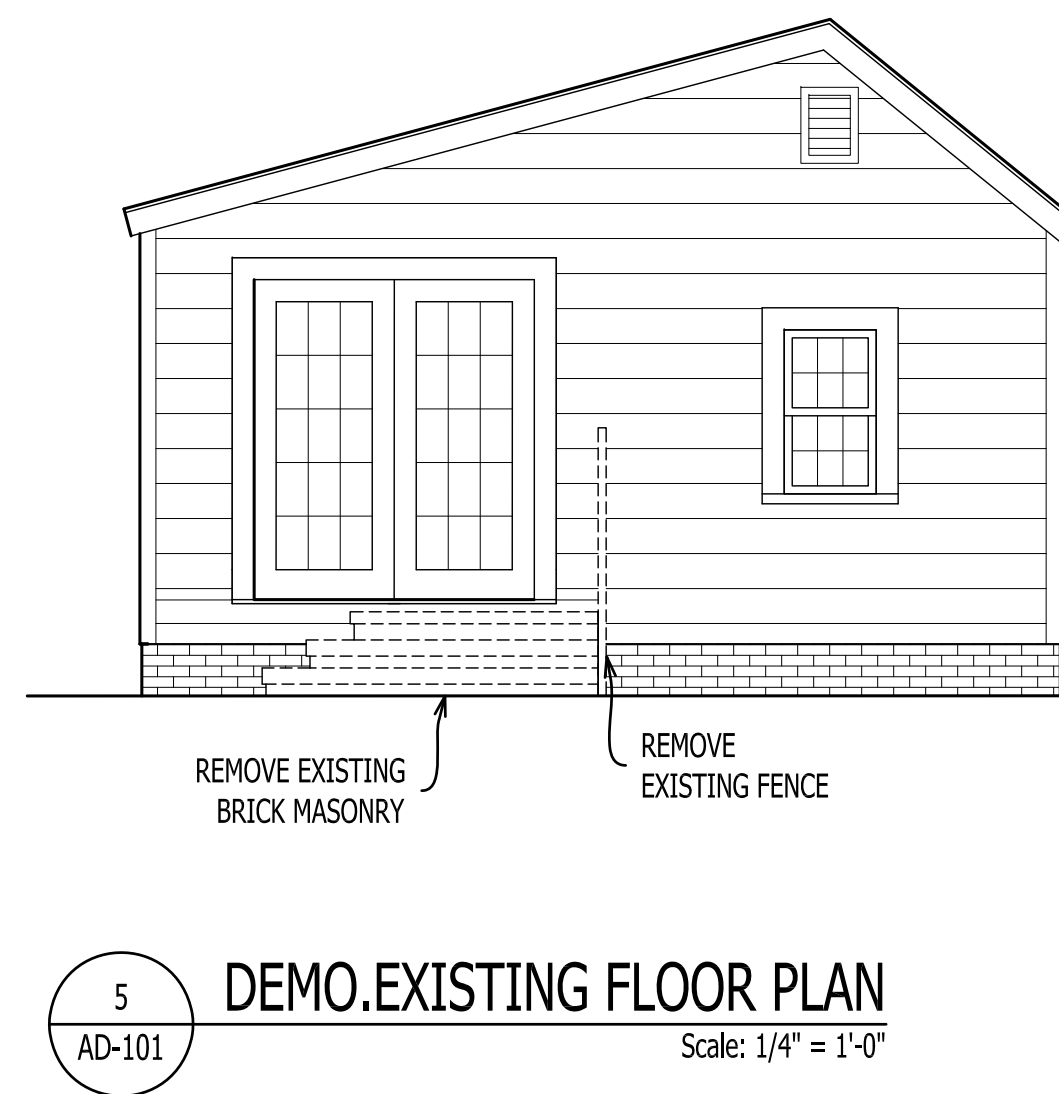
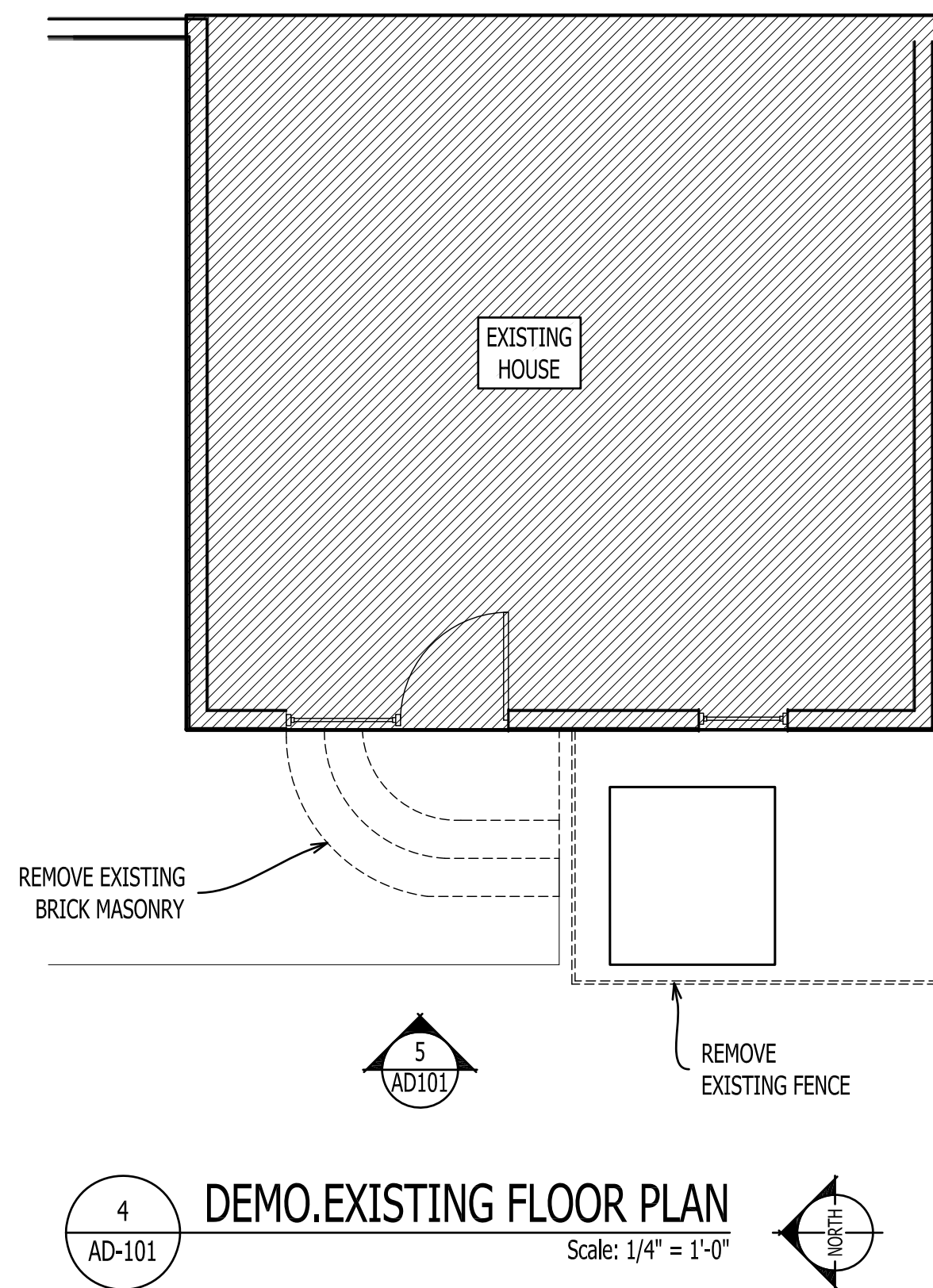
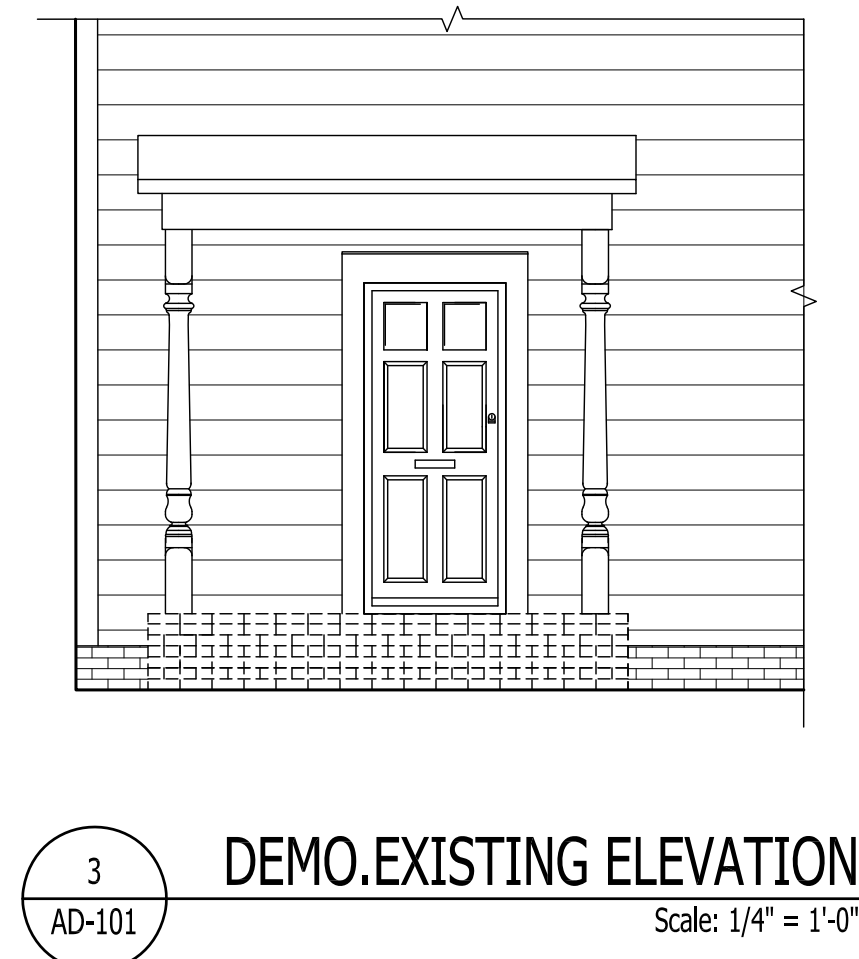
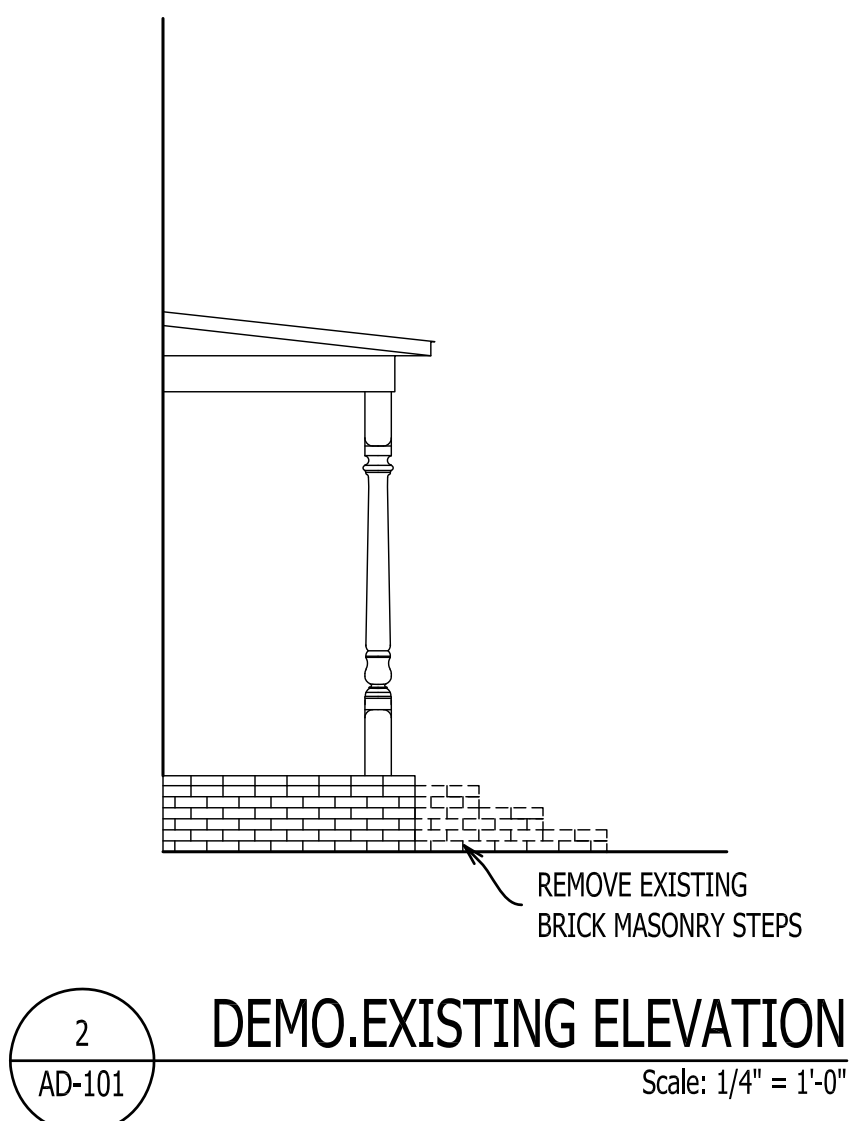
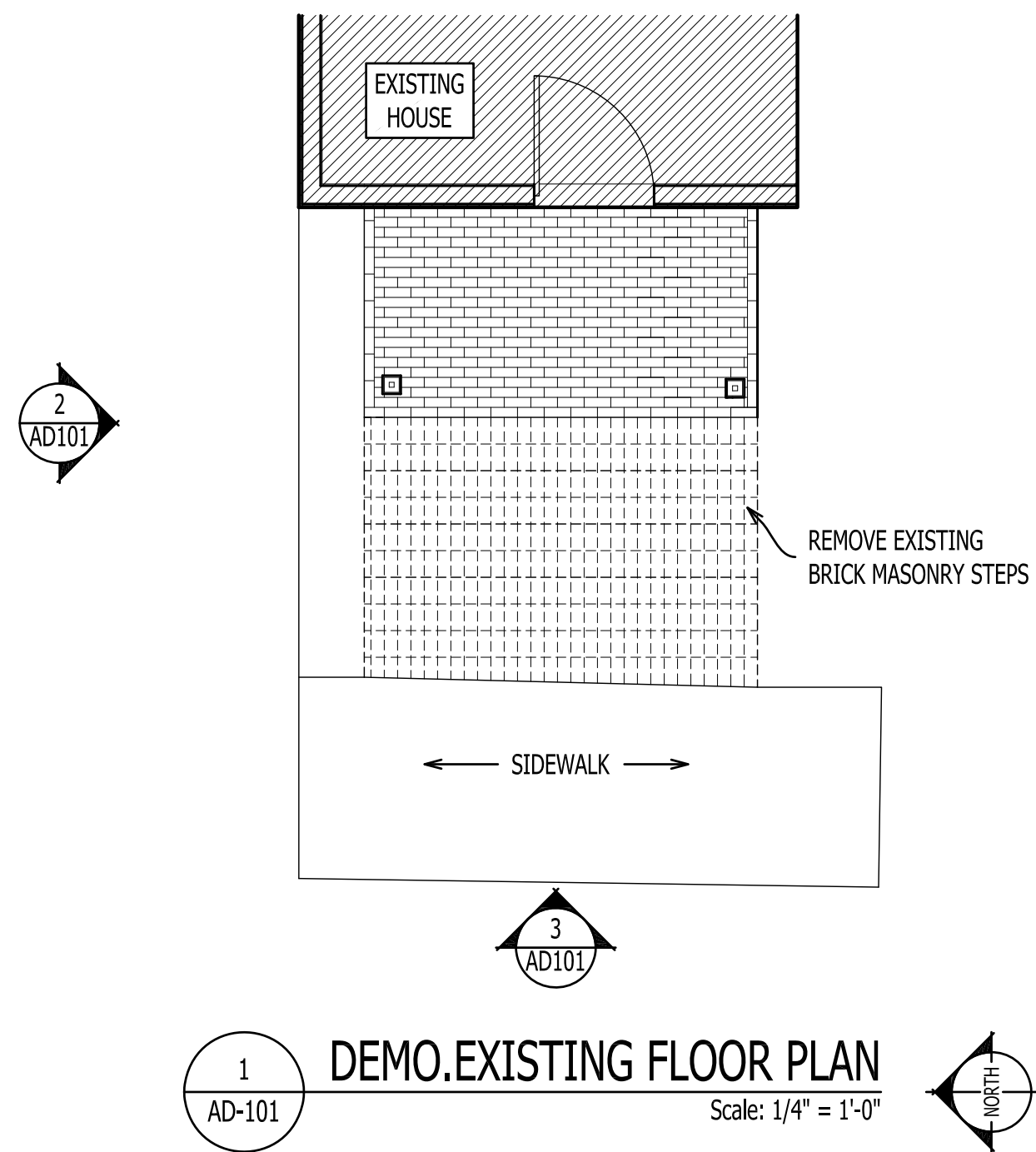
Date: 07.06.2020

Revisions:

HUNTER RESIDENCE

514 METCALF STREET, NEW BERN, NC 28560

G-101
TITLE SHEET
12 X 18 SHEETS ARE HALF SIZE

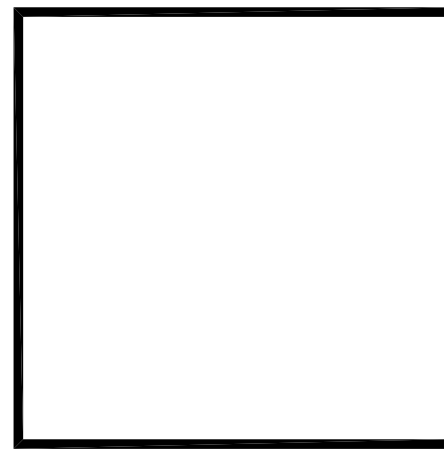


IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.



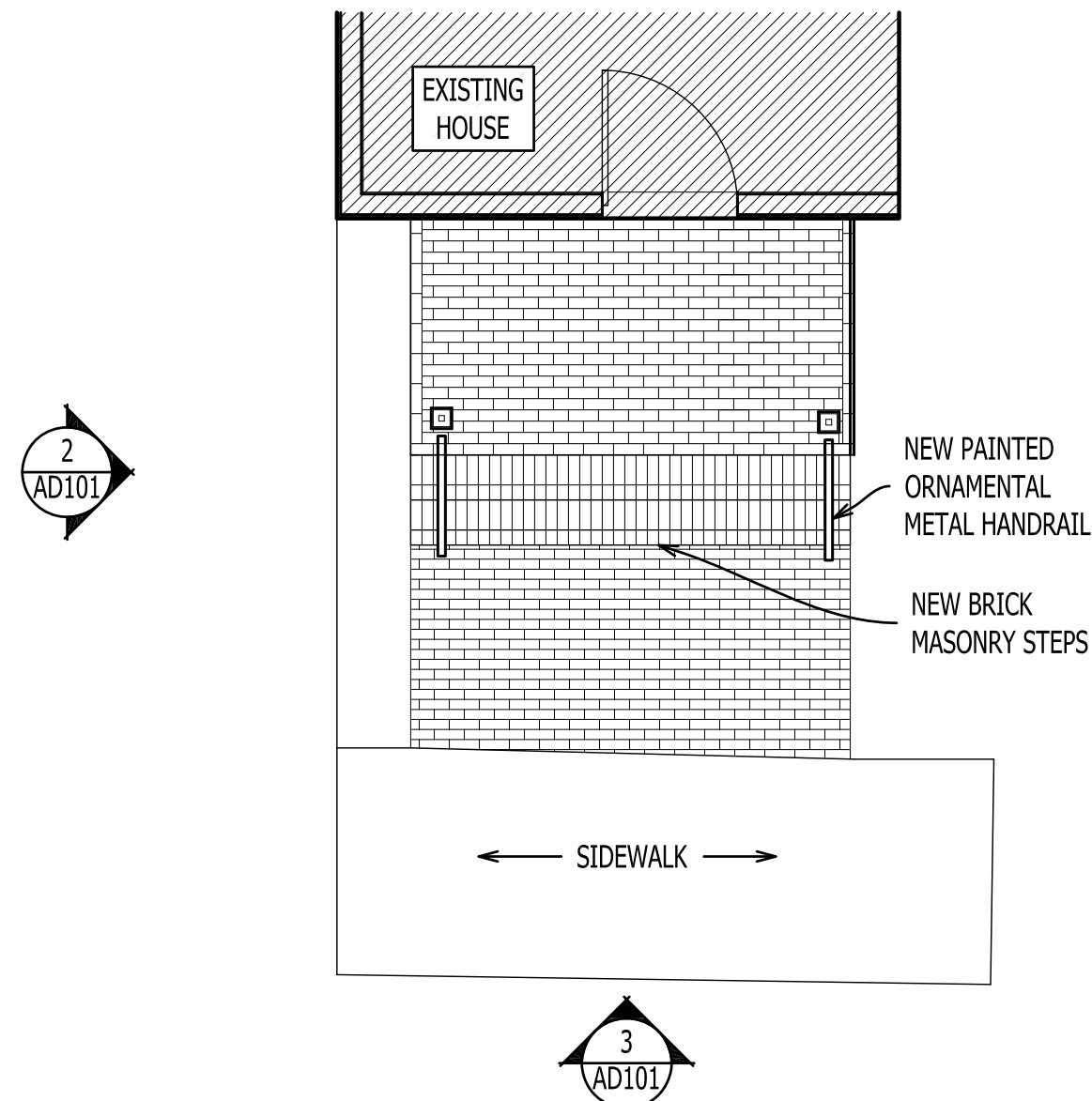
Date: 07.06.2020
Revisions:

HUNTER RESIDENCE
514 METCALF STREET, NEW BERN, NC 28560

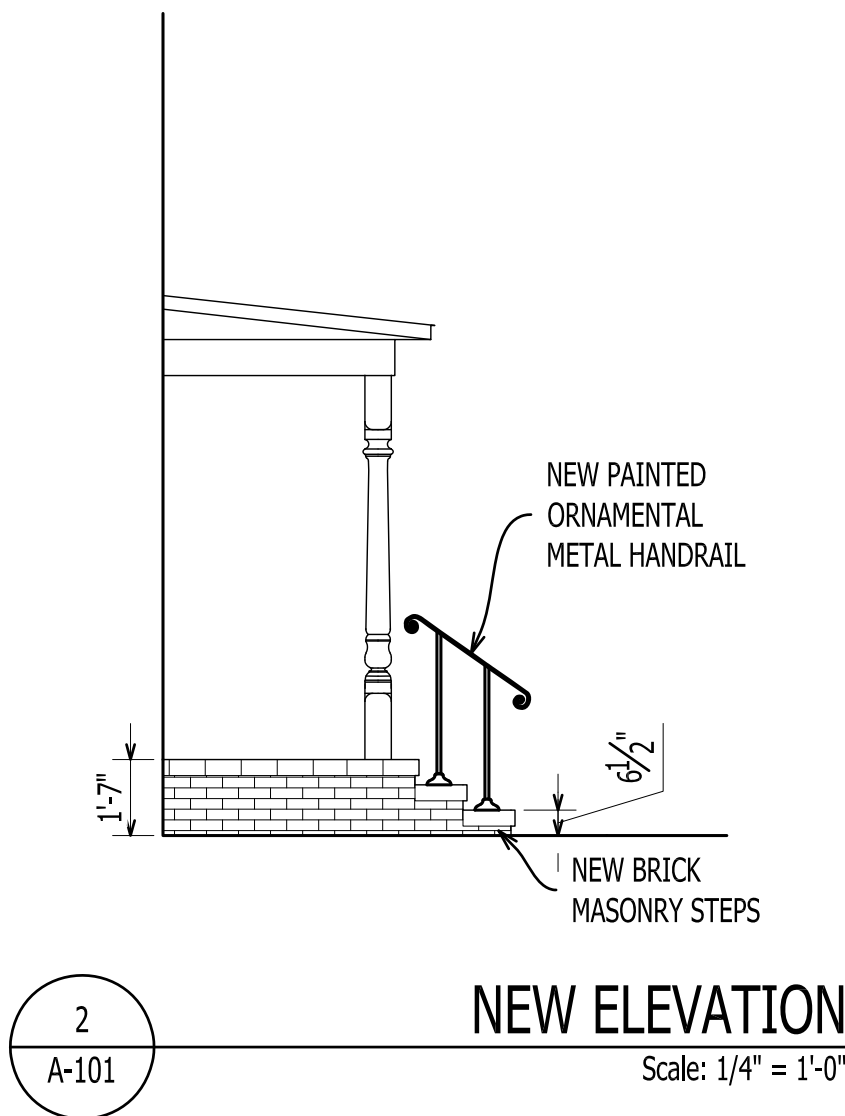
AD-101

DEMO/EXISTING FLOOR PLAN

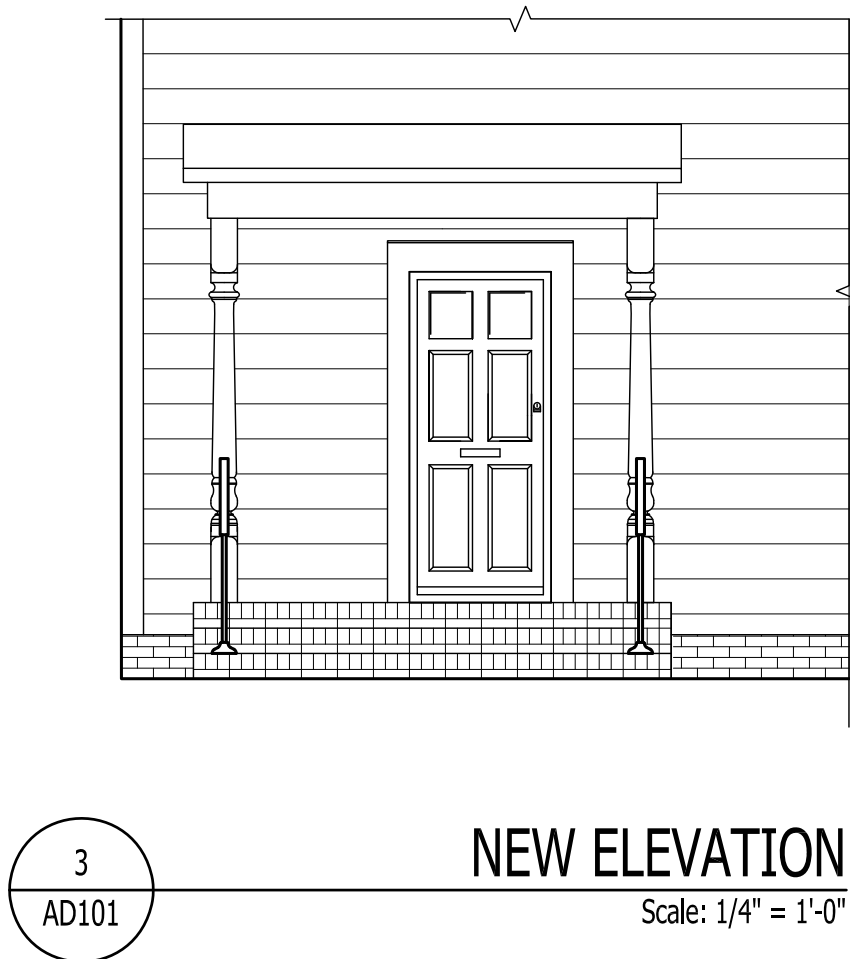
12 X 18 SHEETS ARE HALF SIZE



1
A-101
NEW FLOOR PLAN
Scale: 1/4" = 1'-0"



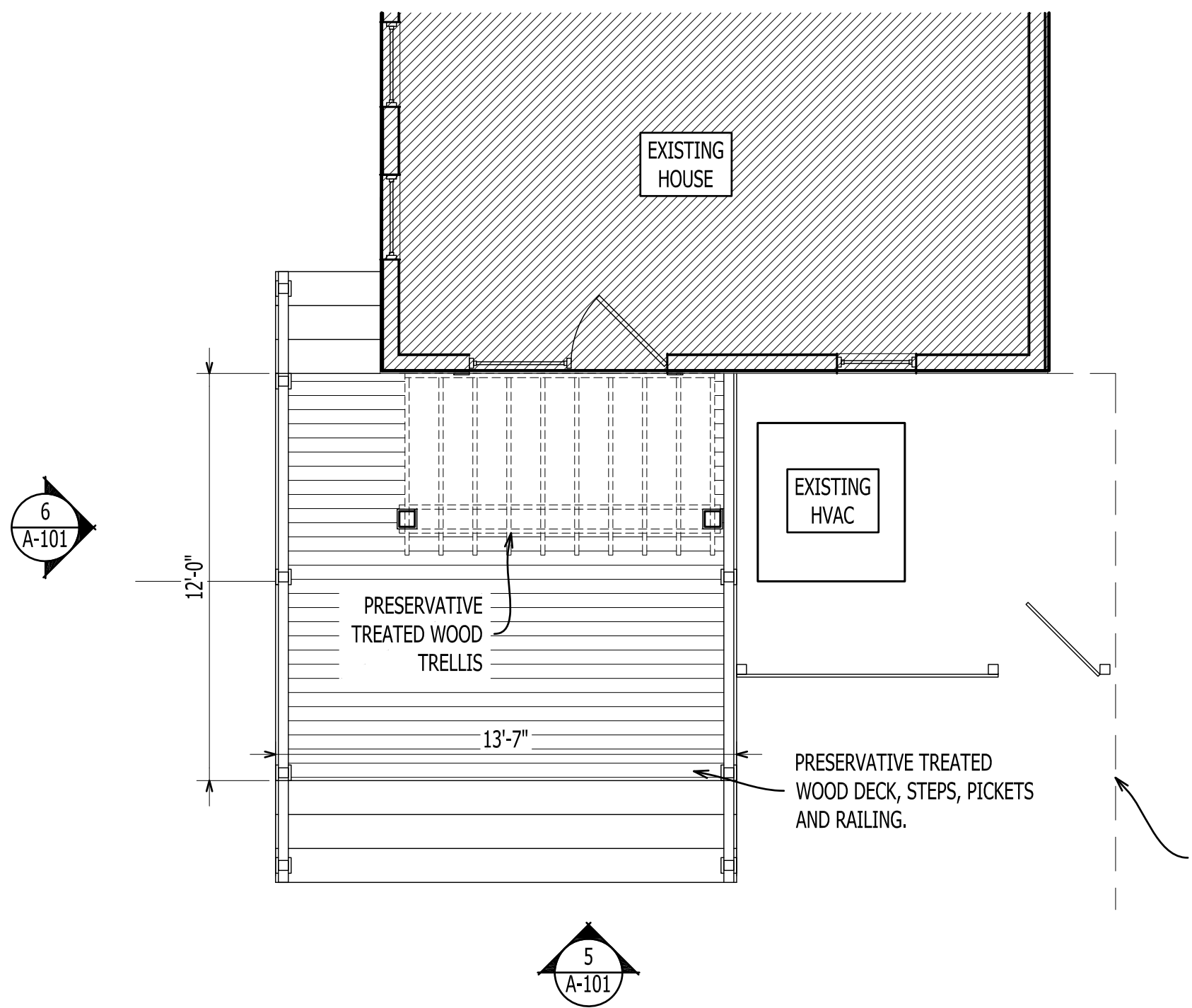
2
A-101
NEW ELEVATION
Scale: 1/4" = 1'-0"



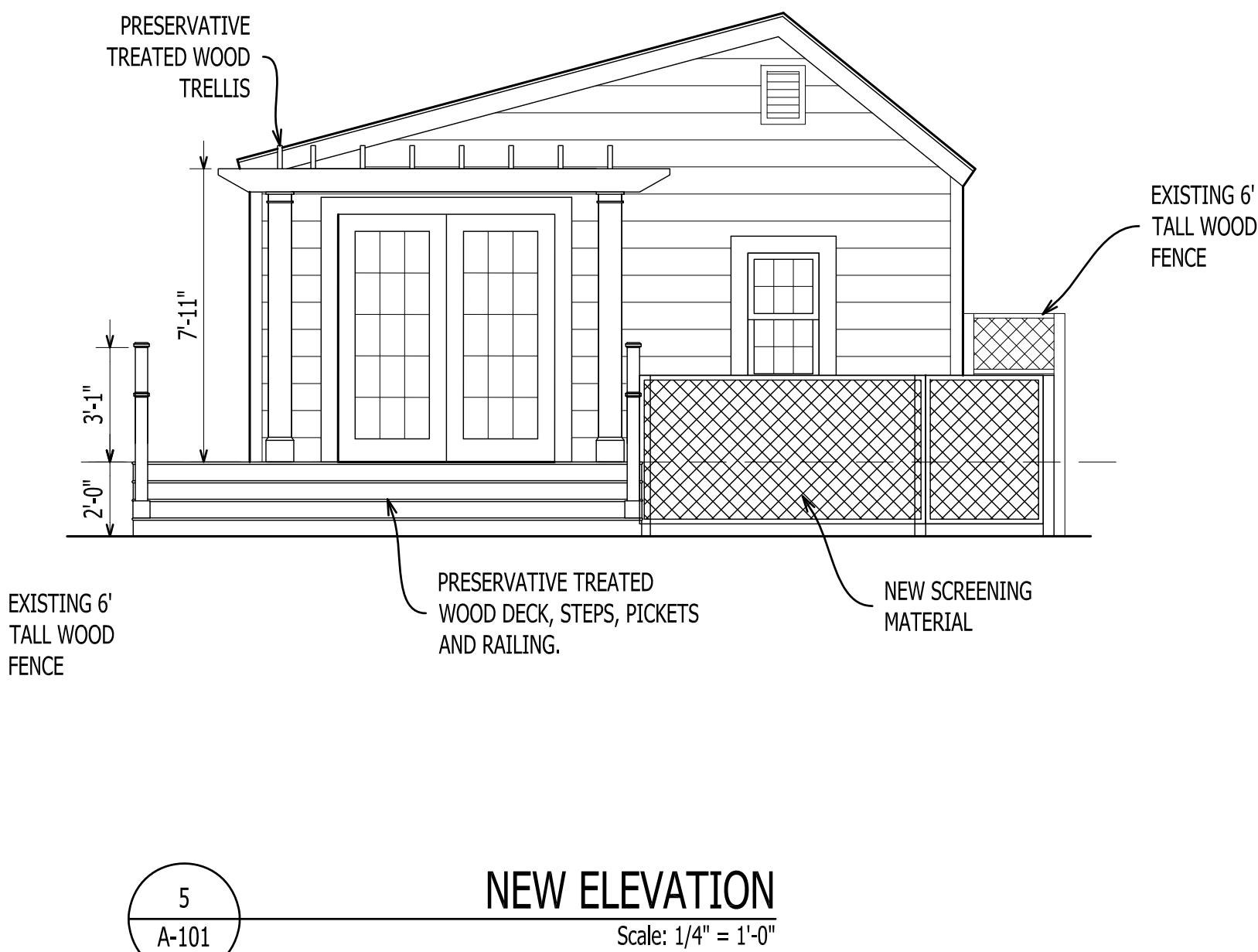
3
A-101
NEW ELEVATION
Scale: 1/4" = 1'-0"



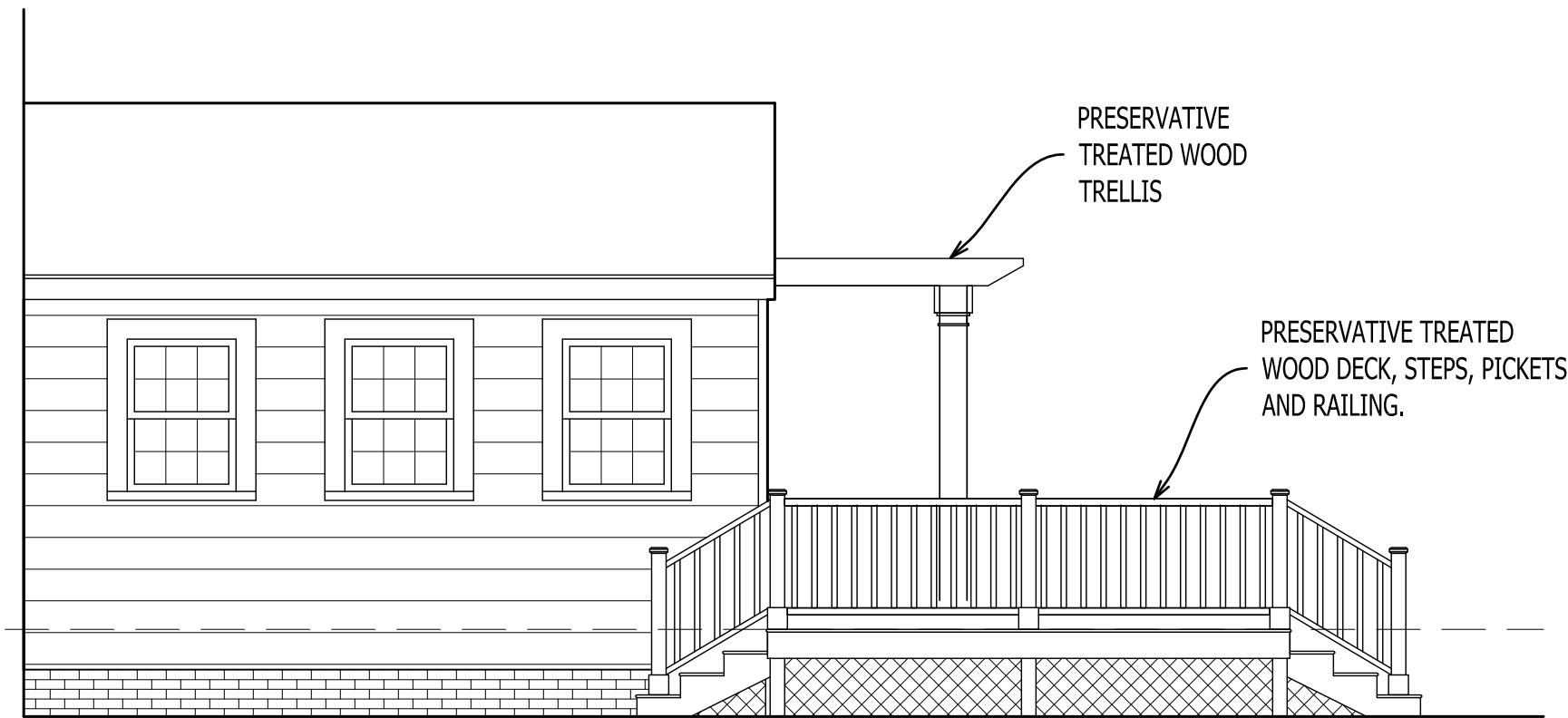
PAINTED METAL HANDRAIL



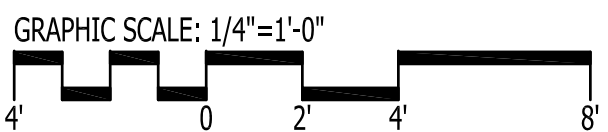
4
A-101
NEW FLOOR PLAN
Scale: 1/4" = 1'-0"



5
A-101
NEW ELEVATION
Scale: 1/4" = 1'-0"



6
A-101
NEW ELEVATION
Scale: 1/4" = 1'-0"



IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.

Date: 07.06.2020

Revisions:

HUNTER RESIDENCE

514 METCALF STREET, NEW BERN, NC 28560

A-101

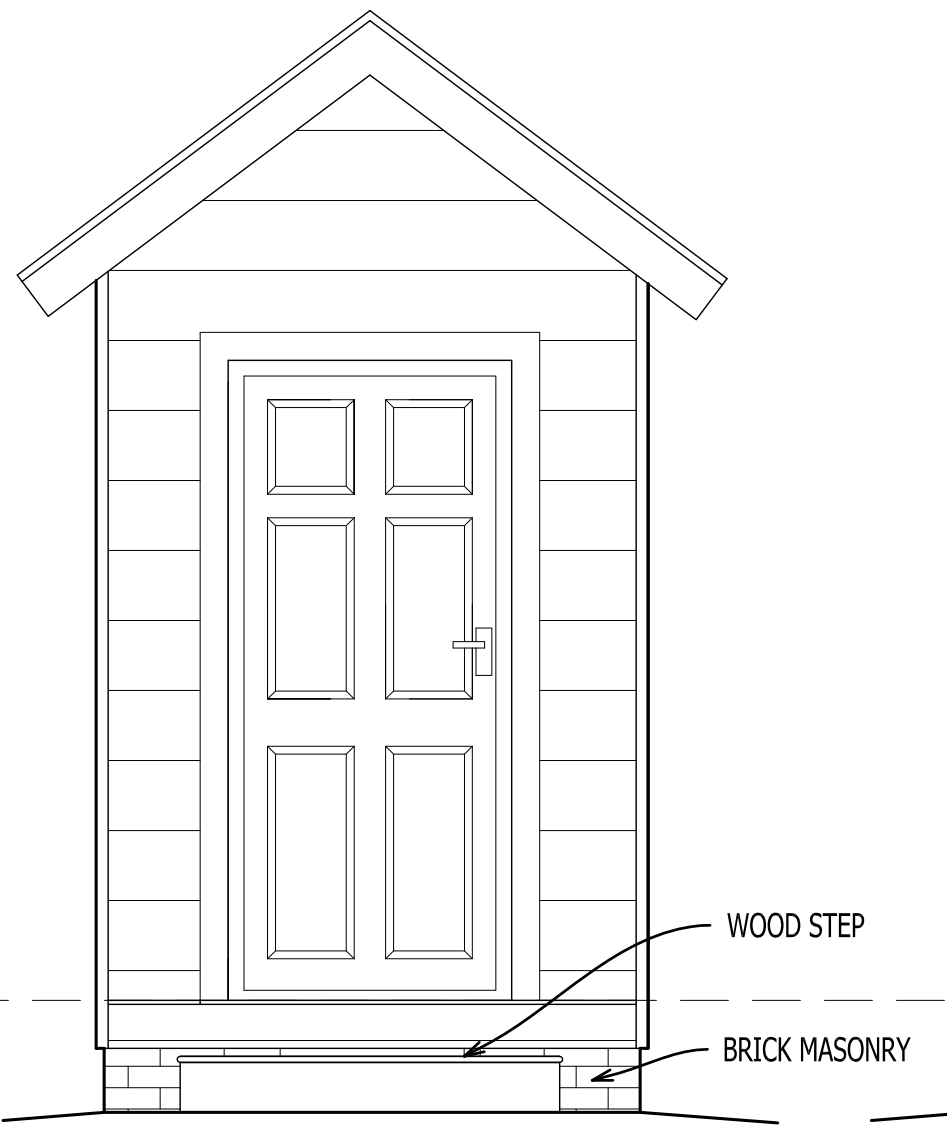
NEW FLOOR PLAN
AND ELEVATIONS

12 X 18 SHEETS ARE HALF SIZE



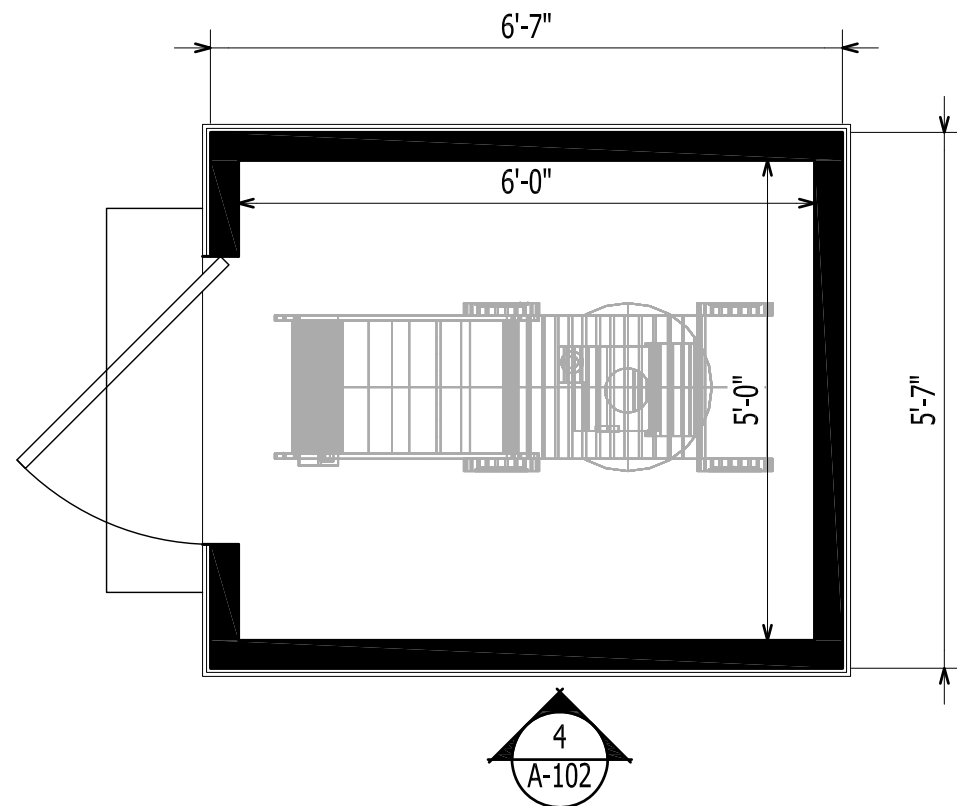
1
A-102

SITE PLAN
Scale: 1/8" = 1'-0"



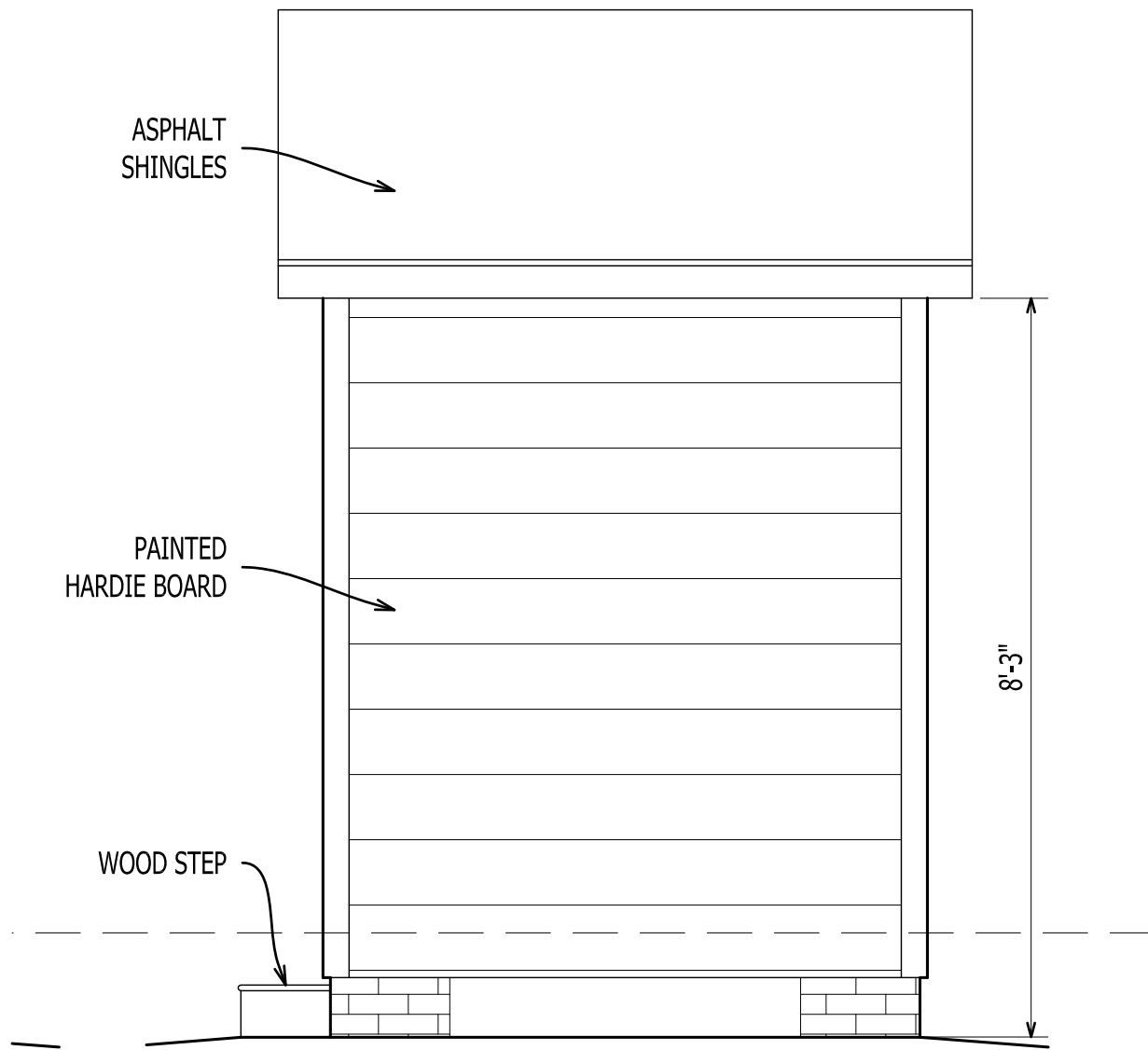
3
A-102

SHED ELEVATION
Scale: 1/2" = 1'-0"



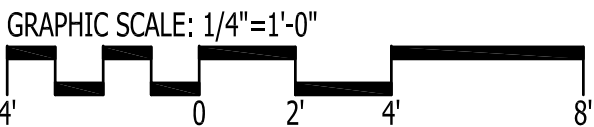
2
A-102

SHED PLAN
Scale: 1/2" = 1'-0"



4
A-102

SHED PLAN
Scale: 1/2" = 1'-0"



IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.

Date: 07.06.2020

Revisions:

HUNTER RESIDENCE
514 METCALF STREET, NEW BERN, NC 28560

A-102

NEW SHED PLAN
AND ELEVATIONS

12 X 18 SHEETS ARE HALF SIZE



NEW BERN
CITY OF NEW BERN

Aldermen

Sabrina Bengel
Jameesha S. Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham

300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Dana E. Outlaw
Mayor

Mark A. Stephens
City Manager

Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION

Dear Sir or Madame:

I am the owner of the property located at:

514 Metcalf St New Bern
(address, city, zip code)

I hereby authorize GO Architectural Design, PLLC to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

Phone 252-675-2878

Cornelia S. Hunter

Owner's Signature

CORNELIA S HUNTER

Print Name

6/25/2020
Date

Sworn to and subscribed before me this 25th day of June, 2020.

Wendy G McDonald
Notary Public:

My commission expires: 01/05/2022





Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 514 Metcalf St. – replacement of: front brick steps with new brick steps, rear brick steps with wood deck, trellis, and railing, utility screening with similar new screening; and construct new accessory building.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-8

Required Setbacks (primary structure): Front 5m. Side 5' Rear 6'

Accessory Setbacks: From Nearest Structure 8' Side 3' Rear 3'

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: 50'

Required Site Improvements: Landscaping N/A Buffer Parking

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet ☐ the requirements of the Land Use Ordinance.

Comments:

Must meet required setbacks

Zoning Administrator M. W. H. 7/10/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will ☒ Will Not ☐ require a building permit(s).

Comments:

Chief Building Inspector Matt Benson 7/10/20

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - July 2020

Applicant: Cory Hunter/GO Architectural Design, PLLC

Applicant Address: 514 Metcalf St., New Bern, NC 28562

Project Address: 514 Metcalf St., New Bern, NC 28560

Historic Property Name: Oscar Kafer Rental House #1

Status: **Contributing:** X **Non-contributing:**

NR Inventory Description (2003): c. 1904-1907; Two stories; three bays wide; left projecting bay with pediment; gable-front roof; interior chimney. Twin of number 516.

Sandbeck Description (1988): 514 and 516 Metcalf Street, ca. 1904-1907

These two similarly-detailed frame gable-front houses were constructed between 1904 and 1907 as rental and investment properties for Oscar Kafer, the long-time manager of the Masonic Theater and a leading member of St. John's Masonic Lodge. ... The Sanborn insurance maps show both houses to originally have had full-width front porches; these were replaced in recent years by small one-bay porches. ...

514 Metcalf St. - to include replacement of brick steps with new brick steps in the Primary AVC; replacement of brick steps with a new wood deck, trellis, and railing, replacement of utility screening with similar new screening, and installation of a new accessory building in the Tertiary and Secondary AVCs.

Staff submits the following Historic District Guidelines are appropriate to this application:

Utilities

- 2.3.1 Locate equipment in Secondary and Tertiary AVCs and screen items from public view with vegetation, fencing and similar site constructions.

Accessory Structures

- 2.6.1 Locate accessory structures in Secondary or Tertiary AVCs, and behind primary structures when possible. Accessory structures are to be secondary to the primary structure in regard to mass, scale, form, and texture.
- 2.6.2 It is appropriate for outbuildings, and similar structures with substantial foundations, to have a similar form and detailing as the primary structure. Reduce these elements in scale to compliment the outbuilding massing, and incorporate less ornate and simpler elements than found on the primary structure.
- 2.6.3 Accessory structures such as sheds, gazebos, pergolas, arbors, trellises, and similar types of site improvements with minimal foundations are to serve as focal points within rear yard landscapes. These forms and detailing have little relationship to historic fabric and can be easily removed without creating permanent damage.

Foundations

- 4.1.3 Use traditional materials when constructing foundations. Concrete block should receive a veneer of stucco, brick, or other appropriate masonry material.

Walls, Trim, and Ornamentation

- 4.2.4 Incorporate wood trims and articulate masonry appropriately for the application. Primary structures are generally more ornate and detailed. Accessory structures are generally subordinate to the primary structure and have minimal ornamentation, if any, and simplified details.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - July 2020

Decks and Patios

- 4.6.2 Locate decks in Secondary and Tertiary AVCs, and screen the underside with shrubbery, fencing, lattice, or masonry.
- 4.6.3 Structurally separate decks to allow removal without damaging the historic structure.
- 4.6.4 Construct low profile decks and patios that eliminate requirements for handrails and excessive screening.

Masonry

- 5.1.2 Match the masonry bond, or pattern, of masonry materials found in adjoining work. In general, new material should be the same size, color and texture of that existing.

Paint

- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.

Contemporary Materials

- 5.5.1 In general, contemporary material shall match the dimension, shape and texture of their counterparts commonly found in the historic districts.
- 5.5.2 Use contemporary and nontraditional materials in traditional ways. Apply materials in a traditional manner that conveys the same visual appearance as historic materials.
- 5.5.3 Contemporary and nontraditional materials should convey appropriate historic material characteristics, and will be evaluated on a case-by-case basis for appearance, dimension, texture, color, sheen, visual weight, and similar characteristics.
- 5.5.5 Cement board with a smooth finish is acceptable as the predominant siding material for infill construction and non-historic accessory structures.
- 5.5.6 Contemporary materials such as synthetic slate and fiberglass asphalt shingles are acceptable for sloped roofing regardless of building age. Select fiberglass asphalt shingles from a darker color palette. Contemporary membrane and roll roofing are acceptable for low-sloped roofs with a 1 inch per foot pitch or less regardless of building age.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is located within the Primary, Secondary, and Tertiary AVCs;
2. The proposed modifications do not conceal, damage, or remove significant design components or architectural features;
3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
4. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application for the replacement of brick steps with new brick steps in the Primary AVC; replacement of brick steps with a new wood deck, trellis, and railing, replacement of utility screening with similar new screening, and installation of a new accessory building in the Tertiary and Secondary AVCs, citing the aforementioned guidelines.

FEE SCHEDULE (office use only)
 [] \$22 Standard Application (minor)
 [] \$107 Standard Application (major)



HPC Administrator
 HPCadmin@newbern-nc.org
 Work: (252) 639-7583
 Fax: (252) 636-2146

RECEIVED
 JUN 26 2020

Application for a Certificate of Appropriateness
 (For Alterations to Properties in Locally Designated Historic Districts)

BY: *MS*

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:			
Property Address (Include year built, if known): 609 New Street, Built 1939			
Property Owner Name(s): Ellen Sheridan	Owner Mailing Address: 704 East Front St. New Bern, NC 28560	Phone #'s: 1.336.558.5585	Email: ellenlouisedesigns@mail.com
Applicant Name (if different): Gary Peterson	Applicant Mailing Address: P.O. Box 507, New Bern, NC 28563	Phone #'s: 1.252.670 6346	Email: garypeterson@suddenlink.net

II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)
1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed) See Attachment. Continued on additional sheet or attached brochure <input type="checkbox"/>
2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number): See Attachment. Continued on additional sheet or attached brochure <input type="checkbox"/>
3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.): Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s). Continued on additional sheet or attached brochure <input type="checkbox"/>

Revised 06.28.20

II. Project Information

1. The window on the left side of the south elevation is to be removed and reinstalled where the door and frame are presently located. The existing door and frame are to be removed. A new door and frame is to be installed at the previous location of the window. See Det. 2,3, A 2.0. In addition, my client wish to construct a new deck which is 9'-4" deep and runs the full length of the sun room. See Det. 1,2,3, A 3.0. Other work to be included will be the removal of two (2) over sized and out of scale Yew trees with Oak Leaf Hydrangea at either end of the landscaping in front of the house. In addition, holly bushes adjacent to porch will be removed and replaced with seasonal plantings in two (2) Greek Kraters on Pedestals. See Det. 1, A1.0, Exhibit No. 1. Other work to be included will be the removal of a dilapidated non contributing garage, and the construction of a new carport.
2. 4.3 Window, Doors, and Openings. Item 4.3.2, 4.33, page 4-7.
4.6 Guidelines for Decks and Patios. Item 4.62, 4.63, pages 4-11, 4-12.
2.4 Guidelines for Landscaping. Item 2.4.3, page 2-6.
6.4 Guidelines for Demolition. Item 6.41, 6.45, page 6-4.
2.6 Guidelines for Accessory Structures. Item 2.61, 2.62, page 2-8. Item 2.45, page 2-6.
3. The carport shall be constructed using a concrete lap siding that is painted to match the color of the house. The roof of the carport shall be architectural dimensional shingles that

match the color of the shingles on the Sun Room. The driveway will be gravel. The deck shall be constructed out of a synthetic decking material with applied stain finish.

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☐ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement. If additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.


Signature of Applicant/Owner

06.26.20
Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.

Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION

Dear Sir or Madame:

I am the owner of the property located at:

609 New Street, New Bern, NC 28560
(address, city, zip code)

I hereby authorize Mr. Gary Peterson to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

Ellen Sheridan, 744 East Front St. Phone 1.336.558.5585

Ellen M Sheridan
Owner's Signature

ELLEN M SHERIDAN
Print Name

06.25.20
Date

Sworn to and subscribed before me this 25th day of June, 20 20

Lauren P. Garvick
Notary Public:

My commission expires: 03/26/2022



PROPOSED SITE PLAN FOR

MR. DAVID EUDY & ELLEN M. SHERIDAN

609 NEW STREET

Index to Drawings

Architectural Drawings

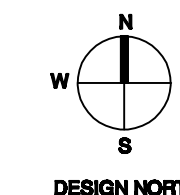
A 1.0 TITLE SHEET, SITE PLAN

A 2.0 FLOOR PLAN & ELEVATIONS

A 3.0 CARPORT PLAN & DECK ELEVATIONS

Explanation of Detail Symbol

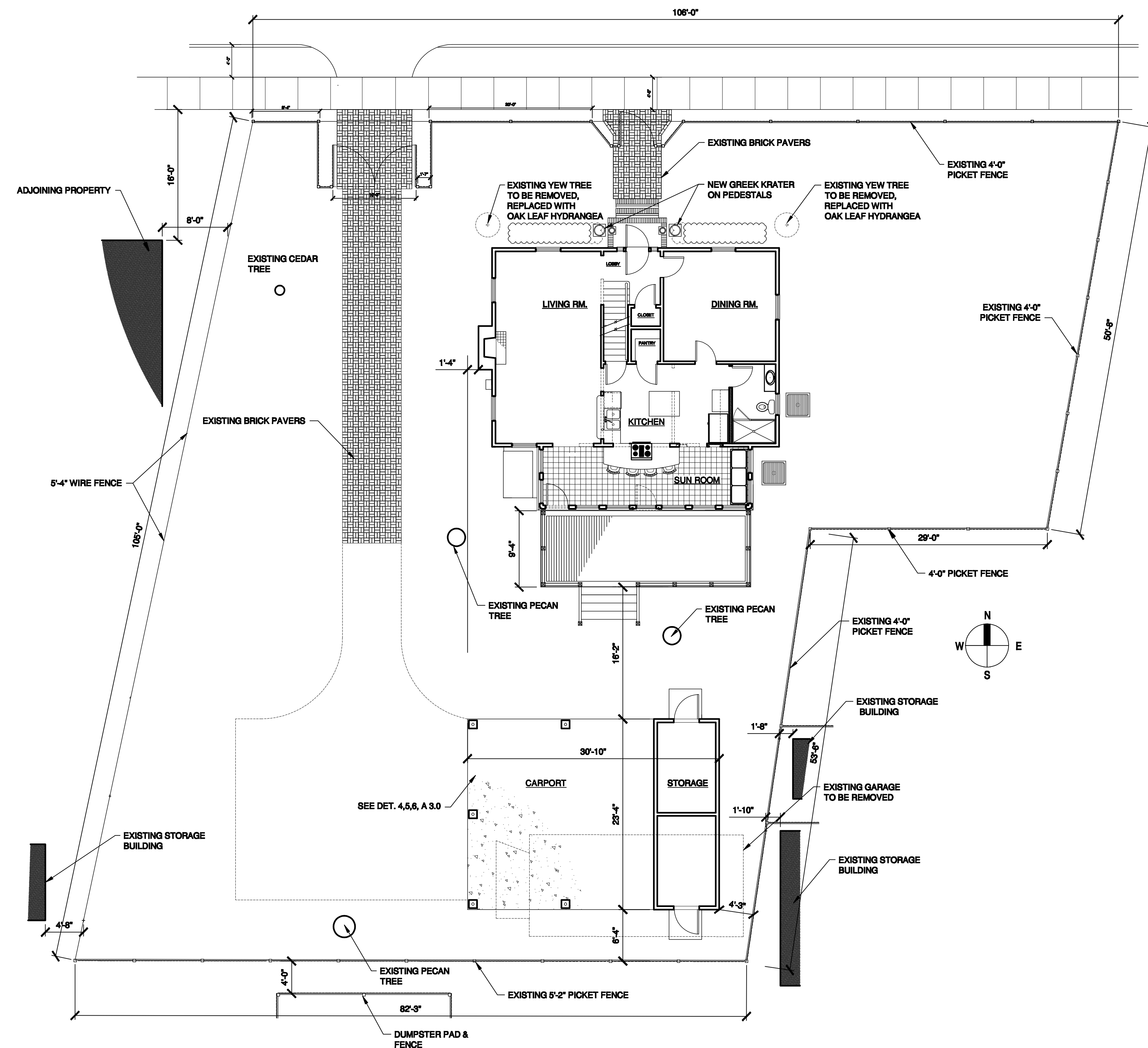
Drawing Number
Sheet where Drawing is Located



DESIGN NORTH



MAGNETIC NORTH



1
A 1.0
PROPOSED SITE PLAN - 609 NEW STREET
SCALE 1/8" = 1'-0"

PETERSON
ARCHITECTURE
+ PLANNERS, P.A.
ARCHITECTURE | PLANNING | DESIGN

PETERSON ARCHITECTURE + PLANNERS, P. A.
P.O. BOX 507 NEW BERN, NORTH CAROLINA 28563
PHONE: (252) 637-6782 FAX: (252) 637-6581

© COPYRIGHT 2020 PETERSON ARCHITECTURE + PLANNERS, P.A.

PROJECT TITLE

PROPOSED RENOVATION FOR
MR. DAVID EUDY and ELLEN SHERIDAN

NEW BERN

CRAVEN COUNTY

NO.	REVISION	DATE	DCC NO.

SEAL

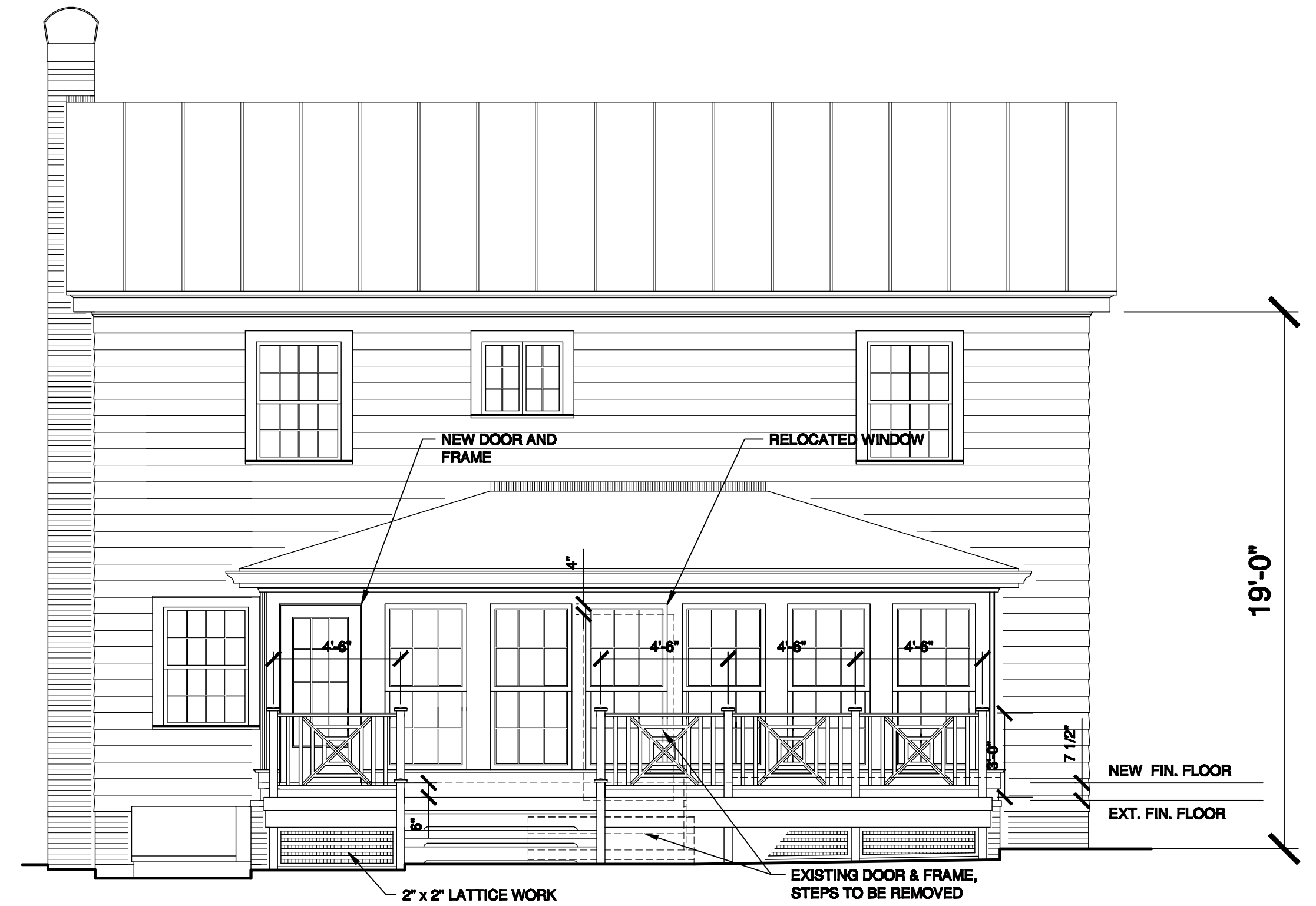
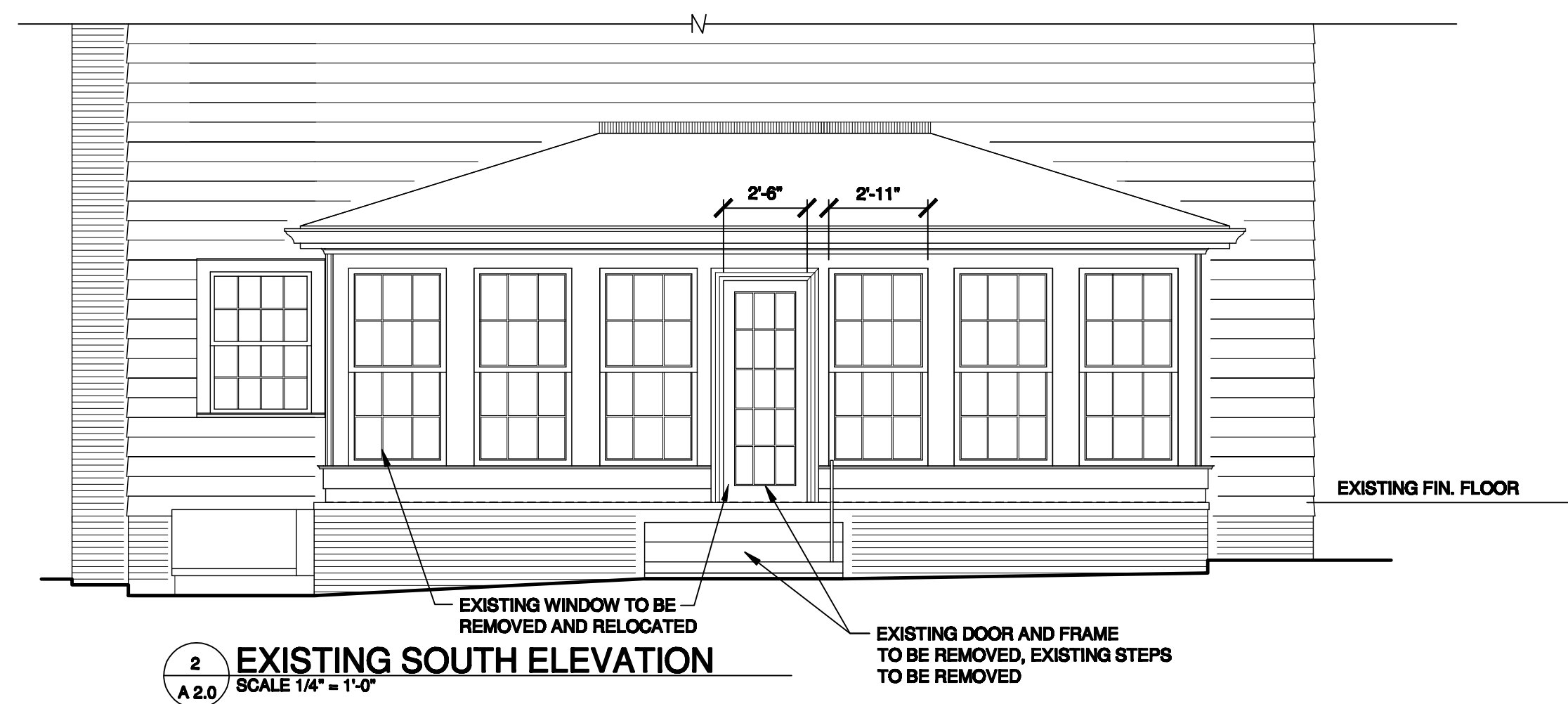
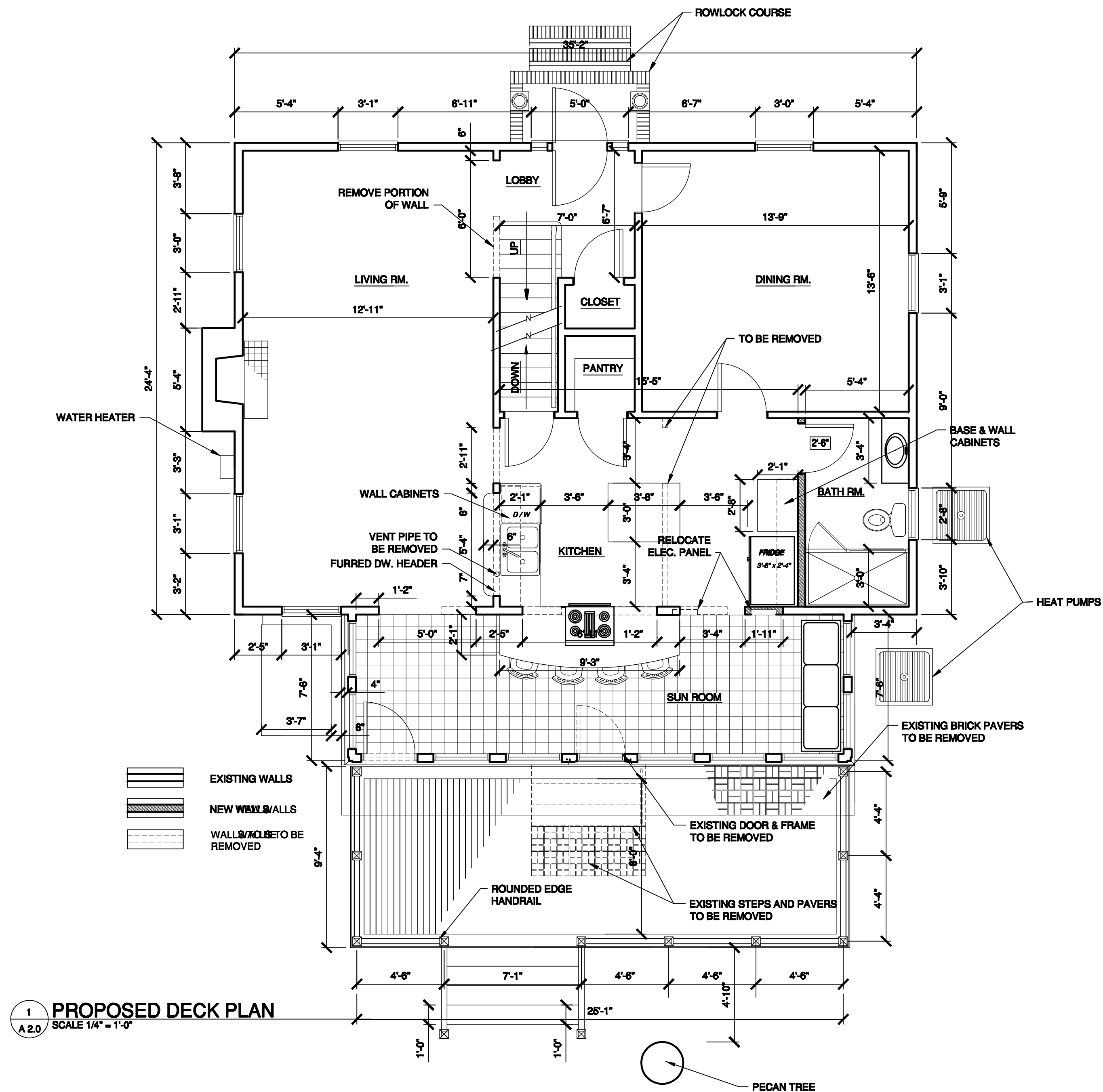
DATE: 04.01.2020

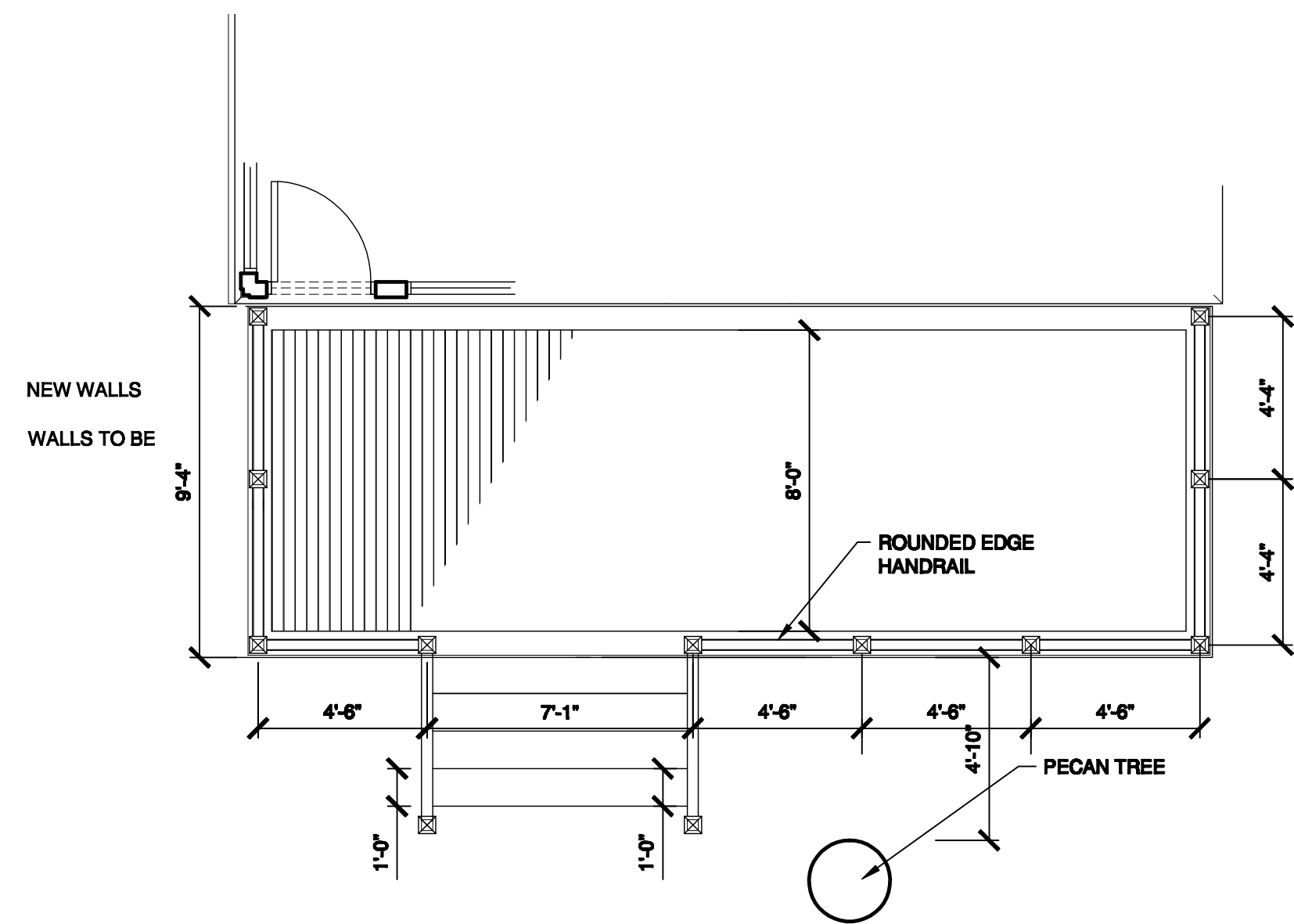
COMMISSION
NO. 03-20-1492
DRAWN BY

SHEET NO.

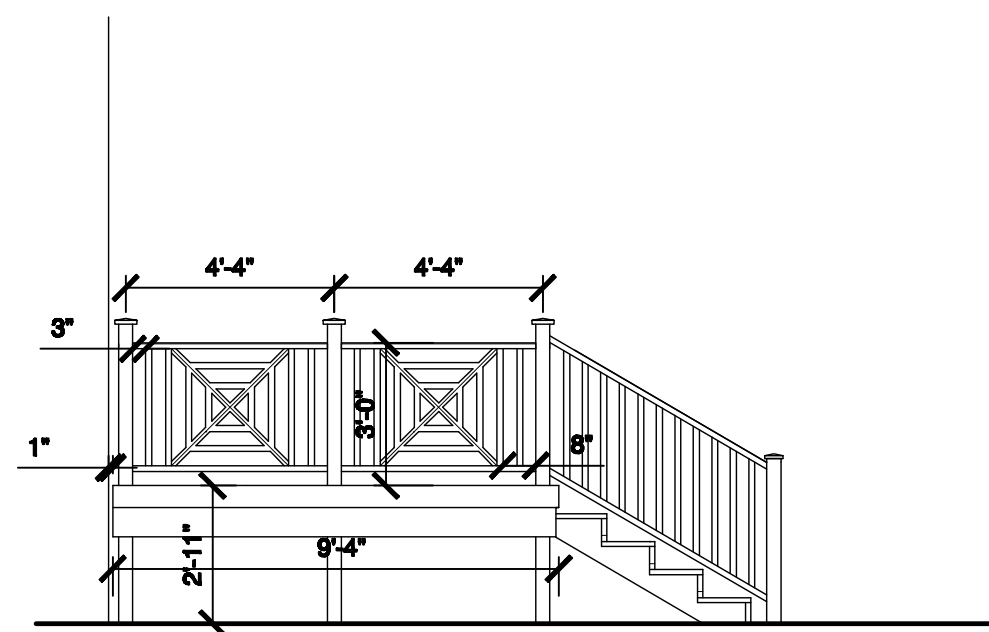
A1.0

GWP OF 3

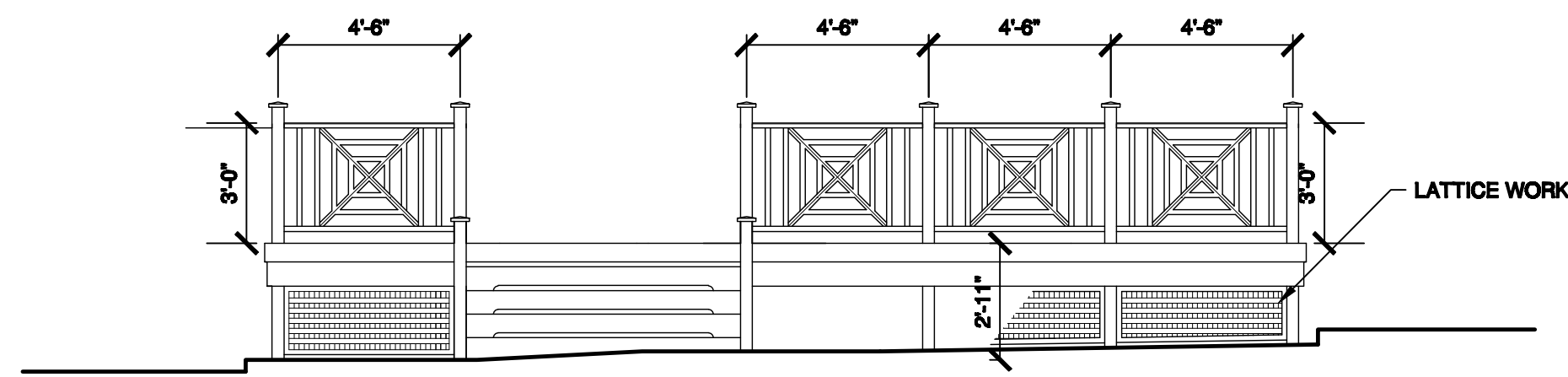




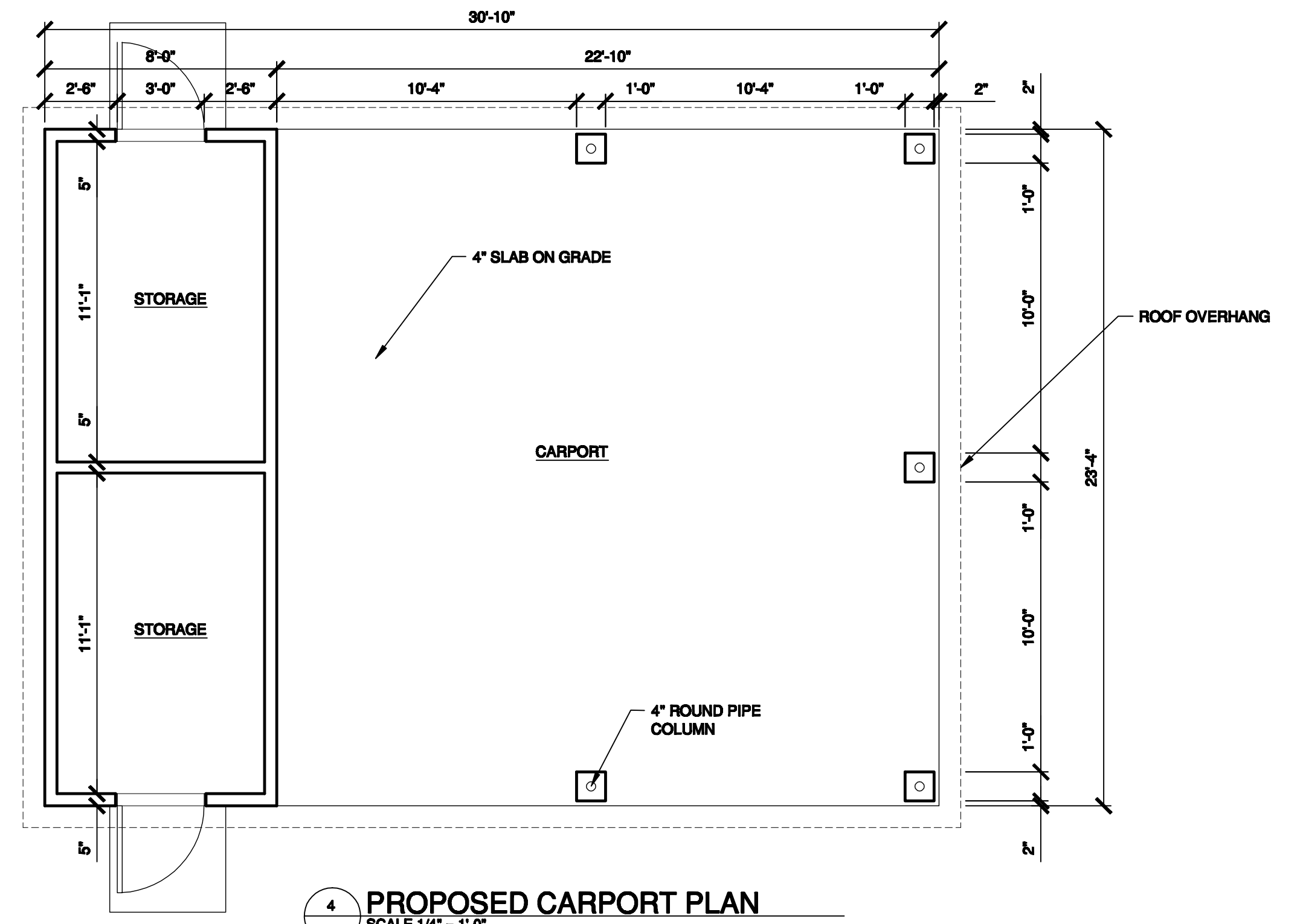
1 PROPOSED DECK PLAN
SCALE 1/4" = 1'-0"



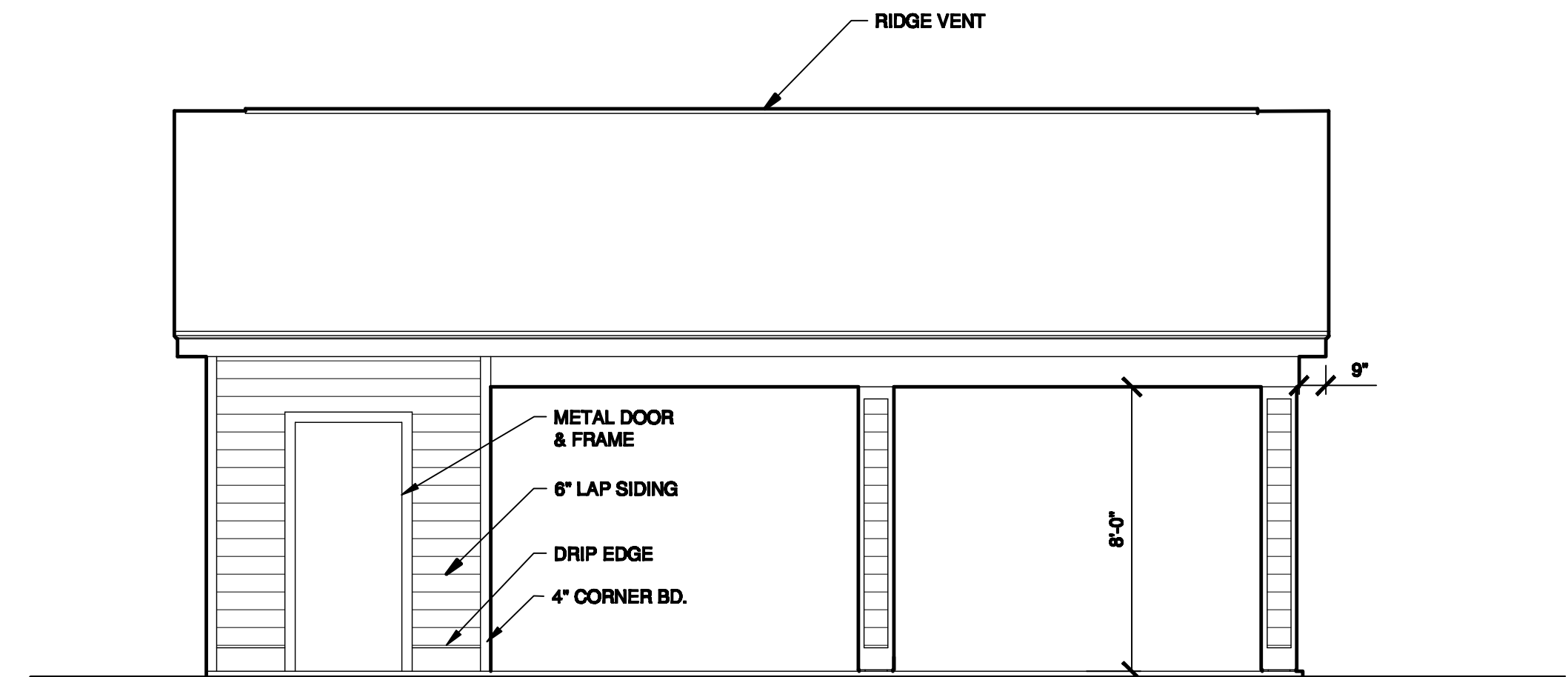
2 PROPOSED WEST ELEVATION
SCALE 1/4" = 1'-0"



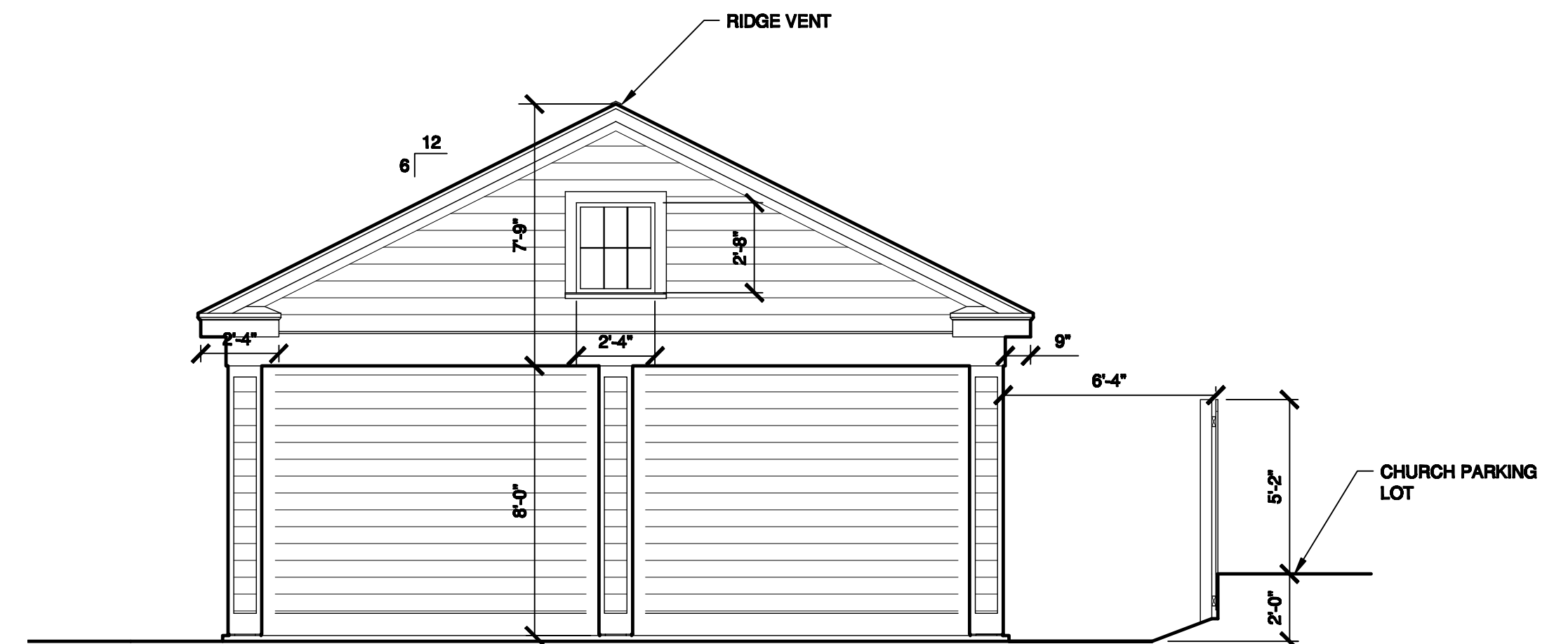
3 PROPOSED SOUTH ELEVATION
SCALE 1/4" = 1'-0"



4 PROPOSED CARPORT PLAN
SCALE 1/4" = 1'-0"



5 PROPOSED NORTH ELEVATION
SCALE 1/4" = 1'-0"



6 PROPOSED WEST ELEVATION
SCALE 1/4" = 1'-0"



609 New St. – photos of rear and rear door





609 New St. – Garage photos – supplemental info 2020-07-13







Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 609 New St. – replacement of rear steps with new deck and railing; switch a window and exterior door; new carport with storage; driveway; replace two Yew trees with Hydrangeas and add two new vases on pedestals.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-8

Required Setbacks (primary structure): Front Sim. Side 5' Rear 6'

Accessory Setbacks: From Nearest Structure 8' Side 3' Rear 3'

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: 50'

Required Site Improvements: Landscaping N/A Buffer Parking

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets X Does Not Meet the requirements of the Land Use Ordinance.

Comments:

Must meet required setbacks

Zoning Administrator [Signature] 7/10/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will X Will Not require a building permit(s).

Comments:

Chief Building Inspector [Signature] 7/10/20

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - July 2020

Applicant: Ellen Sheridan/Gary Peterson

Applicant Address: 704 E. Front St., New Bern, NC 28562

Project Address: 609 New St., New Bern, NC 28560

Historic Property Name: Sibley House

Status: **Contributing:** **X** **Non-contributing:**

NR Inventory Description (2003): 1939; Colonial Revival style; two stories; three bays wide, two bays deep; eight-over-eight sash; casement window in left bay of east elevation; central front door and semi-elliptical transom sheltered by peak-roofed entrance porch supported by Tuscan columns; plain-edge siding, corner boards; metal-clad gable-end roof; exterior end chimney with stepped shoulders. Round-top picket fence encloses grounds.

Sandbeck Description (1988): N/A

609 New St. - to include in the Tertiary AVC replacement of rear steps with new deck and railing, switch a window and exterior door, remove existing garage, install a new carport and storage accessory structure and driveway; and in the Primary AVC replace two Yew trees with Oak Leaf Hydrangeas and add two new Greek krater (vases) on pedestals.

Staff submits the following Historic District Guidelines are appropriate to this application:

Landscaping

2.4.3 Use plant materials that are indigenous to the historic districts. It is not appropriate to use contemporary edging materials such as landscaping timbers or plastic borders.

Parking

2.7.1 Confine driveways on narrow lots to the Secondary AVC.

2.7.2 Use driveways to access off street parking areas located in the Tertiary AVC. Areas for vehicular use shall not exceed more than 50% of the rear yard.

2.7.4 Contain loose paving materials within masonry, concrete, steel, or similar types of fixed edging. It is not appropriate to use contemporary drive and parking edging materials such as landscape timbers or plastic borders.

Accessory Structures

2.6.1 Locate accessory structures in Secondary or Tertiary AVCs, and behind primary structures when possible. Accessory structures are to be secondary to the primary structure in regard to mass, scale, form, and texture.

2.6.2 It is appropriate for outbuildings, and similar structures with substantial foundations, to have a similar form and detailing as the primary structure. Reduce these elements in scale to compliment the outbuilding massing, and incorporate less ornate and simpler elements than found on the primary structure.

Walls, Trim, and Ornamentation

4.2.1 Adhere to Guidelines for retention of historic fabric when altering wall components.

4.2.4 Incorporate wood trims and articulate masonry appropriately for the application. Primary structures are generally more ornate and detailed. Accessory structures are generally subordinate to the primary structure and have minimal ornamentation, if any, and simplified details.

Decks and Patios

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - July 2020

- 4.6.2 Locate decks in Secondary and Tertiary AVCs, and screen the underside with shrubbery, fencing, lattice, or masonry.
- 4.6.3 Structurally separate decks to allow removal without damaging the historic structure.

Paint

- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.4 Consider using opaque stain in lieu of paint on porch flooring, deck flooring and similar wood surfaces exposed to foot traffic.

Contemporary Materials

- 5.5.1 In general, contemporary material shall match the dimension, shape and texture of their counterparts commonly found in the historic districts.
- 5.5.2 Use contemporary and nontraditional materials in traditional ways. Apply materials in a traditional manner that conveys the same visual appearance as historic materials.
- 5.5.3 Contemporary and nontraditional materials should convey appropriate historic material characteristics, and will be evaluated on a case-by-case basis for appearance, dimension, texture, color, sheen, visual weight, and similar characteristics.
- 5.5.5 Cement board with a smooth finish is acceptable as the predominant siding material for infill construction and non-historic accessory structures.
- 5.5.6 Contemporary materials such as synthetic slate and fiberglass asphalt shingles are acceptable for sloped roofing regardless of building age. Select fiberglass asphalt shingles from a darker color palette. Contemporary membrane and roll roofing are acceptable for low-sloped roofs with a 1 inch per foot pitch or less regardless of building age.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

- 1. The project is located within the Primary and Tertiary AVCs;
- 2. The proposed modifications do not conceal, damage, or remove significant design components or architectural features;
- 3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
- 4. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application to include in the Tertiary AVC replacement of rear steps with new deck and railing, switch a window and exterior door, remove existing garage, install a new carport and storage accessory structure and driveway; and in the Primary AVC replace two Yew trees with Oak Leaf Hydrangeas and add two new Greek krater (vases) on pedestals, citing the aforementioned guidelines.

FEE SCHEDULE (office use only)

- ☐ \$22 Standard Application (minor)
☒ \$107 Standard Application (major)



HPC Administrator
HPCadmin@newbern-nc.org

Work: (252) 639-7583

Fax: (252) 636-2146

Application for a Certificate of Appropriateness
(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☒ Exterior Alteration ☒ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:

Property Address (Include year built, if known): 532 Queen Street

Property Owner Name(s): Jack & Karla Griffin	Owner Mailing Address: 532 Queen Street New Bern, NC 28560	Phone #'s: 610-297-0587	Email: jackgriffith50@outlook.com
Applicant Name (if different): GO Architectural Design, PLLC Sarah Afflerbach, AIA	Applicant Mailing Address: 1202A Pollock Street New Bern, NC 28560	Phone #'s: 252-633-0322	Email: sarah@goarchdesign.com

II. Project Information: *(See "CoA Instructions" & "Historic Guidelines" for help in completing this section)*

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

Create new brick masonry low wall and patio and new accessory storage shed.

Continued on additional sheet or attached brochure ☐

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

Accessory Structures 2.6.1-3 Foundations 4.1.1-4 Walls, Trim & Ornamentation 4.2.1-4 Windows 4.3.1-3 Roofs 4.5.1
 Decks & Patios 4.6.1-4 Masonry 5.1.1-6 Wood 5.2.1-5.2.2 Paint 5.4.1-9

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

Brick masonry, painted wood siding, painted wood windows with 3D grilles inside and out, wood door, asphalt shingles.

Continued on additional sheet or attached brochure ☐

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

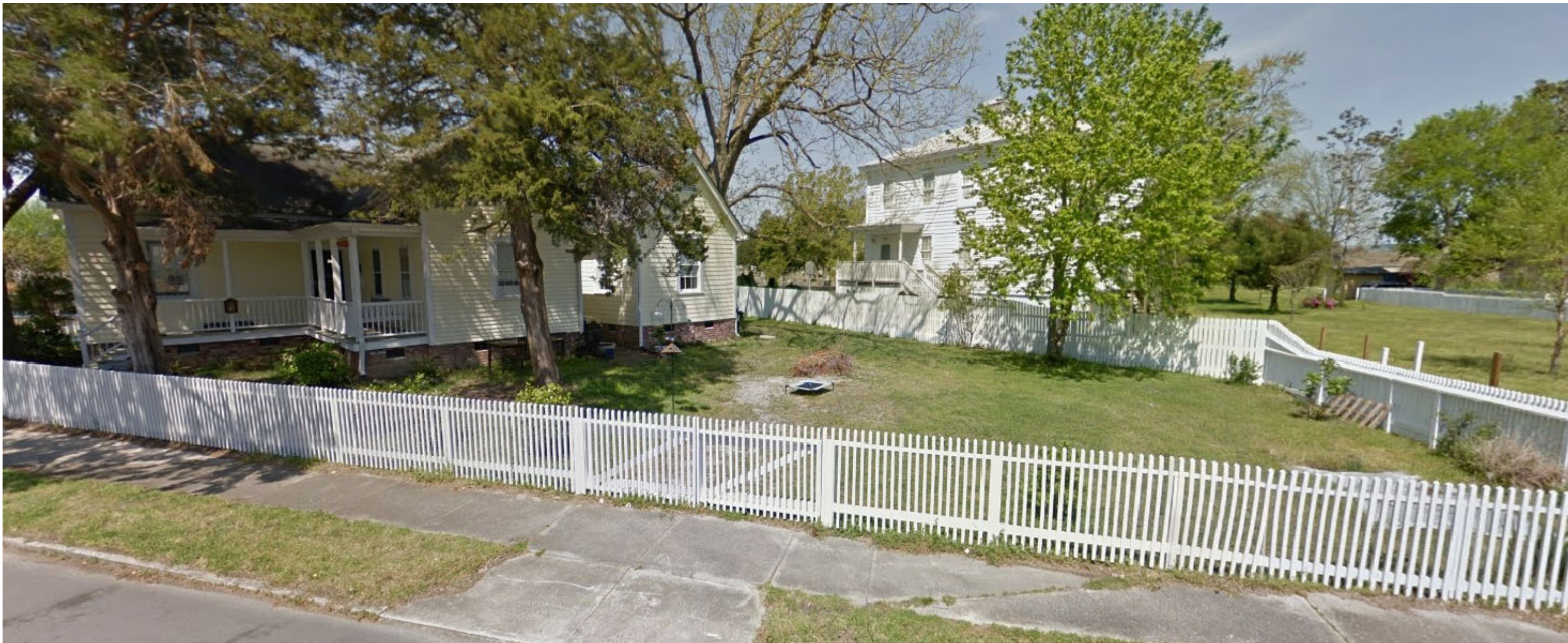
- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.

Sarah Affleck
Signature of Applicant/Owner

6/29/20
Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT.
THESE PLANS CONTAIN PROPRIETARY INFORMATION OF
GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT
TO FEDERAL COPYRIGHT AND OTHER APPLICABLE
FEDERAL AND STATE PROPERTY, TRADE AND RELATED
LAWS. THESE PLANS, INCLUDING THE INFORMATION
CONTAINED WITHIN, SHALL NOT BE SHARED,
REPRODUCED, DISTRIBUTED OR USED IN ANY WAY
WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.
ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION
OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL
PROSECUTION AND PENALTIES.

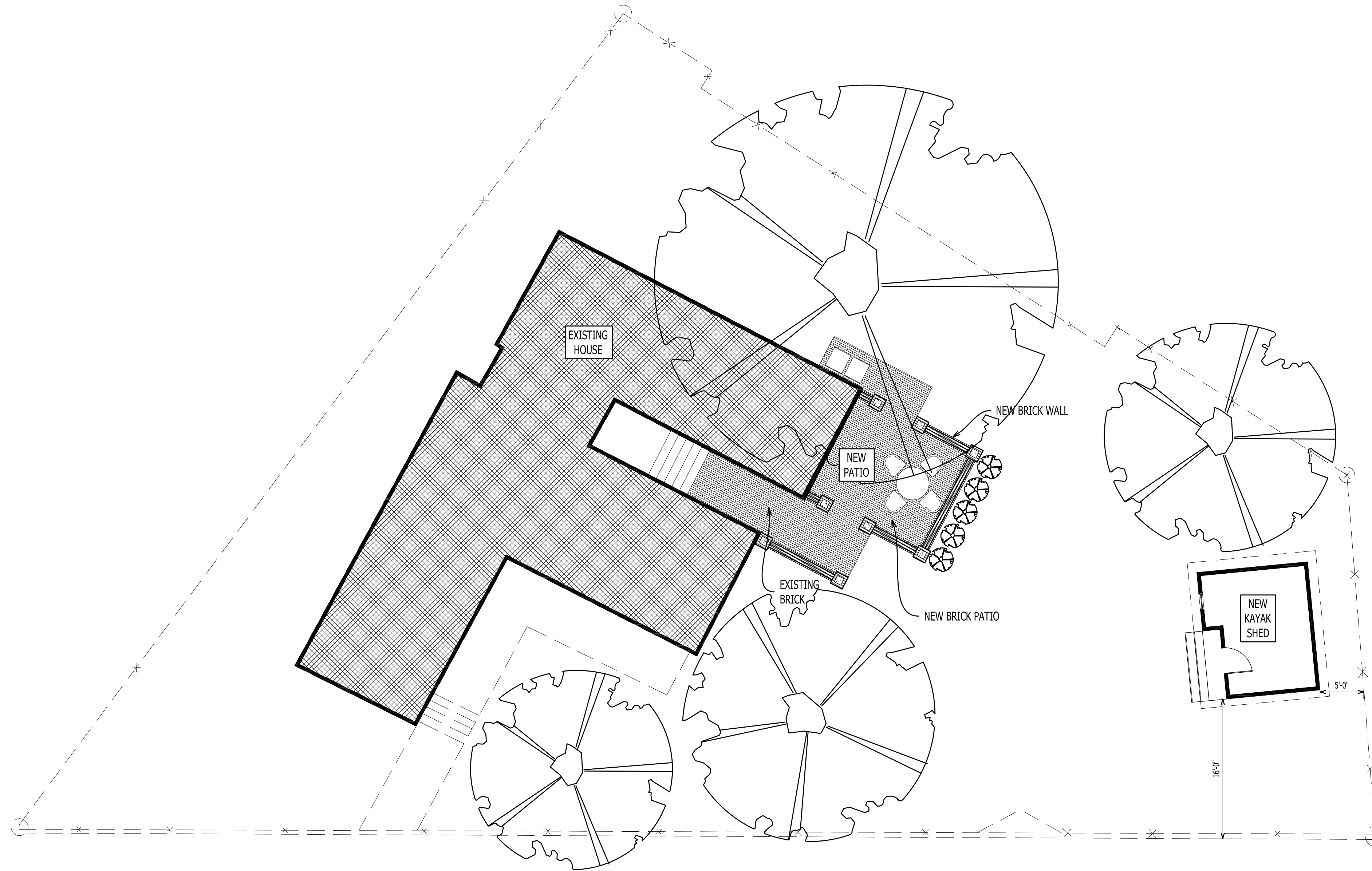
Date: 07.05.2020

Revisions:

GRIFFIN RENOVATION

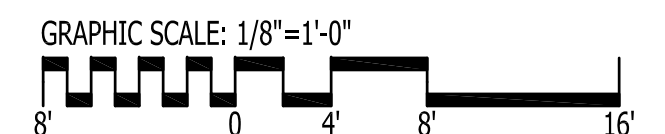
532 QUEEN STREET, NEW BERN, NC 28560

PHOTO
SITE PHOTOS
12 X 18 SHEETS ARE HALF SIZE



1
C-101

SITE PLAN
Scale: 1/8" = 1'-0"



IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.

Date: 07.05.2020

Revisions:

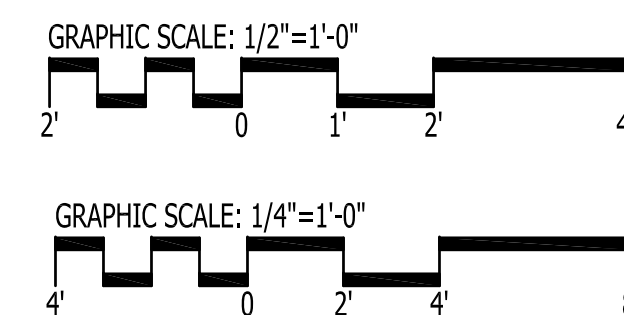
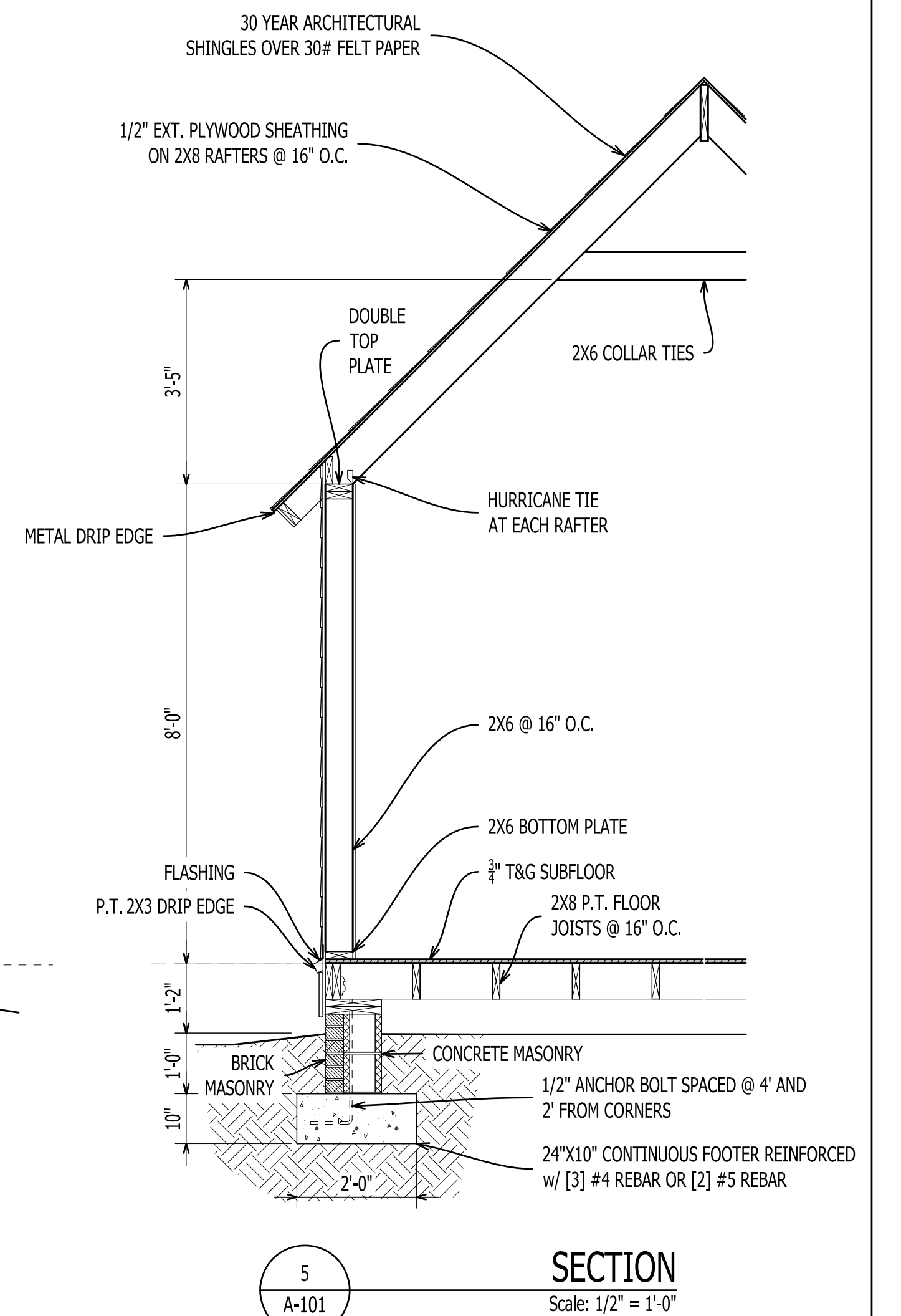
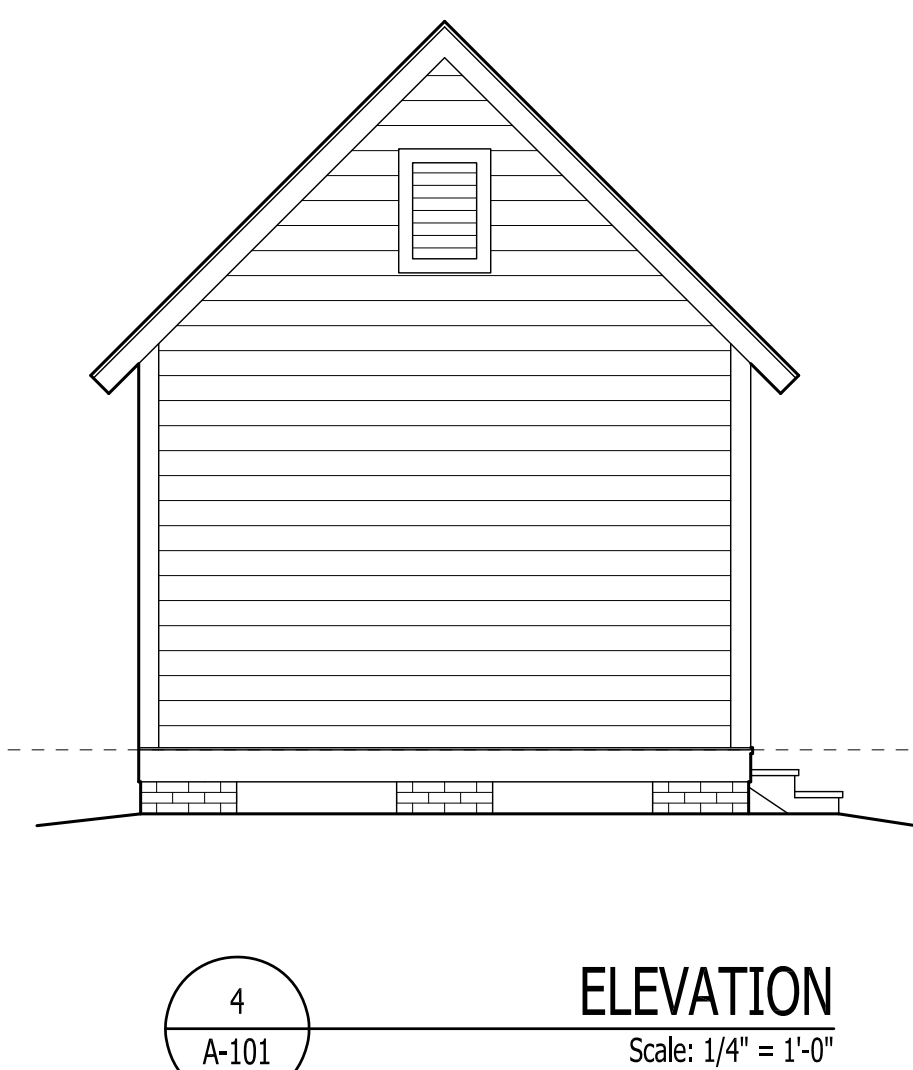
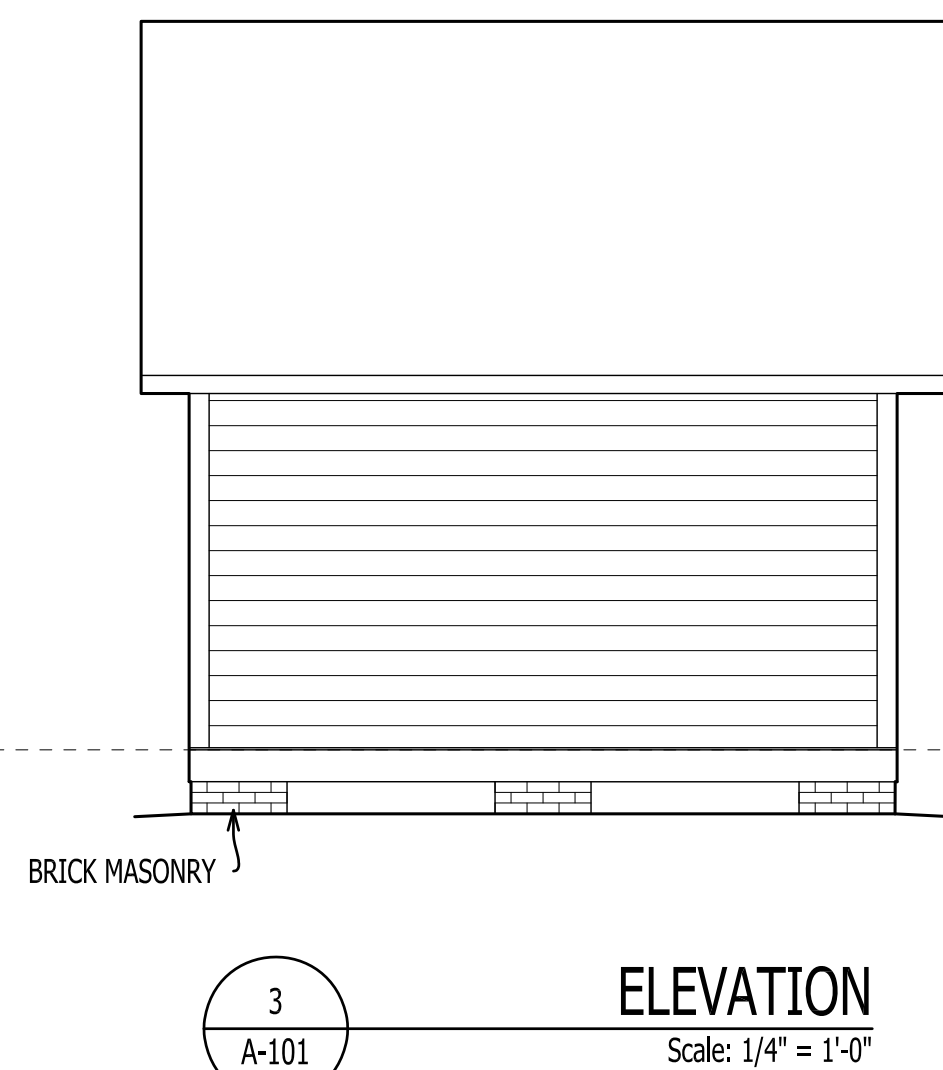
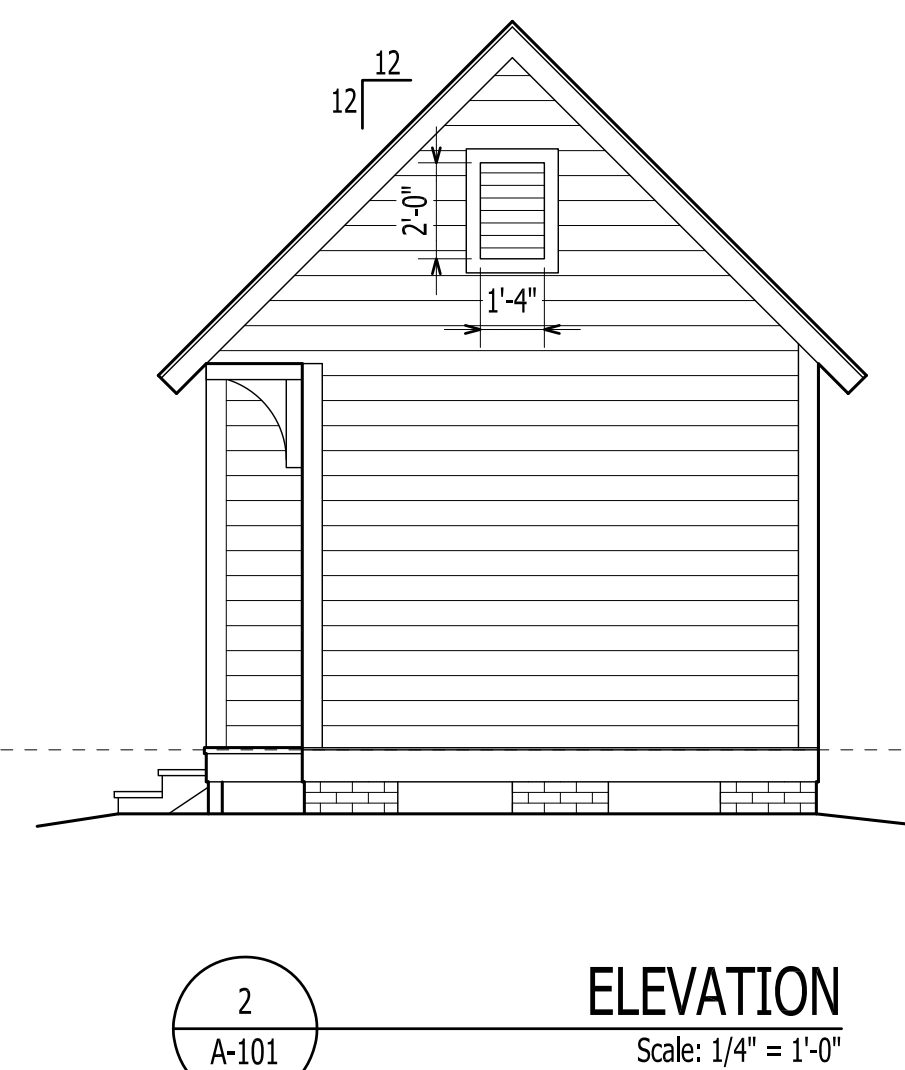
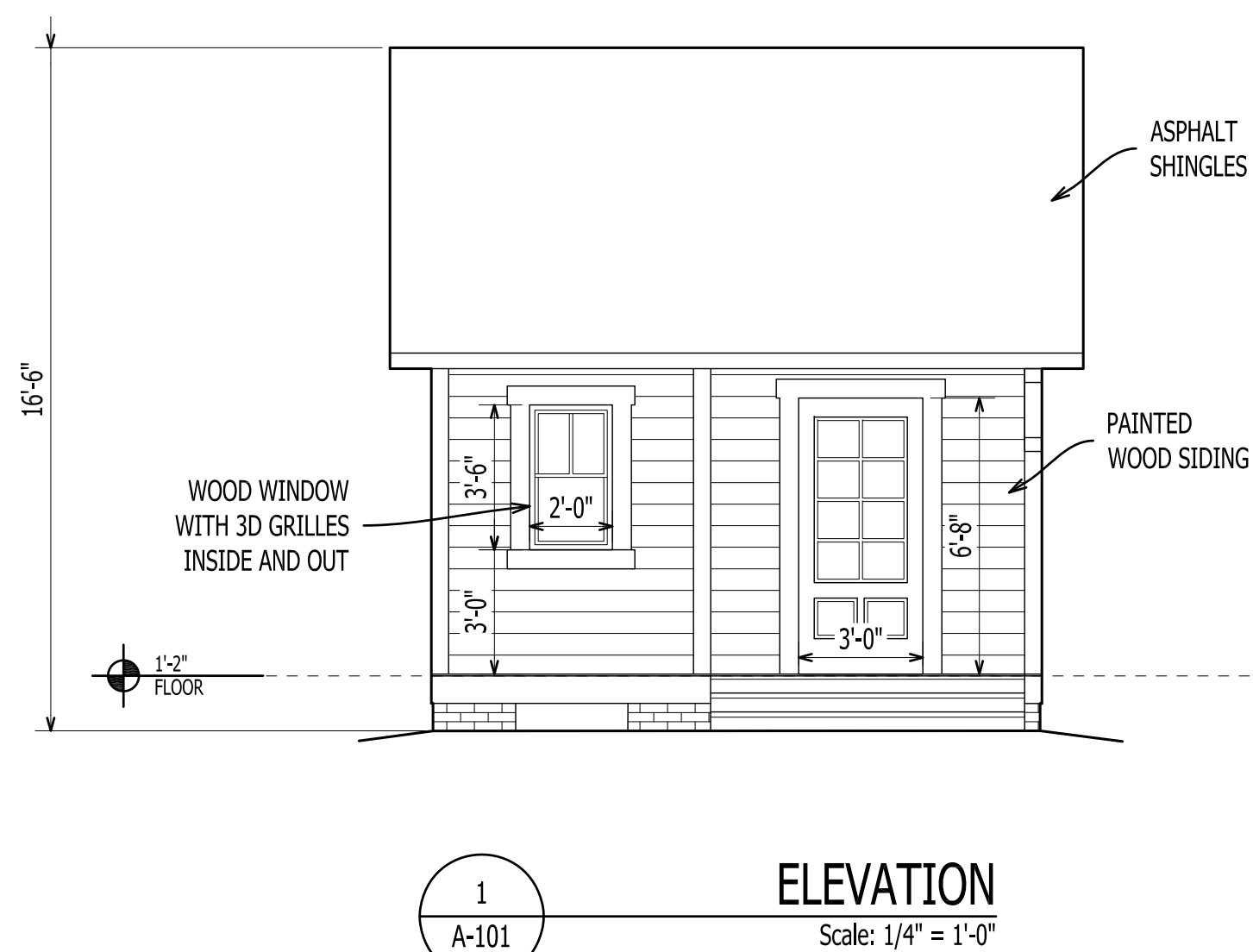
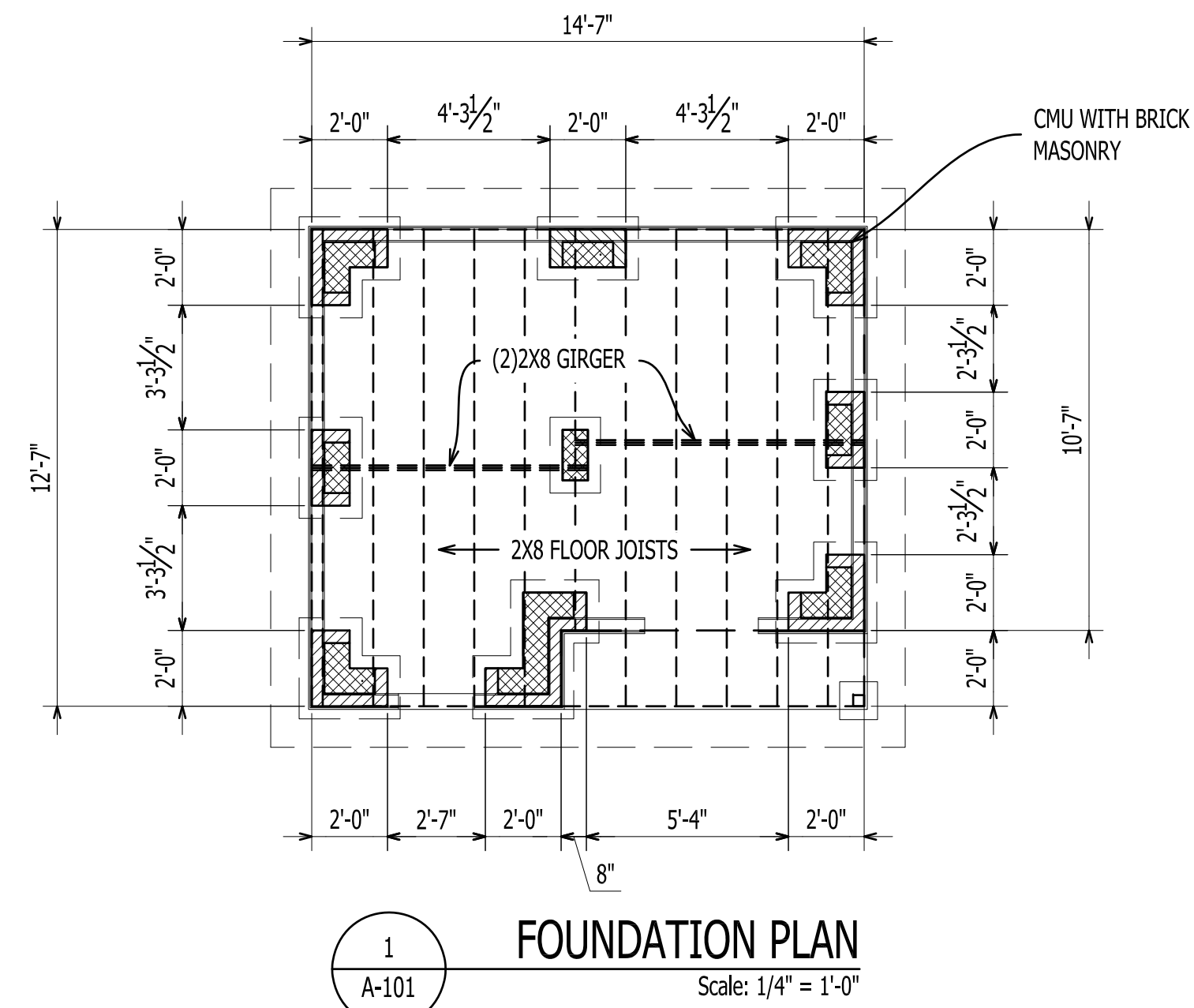
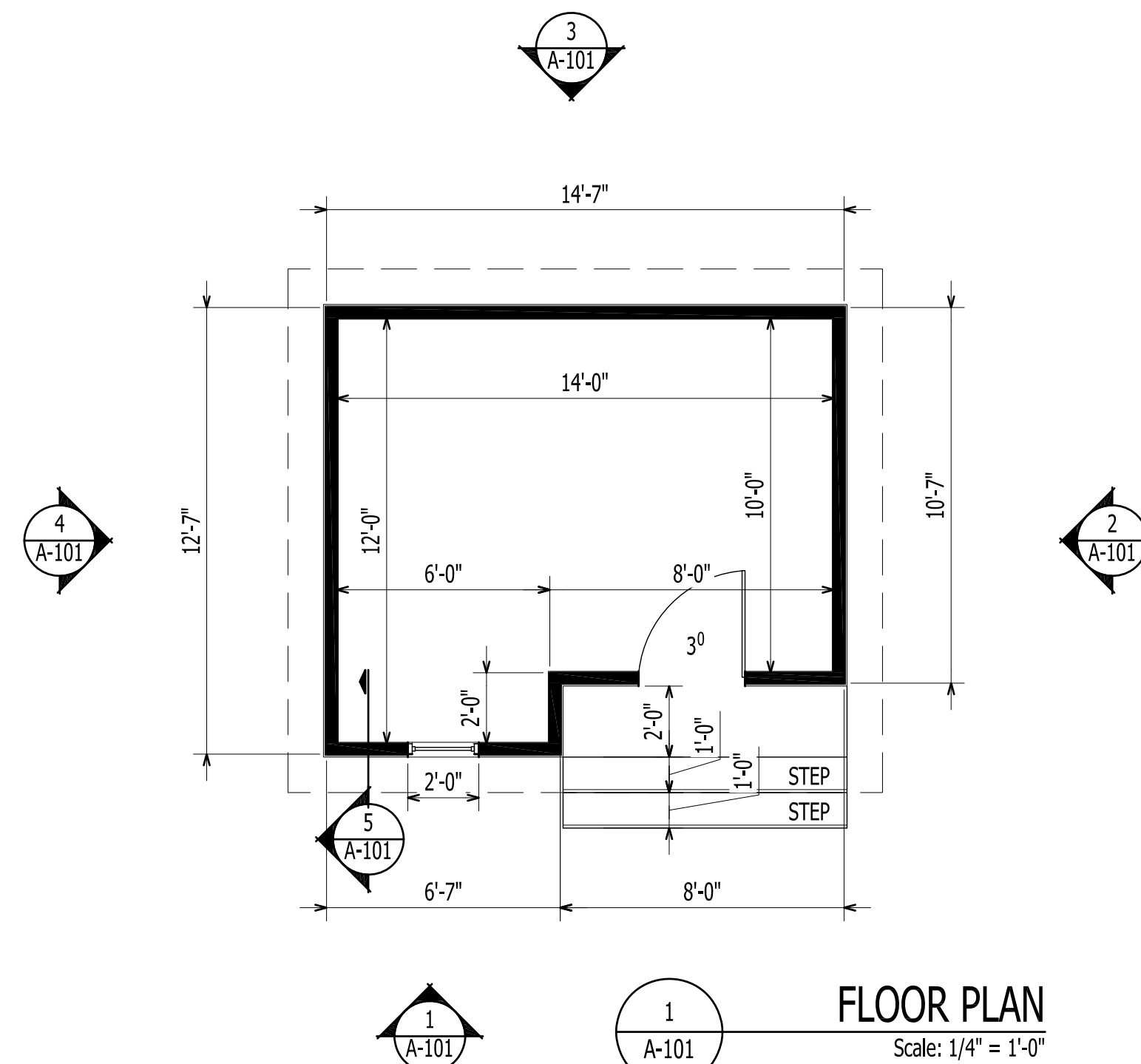
GRIFFIN RENOVATION

532 QUEEN STREET, NEW BERN, NC 28560

C-101

SITE PLAN

12 X 18 SHEETS ARE HALF SIZE



IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.

Date: 07.05.2020

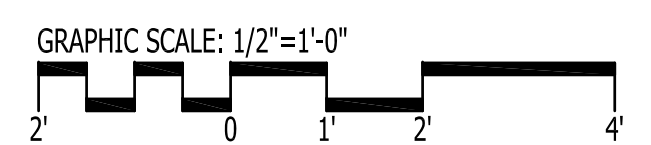
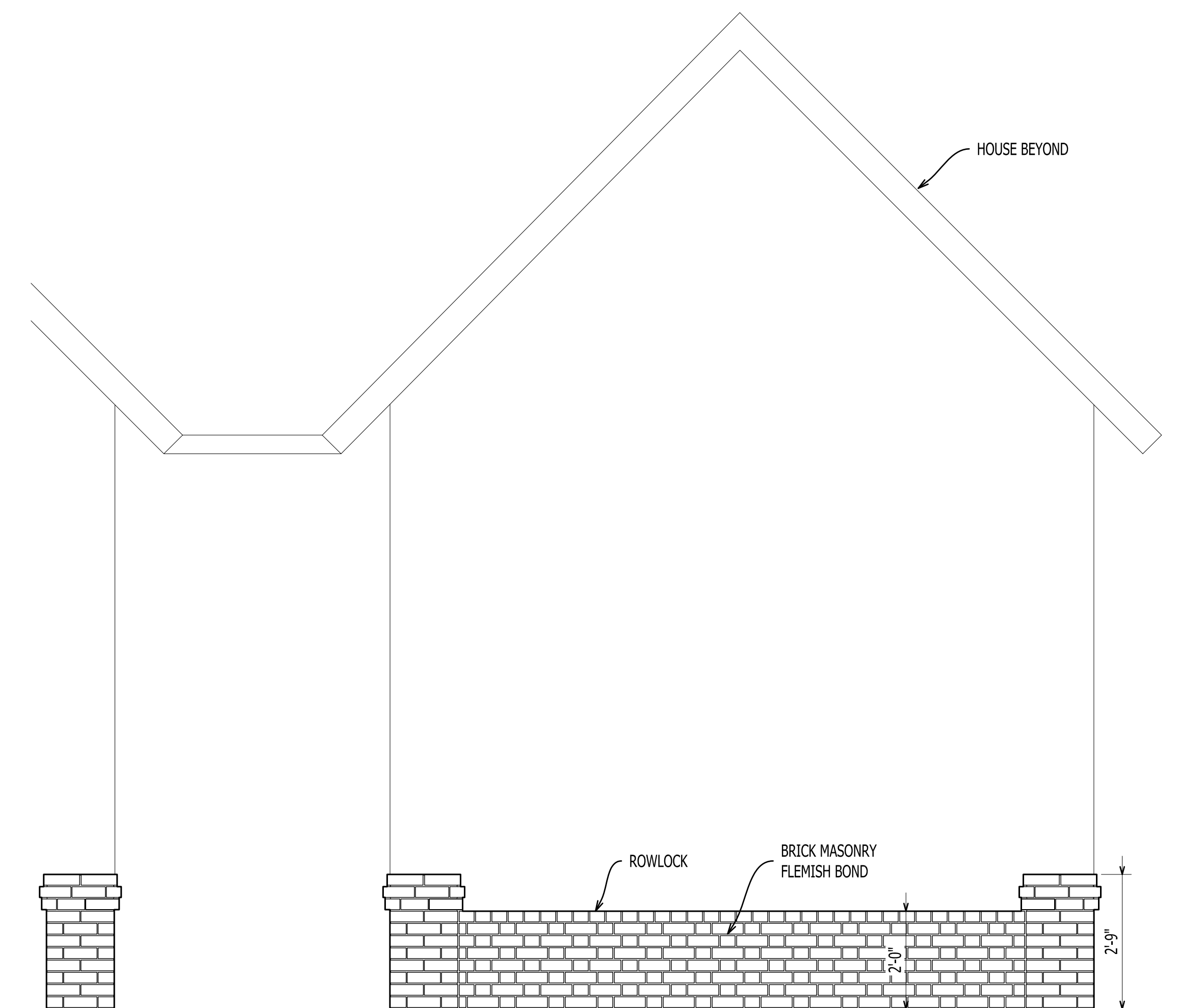
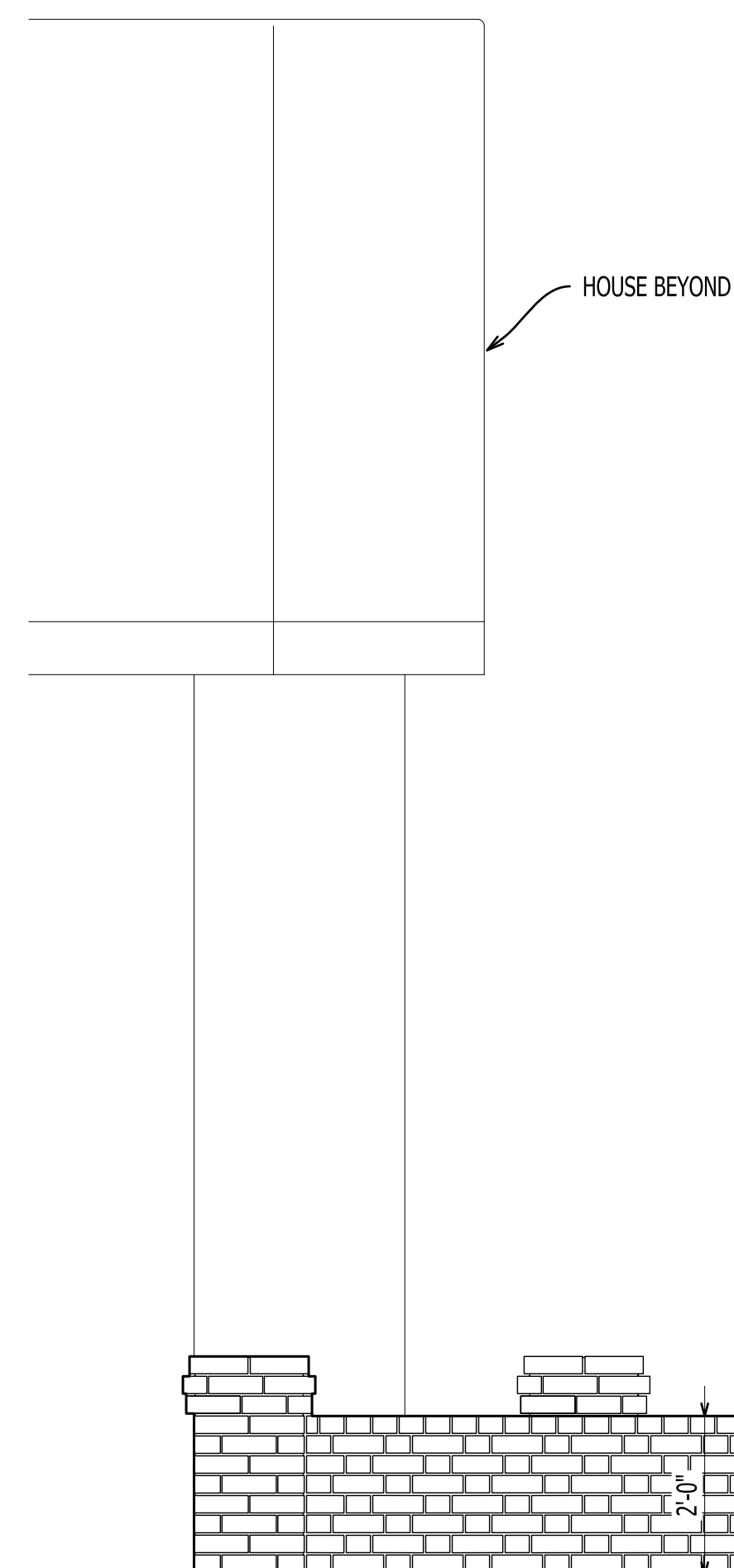
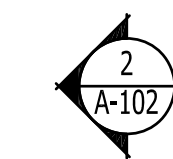
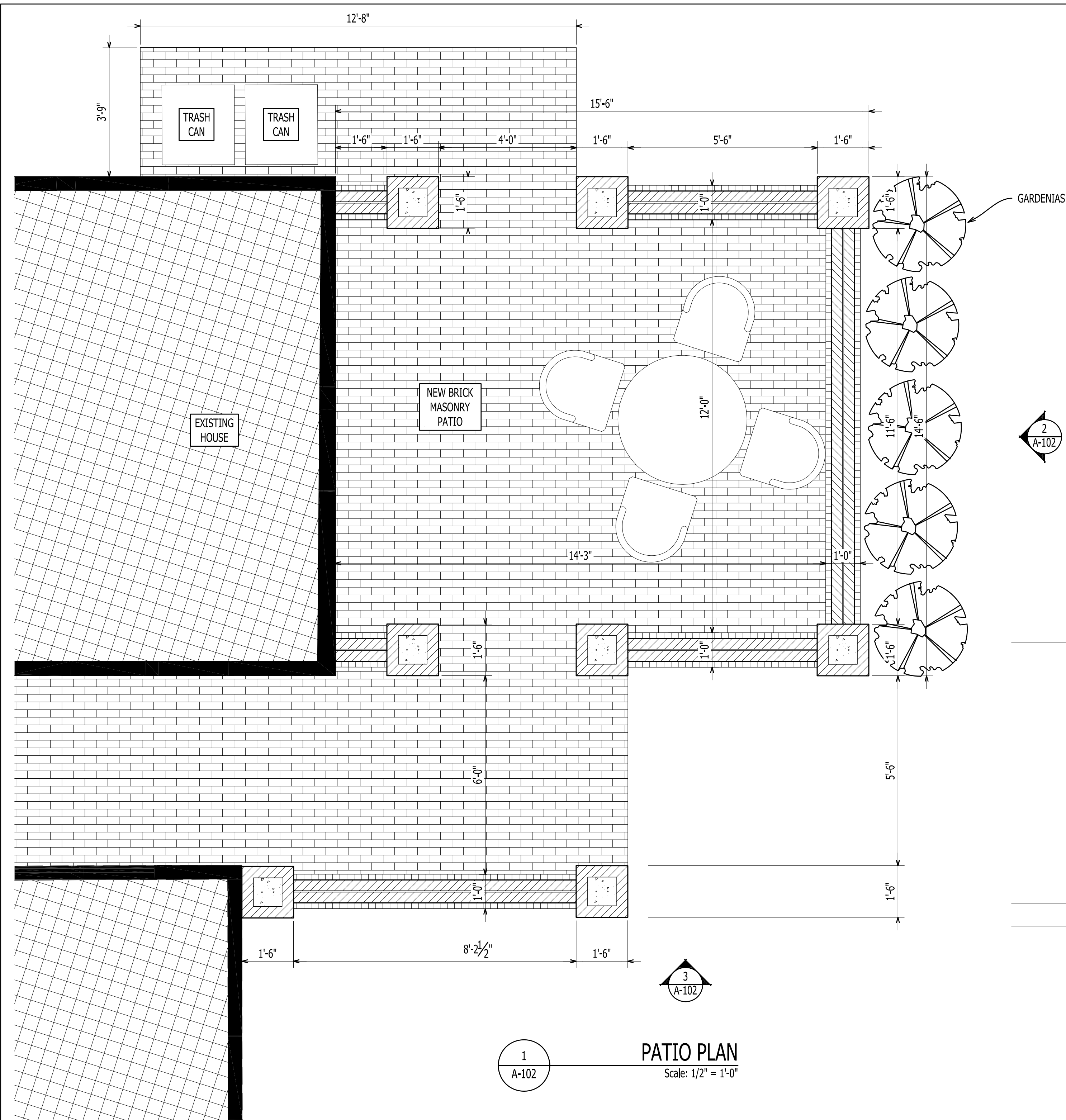
Revisions:

GRIFFIN RENOVATION
532 QUEEN STREET, NEW BERN, NC 28560

A-101

FLOOR PLANS

12 X 18 SHEETS ARE HALF SIZE



IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

C O P Y R I G H T N O T E :

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.

Date: 07.05.2020

Revisions:

GRIFFIN RENOVATION
 532 QUEEN STREET, NEW BERN, NC 28560

A-102

PATIO PLANS AND ELEVATIONS

12 X 18 SHEETS ARE HALF SIZE



Aldermen

Sabrina Bengel
Jameesha S. Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham

CITY OF NEW BERN

300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Dana E. Outlaw
Mayor

Mark A. Stepien
City Manager

Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION

Dear Sir or Madame:

I am the owner of the property located at:

532 Queen Street New Bern, NC 28560
(address, city, zip code)

I hereby authorize GO Architectural Design, PLLC to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

Karla E. Griffith Phone 610-405-7024

Karla E. Griffith
Owner's Signature

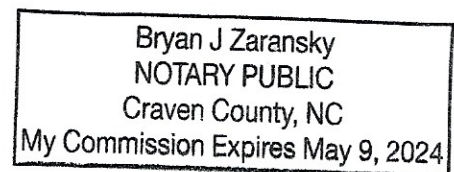
Karla E. Griffith
Print Name

6/15/2020
Date

Sworn to and subscribed before me this 15th day of June, 2020.

Bryan J. Zaransky
Notary Public:

My commission expires: 05/09/2024





Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 532 Queen St. – a new brick patio; new, low, brick wall; and a new accessory structure with painted wood siding, wood windows and door, and asphalt roofing shingles.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-8

Required Setbacks (primary structure): Front Sim. Side 5' Rear 6'

Accessory Setbacks: From Nearest Structure Prim. 8' Side 3' Rear 3'

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: 50'

Required Site Improvements: Landscaping N/A Buffer Parking

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet ☐ the requirements of the Land Use Ordinance.

Comments:

Must meet required setbacks

Zoning Administrator M. M. M. 7/10/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will ☒ Will Not ☐ require a building permit(s).

Comments:

Chief Building Inspector M. M. M. 7/10/20

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - July 2020

Applicant: Jack & Karla Griffith/GO Architectural Design, PLLC

Applicant Address: 532 Queen St., New Bern, NC 28560

Project Address: 532 Queen St., New Bern, NC 28560

Historic Property Name: Lawrence Davis House

Status: **Contributing:** X **Non-contributing:**

NR Inventory Description (2003): 1900; One story; L-plan; six bays wide, three bays deep; six-over-six sash; hip-roofed porch across north and east elevations; square posts, brackets; entrances in right bay of east elevation; door, window, door, window arrangement in north elevation; asbestos siding*; gabled roofs with arched windows*, hoods*; later gable dormer in east roof slope*; one-story rear wing*.

* = Staff note: removed by 2007

Sandbeck Description (1988): N/A

532 Queen St. - to include a new brick patio; new, low, brick wall; and a new accessory structure with painted wood siding, wood windows and door, and asphalt roofing shingles in the Secondary AVC.

Staff submits the following Historic District Guidelines are appropriate to this application:

Landscaping

2.4.3 Use plant materials that are indigenous to the historic districts. It is not appropriate to use contemporary edging materials such as landscaping timbers or plastic borders.

Fences and Garden Walls

2.5.1 Fences and walls based on historic designs are encouraged. Incorporate materials and configurations that relate to the architecture of the principal structure on the site. Use fences and walls to demarcate property lines and screen private areas.

2.5.3 In Secondary and Tertiary AVCs, erect tall fences and walls with a vertical dimension of six feet or less. Tall fences that abut a structure shall terminate at an architectural feature. Transition low fencing to taller fencing at an architectural feature.

Accessory Structures

2.6.1 Locate accessory structures in Secondary or Tertiary AVCs, and behind primary structures when possible. Accessory structures are to be secondary to the primary structure in regard to mass, scale, form, and texture.

2.6.2 It is appropriate for outbuildings, and similar structures with substantial foundations, to have a similar form and detailing as the primary structure. Reduce these elements in scale to compliment the outbuilding massing, and incorporate less ornate and simpler elements than found on the primary structure.

2.6.3 Accessory structures such as sheds, gazebos, pergolas, arbors, trellises, and similar types of site improvements with minimal foundations are to serve as focal points within rear yard landscapes. These forms and detailing have little relationship to historic fabric and can be easily removed without creating permanent damage.

Foundations

4.1.3 Use traditional materials when constructing foundations. Concrete block should receive a veneer of stucco, brick, or other appropriate masonry material.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - July 2020

Walls, Trim, and Ornamentation

- 4.2.4 Incorporate wood trims and articulate masonry appropriately for the application. Primary structures are generally more ornate and detailed. Accessory structures are generally subordinate to the primary structure and have minimal ornamentation, if any, and simplified details.

Windows, Doors, and Openings

- 4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.

Decks and Patios

- 4.6.4 Construct low profile decks and patios that eliminate requirements for handrails and excessive screening.

Masonry

- 5.1.2 Match the masonry bond, or pattern, of masonry materials found in adjoining work. In general, new material should be the same size, color, and texture of that existing.
- 5.1.5 Provide a veneer of brick, stucco, or other appropriate material over concrete masonry units. Architectural concrete masonry units such as rusticated, split face or similar types may be substituted for stone masonry construction.

Paint

- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on porch flooring, deck flooring and similar wood surfaces exposed to foot traffic.

Contemporary Materials

- 5.5.6 Contemporary materials such as synthetic slate and fiberglass asphalt shingles are acceptable for sloped roofing regardless of building age. Select fiberglass asphalt shingles from a darker color palette. Contemporary membrane and roll roofing are acceptable for low-sloped roofs with a 1 inch per foot pitch or less regardless of building age.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is located within the Secondary AVC;
2. The proposed modifications do not conceal, damage, or remove significant design components or architectural features;
3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
4. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application to include a new brick patio; new, low, brick wall; and a new accessory structure with painted wood siding, wood windows and door, and asphalt roofing shingles in the Secondary AVC, citing the aforementioned guidelines.

FEE SCHEDULE (office use only)

- ☐ \$22 Standard Application (minor)
☐ \$107 Standard Application (major)



HPC Administrator
HPCadmin@newbern-nc.org
 Work: (252) 639-7583
 Fax: (252) 636-2146

Application for a Certificate of Appropriateness
(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:

Property Address (Include year built, if known):

Property Owner Name(s):

Owner Mailing Address:

Phone #'s:

Email:

Applicant Name (if different):

Applicant Mailing Address:

Phone #'s:

Email:

II. Project Information: *(See "CoA Instructions" & "Historic Guidelines" for help in completing this section)*

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

Continued on additional sheet or attached brochure ☐

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):
 Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

Continued on additional sheet or attached brochure ☐

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☐ Site plan (with annotated notes showing existing site and requested work)
- ☐ Photographs of the building and location where the proposed work will be completed
- ☐ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☐ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☐ I am the owner of the Property, or
- ☐ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.

Signature of Applicant/Owner

Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.

Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION

Dear Sir or Madame:

I am the owner of the property located at:

710 HOWARD ST., NEW BERN, N.C. 28560
(address, city, zip code)

I hereby authorize MBF ARCHITECTS / DARDEN EURE to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

NEW BERN PRESERVATION FOUNDATION Phone 252-633-6448

Frederick Samuel Smith
Owner's Signature

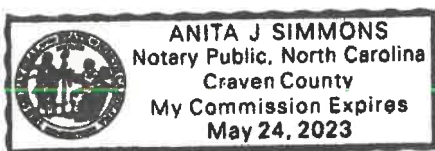
Frederick Samuel Smith
Print Name

7/13/2020
Date

Sworn to and subscribed before me this 13th day of July, 2020.

Anita J. Simmons
Notary Public.

My commission expires: May 24, 2023



United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section 7 Page 69 New Bern Historic District Additional Documentation
Craven County, NC

St#	Code	Inv#	Date	Description
<u>Queen Street, continued</u>				
416	C	513*	1910	<u>Union Station</u> . Brick; two stories; six bays wide, two bays deep; paired windows; interior chimneys; flanking one-story, hip-roofed wings; Cast-iron and wood canopies shelter remaining portion of passenger platform.
512	C	514*	1923	<u>Rhone Hotel</u> . Brick; two stories; three bays wide; single, paired windows; brick central entrance porch features lattice-brick balcony; corbelled cornice; flat roof.
(514)	C	515*	1870/c.1920	<u>King Solomon Lodge #1</u> . Two stories above raised Basement; four bays wide; two bays deep; entrance in left front bay; hip roof with small ridge cupola.
515	C	516	19 th C	<u>Christensen House</u> . Duplex; two stories; six bays wide at first level with alternating window, door, window, window, door, window arrangement; four bays wide at second level; one bay deep; shed-roofed porch, square posts, balustrades; wide weatherboards; gable-end roof, large central ridge chimney.
515	NC	516a	c.1970	One-story gable-front storage building behind house.
516	C	517	1945	<u>Murray House</u> . One story; four bays wide, two bays deep; two-over-two sash; façade has window, door, door, window arrangement; gable-front porch, full-height concrete block corner supports, tapered posts on concrete block piers flank porch entrance; concrete block foundations and walls; gable-front roof with plain-edge siding in gable.
519	C	518	c.1920	<u>King House</u> . Two stories; four bays wide at first level with window, door, window, window arrangement; three bays wide at second level; one bay deep; one-over-one sash; Shed-roofed porch, square posts; plain-edge siding; gable-end roof; one-story shed and corner porch across rear of main block. House is set back and at an angle to the street.



Rhone Hotel

cial buildings destroyed by the Great Fire of 1922. While the hotel was owned and operated by Henrietta Rhone, it also served as the home of Charlotte Rhone, who is thought to have been the first black registered nurse in the state. The building's well-detailed brickwork exhibits popular 1920s motifs like those seen on the city's commercial structures of the period, including a prominent corbelled cornice. Its unusual brick entrance portico is an original feature.

King Solomon Lodge Number One

Queen and Howard Streets
ca. 1870; moved ca. 1920

Chartered in 1866 under the authority of the Grand Lodge of New York, King Solomon Lodge Number One in New Bern was the first black Masonic Lodge to be established in North Carolina following the Civil War. Consequently, the New Bern lodge served as the mother lodge for the state's other black Masonic Lodges. Its establishment was followed shortly by the chartering of Giblem Lodge Number Two in Wilmington. Since 1866, the King Solomon Lodge has served as a focal point and positive force for the city's large black community.

Built in 1870, this important Italianate-style lodge building originally stood on and faced Queen Street adjacent to the old section of Cedar Grove Cemetery. On February 23, 1871, the *New Berne Daily Times* printed an account of the celebration held in observance of the



King Solomon Lodge Number One

opening of the new lodge building: "A ball was given last evening at the new Masonic building on Queen Street, under the auspices of the colored Masons. We learn that it was largely attended and a very enjoyable affair." During the 1920s, the building was moved by the city a short distance from its original Queen Street site to its present location to provide room for the expansion of Cedar Grove Cemetery.

Among the notable surviving Italianate exterior details are the bracketed cornice, low hipped roof, and diminutive cupola. Recent alterations have obscured its original corner pilasters and an unusual arched panel, probably originally a lodge sign, located on the facade at the second floor level. The window openings retain many of the original six-over-six sash. The present high basement dates from the 1920s move.

On the interior, the King Solomon Lodge follows a side-hall plan, with one principal room per floor. The stair exhibits square newels and a rounded handrail supported by rectangular-in-section pickets. At the second floor level is the large, simply-finished lodge room, painted the traditional sky-blue color. The highly-traditional nature of the interior finishes suggests that they are the product of some of the city's numerous black artisans, probably lodge members, who had worked in the building trades prior to the Civil War.



St. Peter's A.M.E. Zion Church
617 Queen Street
1923-1940

Although the present church structure was not completed until 1940, the congregation of St. Peter's has been active in New Bern since 1863, when it was established as the first Zion Methodist Church in the South. The African Methodist Episcopal Zion Church, which had been established in the northern states since 1796, began expanding into the south when the New England Conference appointed Rev. James W. Hood as a missionary to North Carolina. On January 20, 1863, Rev. Hood arrived in New Bern, where he found a well established congregation of freedmen known as St. Andrew's Chapel and connected with the Methodist Episcopal Church of the South. Under Hood's leadership, St. Andrew's Chapel

became the first African Methodist Episcopal Church in North Carolina and the south, making it the Mother Church of all Southern Zion Methodists.

The congregation changed its name in 1879 to St. Peter's and erected a new frame church on this Queen Street site that same year. The first structure was enlarged and considerably remodelled in 1914, when it was re-faced with a veneer of pressed brick and limestone. The original church building was completely destroyed by the Great Fire of 1922. Following the fire, the church was rebuilt in stages from 1923 until 1940.

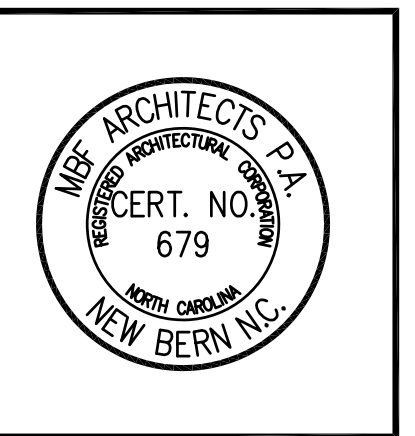
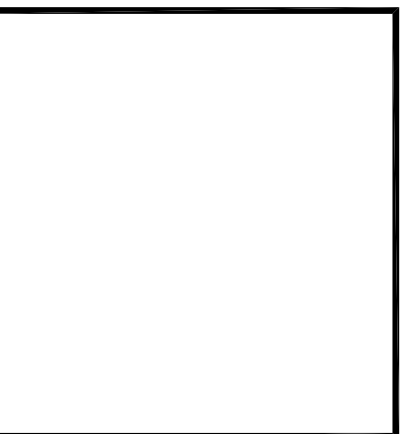
The present Gothic Revival exterior of St. Peter's exhibits the functional brickwork detailing of the period, highlighted by the use of buttresses, lancet-arched windows, and shallow ogee arches over the door openings. All of the openings are defined by the use of rowlock and soldier brick courses. On the interior, the large nave is covered by a vaulted ceiling, with the altar area defined by a central monumental arch flanked by smaller arches. To the rear of the nave is a single gallery which can be reached by stairs housed in the two towers which flank the entrance at the front of the church. The nave is finished with plaster walls with vertical-board wainscoting. The period pews and altar furniture are of varnished oak and pine.



North Carolina National Guard Armory
720 Queen Street
1935-1937

A bronze plaque affixed to the facade of this large brick and concrete-trimmed armory notes: "Built by Works Progress Administration of North Carolina in cooperation with the City of New Bern, 1935-1937." The New Bern facility followed the standardized design seen in a number of armories built in North Carolina by the WPA. Structures nearly identical to this one still stand in Concord, Wilson, and Salisbury. The building was one of a series of important federally-funded Depression-era construction projects in New Bern which produced the Federal Building on Middle Street, Union Point Park and the Woman's Club Building, and the Neuse River promenade along East Front Street.

The functional 1930s detailing of the armory, combined

[illegible]

EXISTING CONDITIONS

TE PLAN

G-101



D

C

B

A



1 PHOTOGRAPH



2 PHOTOGRAPH



3 PHOTOGRAPH



4 PHOTOGRAPH



5 PHOTOGRAPH



6 PHOTOGRAPH

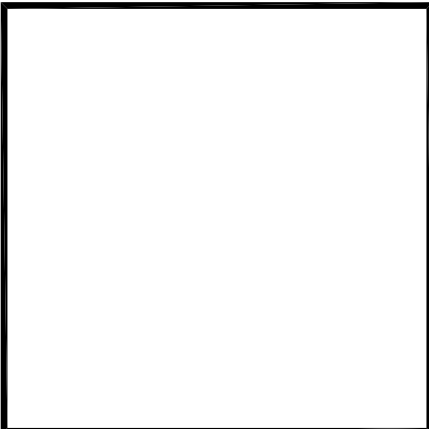


7 PHOTOGRAPH



8 PHOTOGRAPH

REVISIONS	#	DATE	DESCRIPTION						



D

C

B

A

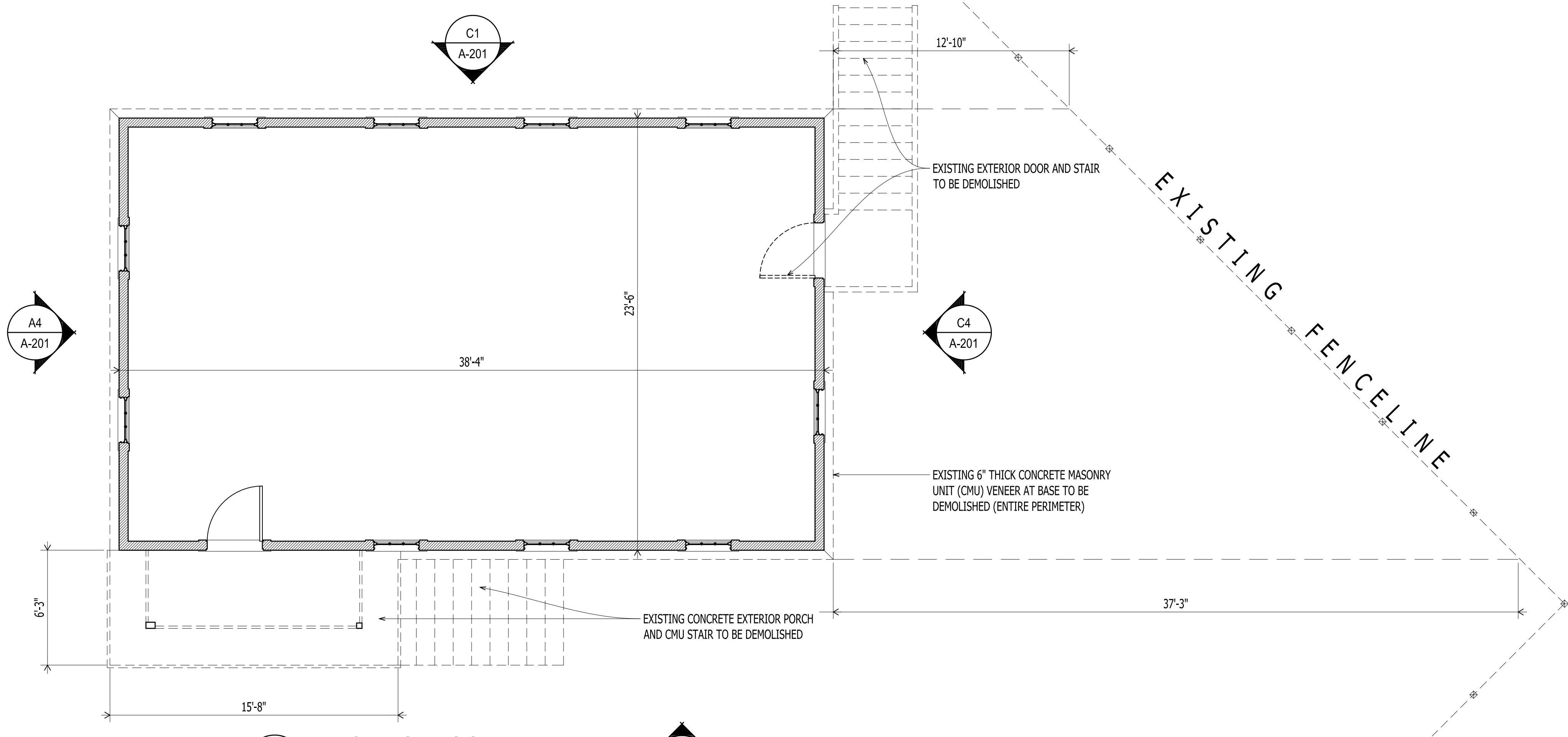
1

2

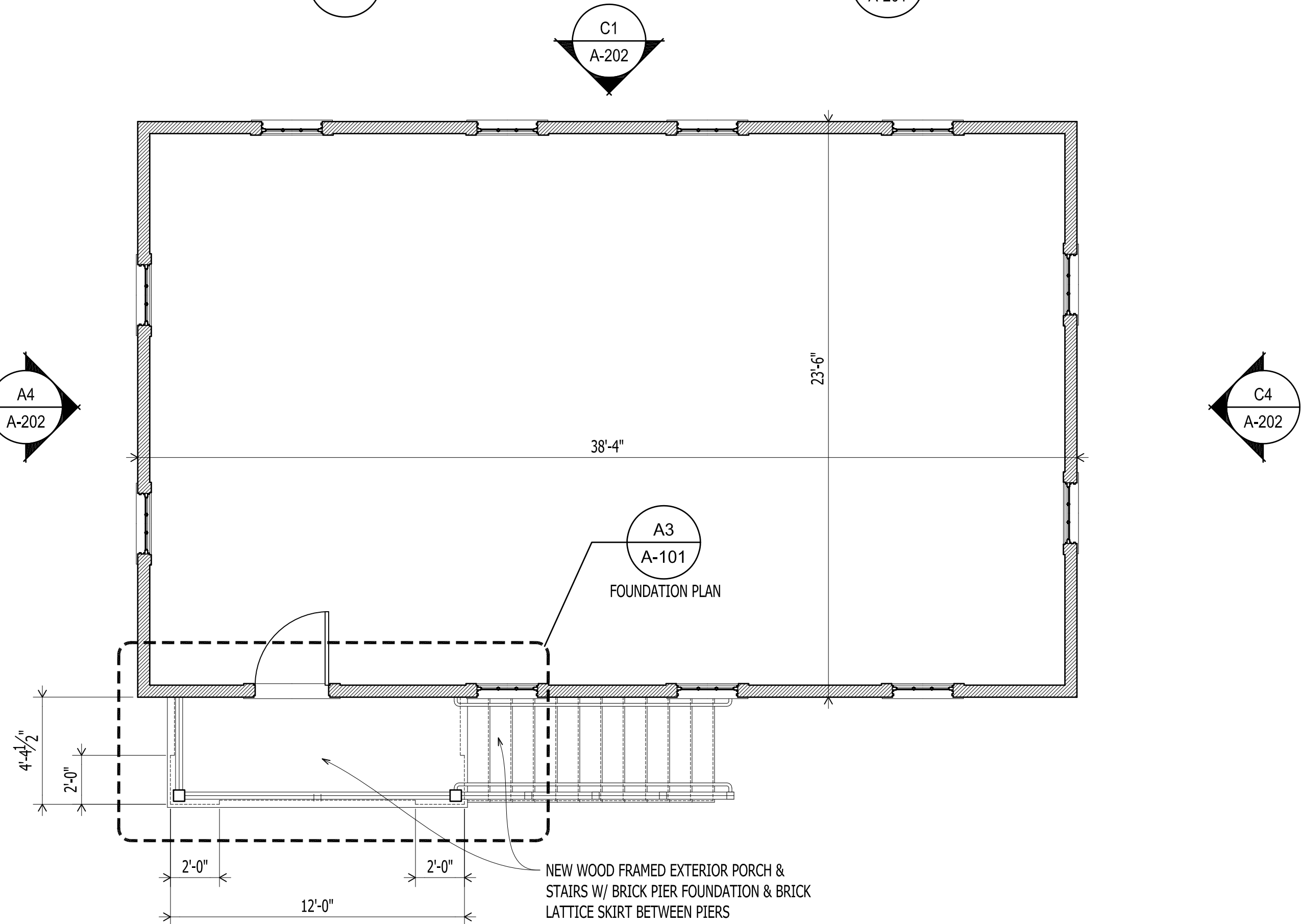
3

4

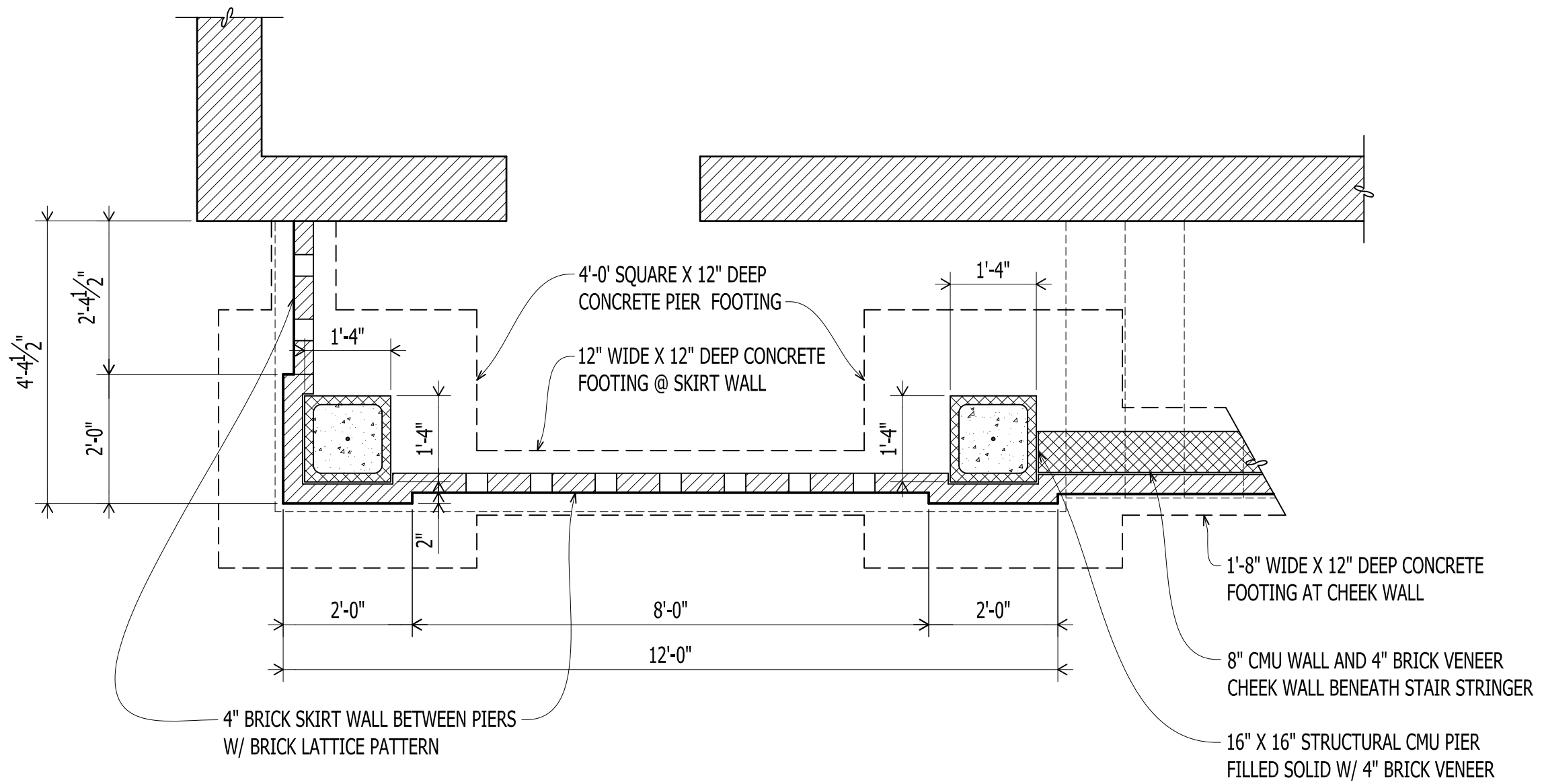
5



C1 EXISTING FLOOR PLAN
SCALE: 1/4"=1'-0"



A1 PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"



A3 PORCH FOUNDATION PLAN
SCALE: 1/2"=1'-0"

1

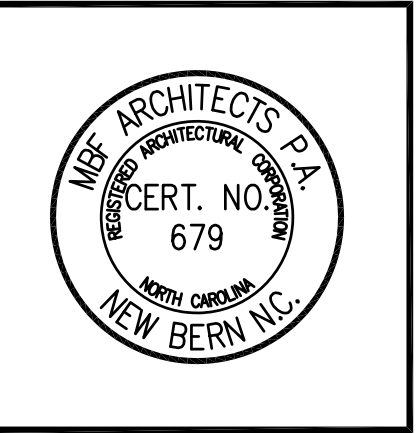
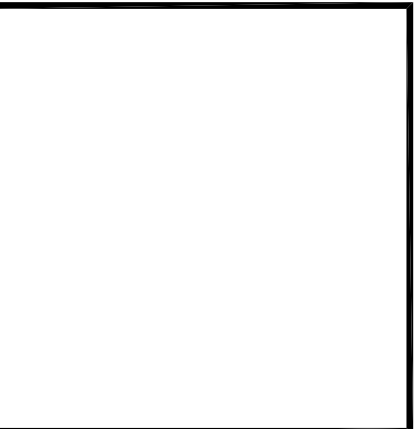
2

3

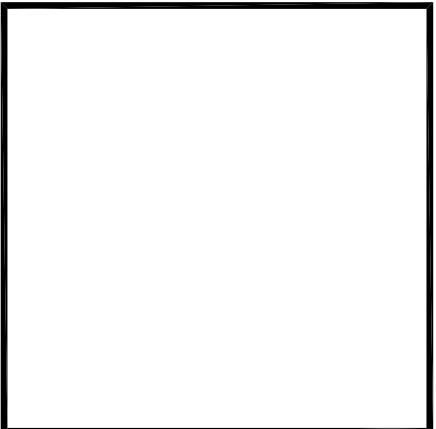
4

5

REVISIONS	#	DATE	DESCRIPTION



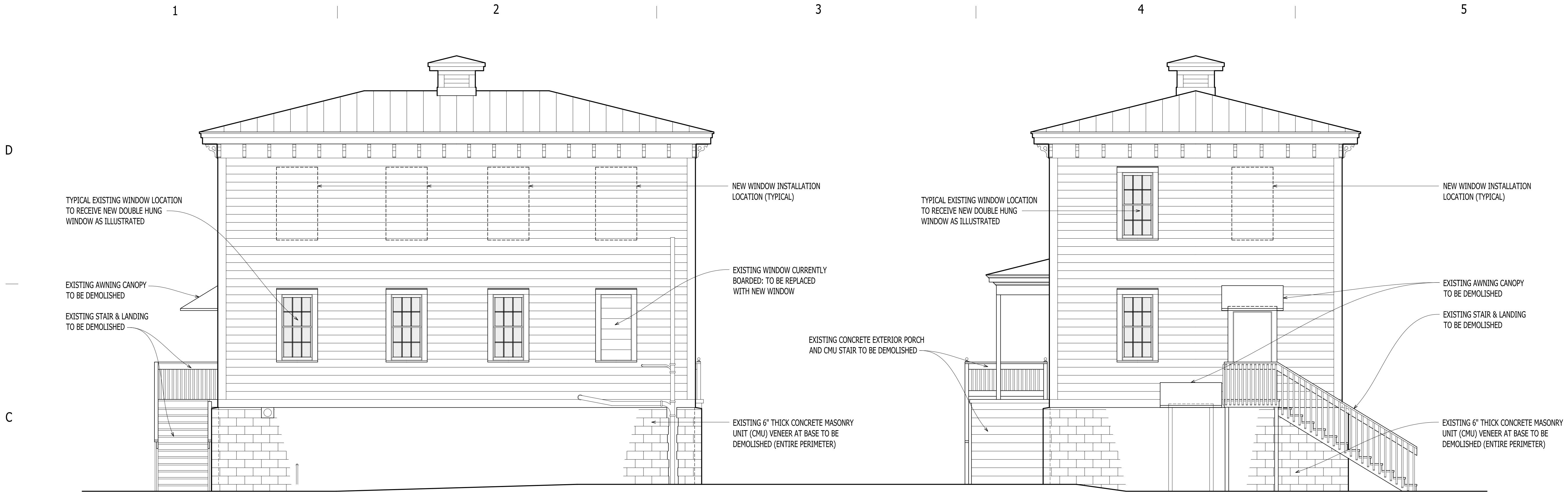
#	DATE	DESCRIPTION



MBFA Job#: 1922

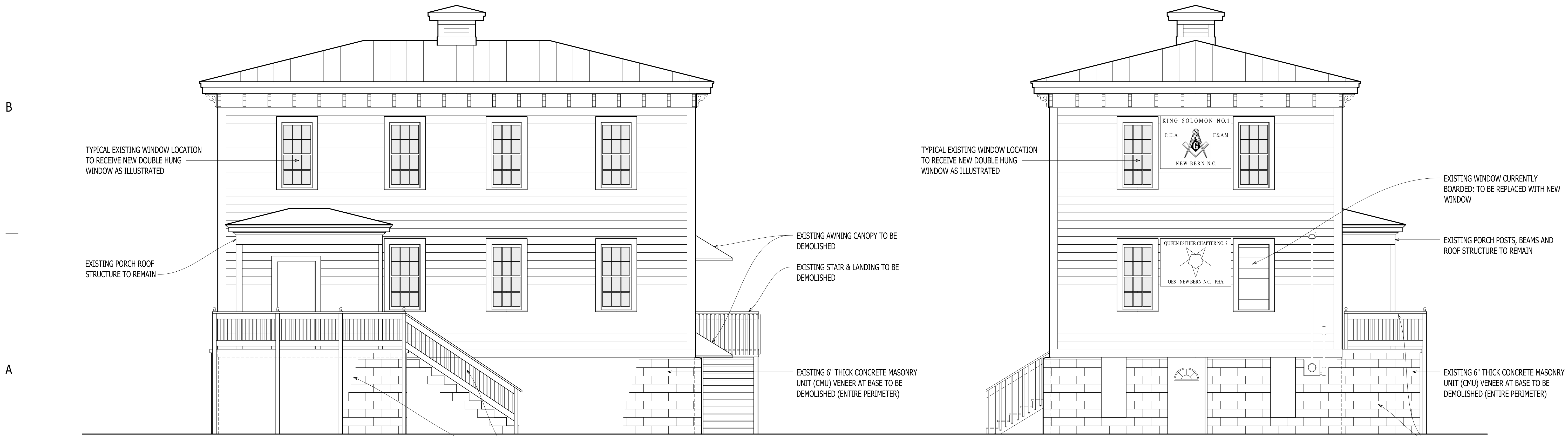
EXISTING CONDITIONS
ELEVATIONS

A-201



C1 EXISTING NORTH SIDE ELEVATION
SCALE: 1/4"=1'-0"

C4 EXISTING REAR ELEVATION
SCALE: 1/4"=1'-0"

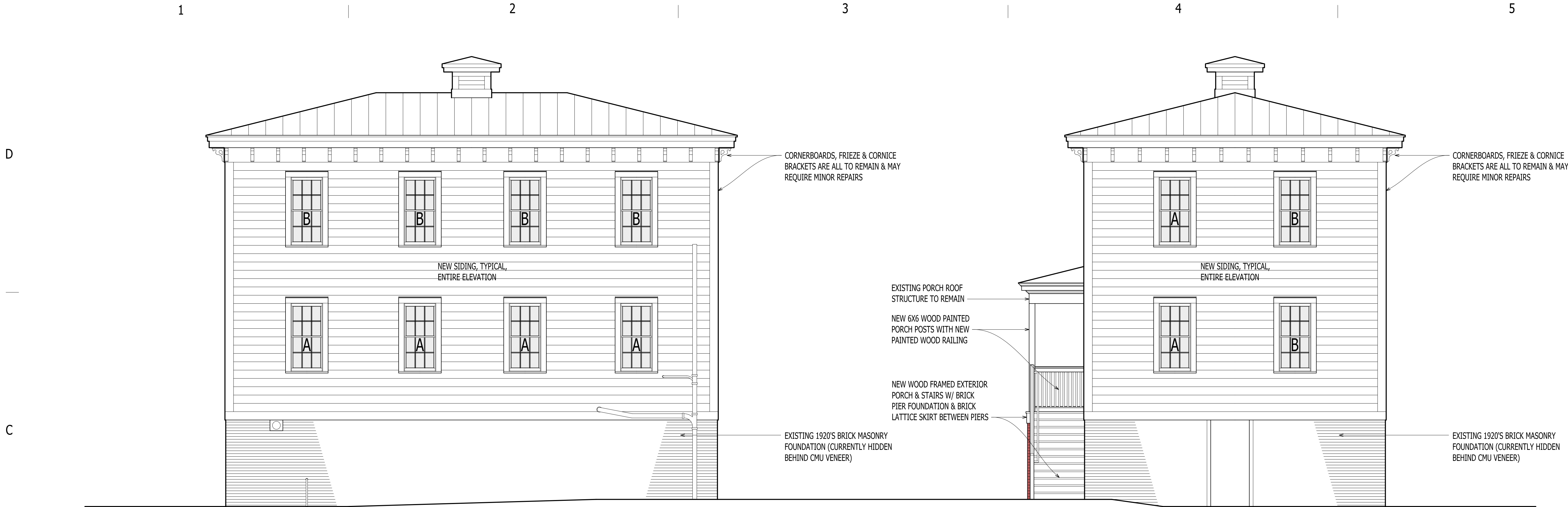
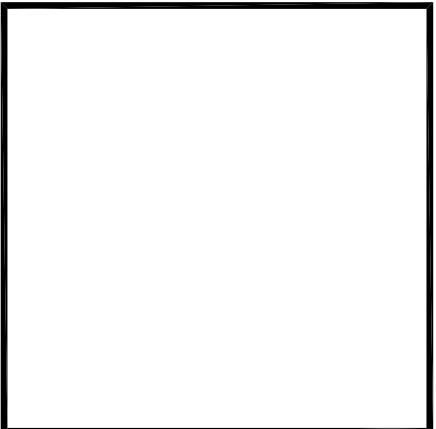


A1 EXISTING SOUTH SIDE ELEVATION
SCALE: 1/4"=1'-0"

A4 EXISTING FRONT ELEVATION
SCALE: 1/4"=1'-0"

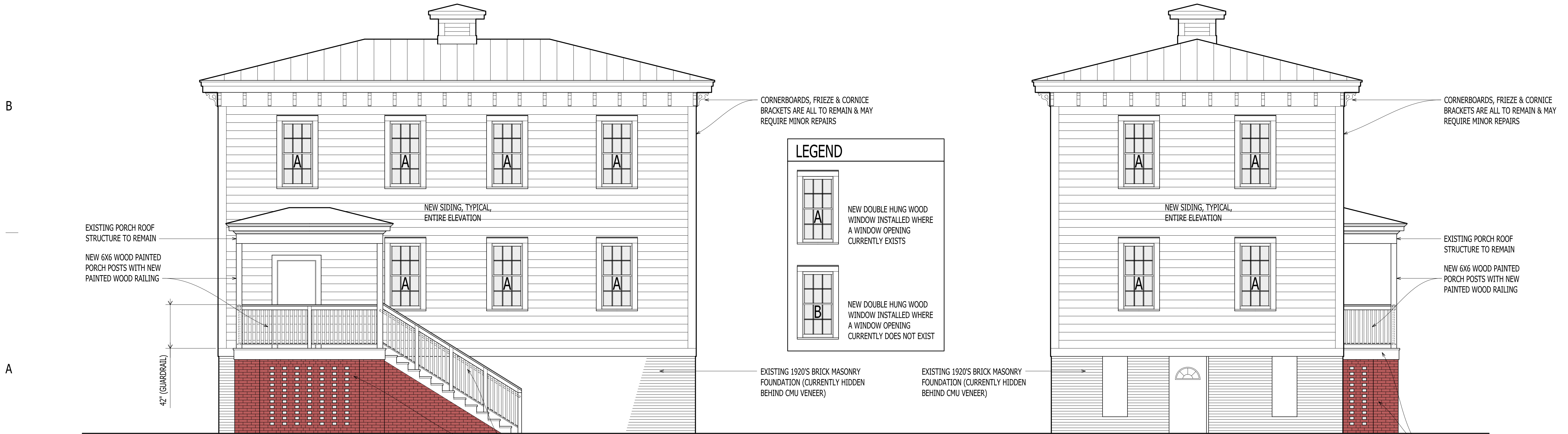
1 | 2 | 3 | 4 | 5

#	DATE	DESCRIPTION



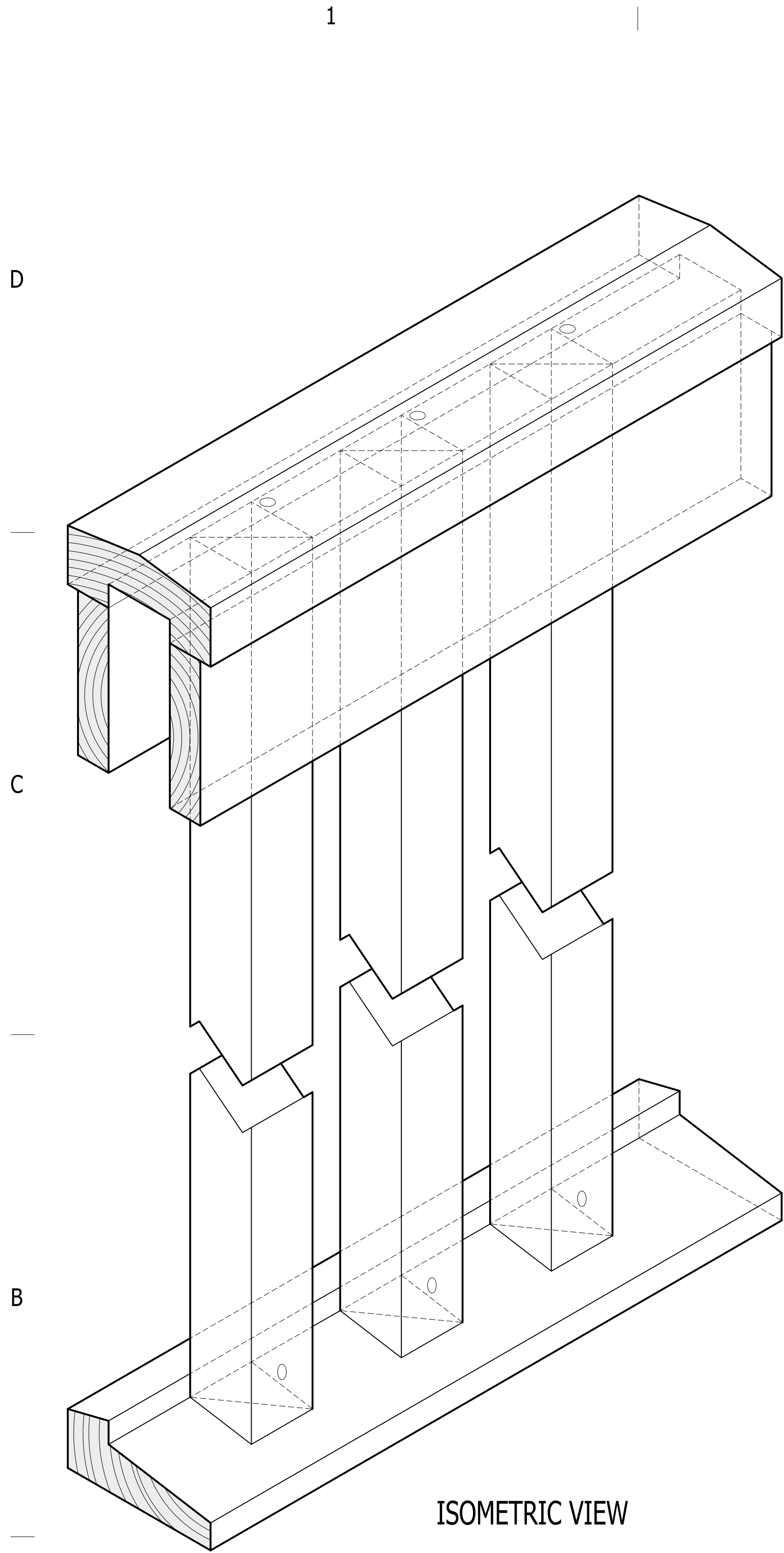
C1 PROPOSED NORTH SIDE ELEVATION
SCALE: 1/4"=1'-0"

C4 PROPOSED REAR ELEVATION
SCALE: 1/4"=1'-0"



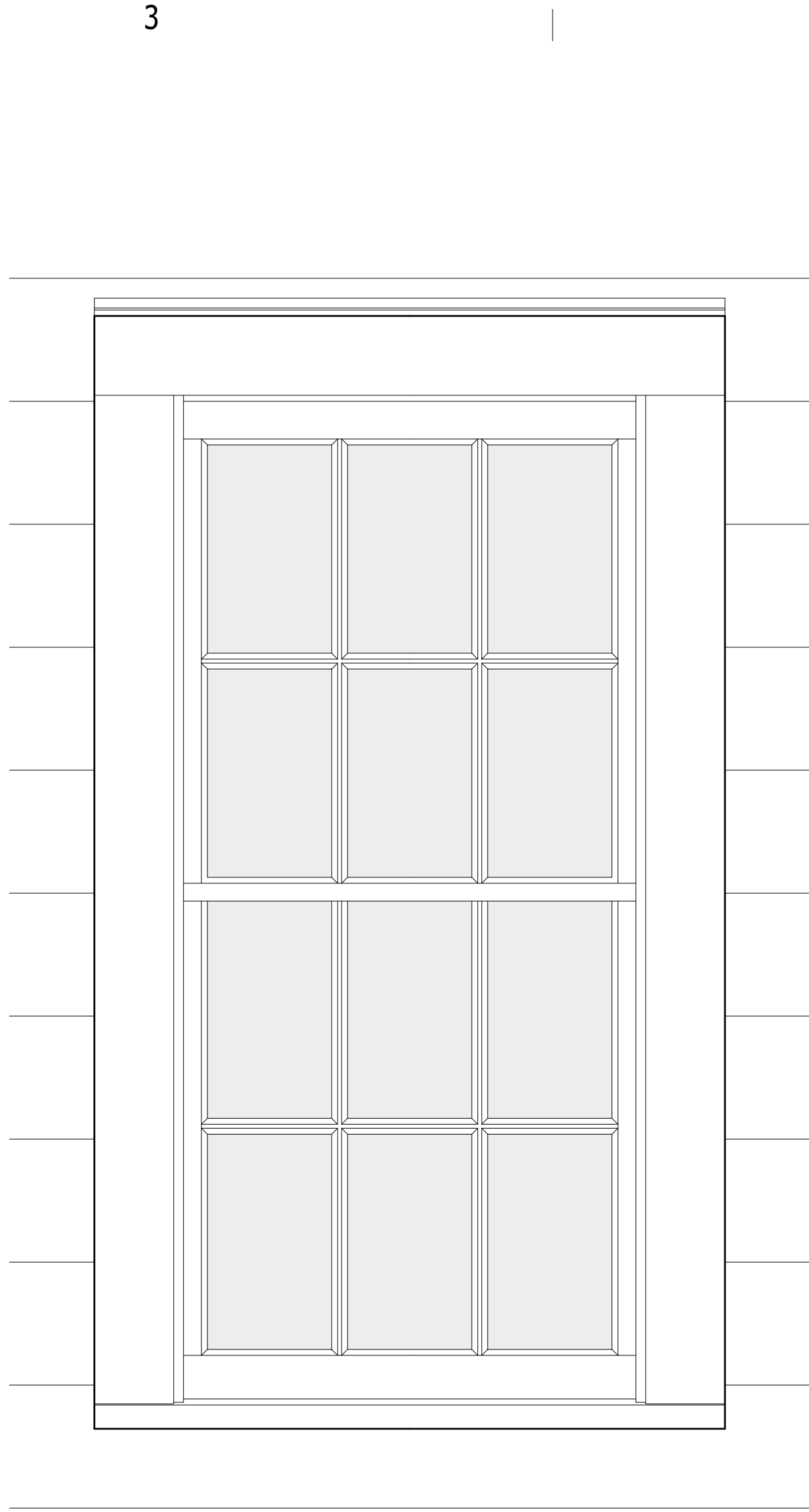
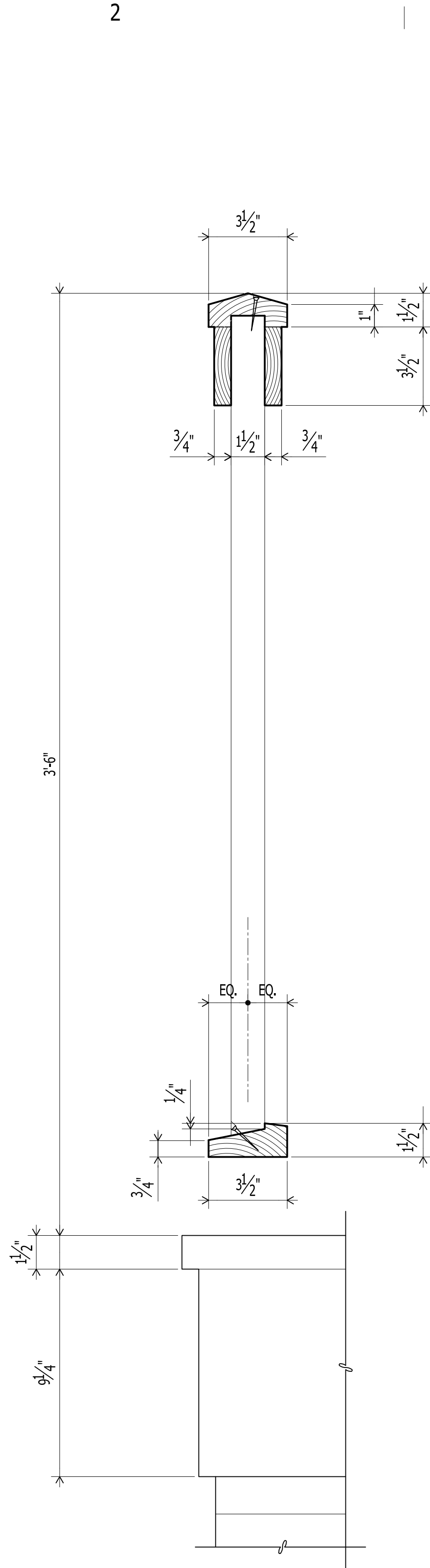
A1 PROPOSED SOUTH SIDE ELEVATION
SCALE: 1/4"=1'-0"

A4 PROPOSED FRONT ELEVATION
SCALE: 1/4"=1'-0"

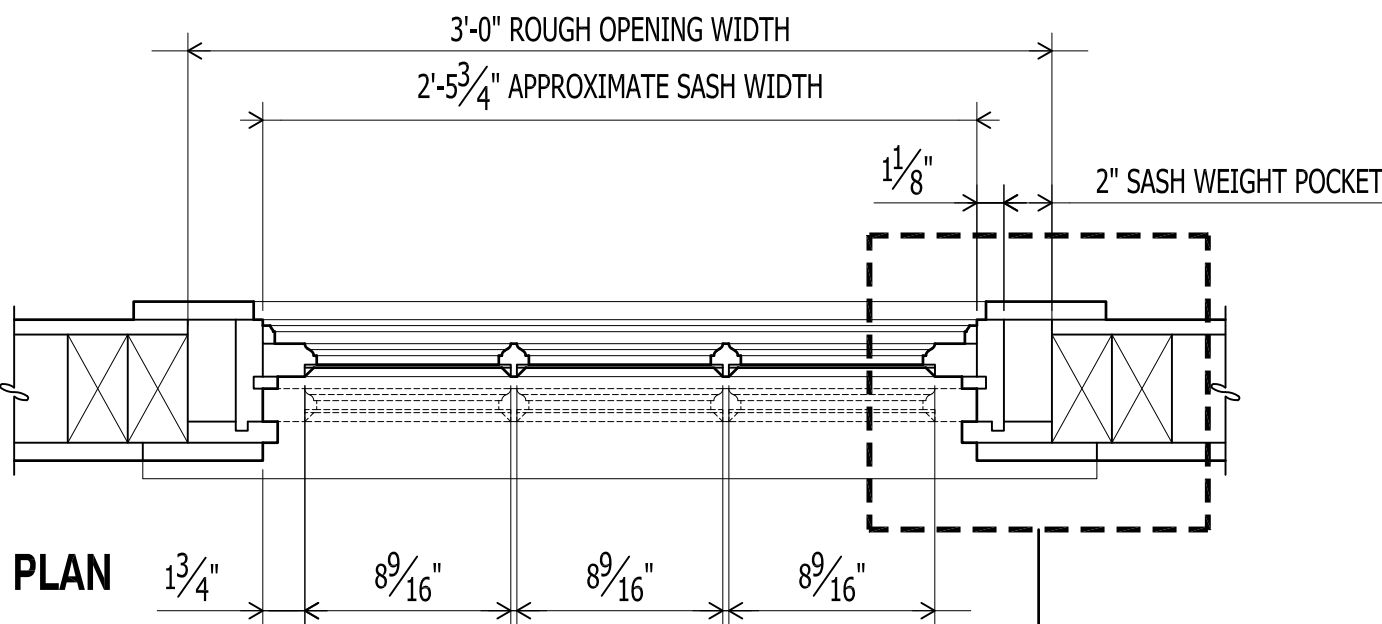


ISOMETRIC VIEW

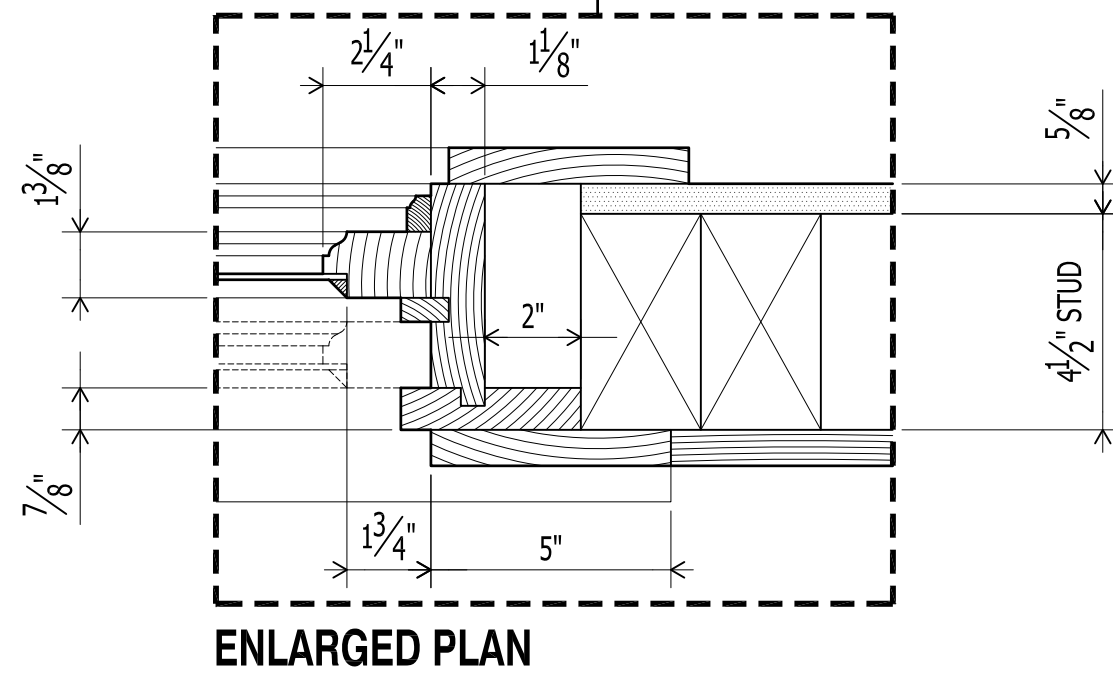
A1 PROPOSED RAILING DETAIL
SCALE: 3"=1'-0"



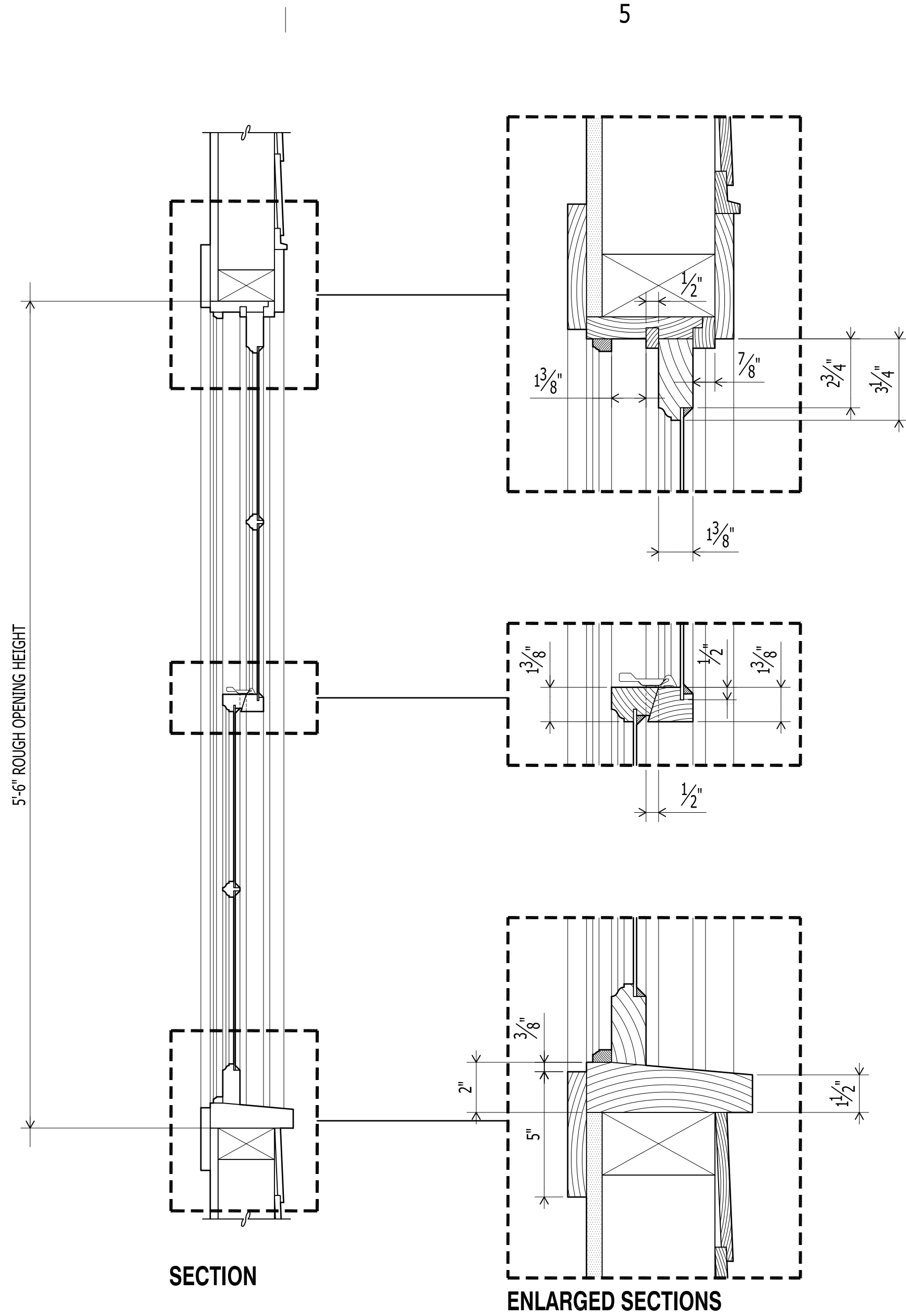
EXTERIOR ELEVATION



A3 ELEVATION, PLAN & SECTION
SCALE: 1-1/2"=1'-0"



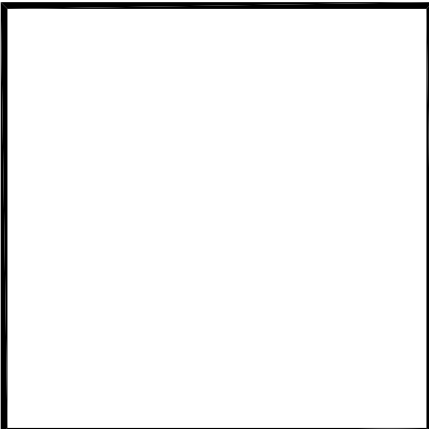
ENLARGED PLAN



SECTION

ENLARGED SECTIONS

REVISIONS	DATE	DESCRIPTION
#		





Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: **710 Howard St.** – replacement of the concrete entry porch & stairs with wood porch, stairs, & railing on brick piers; demolish rear stairs & replace door with window.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: **R-8**

Required Setbacks (primary structure): Front **25' or avg.** Side **8'** Rear **25'**

Accessory Setbacks: From Nearest Structure **N/A** Side **N/A** Rear **N/A**

Maximum Lot Coverage for proposed use: **N/A**

Maximum Height of Structure: **50'**

Required Site Improvements: Landscaping **N/A** Buffer **N/A** Parking **N/A**

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet ☐ the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator **[Signature]** **7/10/20**

Chief Building Inspector please review the application and include any comments below

The proposed project Will ☒ Will Not ☐ require a building permit(s).

Comments:

Chief Building Inspector **[Signature]** **7/10/20**

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - July 2020

Applicant: KSL Non-Profit Partnership/MBF Architects, P.A.

Applicant Address: 710 Howard St., New Bern, NC 28560

Project Address: 710 Howard St., New Bern, NC 28560

Historic Property Name: King Solomon Lodge #1

Status: **Contributing:** X **Non-contributing:**

NR Inventory Description (2003): 1870/c.1920; King Solomon Lodge #1. Two stories above raised Basement; four bays wide; two bays deep; entrance in left front bay; hip roof with small ridge cupola.

Sandbeck Description (1988): Queen and Howard Sts., ca. 1870, moved ca. 1920

... this important Italianate-style lodge building ... The window openings retain many of the original six-over-six sash.

710 Howard St. - to include replacement of the concrete entry porch & stairs with wood porch, stairs, & railing on brick piers; demolish rear stairs & replace door with window in the Secondary and Tertiary AVCs.

Staff submits the following Historic District Guidelines are appropriate to this application:

Modifications

- 3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.
- 3.2.2 Modifications to a structure should not conceal, damage, or remove significant design components or architectural features.
- 3.2.4 Rebuild missing or insensitively altered design components based on documented evidence of the original configuration.

Foundations

- 4.1.2 When infilling between brick piers, recess brick curtain walls 1 to 2 inches to visually delineate piers.
- 4.1.3 Use traditional materials when constructing foundations. Concrete block should receive a veneer of stucco, brick, or other appropriate masonry material.

Walls, Trim, and Ornamentation

- 4.2.1 Adhere to Guidelines for retention of historic fabric when altering wall components.

Windows, Doors, and Openings

- 4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.

Entrances

- 4.4.1 Adhere to Guidelines for retention of historic fabric when altering entrance components.
- 4.4.2 Reconstruct entrances and porches based on documentary evidence of the original configuration. Add architectural ornamentation when there is historical evidence of such features.
- 4.4.4 Provide entrance doors, porch railings and other ornaments that proportionally relate to the building. Appropriate porch balustrades often convey a heavier visual appearance.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - July 2020

Masonry

- 5.1.2 Match the masonry bond, or pattern, of masonry materials found in adjoining work. In general, new material should be the same size, color, and texture of that existing.
- 5.1.5 Provide a veneer of brick, stucco, or other appropriate material over concrete masonry units. Architectural concrete masonry units such as rusticated, split face or similar types may be substituted for stone masonry construction.

Paint

- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on porch flooring, deck flooring and similar wood surfaces exposed to foot traffic.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

- 1. The project is located within the Secondary and Tertiary AVCs;
- 2. The proposed modifications do not conceal, damage, or remove significant design components or architectural features;
- 3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
- 4. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application to include replacement of the concrete entry porch & stairs with wood porch, stairs, & railing on brick piers; demolish rear stairs & replace door with window in the Secondary and Tertiary AVCs, citing the aforementioned guidelines.

FEE SCHEDULE (office use only)
☐ \$22 Standard Application (minor)
☐ \$107 Standard Application (major)



HPC Administrator
 HPCadmin@newbern-nc.org
 Work: (252) 639-7583
 Fax: (252) 636-2146

RECEIVED
 JUL 01 2020

Application for a Certificate of Appropriateness
 (For Alterations to Properties in Locally Designated Historic Districts)

BY: MS

For assistance see "CoA Instructions," as well as "Historic District Guidelines," available online at:

<https://www.newbernnc.gov> Go to: Departments, Development Services, then:

- For the CoA Instructions: Document Center, Alphabetical Listing, Certificate of Appropriateness – Instructions for COA application
- For the Historic District Guidelines: Historic Preservation, HPC Guidelines, Historic District Guidelines

Type of Project: ☒ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:

Property Address (Include year built, if known):

902/904 Pollock St. 1952/1984

Property Owner Name(s): <u>Brandon P. Shaver</u>	Owner Mailing Address: <u>115 Reinach Lane New Bern NC 28562</u>	Phone #'s: <u>252 636 8777</u>	Email: <u>bshaver.brain.bldg@gmail.com</u>
Applicant Name (if different):	Applicant Mailing Address:	Phone #'s:	Email:

II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

- Paint original side of building
- Replace lap siding on front part of addition
- Replace garage doors
- Add 2 exterior signs, 1 5ft in diameter, 1 2ft in diameter
- Wrap left side in corrugated metal
- Glass garage door
- New 3-ton HVAC unit

Continued on additional sheet or attached brochure ☒

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

- James Hardy 7" lap siding
- Aluminum Overhead doors w/ glass panels

Continued on additional sheet or attached brochure ☐

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☐ Site plan (with annotated notes showing existing site and requested work)
- ☐ Photographs of the building and location where the proposed work will be completed
- ☐ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☐ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☒ I am the owner of the Property, or
- ☐ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.



Signature of Applicant/Owner

6-30-20

Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.



511/521/522

ALUMINUM Door Systems



ALUMINUM SECTIONAL DOORS



VISUAL ACCESS.
LIGHT INFILTRATION.
CONTEMPORARY LOOK.



INDUSTRY LEADING
COMMERCIAL & INDUSTRIAL SOLUTIONS



Model 521, Brown powder coat finish, Clear glass

General features and benefits – Models 511/521

- 1 3/4" (45 mm) thick, corrosion-resistant 6063-T6 aluminum sections with galvanized fixtures and hinges promotes durability and trouble-free operation
- 1/4" (6 mm) diameter through-rods on all stiles and rails enhances strength and sturdiness
- Top-quality materials, excellent field service and optional maintenance program contribute to extended door life, low maintenance costs and maximum productivity
- Glazing choices include DSB glass, acrylic, tempered glass, clear polycarbonate, multi-wall polycarbonate, wire glass, Low E, Lexan and laminate
- Standard clear anodized finish for low-maintenance and corrosion-resistance
- Optional finishes include a wide range of powder coat colors offering an attractive and durable finish
- Manual pull rope operation with optional chain hoist or electric motor operator
- Available in approximately 200 RAL powder coat colors to match the aesthetic and design of your project. This color optional upgrade includes a hardening additive that provides an attractive and durable finish and easy-to-clean surface.

Cover image: Model 521, Clear anodized finish with Clear glass.



ALUMINUM DOOR SYSTEMS — *Black*
MODELS 511/521/522 offer an attractive solution for
commercial and industrial applications where visual access, light
infiltration and aesthetics are key design considerations.

Model 521, Clear anodized finish with Clear glass



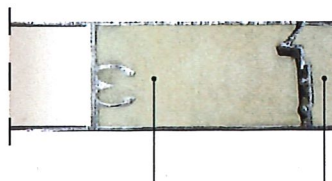
Standard features at a glance

Section thickness	1 3/4" (45 mm)
Maximum standard width	26'2" (7976 mm)
Maximum standard height	20'1" (6121 mm)
Material	Extruded 6061-T6 aluminum
Standard finish	204R-1 clear anodized (painted white at no charge)
Center stile width	2 1/16" (68 mm)
End stile width	3 5/16" (85 mm)
Top rail width	2 3/8" (60 mm) or 3 3/4" (95 mm)
Top intermediate rail width	2 1/8" (54 mm)
Bottom intermediate rail width	1 19/32" (40 mm)
Bottom rail width	3 3/4" (95 mm) or 4 1/2" (114 mm)
Weatherseals	Bottom, flexible PVC
Standard springs	10,000 cycle
Track	2" (51 mm)
Mounting	Angle
Operation	Manual pull rope
Hinges and fixtures	Galvanized steel
Lock	Galvanized, interior-mounted single unit
Color palette	Approximately 200 RAL powder coat finishes
Warranty	12-month limited; 3-year powder coat finish



Optional polyurethane insulation for stiles and rails up to 18'2" wide

1/2" insulated glazing unit	Door R-value (K m²/W)
DSB - clear, tempered, obscure	2.87
Clear polycarbonate	2.93
DSB - Solar Bronze	3.17
DSB - Low E coating	3.43
SolarBan 70XL argon filled	4.09
Multi-wall polycarbonate	Door R-value (K m²/W)
1/4" tick unit	2.75*
3/8" tick unit	3.21
5/8" tick unit	3.48
Insulated panels	Door R-value (K m²/W)
3/8" EPS solid panels	2.60



Polyurethane filled rails and stiles

*R-value: Overhead Door uses a calculated door section R-value for our insulated doors.

Options

Glazing options†: 1/8" (3 mm) DSB; 1/8" (3 mm) or 1/4" (6 mm) acrylic; 1/8" (3 mm) or 1/4" (6 mm) tempered; 1/8" (3 mm) or 1/4" (6 mm) clear polycarbonate; 1/4" (6 mm) and 3/8" twin-wall polycarbonate, 5/8" triple-wall polycarbonate; 1/4" (6 mm) 3/8" (10 mm) and 5/8" (16 mm) twin-wall polycarbonate, triple-wall polycarbonate 1/4" (6 mm) wire glass; 1/2" (12 mm) insulated glass

Electric operator or chain hoist	Four-section pass door
Bottom sensing edge	Wind load and impact rated door available
3" track	Posi-tension drums
Bracket mounting (not available on full vertical door tracks)	Bronze anodization
Higher-cycle springs in 25k, 50k, 75k, 100k cycles	Powder coat finish
Exhaust ports	Pass door

†Contact your local Overhead Door Distributor for special glazing requirements. Verify 1/4" (6 mm) glass applications with factory.

Panel schedule		Section schedule	
Door width	Number of panels	Door height	Number of sections
to 8'2" (to 2489 mm)	2	to 8'6" (2591 mm)	4
8'3" to 12'2" (2515 mm to 3708 mm)	3	8'7" to 10'1" (2616 mm to 3073 mm)	5
12'3" to 16'2" (3734 mm to 4953 mm)	4	10'2" to 12'1" (3099 mm to 3683 mm)	6
16'3" to 19'2" (4978 mm to 5842 mm)	5	12'2" to 14'1" (3708 mm to 4293 mm)	7
19'3" to 20'11" (5867 mm to 6375 mm)	6**	14'2" to 16'1" (4318 mm to 4902 mm)	8
21'0" to 23'11" (6401 mm to 7290 mm)	8**	16'2" to 18'1" (4928 mm to 5512 mm)	9
24'0" to 26'2" (7315 mm to 7976 mm)	10**	18'2" to 20'1" (5537 mm to 6121 mm)	10

**Special construction. Consult your local Overhead Door Distributor for additional information.



108

33

20.71

24.54

45.25

78

43.3

52

45.14

(42)

62.58

123.85

68

38.3

64

902 Pollock St. – Streetview Photos

2007:







2015:







902 Pollock St. – Photos from Applicant, 2020-07-01

2019



2020







902 Pollock Street: Freshwater Beer Co.

January 2020

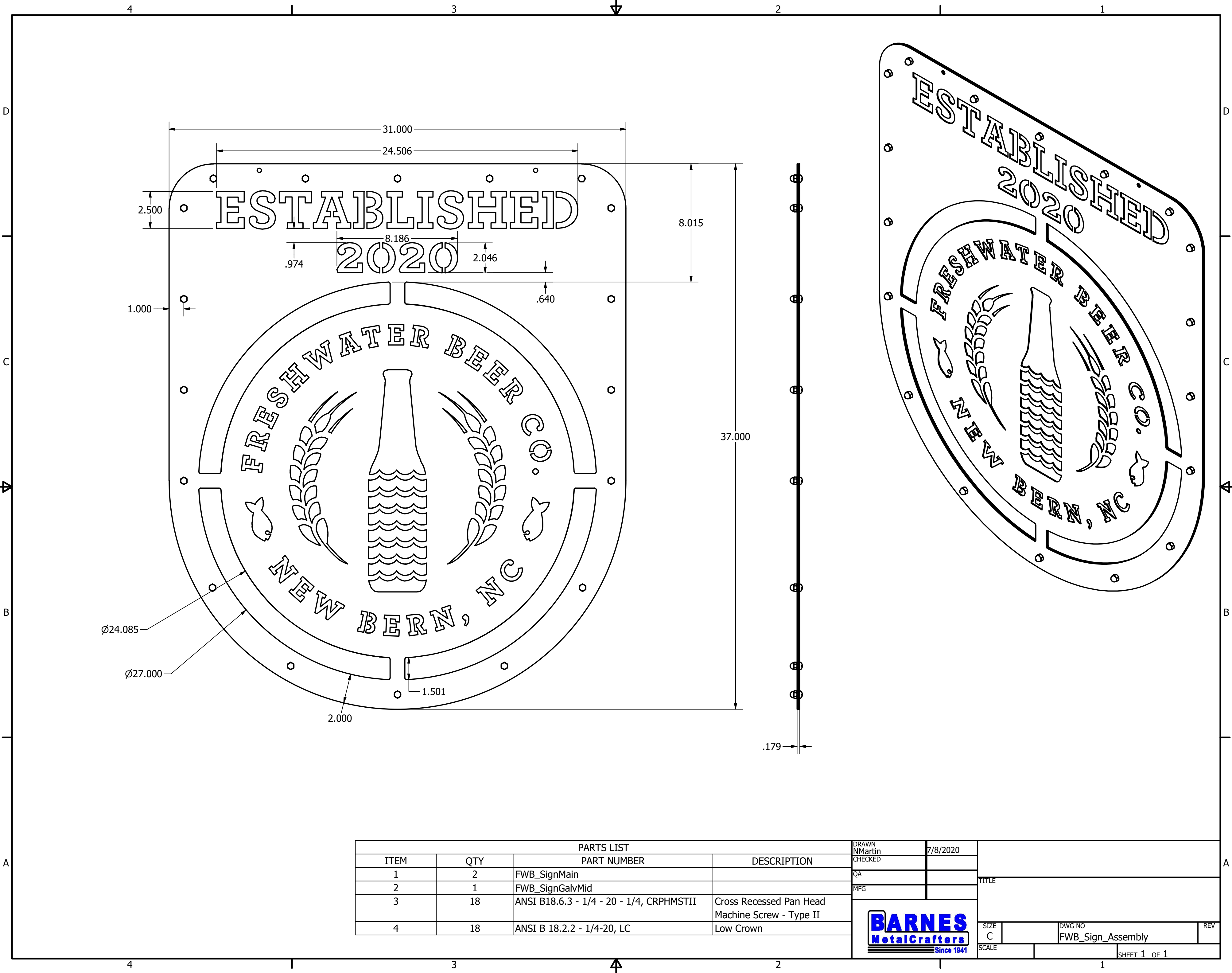













PARTS LIST			
ITEM	QTY	PART NUMBER	DESCRIPTION
1	2	FWB_SignMain	
2	1	FWB_SignGalvMid	
3	18	ANSI B18.6.3 - 1/4 - 20 - 1/4, CRPHMSTII	Cross Recessed Pan Head Machine Screw - Type II
4	18	ANSI B 18.2.2 - 1/4-20, LC	Low Crown

DRAWN NMartin		7/8/2020			
CHECKED					
QA					
MFG				TITLE	
					
SIZE C		DWG NO FWB_Sign_Assembly		REV	
SCALE				SHEET 1 OF 1	



ESTABLISHED
2020

FRESHWATER BEER CO.
NEW BERN, NC

The logo is a circular emblem. In the center is a dark bottle with wavy lines representing liquid. On either side of the bottle are two stalks of wheat. At the bottom of the emblem, on either side of the bottle, are two small fish. The text "FRESHWATER BEER CO." is arched over the top, and "NEW BERN, NC" is arched along the bottom. The entire emblem is set within a larger circular frame that has four small gaps at the top, bottom, left, and right.



Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 902 Pollock St.; adding signage, replacing siding, replacing overhead and walk-in doors, repainting wall sign, and screening of HVAC units and utility modifications.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: C-5A

Required Setbacks (primary structure): Front 25' Side 15' Rear 25'

Accessory Setbacks: From Nearest Structure N/A Side Rear

Maximum Lot Coverage for proposed use: NA

Maximum Height of Structure: 50'

Required Site Improvements: Landscaping N/A Buffer Parking

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet ☐ the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator

Chief Building Inspector please review the application and include any comments below

The proposed project Will ☒ Will Not ☐ require a building permit(s).

Comments:

Chief Building Inspector

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - July 2020

Applicant: Brandon P. Shaver

Applicant Address: 115 Reinach Lane, New Bern, NC 28562

Project Address: 902 Pollock St., New Bern, NC 28560

Historic Property Name: unknown

Status: **Contributing:** TBD **Non-contributing:**

NR Inventory Description (2003): N/A

Sandbeck Description (1988): N/A

902 Pollock St. - to include adding signage, replacing particle board siding with horizontal cement siding and vertical corrugated metal siding, replacing the overhead and walk-in doors, and repainting the historic wall sign in the Primary AVC; and replacing particle board siding with horizontal cement siding or vertical corrugated metal siding, and screening of HVAC units and utility modifications in the Secondary AVC.

Staff submits the following Historic District Guidelines are appropriate to this application:

Utilities

- 2.3.1 Locate equipment in Secondary and Tertiary AVCs and screen items from public view with vegetation, fencing and similar site constructions.
- 2.3.2 Paint equipment and exposed utilities to compliment mounting surfaces and reduce their visibility.

Signage

- 2.8.1 Signage shall incorporate proportions and dimensional details of the surrounding architectural facade. Locate wall signs on lintels or within the sign frieze area. Where multiple storefronts are within a common architectural facade, provide unifying elements such as coordinated lighting, height, border, font, and material treatments.
- 2.8.2 Drive fasteners for signs in mortar joints to prevent damage to the masonry units.

Modifications

- 3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.
- 3.2.2 Modifications to a structure should not conceal, damage, or remove significant design components or architectural features.
- 3.2.4 Rebuild missing or insensitively altered design components based on documented evidence of the original configuration.

Windows, Doors, and Openings

- 4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.

Contemporary Materials

- 5.5.1 In general, contemporary material shall match the dimension, shape and texture of their counterparts commonly found in the historic districts.
- 5.5.2 Use contemporary and nontraditional materials in traditional ways. Apply materials in a traditional manner that conveys the same visual appearance as historic materials.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - July 2020

- 5.5.3 Contemporary and nontraditional materials should convey appropriate historic material characteristics, and will be evaluated on a case-by-case basis for appearance, dimension, texture, color, sheen, visual weight and similar characteristics.
- 5.5.4 Aluminum siding, vinyl siding, masonite siding, artificial brick sheathing, thin set stone veneer, stamped concrete and similar types of contemporary materials that imitate historic materials are not appropriate in the historic districts.

Paint

- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is located within the Secondary and Tertiary AVCs;
2. The proposed modifications do not conceal, damage, or remove significant design components or architectural features;
3. The proposal includes removing Masonite siding, which is identified in the Guidelines as an inappropriate material in the historic districts;
4. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
5. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application to include adding signage, replacing particle board siding with horizontal cement siding and vertical corrugated metal siding, replacing the overhead and walk-in doors, and repainting the historic wall sign in the Primary AVC; and replacing particle board siding with horizontal cement siding or vertical corrugated metal siding, and screening of HVAC units and utility modifications in the Secondary AVC, citing the aforementioned guidelines.

4. General Public Comments
5. Guidelines Update Committee
 - A. Report by Committee
6. Old Business: None
7. New Business
 - A. SHPO Training - group viewing opportunity
8. HPC Administrator's Report
 - A. Report on COAs Issued Since Prior Regular Meeting

MAJORS:

210 Eden St.: new sewer pump station
206 Craven St.: replacement doors
520 New St.: landscaping plan
704 E Front St.: house elevation

MINORS:

514 E Front St.: tree replacement
309 New St.: HVAC screening
601 Hancock St.: new generator
722 Pollock St.: new generator
14 Pollock St.: street tree replacement
760 E. Front St.: pier extension
315 Bern St.: pergola

B. Other Items and Updates
Letter from HDRA: process

9. Commissioners' Comments
10. Adjourn

Historic Downtown Residents Association
PO Box 442
New Bern, NC 28560

June 11, 2020

Alderman Sabrina Bengel, Ward One
Mr. Jeff Ruggeri, Director of Development Services
Matt Schelly, City Planner
Historic Preservation Commission
300 Pollock Street
New Bern, NC 28560

Dear Alderman Bengel, Mr. Ruggeri, Mr. Schelly, and HPC:

Living in New Bern offers residents opportunities to enjoy the natural beauty of the North Carolina coast, rivers, and wildlife. Additionally, residents can enjoy the beauty of Union Point Park and the myriad of events, festivals, and concerts hosted throughout the year. The picnic tables, gazebo, and riverside seating give downtown residents especially a chance to mingle, visit, and picnic without the hassle of driving long distances. Everything is right next door and beautifully situated at the entrance to our great town.

Recently it came to the attention of the HDRA Board and membership that this lovely scenic spot is undergoing a change, a change involving the construction of a stage to replace the one lost during Hurricane Florence. While HDRA fully supports the replacement of the stage, we found the approval process confusing. As a historic organization, we need to voice our displeasure regarding this.

First, the approval process was confusing for several reasons. The information regarding the new stage was not made available to downtown and city residents in a timely manner to allow for the preparation of appropriate public comments and feedback. In this case, the email regarding the public forum for this project was sent to our Government Committee Chair on May 14 for a meeting to be held on May 20.

Additionally, the process of notifying surrounding residents seems insufficient. If no one lives in 100 feet of a project, is there any other type of notification sent to notify residents of the proposed project? The packet of project plans is found only on the city website and not included in the email distribution list.

A postcard to the one individual living 100 feet from the property, an email of project specifics a mere day or two prior to the public forum consisting of a file too large for many to open, and little if any public notice of the project through the newspaper or social media were not substantial notification for this type of project.

As residents in very close proximity to the park, we feel as if the city and HPC failed to clearly notify not only us but also the other city residents about this significant modification to this significant landscape. The processes used by the city and HPC should be reevaluated regarding how residents are informed of plans that impact the entire city and its appearance.

While we do appreciate your efforts to ensure New Bern continues to be a destination for tourists and future residents, this park is too central to the city, its residents, and guests for this type of change to happen without the consideration of public opinion.

Regards,
HDRA Board of Directors