



Development Services Department
303 First St. P.O. Box 1129
New Bern, NC 28563
(252) 639-7581

TO: New Bern Historic Preservation Commission
FROM: Matt Schelly, AICP, City Planner
DATE: September 4, 2020
RE: Regular Meeting, **5:30 PM, Wednesday, September 16, 2020**, in the Courtroom, Second Floor, City Hall, 303 Pollock St.

REGULAR MEETING AGENDA – 5:30 PM

1. Opening of Meeting with Roll Call
 2. Approval of Minutes of Previous Meeting(s)
 3. Hearings on Certificates of Appropriateness:
 - A. **Hearings: Introduction, Swearing-In, Summary of Process**
 - Introduction of Hearings and Rules of Procedure
 - Swearing-In of Speakers
 - Summary of the Hearing Process
 - Applications:**
 - B. **419 Metcalf St.** – to include installation and screening of a mechanical unit in the Primary AVC.
 - C. **1229 National Ave.** - to include construction of a carport and a concrete driveway, revisions to the deck, and replacement of a tree in the Secondary and Tertiary AVCs.
 - D. **1223 National Ave** – to include revising the approved plans for an addition, changing the roof configuration, in the Tertiary AVC.
 - E. **413 George St.** – to include a new covered and screened deck and other modifications in the Secondary and Tertiary AVCs.
 - F. **801 E. Front St.** – to include a new design for construction of a new infill house.
 - G. **815 E. Front St.** – to include construction of a new infill house.
 - H. **811 E. Front St.** – to include construction of a new infill house.
- *Please note that applications for these projects, including proposed plans, are available for review during normal business hours in the Development Services Department (303 First Street).*
4. Old Business (non-hearing items tabled or continued from a previous meeting): None
 5. General Public Comments
 6. New Business

Everything comes together here.

Committee Requests for HPC Action

- A. Proposal by Guidelines Updates Committee** – change Minor Works list
- B. Proposal by Prevention of Demolition By Neglect Committee** – revise PDBN list
- C. Create new Historic Owners' Support Committee**

7. HPC Administrator's Report

A. Report on CoAs Issued Since the Day Before the Prior Regular Meeting (8/18/20 - 9/4/20)

MAJORS:

- 220–226 Craven St. – demo addition, new gravel parking, exterior doors, removal of overhead door, close opening with concrete block, and paint block to match
- 315A Pollock St. – new aluminum clad back balcony windows and doors
- 1223 National Ave. – remove deck, move hvac unit, construct new addition, new screened-in porch, and new wood deck, railing, and steps.
- 501 Craven St. – new addition to the existing garage, add covered side porch to the house
- 304 Queen St. – construction of a new infill house
- 801 E. Front St. – construction of a new infill house
- 417 Broad St. – construction of a new accessory building
- 508 Middle St. – construction of a new accessory building

MINORS:

- 507 E. Front St. ROW – tree replacement
- 411 E. Front St. ROW – tree replacement
- 305 Bern St. ROW – tree replacement
- 209 Pollock St. ROW – tree replacement
- 724 Pollock St. – tree replacement
- 402 S. Front St. (Elec. Dept.) – tree replacement
- 412 S. Front St. (Elec. Dept.) – 2 trees replacement
- 411 Craven St. (Courthouse Annex) – mechanical work
- 521 E. Front St. – mechanical unit
- 1117 N Craven St. – mechanical unit

B. Report on CoA Extensions Issued Since Prior Regular Meeting:

- 416-418 Broad St. - Extension until September 25, 2021, of the CoA approved September 25, 2019 - to include infill construction of 8 new townhouse units in 2 new 3-story buildings; parking and internal garages to be located and accessed from the rear of the buildings with the following condition: submit a landscape plan to the Historic Preservation Administrator for review and approval.
- 501 Metcalf St. – Extension until October 16, 2021, of the CoA approved October 16, 2019 - landscaping in front along Metcalf, add gate along New St., and new driveway and parking area behind the house with the following conditions: All on-site parking spaces are moved to the parking area at the rear of the house.

C. SHPO Training – HPC group viewing recent and future

- i. Comprehensive Community Preservation

D. Other Items and Updates

- i. King Solomon Lodge grant award by the State - \$15,000 award of Federal funds for a consultant to produce a historic preservation plan.
- ii. Resiliency Plan – report on second meeting for the plan

8. Commissioners' Comments

9. Adjourn

FEE SCHEDULE (office use only)

- [] \$22 Standard Application (minor)
 [] \$107 Standard Application (major)



HPC Administrator
 HPCadmin@newbernnc.gov
 Work: (252) 639-7583
 Fax: (252) 636-2146

Application for a Certificate of Appropriateness

(For Alterations to Properties in Locally Designated Historic Districts)

For assistance, see "CoA Instructions," as well as "Historic District Guidelines," available online at:

<https://www.newbernnc.gov> Go to: Departments, Development Services, then:

- For the CoA Instructions: Document Center, Alphabetical Listing, Certificate of Appropriateness – Instructions for COA application
- For the Historic District Guidelines: Historic Preservation, HPC Guidelines, Historic District Guidelines

Type of Project: ☒ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:			
Property Address (Include year built, if known): 419 Metcalf Street Built in 1770			
Property Owner Name(s):	Owner Mailing Address:	Phone #s:	Email:
Chris Mcgrath Cher Durham	419 Metcalf Street	919-614-7121	cpmgrath803@gmail.com
Applicant Name (if different):	Applicant Mailing Address:	Phone #s:	Email:

II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)
<p>1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)</p> <p>Mini split installation and covering of line sets on the exterior of the house. The mini splits will efficiently cool and heat the house with minimal disruption to the exterior appearance. The condenser units are screened from street visibility. The contractor required the unit be located at the street side due to the room location.</p> <p style="text-align: right;">Continued on additional sheet or attached brochure <input type="checkbox"/></p>
<p>2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (only need the guideline numbers): 2.3.1, 2.3.2</p> <p style="text-align: right;">Continued on additional sheet or attached brochure <input type="checkbox"/></p>
<p>3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):</p> <p>Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s). Vinyl, line set covers Please see attached. Plants to screen the condenser unit.</p> <p style="text-align: right;">Continued on additional sheet or attached brochure <input checked="" type="checkbox"/></p>

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☐ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☐ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

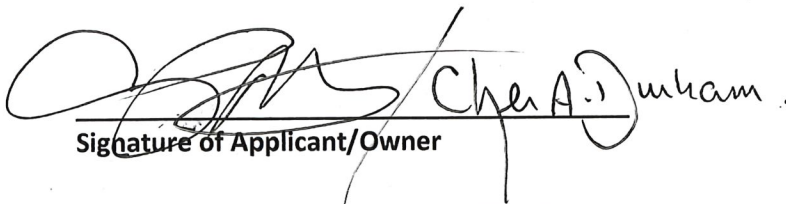
Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☒ I am the owner of the Property, or
- ☐ I am acting on behalf of the owner of the property and have attached the notarized authorization form indicating the owner(s) consent to represent them for this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.


Signature of Applicant/Owner

5/26/2020

Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST.. FOR A MAJOR PROJECT, SUBMITTAL AND FEE PAYMENT MUST BE NO LESS THAN 2 WEEKS PRIOR TO THE UPCOMING HPC REGULAR MEETING. FOR FURTHER INFORMATION, CONTACT THE HISTORIC PRESERVATION COMMISSION ADMINISTRATOR AT (252) 639-7583.

To Whom It May Concern:

The mini-split HVAC systems installed at 419 Metcalf street, New Bern have the following line set limitations set by the manufacturer.

The 9,000 BTU capacity units cooling and heating the upstairs and downstairs bedrooms have a minimum copper line length guideline of 10 feet. The maximum line set length is 50 feet.

The length from side of the house to the other condenser unit on the back of the house is 65 feet.

The length from the front of the house to the side condenser unit is 70 feet.

The structural layout of the rooms dictated the placement of the indoor units and therefore the line sets that extend out of the interior.

This necessitated the placement of the condenser unit on the front of the house behind the bushes.

The placement of this unit within the limitations of the manufacturer guidelines was also made due to the ability to completely screen it from view with the strategic placement of natural bushes that are evergreen.

Thank you,



Daniel J. Cushine

HVAC Contractor

910-545-3983



Chris McGrath

Homeowner

919-614-7121









The
Clark House
circa 1870
Private Residence

419





419 Metcalf

Staff photos taken 2020-04-27: HVAC Unit Situation Investigation





Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description:

419 Matcalf St. - installation & screening of a mechanical unit in the front yard.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-8

Required Setbacks (primary structure): ^{2x} Front 51m. Side 5' Rear 6'

Accessory Setbacks: From Nearest Structure 8' Side 3' Rear 3'

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: 50'

Required Site Improvements: Landscaping — Buffer — Parking —

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets X Does Not Meet _____ the requirements of the Land Use Ordinance.

Comments:

_____ Zoning Administrator [Signature] 6/12/2020

Chief Building Inspector please review the application and include any comments below

The proposed project Will X Will Not _____ require a ^{Mechanical} building permit(s).

Comments:

_____ Chief Building Inspector [Signature] 6/12/2020

Certificate of Appropriateness Findings & Recommendations

HPC Regular Meeting - June 2020

Applicant: Chris McGrath & Cher Durham

Applicant Address: 419 Metcalf St., New Bern, NC 28560

Project Address: 419 Metcalf St., New Bern, NC 28560

Historic Property Name: Clark-Welsh House

Status: **Contributing:** X **Non-contributing:** **Vacant:**

NR Inventory Description (2003): (c. 1800) Two stories with steep gambrel roof; two bays wide, three bays deep; entrance in left front bay; one-story, gable-end wing on north side of main block abuts exterior end chimney.

Sandbeck Description (1988): The Clark House, 419 Metcalf St., ca. 1800.

The Clark house is distinguished from New Bern's other surviving vernacular gambrel-roofed dwellings by its uncommon plan, diminutive scale, and extremely vertical roofline.

The charming original configuration of the house is still discernable beneath the twentieth-century additions of a small room on the south slope of the gambrel, and a front portico. The single-pile structure, covered with both beaded and plain weatherboards, has six-over-six Sash, and at the west end a large exterior chimney, the latter recently rebuilt. Most of the windows and dormers are [a]symmetrically positioned, reflecting the irregular plan within. Extending to the west is a one-story gable-roofed addition dating from the second half of the nineteenth century. The one-story shed-roofed passage along the south side is enigmatic; it is most likely either an original porch which was later enclosed, or an original enclosed area intended to provide the necessary covered circulation between the first floor rooms and the stair which rises from a doorway opening onto the passage. The location of the one-story rear wing and the presence of a fireplace for that room in the main chimney suggest that this wing may have replaced an original one-story shed kitchen in that location, much like the arrangement seen at the Osgood Cottage.

419 Metcalf St. – to include installation and screening of a mechanical unit in the Primary AVC. This is an after-the-fact application.

Staff submits the following Historic District Guidelines as appropriate to this application:

Utilities

2.3.1 Locate equipment in Secondary and Tertiary AVCs and screen items from public view with vegetation, fencing and similar site constructions.

2.3.2 Paint equipment and exposed utilities to compliment mounting surfaces and reduce their visibility.

Modifications

3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.

3.2.2 Modifications to a structure should not conceal, damage or remove significant design components or architectural features.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is site work within the Primary AVC;

Certificate of Appropriateness Findings & Recommendations

HPC Regular Meeting - June 2020

2. The proposed design, components, and materials do not meet the requirements of the Guidelines;
3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
4. The project, as it exists, is incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve, with conditions, this application to include: installation and screening of a mechanical unit in the Primary AVC, citing the aforementioned guidelines. The conditions for approval that we recommend are:

- 1) ensure current and subsequent owners will maintain full screening of the HVAC unit, and submit such documentation to the HPC Administrator,**
- 2) relocate the line sets to minimize visual impact on the structure, and**
- 3) both of the aforementioned recommendations are to be achieved within 6 months of this meeting.**

If the applicants are not agreeable to these conditions, we recommend denial of the application and the applicant will need to obtain an appropriate CoA by moving the HVAC unit to a compliant location and locating the line sets as approved by the HPC at that time.

FEE SCHEDULE (office use only)

- [] \$22 Standard Application (minor)
 [] \$107 Standard Application (major)



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Type of Project: ☐ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☒ Other

I. Applicant/Owner Information: Bryan and Kathy Hamilton

Property Address (Include year built, if known):
 1229 National Ave.; Circa 1910

Property Owner Name(s): Bryan Hamilton Kathy Hamilton	Owner Mailing Address: 1229 National Ave. New Bern, NC 28560	Phone #s: 703-485-7929 571-594-4604	Email: bham9317@gmail.com kathyhamilton9317@gmail.com
Applicant Name (if different):	Applicant Mailing Address:	Phone #s:	Email:

II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

See Attached page three.

Continued on additional sheet or attached brochure ☐

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (only need the guideline numbers):

2.6.1 and 2.6.2

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

See Attached page three.

Continued on additional sheet or attached brochure ☐

III. Additional Information Provided: (See "CoA Instructions" for more detail)

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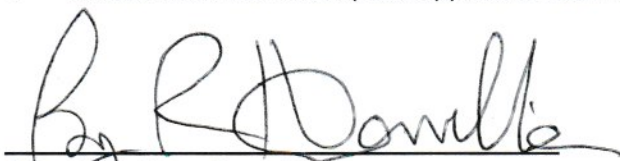
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Signature of Applicant/Owner

8/22/2020

Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST.. FOR A MAJOR PROJECT, SUBMITTAL AND FEE PAYMENT MUST BE NO LESS THAN 2 WEEKS PRIOR TO THE UPCOMING HPC REGULAR MEETING. FOR FURTHER INFORMATION, CONTACT THE HISTORIC PRESERVATION COMMISSION ADMINISTRATOR AT (252) 639-7583.

1. Project Information

Build a 20 by 35 foot detached carport which will include and enclosed 20 by 15 workshop and storage space on the south corner of the existing house. The placement of the carport will provide access to the back kitchen entrance of the house. This structure will be approx. 17 feet from the house. The roof will be a hipped style shingled roof to match the house, with the workshop exterior walls being fiber-cement siding (like Hardy Plank smooth), to resemble the house siding in style. It will be painted white to match the house. The carport peak will be approx 17 feet from ground level. It will be on a concrete slab with a concrete approach from the fence gate, along with a 36 inch sidewalk from the steps to the carport and workshop entrance.

As noted on the drawings, about half of the existing deck will need to be removed to accommodate the carport. Existing block steps from the kitchen landing will need to be removed and new steps installed at the end of the landing toward the carport. The deck steps will need to be modified as well, adjusting for partial deck removal and deteriorating step material.

One existing pecan tree will be removed to start the project. A replacement tree will be planted in the yard of at least 2 inches in diameter as required by the HPC. A mulberry tree is being considered as a replacement that has the possibility to grow to a similar height as the current pecan tree. An existing Japanese Maple at the rear of the proposed carport will not be affected.

3. Provide a detailed description of materials to be used.

6x6 beamed structure of treated and untreated lumber (as needed) to support a hipped roof-style shingled roof to closely match the existing house. Fiber-cement siding like Hardy-Plank smooth – will be used for the exterior siding of the workshop. Interior carport wall will be T-111 siding laid horizontally and painted white to simulate the style of the house siding as seen from the road. Visible supports and trim to be painted white. Wood doors and windows to follow the style of the existing house.

Materials List for Carport and workshop project at 1229 National Ave. (Hamilton)

Wood structure. 6X6 post construction. Some treated lumber as needed.

Architectural shingles like on primary structure (dark gray).

Siding on workshop outside walls will be fiber-cement – like Hardy Plank – smooth - to resemble house siding.

Cement pad construction (4-6 inches or as required by code or recommended by builder). Also, a cement approach to carport from fence gate, and 3 foot wide sidewalk from steps to

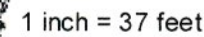
Step reconstruction from Kitchen and Deck – treated 2x6 lumber for treads, treated lumber for stringers, and handrails. Step and handrail construction to be like current deck stairs that are being removed.

Doors – Reclaimed Wood doors – similar in style to house.

Windows – Wood (possible reclaimed if available) in a similar style to house windows (although not seen from the street)



Approx Position in Property of CARPORT



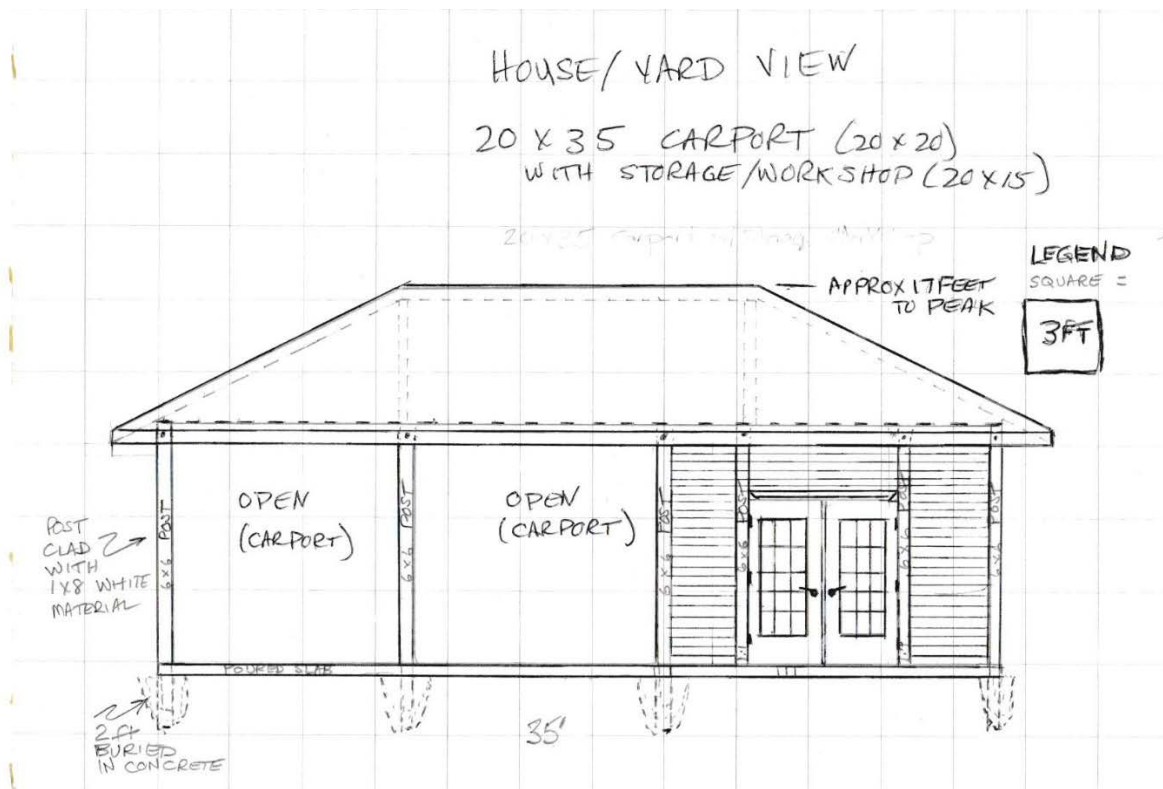
1229 National Ave – photos of house

Streetview – August, 2012



Photo of Hipped Roof Provided by Applicant





HOUSE / YARD VIEW

20 X 35 CARPORT (20 X 20)
WITH STORAGE / WORKSHOP (20 X 15)

20 X 35 Carport w/ Storage Workshop

LEGEND

SQUARE =

3FT

APPROX 17 FEET
TO PEAK

POST
CLAD
WITH
1X8 WHITE
MATERIAL

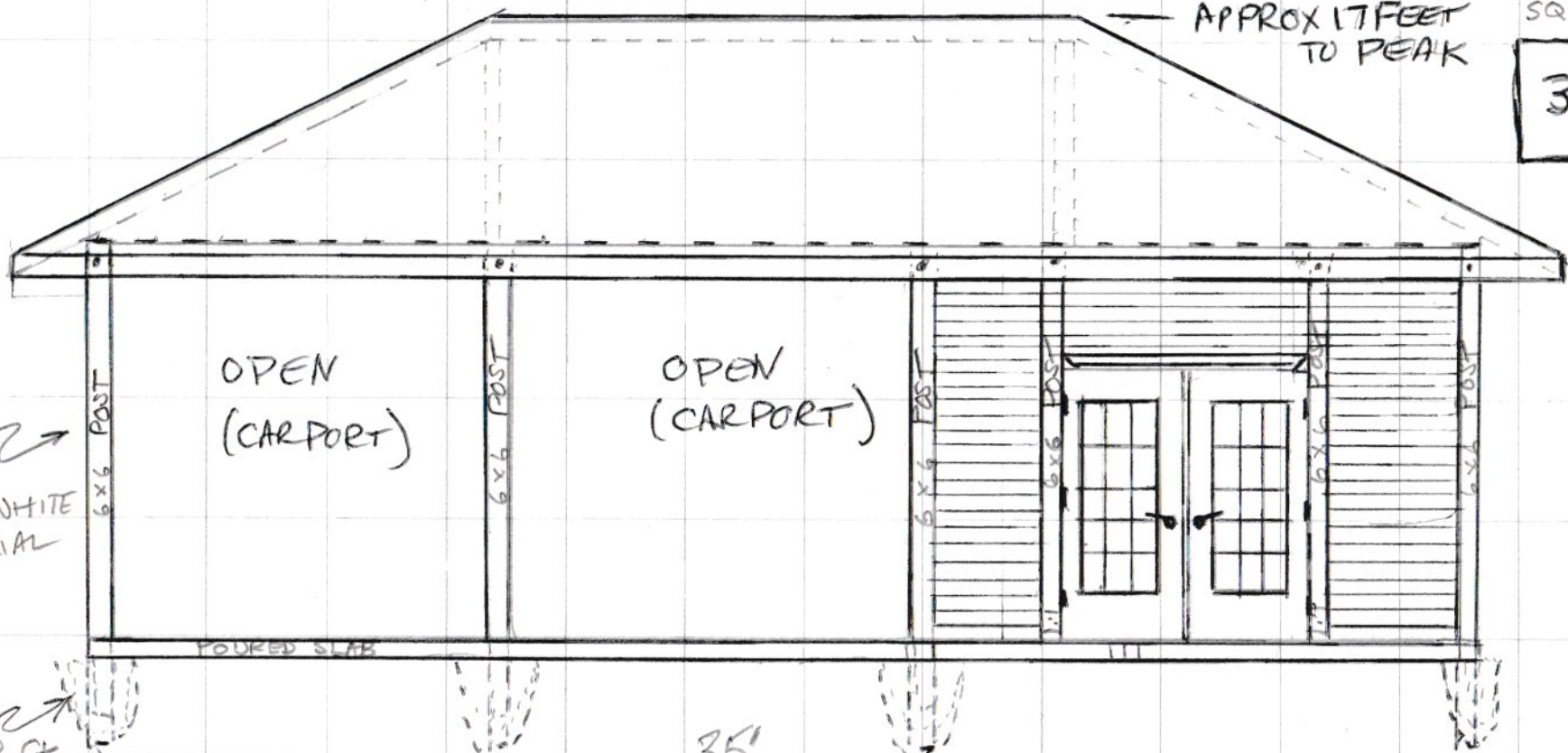
OPEN
(CARPORT)

OPEN
(CARPORT)

POURED SLAB

2 FT
BURIED
IN CONCRETE

35'



1229 NATIONAL AVE (HAMILTON)
 FRONT + BACK VIEW
 20 FOOT WIDE WITH 2 FOOT OVERHANG ALL SIDES
 - APPROX 14.7 FOOT TO PEAK

BACK
VIEW

MATCHING
Asphalt shingles
to HOUSE

WINDOWS
32x36
TO MATCH
KITCHEN
WINDOWS
(1935 Addition)

SIDING
- FIBER CEMENT
(SIMILAR TO
HARDY BOARD,
PAINTED
WHITE)

10'

10'

LEGEND:

Box =

3
FEET

STREET
(FRONT)
VIEW

Architectural
SHINGLES
TO MATCH HOUSE

2" x 12" x 20ft BEAM (BUILT W/ 3 2" x 12")

CLAD
POSTS
W/ WHITE
2x8 MATERIAL
* INSIDE
CARPORT
THIN SIDING
LAID
HORIZONTALLY
VISUALLY
LOOK LIKE
EXTERNAL
SIDING FROM
STREET
-- PAINTED
WHITE

DOOR TO
Complement
KITCHEN DOOR

1229 NATIONAL AVE (HAMILTON)

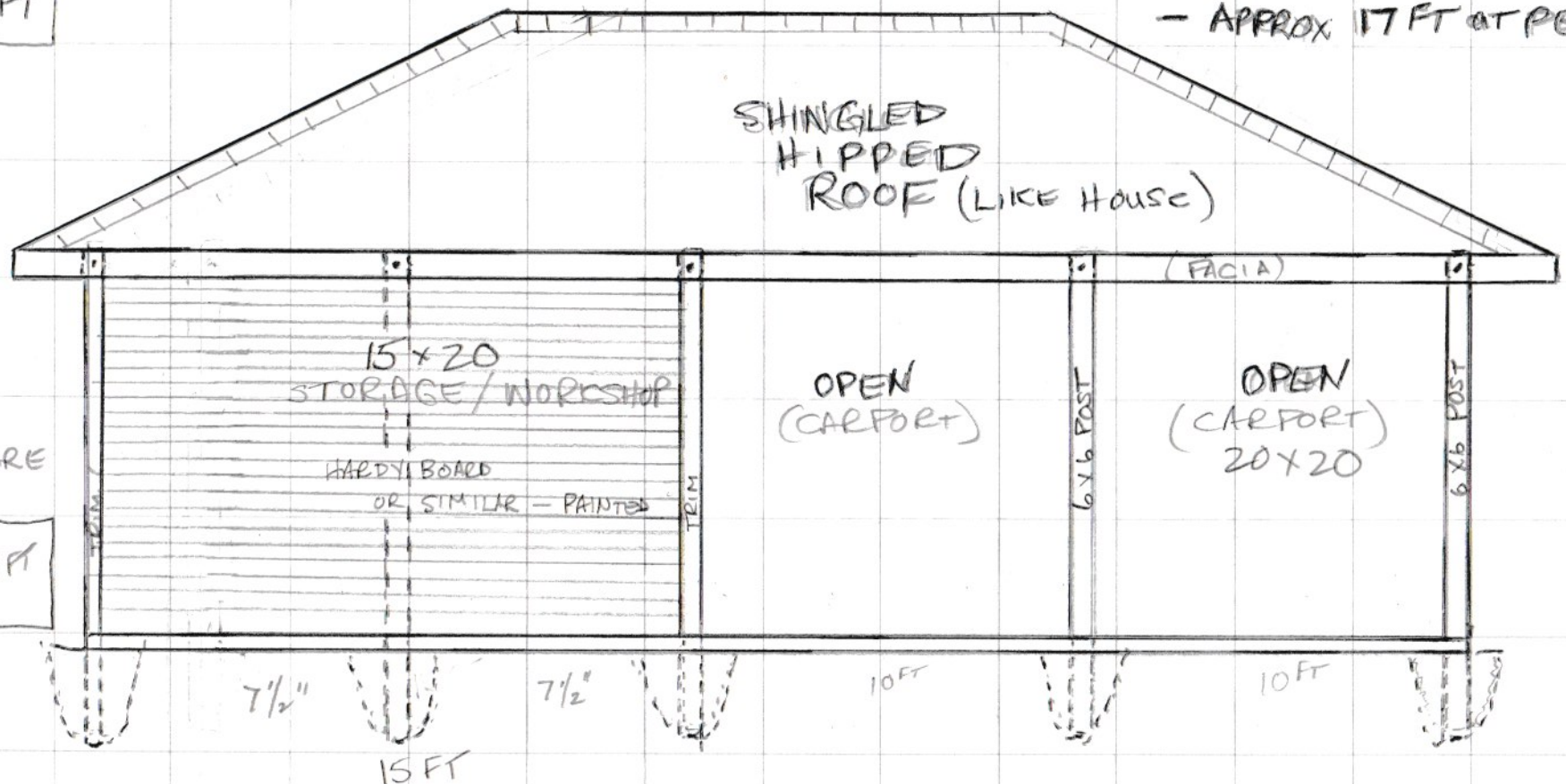
20x35 CARPORT (20x20)
WITH STORAGE/WORKSHOP (20x15 FT)
"VIEW" FROM FENCE SIDE -

=
3 FT

- APPROX 17 FT AT PEAK

SHINGLED
HIPPED
ROOF (LIKE HOUSE)

SQUARE
=
3 FT

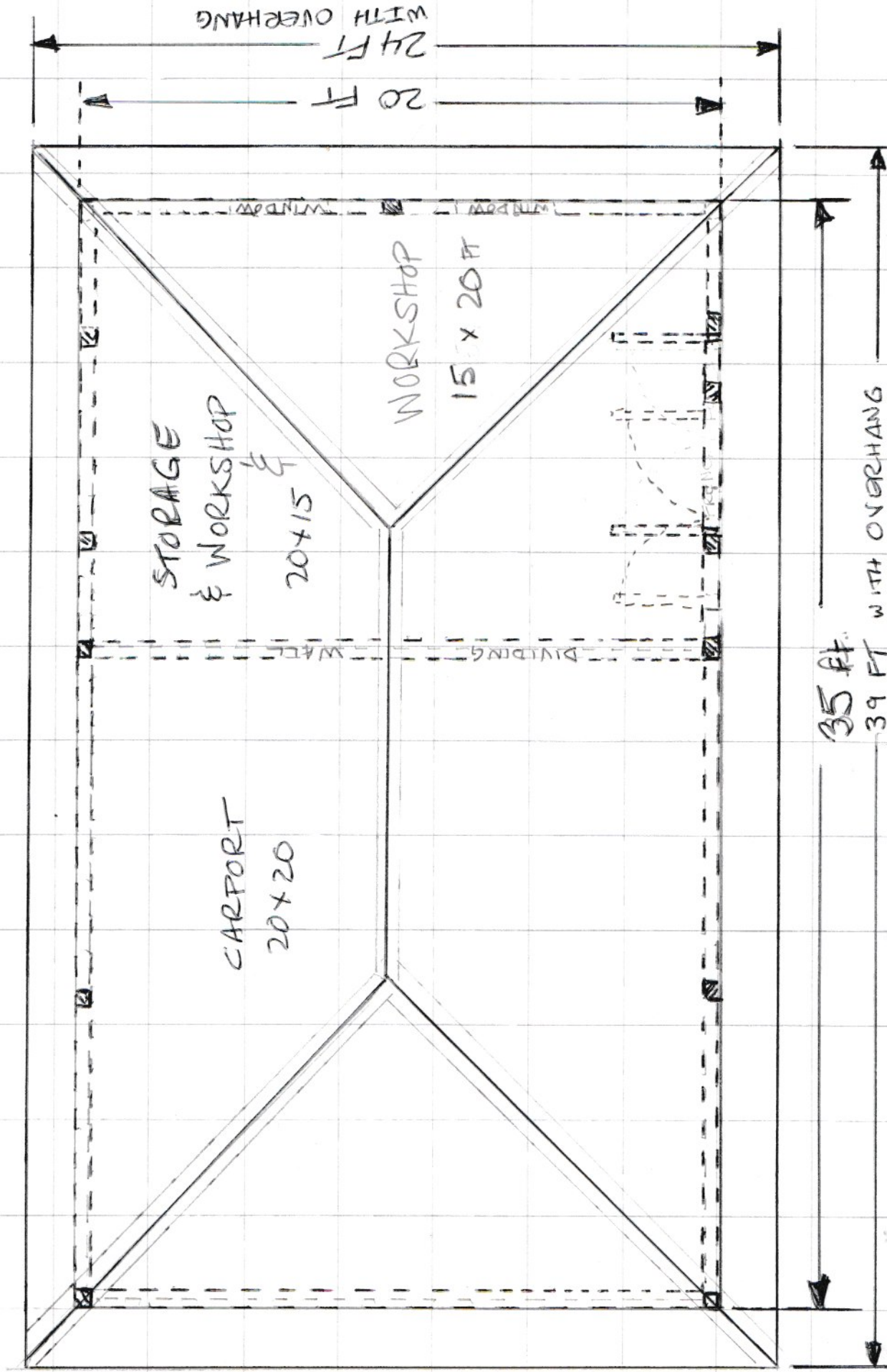


1229 NATIONAL AVE (HAMMINGTON)

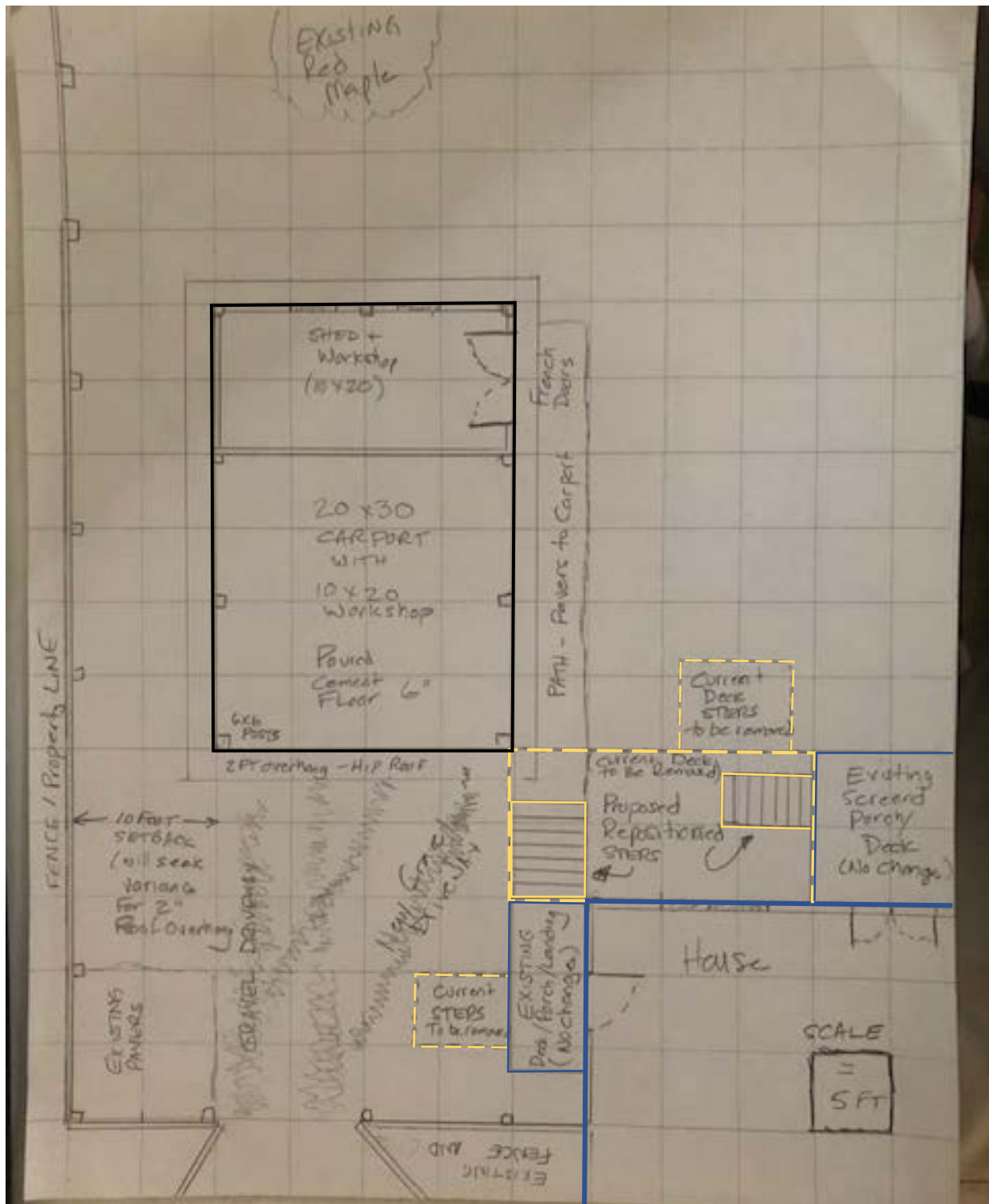
TOP VIEW

20 x 35 CARPORT w/ STORAGE/WORKSHOP
WITH STORAGE/WORKSHOP (20 x 15)

3 FT
SQUARE



20



We are proposing removing the aging deck (and replace with a ground level patio in the future). The current stairs from the back, kitchen door on that southeast side will be removed and new wooden steps will come off the deck-like landing at that kitchen door toward the back of the house in the direction of the carport for better access. The current cinderblock stairs are not to code and would be in the way of the driveway accessing the carport.

EXISTING
Red
Maple
TREE



FENCE / PROPERTY LINE

STORAGE
Workshop
(10x15)

20 x 20
CARPORT
WITH
20 x 15
Workshop
(20 x 35
OVERALL)
Cement
Floor 6"

6x6
POSTS

2 FT overhang - HIP ROOF

PATH - CONCRETE Carport & Workshop

REPURPOSED
15 LITE
FRENCH
DOORS or
ANTIQU
5 PANEL DOORS

EXISTING
BRICK + BLOCK
LANDING

Current
Deck
STEPS
to be removed

(Current Deck
to Be Removed)

Proposed
Repositioned
STEPS

Existing
Screened
Porch/
Deck
(No change)

House

10 FOOT
SETBACK
(will seek
Variance
FOR 2 FT
FOR ROOF
OVERHANG)

CONCRETE
DRIVEWAY
APPROACH
to

Replace Gravel

Current
STEPS
To be removed

EXISTING
Deck/Porch/Landing
(No changes)

EXISTING
PAVERS

GATE

GATE

EXISTING FENCE
+ GRAVEL DRIVE

SCALE
= 5 FT



One tree would need to be removed where the carport will be built. A replacement tree can be planted on the lot in the southwest open area of the yard.



1229 National Ave – deck stairs to be removed

At kitchen



At rear lawn





Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 1229 National Ave. - to include construction of a carport and a concrete driveway, revisions to the deck, and replacement of a tree in the Secondary and Tertiary AVCs

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-10 S

Required Setbacks (primary structure): Front Aug. Side 5' Rear 6'

Accessory Setbacks: From Nearest Structure 8' Side 3' Rear 3'

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: 45'

Required Site Improvements: Landscaping N/A Buffer _____ Parking _____

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet ☐ the requirements of the Land Use Ordinance.

Comments:

Improvement must be in compliance with 5' sideyard setbacks. Zoning Administrator [Signature] 9/11/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will ☒ Will Not ☐ require a building permit(s).

Comments:

Chief Building Inspector [Signature] 9/11/20

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - September 2020

Applicant: Bryan & Kathy Hamilton

Applicant Address: 1229 National Ave., New Bern, NC 28560

Project Address: 1229 National Ave., New Bern, NC 28560

Historic Property Name: J. O. Baxter House

Status: **Contributing:** **X** **Non-contributing:**

NR Inventory Description (1988): ca. 1910; This two-story, frame side-hall-plan Colonial Revival-style house was apparently built shortly after J. O. Baxter of Baxter Jewelry Company purchased the tract on which it stands in 1909. Topped by a slate, bellcast hip roof, the house is two bays wide by two bays deep with a two-story, semi-hexagonal pedimented bay on the southeast elevation. Now covered with brick-patterned asphalt siding, the house features a wraparound porch with Tuscan columns, square-in-section balusters, a brick lattice foundation and a hipped roof of standing seam tin. Windows are one over one or twelve over one sash, and the principal chimney is located in an interior end location. A one-story wing extends across the rear.

Sandbeck Description (1988): N/A

1223 National Ave. - to include construction of a carport and a concrete driveway apron, revisions to the deck, and replacement of a tree in the Secondary and Tertiary AVCs.

Staff submits the following Historic District Guidelines are appropriate to this application:

Guidelines for Landscaping

- 2.4.1 Maintain mature canopy trees. Mature tree removal and its replacement species must be recommended by a certified arborist. Replace removed trees with a similar canopy species at or near the location of the removed tree. Locate canopy trees to define the street edge at maturity.
- 2.4.3 Use plant materials that are indigenous to the historic districts. It is not appropriate to use contemporary edging materials such as landscaping timbers or plastic borders.

Guidelines for Accessory Structures

- 2.6.1 Locate accessory structures in Secondary or Tertiary AVCs, and behind primary structures when possible. Accessory structures are to be secondary to the primary structure in regard to mass, scale, form, and texture.
- 2.6.2 It is appropriate for outbuildings, and similar structures with substantial foundations, to have a similar form and detailing as the primary structure. Reduce these elements in scale to compliment the outbuilding massing, and incorporate less ornate and simpler elements than found on the primary structure.

Guidelines for Parking

- 2.7.1 Confine driveways on narrow lots to the Secondary AVC.
- 2.7.2 Use driveways to access off street parking areas located in the Tertiary AVC. Areas for vehicular use shall not exceed more than 50% of the rear yard in the tight weave development pattern.

Design Principles

- 3.1.1 Consider the scale, mass, and proportion inherent to the surrounding historic development pattern, and design modifications that incorporate these characteristics. Use basic shapes and forms that are common to the historic districts.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - September 2020

Guidelines for Walls, Trim and Ornamentation

- 4.2.4 Incorporate wood trims and articulate masonry appropriately for the application.
- 4.2.5 Primary structures are generally more ornate and detailed. Accessory structures are generally subordinate to the primary structure and have minimal ornamentation, if any, and simplified details.

Guidelines for Windows, Doors and Openings

- 4.3.2 Add window and door openings in Secondary or Tertiary AVCs in locations that do not diminish the original design. In general, openings shall have a vertical orientation or be square.

Guidelines for Decks and Patios

- 4.6.1 Adhere to Guidelines for retention of historic fabric when altering deck components.
- 4.6.2 Locate decks in Secondary and Tertiary AVCs, and screen the underside with shrubbery, fencing, lattice, or masonry.

Wood

- 5.2.2 Construct wood assemblies similar to that found in adjoining work. In general, new material should be the same dimension and shape of that existing.

Paint

- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on flooring, fencing, and similar wood surfaces exposed to foot traffic or weather.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is located within the Secondary and Tertiary AVCs;
2. The proposed accessory structure, driveway apron, and deck modifications do not conceal, damage, or remove historically significant design components or architectural features;
3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
4. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application to include construction of a carport and a concrete driveway apron, revisions to the deck, and replacement of a tree in the Secondary and Tertiary AVCs.

FEE SCHEDULE (office use only)

- [] \$22 Standard Application (minor)
 [] \$107 Standard Application (major)



HPC Administrator
HPCadmin@newbernnc.gov

Work: (252) 639-7583

Fax: (252) 636-2146

Application for a Certificate of Appropriateness
(For Alterations to Properties in Locally Designated Historic Districts)

For assistance, see "CoA Instructions," as well as "Historic District Guidelines," available online at:

<https://www.newbernnc.gov> Go to: Departments, Development Services, then:

- For the CoA Instructions: Document Center, Alphabetical Listing, Certificate of Appropriateness – Instructions for COA application
- For the Historic District Guidelines: Historic Preservation, HPC Guidelines, Historic District Guidelines

Type of Project: ☐ Exterior Alteration ☒ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information: Bruce and Jean Wright			
Property Address (Include year built, if known): 1223 National Ave., New Bern, NC (Year Built: 1912)			
Property Owner Name(s): Bruce Wright Jean Wright	Owner Mailing Address: 18224 Green Blvd King George, VA 22485	Phone #s: 540-379-3203 240-299-9744	Email: bigheart63@gmail.com medic4bigheart@gmail.com
Applicant Name (if different):	Applicant Mailing Address:	Phone #s:	Email:

Applicant providing revised Application

II. Project Information: <i>(See "CoA Instructions" & "Historic Guidelines" for help in completing this section)</i>
<p>1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)</p> <p>The planned addition is located in the Tertiary AVC and is not visible from the road. The addition replaces the current deck and adds space to the existing kitchen, a screen porch, and deck. The 11.5'x12' kitchen addition adds approximately 144 sq. ft. to the house. The deck with screen porch totals approximately 400 sq. ft. Total expansion into the back yard is 24'. All work will adhere to code. Relocate existing outside HVAC units to below the new deck.</p> <p align="right">Continued on additional sheet or attached brochure <input type="checkbox"/></p>
<p>2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (only need the guideline numbers):</p> <p>3.3.1, 3.3.2, 3.3.3</p> <p align="right">Continued on additional sheet or attached brochure <input type="checkbox"/></p>
<p>3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):</p> <p>Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).</p> <p>Pine siding (match existing), brick foundation (match existing as close as possible), relocate existing window to rear of addition, add similar window inside screened porch, galvanized tin roof (match existing), pressure-treated wood decking and porch (sizes vary based upon usage), screen.</p> <p align="right">Continued on additional sheet or attached brochure <input type="checkbox"/></p>

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☒ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☒ I am the owner of the Property, or
- ☐ I am acting on behalf of the owner of the property and have attached the notarized authorization form indicating the owner(s) consent to represent them for this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.


Jean Wright
Digitally signed by Jean Wright
Date: 2020.07.25 13:31:20
-04'00'

Signature of Applicant/Owner

Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST.. FOR A MAJOR PROJECT, SUBMITTAL AND FEE PAYMENT MUST BE NO LESS THAN 2 WEEKS PRIOR TO THE UPCOMING HPC REGULAR MEETING. FOR FURTHER INFORMATION, CONTACT THE HISTORIC PRESERVATION COMMISSION ADMINISTRATOR AT (252) 639-7583.

1223 National Avenue - CoA App Wright Addendum – 2020-08-09

Material List

- Pine siding (match existing)
- Brick foundation (match existing as close as possible) – Current brick is painted red. New brick will not be painted.
- Relocate existing window to rear of addition
- Add similar window inside screened porch
- Standing seam metal roof (match existing)
- Pressure-treated wood decking and porch (sizes vary based upon usage)
- Screen for porch

Additional Files with Photos and Plans

- Aerial View
- Floor Plan
- Rear Elevation
- Side View

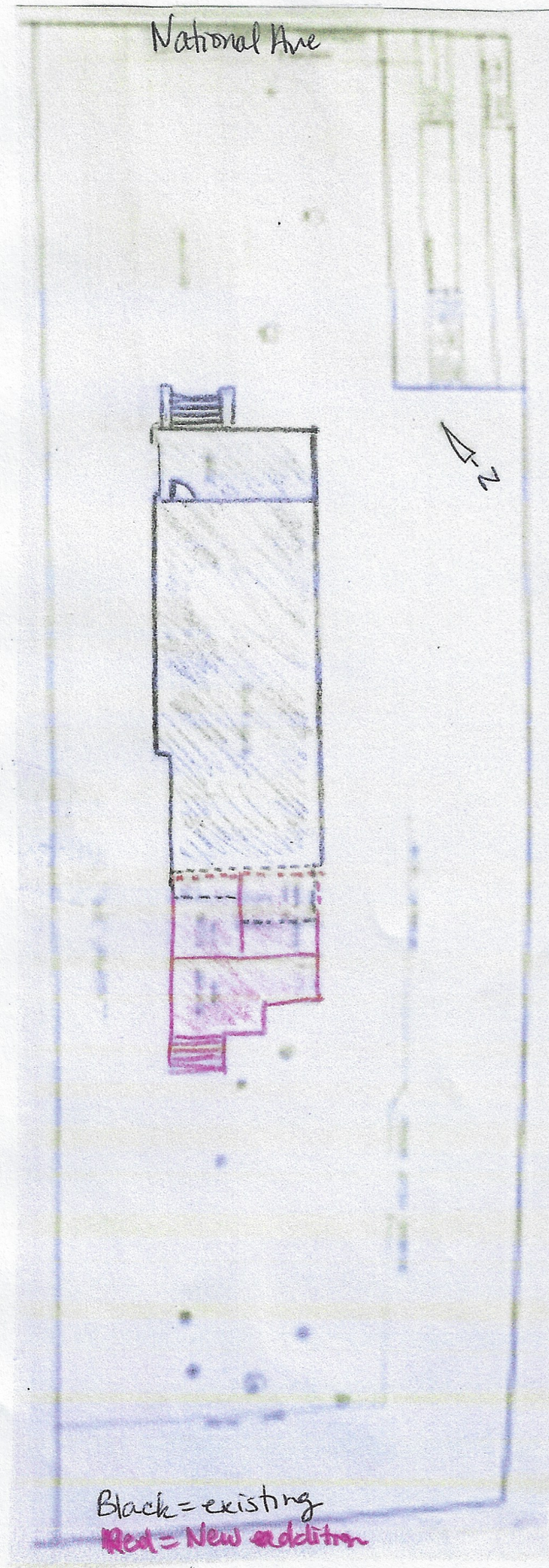
1223 National Ave.

Streetview from 2012:





Imagery ©2020 U.S. Geological Survey, Map data ©2020 20 ft



1223 National Ave - Side View

Existing

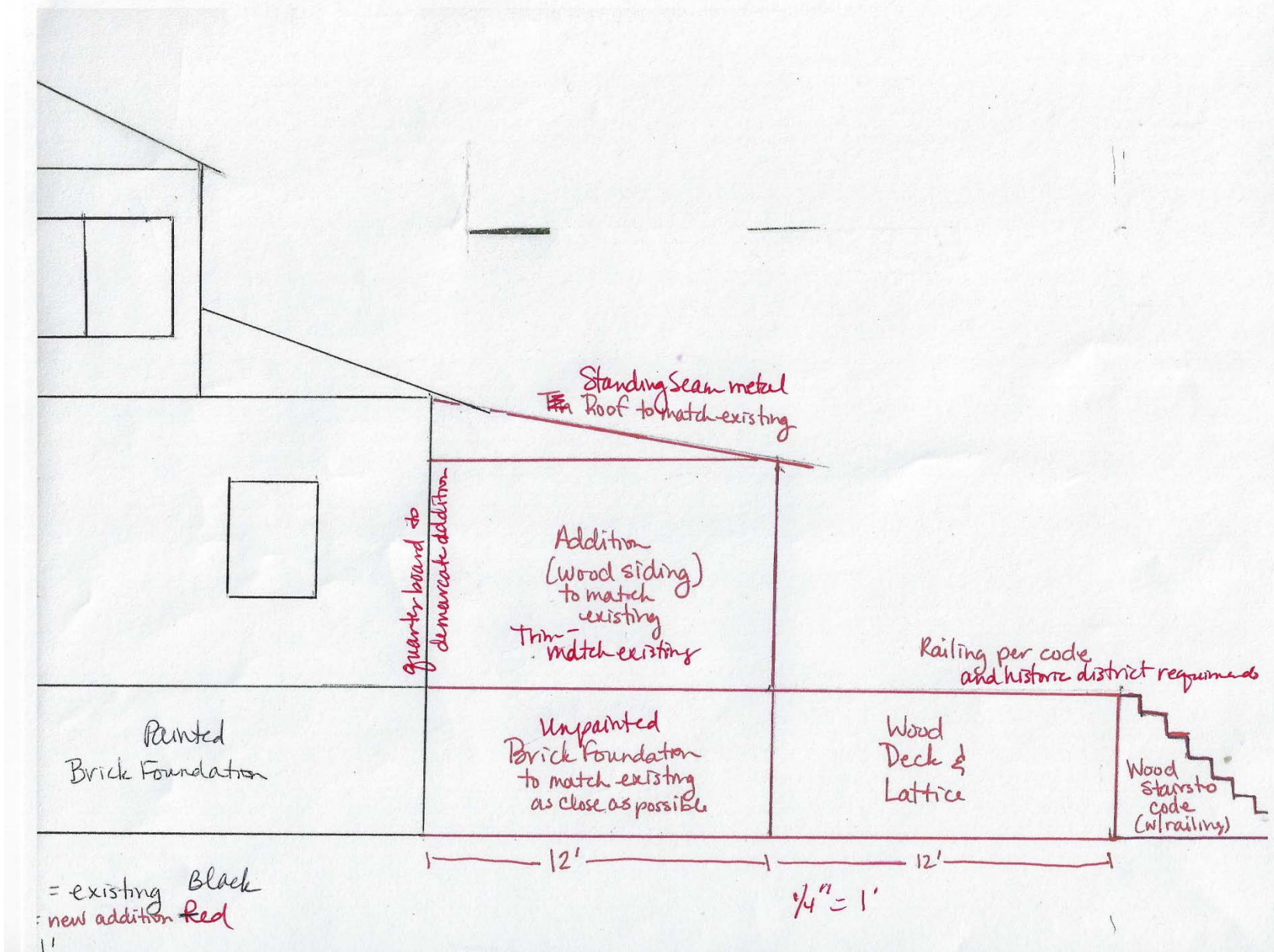


1223 National Ave - Rear Photos

Existing

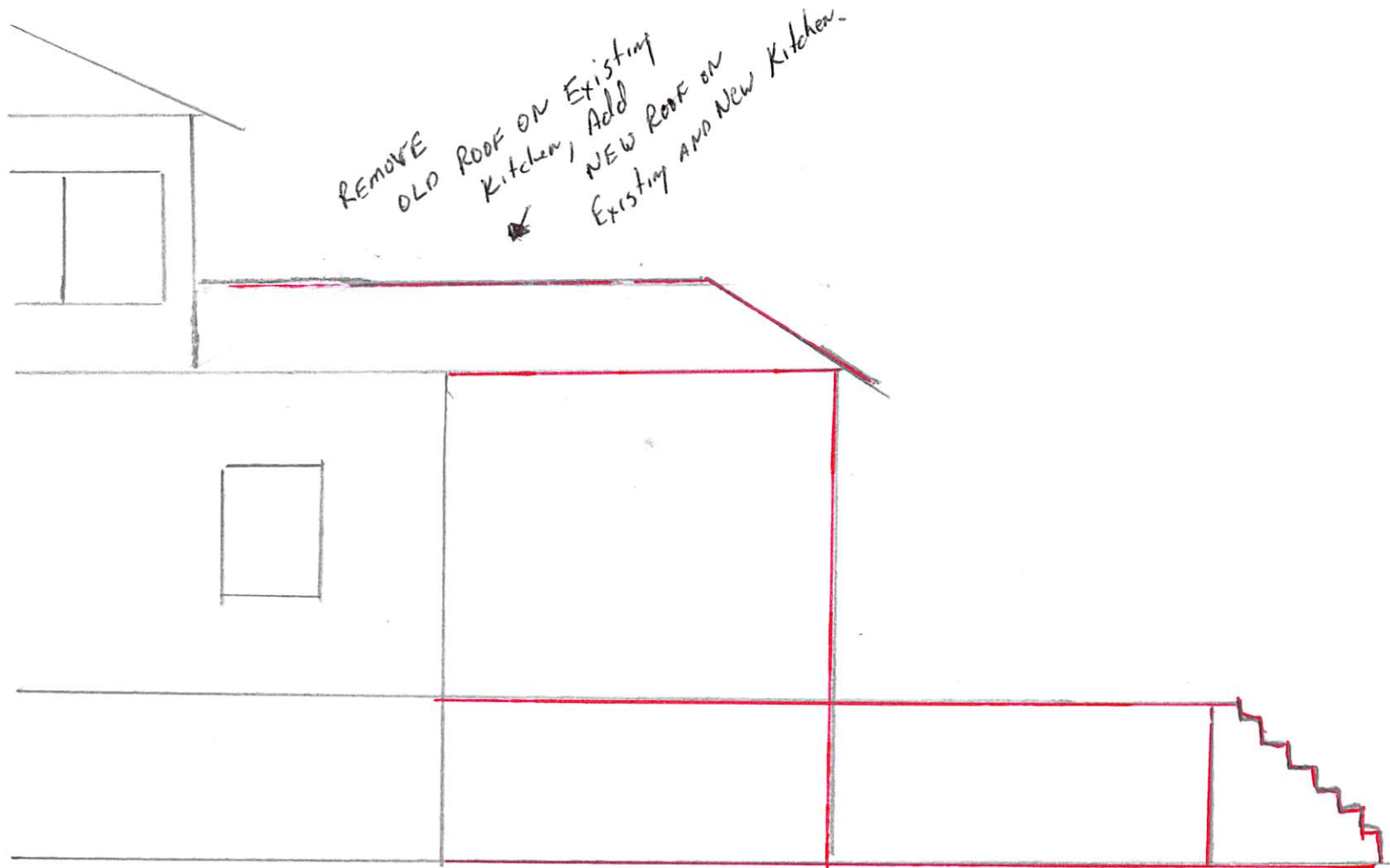


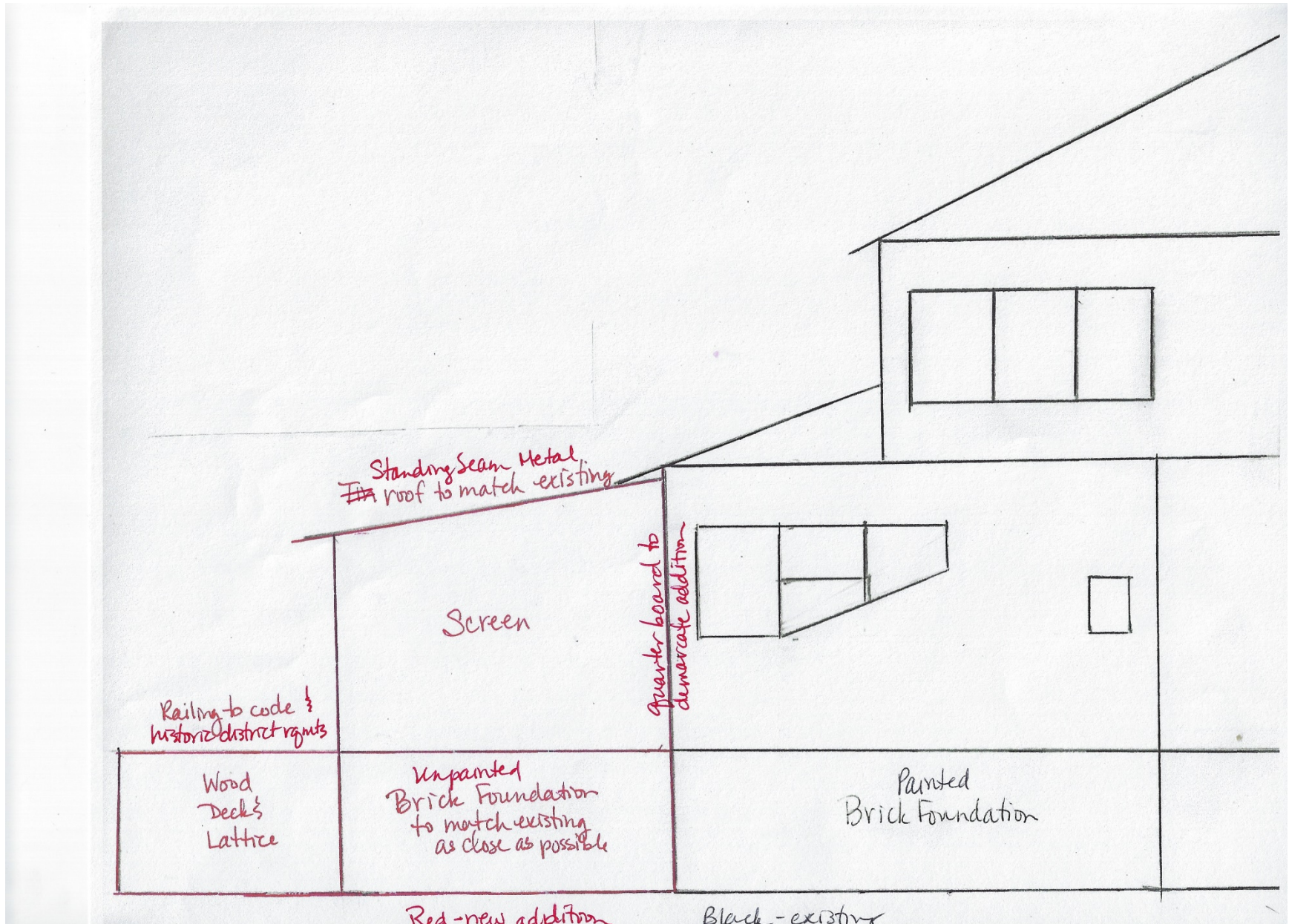
Proposed



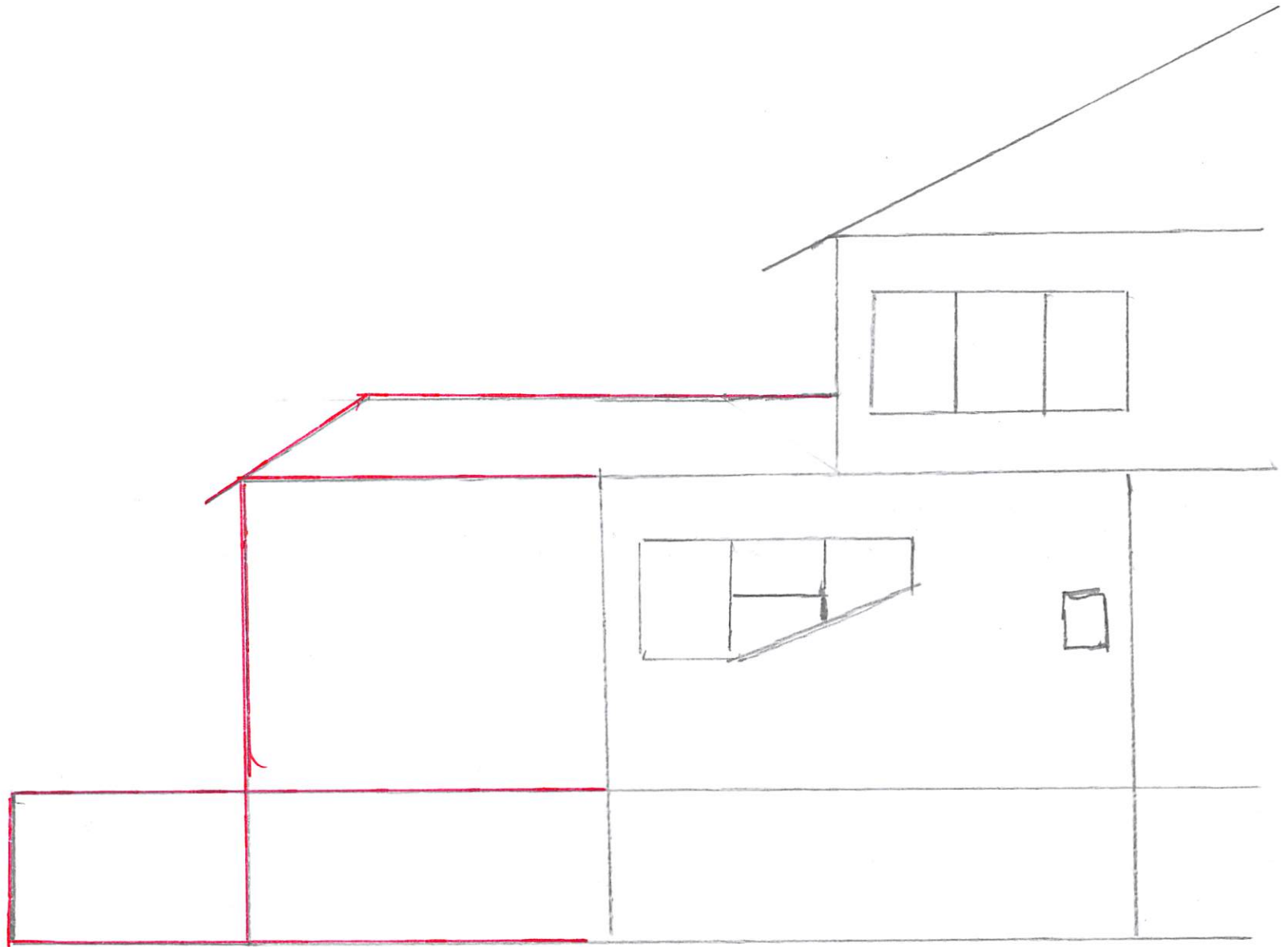
BRUCE WRIGHT
1223 NATIONAL AVE
NEW BERN NC 28560

SIDE

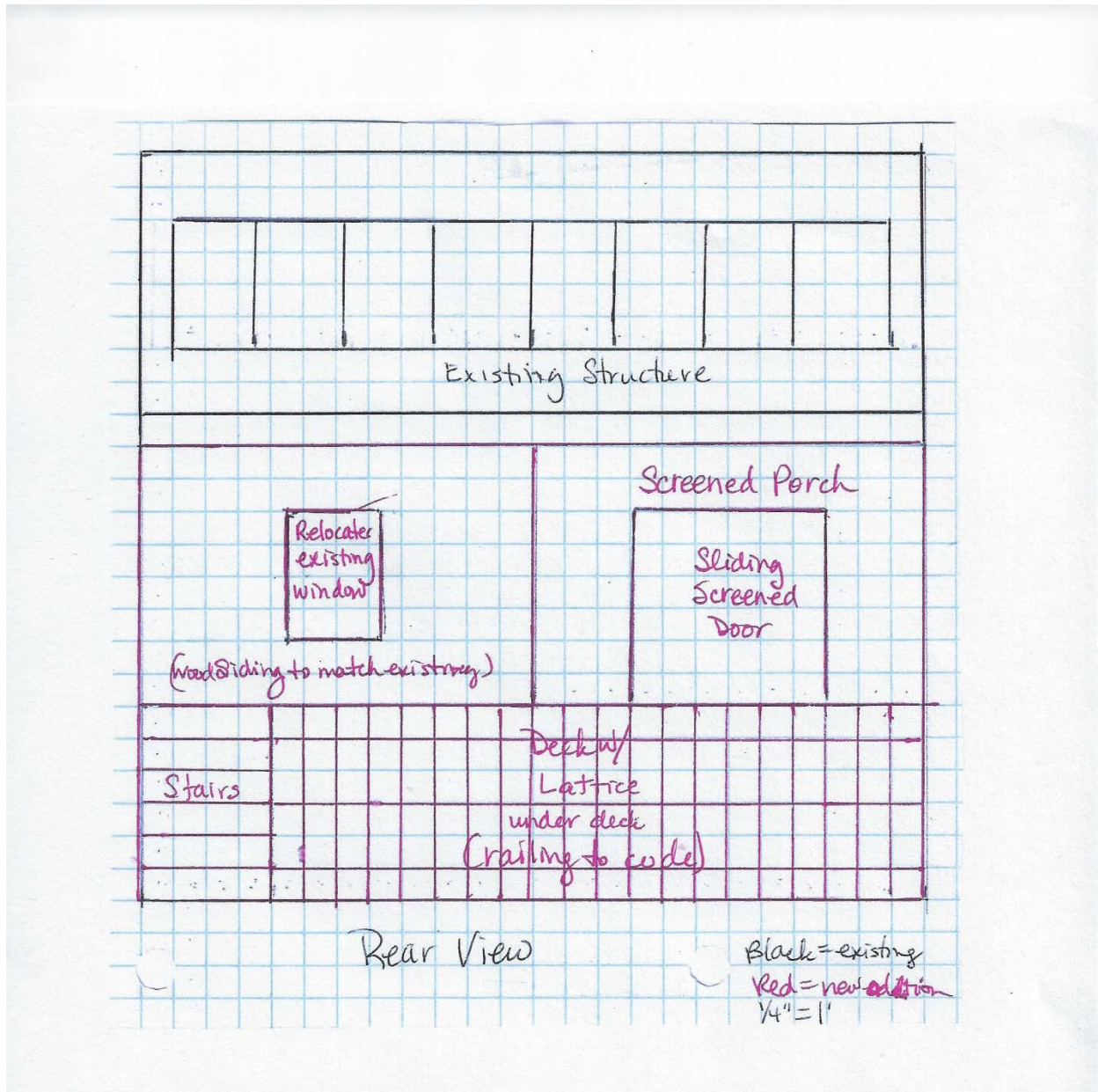




SIDE

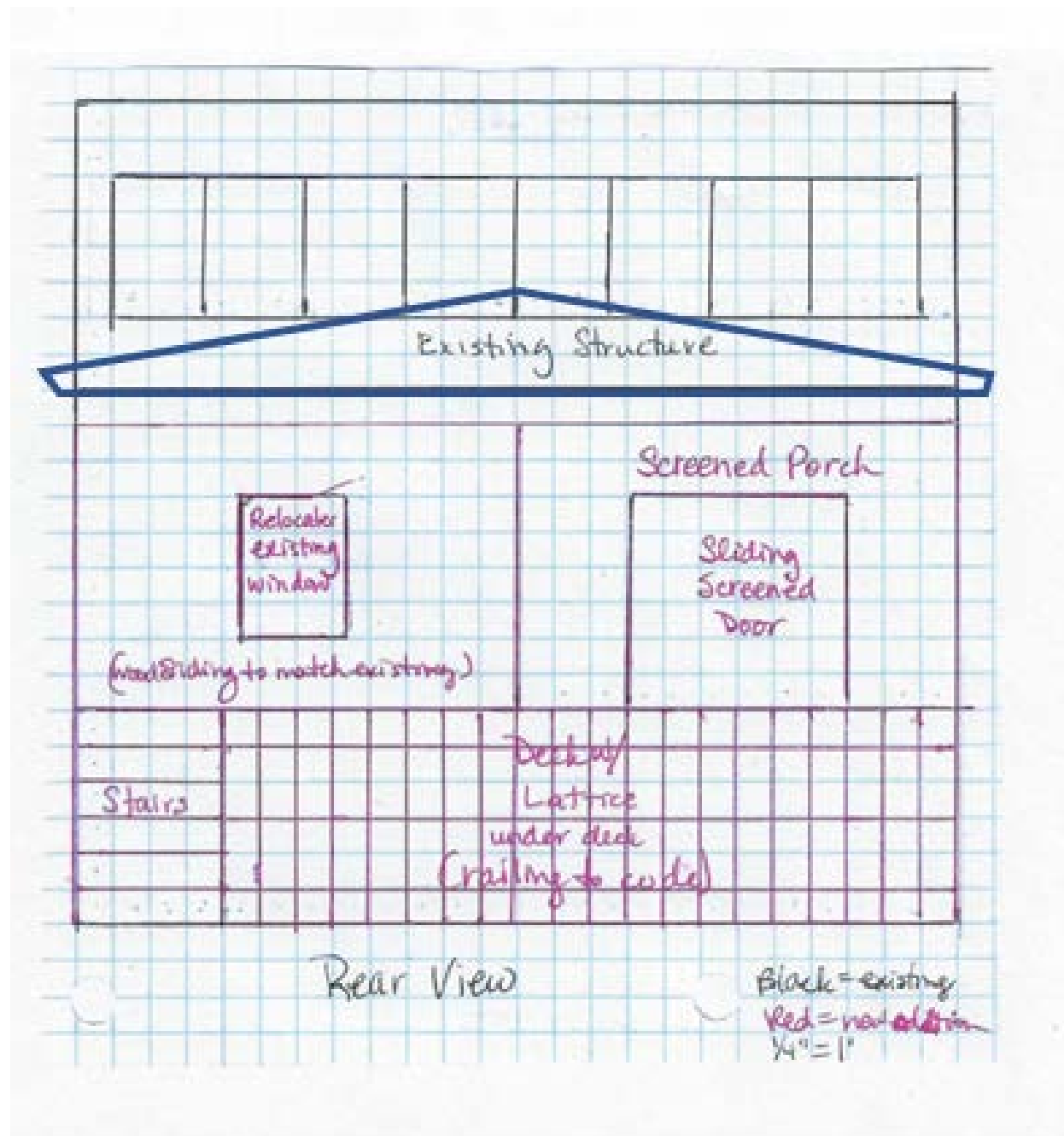


Proposed Elevation

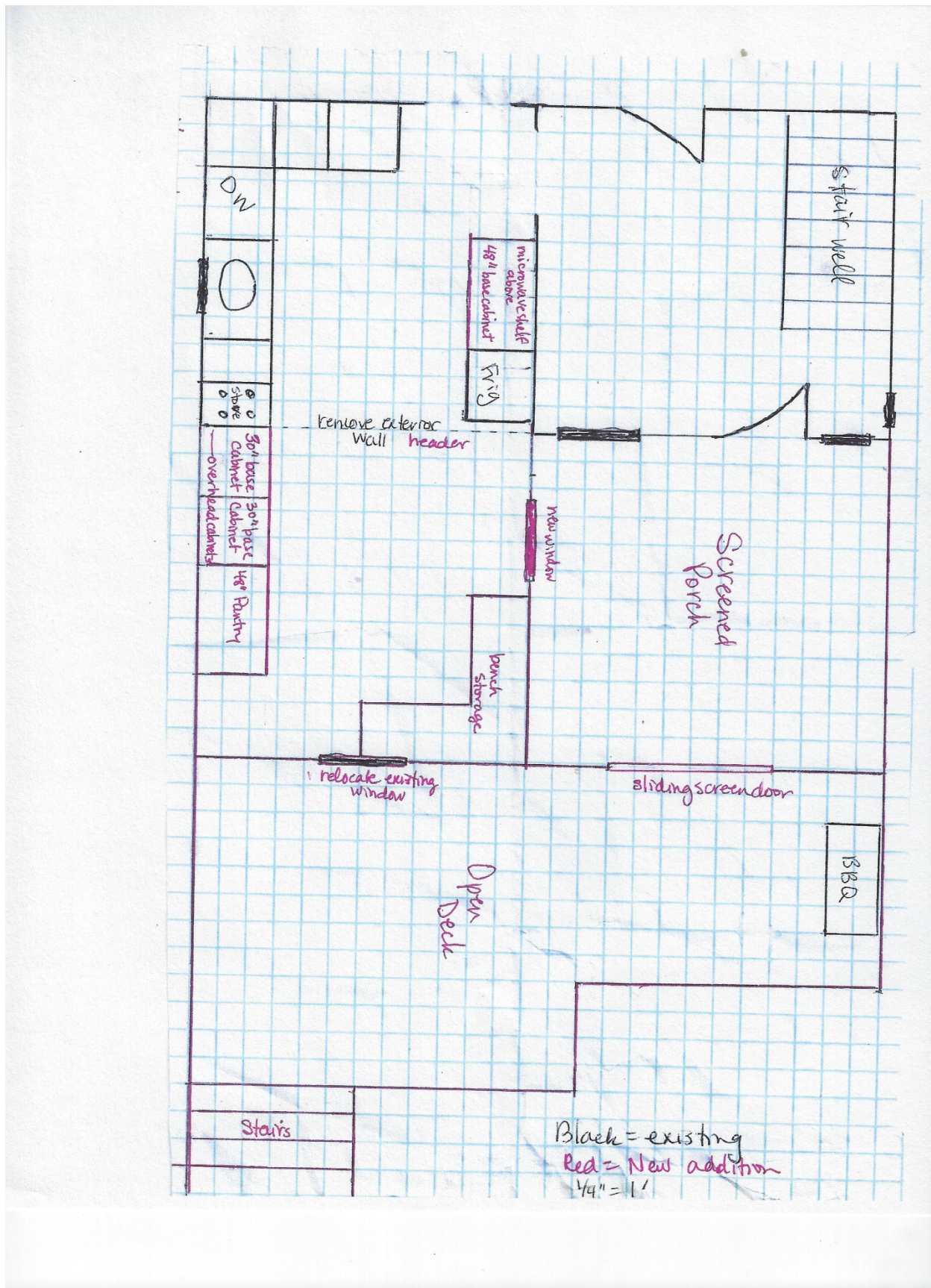


1223 National Ave

New Roof Line Changes

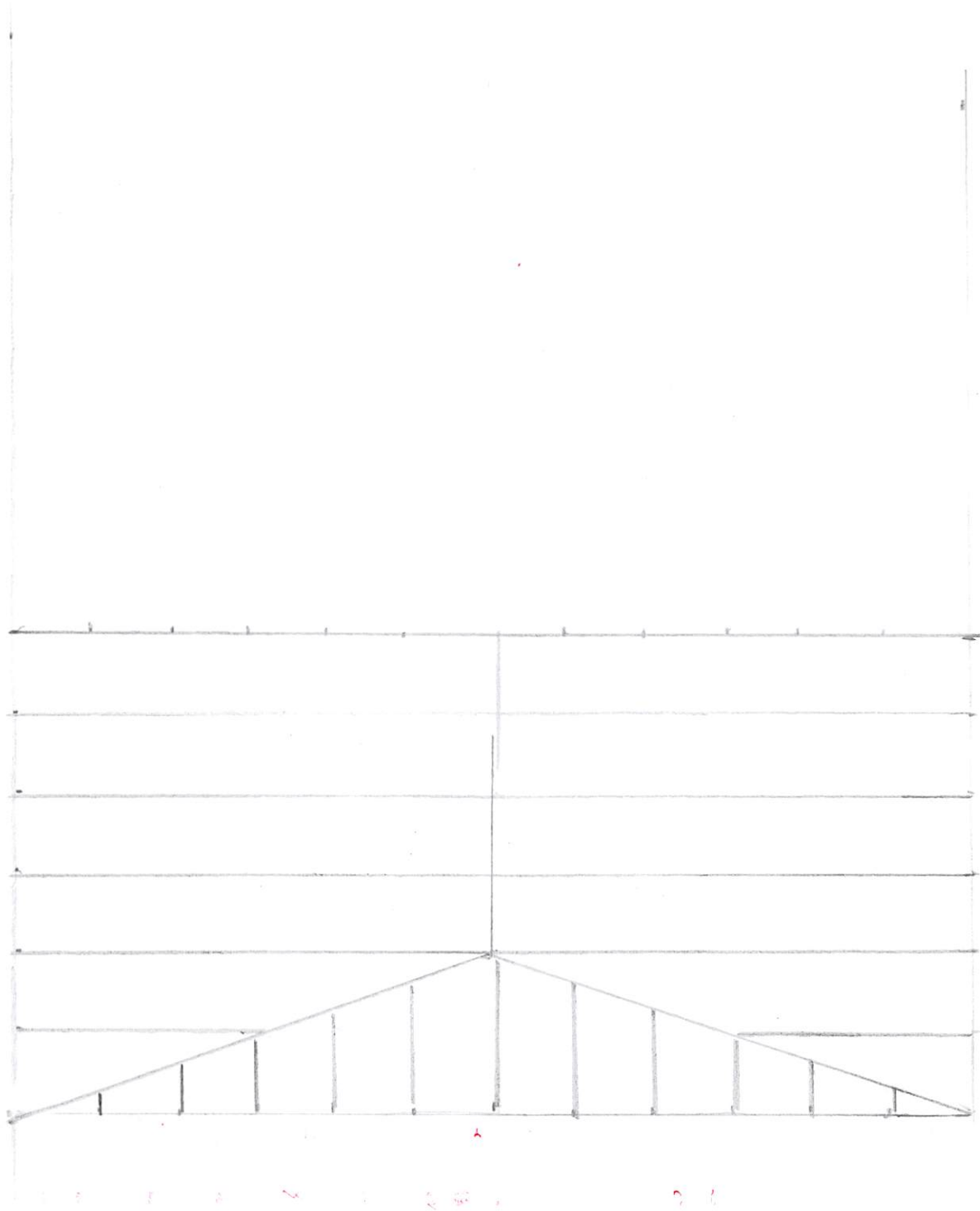


1223 National Ave - Floor Plan



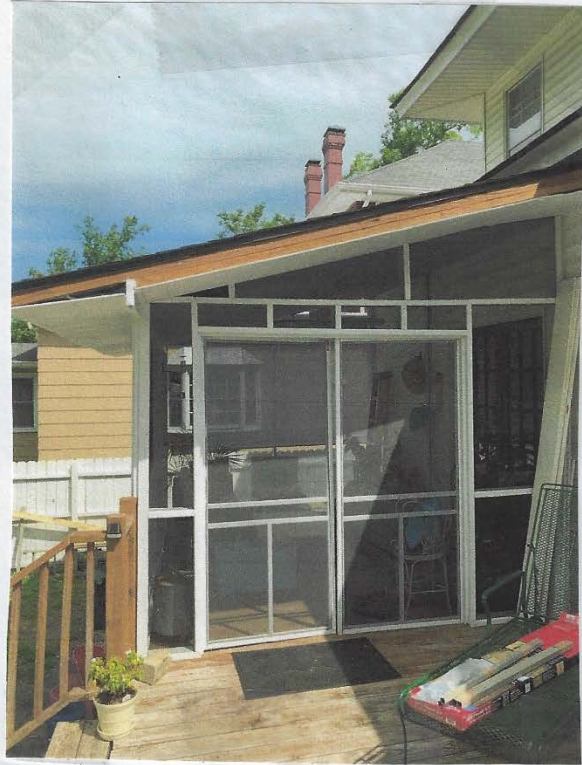


TOP



1223 National Ave - Rear Photos

Screened porch will be similar style to porch located at 1229 National Avenue.



Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - September 2020

Applicant: Bruce & Jean Wright

Applicant Address: 18224 Green Blvd., King George, VA 22485

Project Address: 1223 National Ave., New Bern, NC 28560

Historic Property Name: Street-Lloyd-Kennedy House

Status: **Contributing:** **X** **Non-contributing:**

NR Inventory Description (1988): c. 1912; Probably the second of the three houses built on the lots acquired in 1897 by James F. Taylor, this two-story, hip-roofed, frame side-hall plan house Distinguishing features include the wide overhang of the standing seam tin roof, the grouped square-in-section porch posts on wide brick piers, and the attenuated pilasters of the classical entrance surround. The house is two rooms deep with a one-story ell extending to the rear. Windows on the side elevations and the first floor of the two-bay facade are two over two sash, while those on the facade's second floor are one over one sash. A hipped dormer is centered on the front slope of the roof, while an interior chimney with corbeled cap rises beside the roof ridge.

Sandbeck Description (1988): N/A

1223 National Ave. - to include revising the approved plans for an addition, changing the roof configuration, in the Tertiary AVC.

Staff submits the following Historic District Guidelines are appropriate to this application:

Design Principles

- 3.1.1 Consider the scale, mass, and proportion inherent to the surrounding historic development pattern, and design modifications that incorporate these characteristics. Use basic shapes and forms that are common to the historic districts.

Modifications

- 3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.

Additions

- 3.3.1 Locate additions in a Secondary or Tertiary AVC to minimize the impact on primary, character defining elevations. Limit the footprint of additions to maintain private open spaces.
- 3.3.2 Use roof forms and pitches that are similar to those found on the primary structure. Delineate the addition from the plane of the primary structure by creating slight offsets and corners.
- 3.3.3 Incorporate materials and details derived from the primary structure. Extend the architectural hierarchy of the primary structure to the addition. Architectural embellishments and detailing are often simplified on less visible Secondary and Tertiary AVC elevations.

Roofs

- 4.5.1 Adhere to Guidelines for retention of historic fabric when altering roof components.
- 4.5.4 Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation. Provide double locked seams with flush ridge and hip flashings on contributing structures.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - September 2020

Wood

- 5.2.1 Adhere to Preservation Guidelines for retention of historic fabric when altering wood materials.
- 5.2.2 Construct wood assemblies similar to that found in adjoining work. In general, new material should be the same dimension and shape of that existing.

Metals

- 5.3.2 Use metal fabrications found in adjoining work. In general, new material should be the same dimension, shape, and alloy of that existing.

Paint

- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on flooring, fencing, and similar wood surfaces exposed to foot traffic or weather.
- 5.4.6 It is not appropriate to apply paint, water repellant or sealant coatings to unpainted surfaces such as masonry, stone, copper, and bronze.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

- 1. The project is located within the Tertiary AVC;
- 2. The proposed modifications do not conceal, damage, or remove historically significant design components or architectural features;
- 3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
- 4. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application for revising the approved plans for an addition, changing the roof configuration, in the Tertiary AVC.

FEE SCHEDULE (office use only)

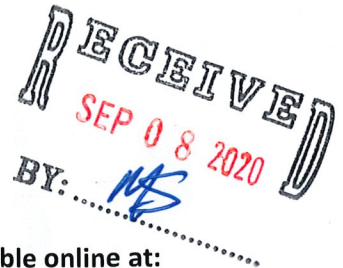
- ☐ \$22 Standard Application (minor)
☒ \$107 Standard Application (major)



HPC Administrator
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Application for a Certificate of Appropriateness
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- For the Historic District Guidelines: Historic Preservation, HPC Guidelines, Historic District Guidelines

Type of Project: ☒ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:

Property Address (Include year built, if known):

413 George St, New Bern N.C. 28560 - Year Built 1925

Property Owner Name(s): Brian and Andrea Woodall	Owner Mailing Address: 413 George St New Bern, N.C. 28560	Phone #s: 252-646-1335 252-646-1103	Email: brian.d.woodall@usmc.mil woodallb1@gmail.com
Applicant Name (if different):	Applicant Mailing Address:	Phone #s:	Email:

II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

Adding a covered/screened-in deck (10' x 19'4") to the rear (tertiary zone) of the house by extending the adjacent existing roof ridge to the new center and replicating the slope of the roof for the new deck. Two existing double windows will be replaced with French doors that access the Kitchen and the rear bonus room from the deck. Additionally, the rear bonus room door will be replaced with one of the aforementioned recovered double hung windows and the brick steps removed.

Continued on additional sheet or attached brochure ☐

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (only need the guideline numbers):

3.3.1, 3.3.2, 3.3.3, 4.1.1, 4.2.1, 4.2.3, 4.2.4, 4.3.1, 4.3.2, 4.5.2, 4.5.3, 4.6.1, 4.6.2, 4.6.4, 5.2.2, 5.4.2, 5.4.3, 5.5.6,

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

Footings - Reinforced concrete piers; Skirting - Treated lattice; Framing members - dimensional pressure treated lumber; Decking - 5/4 Treated; Post - 4"x6" Treated; Spindles - 2"x2" treated; screen - black fiberglass; Screen door - 3'-0" vinyl; French Doors - 6'-0" ; siding - wood shiplap; Roofing -

Continued on additional sheet or attached brochure ☒

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
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- ☒ Elevations with dimensions (for exterior additions or renovations)
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- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

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- ☐ I am acting on behalf of the owner of the property and have attached the notarized authorization form indicating the owner(s) consent to represent them for this application.

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- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.



Signature of Applicant/Owner

9/2/2020

Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST.. FOR A MAJOR PROJECT, SUBMITTAL AND FEE PAYMENT MUST BE NO LESS THAN 2 WEEKS PRIOR TO THE UPCOMING HPC REGULAR MEETING. FOR FURTHER INFORMATION, CONTACT THE HISTORIC PRESERVATION COMMISSION ADMINISTRATOR AT (252) 639-7583.

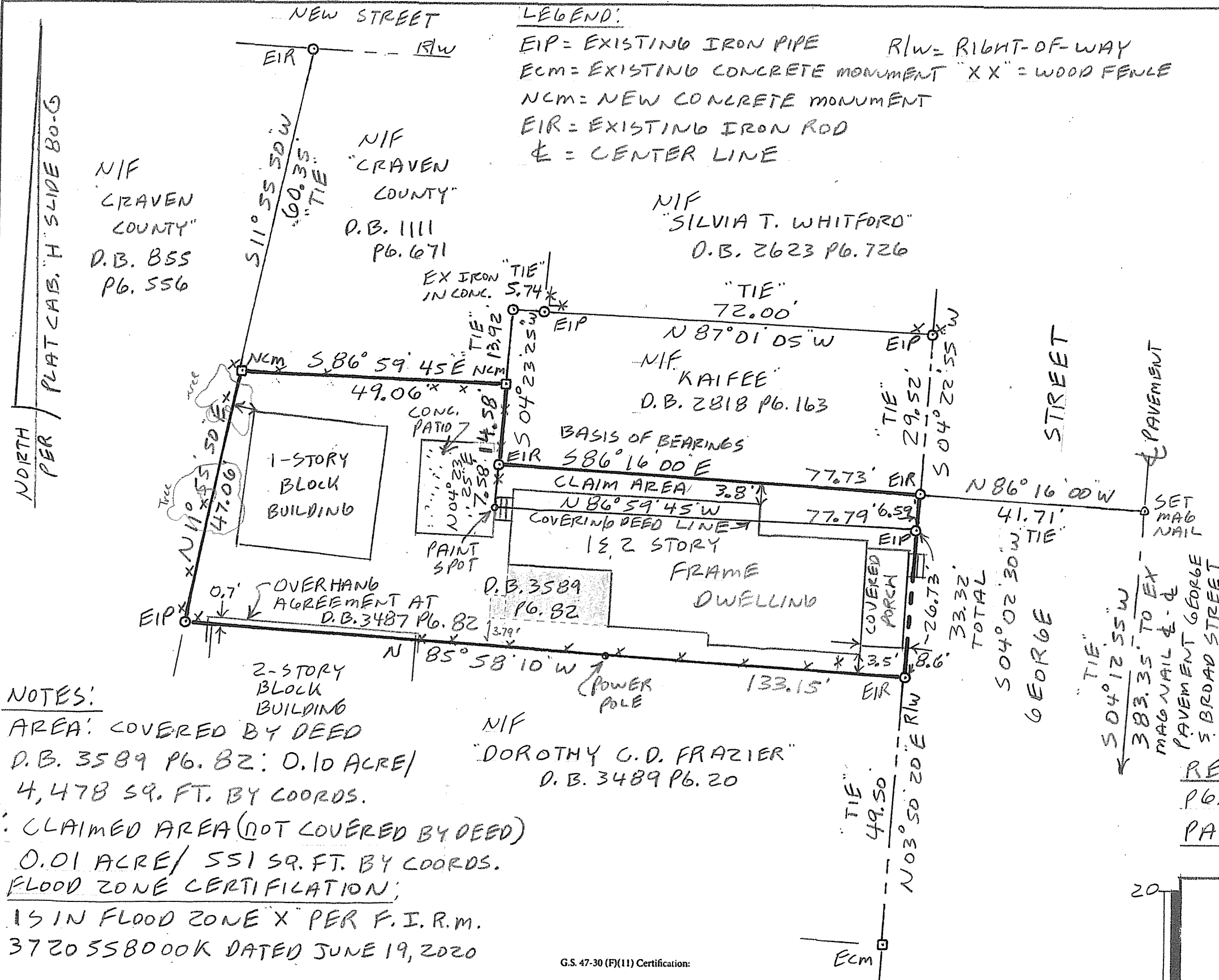
Footings - Reinforced concrete piers; Skirting - Treated lattice; Framing members - dimensional pressure treated lumber; Decking - 5/4 Treated; Post - 4"x6" Treated; Spindles - 2"x2" treated; screen - black fiberglass; Screen door - 3'-0" vinyl; French Doors - 6'-0" vinyl; siding - wood shiplap; Roofing - asphalt shingles; exterior trim - 1x pine; Deck Paint - Gray; Trim & interior wall paint - white

413 George St.

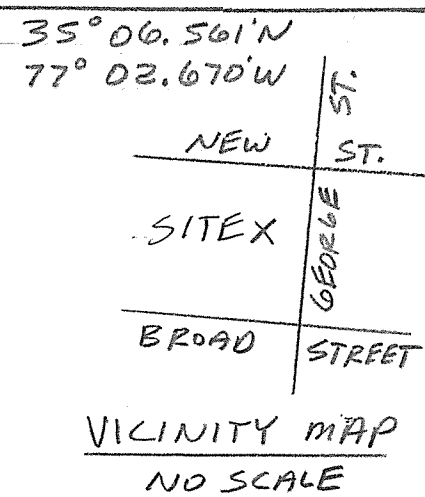








LEGEND:
EIP = EXISTING IRON PIPE R/W = RIGHT-OF-WAY
ECM = EXISTING CONCRETE MONUMENT "X" = WOOD FENCE
NCM = NEW CONCRETE MONUMENT
EIR = EXISTING IRON ROD
CL = CENTER LINE



NOTES:
AREA: COVERED BY DEED
D.B. 3589 PG. 82: 0.10 ACRE/
4,478 SQ. FT. BY COORDS.
CLAIMED AREA (NOT COVERED BY DEED)
0.01 ACRE/ 551 SQ. FT. BY COORDS.
FLOOD ZONE CERTIFICATION:
IS IN FLOOD ZONE "X" PER F.I.R.M.
3720558000K DATED JUNE 19, 2020

Current Area of House = 1,293 sq ft
Current Area of Shed = 625 sq ft
Total = 1,918 sq ft
Area of Addition = 224 sq ft
Total = 2,143 sq ft
Current Utilization - 42.6%
Future Utilization - 47%
This survey is of an existing parcel(s) of land and does not create a new street or change an existing street.

Surveyor's Certificate
I, Roy R. Smith, Jr., certify that this plat was drawn under my supervision from an actual survey made under my supervision (see reference); that the boundaries not surveyed are clearly indicated; that the ratio of precision or positional accuracy is 1:1000; that this plat was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, license number and seal this 25 day of JULY, 2020.
Professional Land Surveyor L-3071
NORTH CAROLINA PROFESSIONAL LAND SURVEYOR SEAL
ROY R. SMITH, JR.

ADDRESS: 413 GEORGE STREET
REF.: COVERING DEED: D.B. 3589
PG. 1913 CRAVEN COUNTY REGISTRY
PARCEL ID: 8-008-114

SURVEY FOR:
BRIAN D. WOODALL
NEW BERN, TOWNSHIP NO. 8, CRAVEN COUNTY, N. CAROLINA
DATE: JULY 24, 2020
SCALE: 1" = 20'
FILE NO: 200088
F-0496 NEW BERN NC
Southern Boundaries 408 GUYTON ST. 633-2771



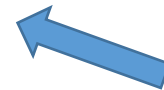
413 George St – Front, Facing West,
From Road



West



413 George St – Left Side, Facing West,
From road in front of neighbors house



North West



413 George St –Rear, Facing East
From the back yard



East



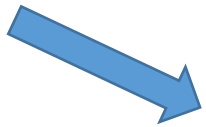
413 George St –Rear, Facing East
From neighbor’s property – County Parking
at St Lukes



East



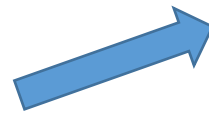
413 George St –Rear, Facing South East
From neighbor's property – County's
empty lot



South East



413 George St –Rear, Facing North East
From neighbor's back yard



North East



413 George St –Rear, Facing East
From roof top
Showing water damage



East

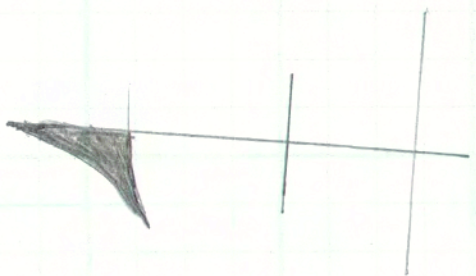


413 George St –Rear, Facing East
From roof top
Showing water damage



South East

Rear View



North

Scale: $\frac{1}{2}'' = 1'$

Vent will imitate the current attic vent in style and height to length ratio

Trim will match and appear seamless

Existing: 8' metal siding

* Extend current roof to dead end to wall, eliminates a trouble valley
* Use reclaimed metal roofing and siding to minimize visual change.

Existing Roof metal
- Roof extended to wall, use reclaimed metal from existing roof

Extend existing roof to new 2' mirror pitch for porch

Trimmed in $\frac{3}{4}''$ pine & painted to match.

* Existing Light

Matching Exterior Lights

Trim will match current trim on top floors

* Replace door w/ Removed window from South Side
* Infill w/ Recovered metal siding

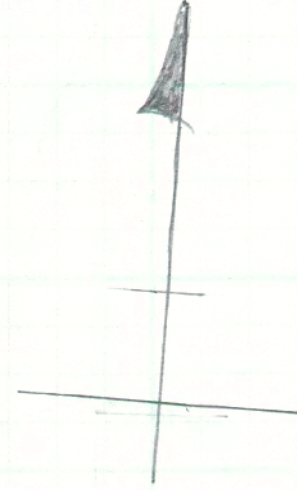
Imitate original boxing found on north side to minimize change

3'-0" Screen Door

Remove existing Brick stairs

Lattice Skirting

$\frac{1}{2}'' \times \frac{1}{2}''$
Ledge Board
(3) 1bd galvanized.
nails 16" O.C.



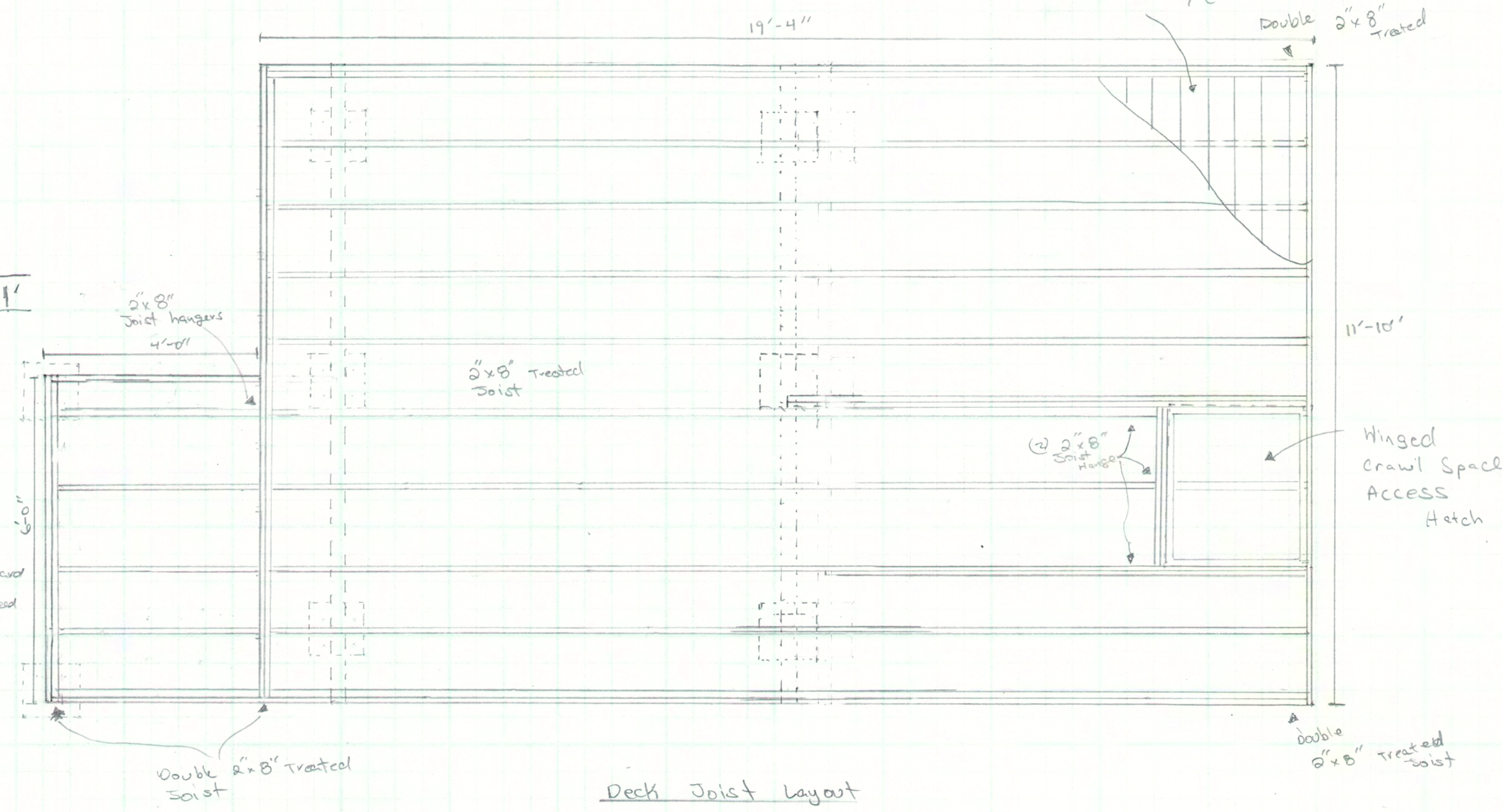
North

Scale: 1/2" = 1'

- Joist - 2"x8" Treated
16" O.C.
- Joist secured to
girder w/ Joist Ties
- Joist secured to Ledger Board
w/ (4) toenailed 16d galvanized
nails

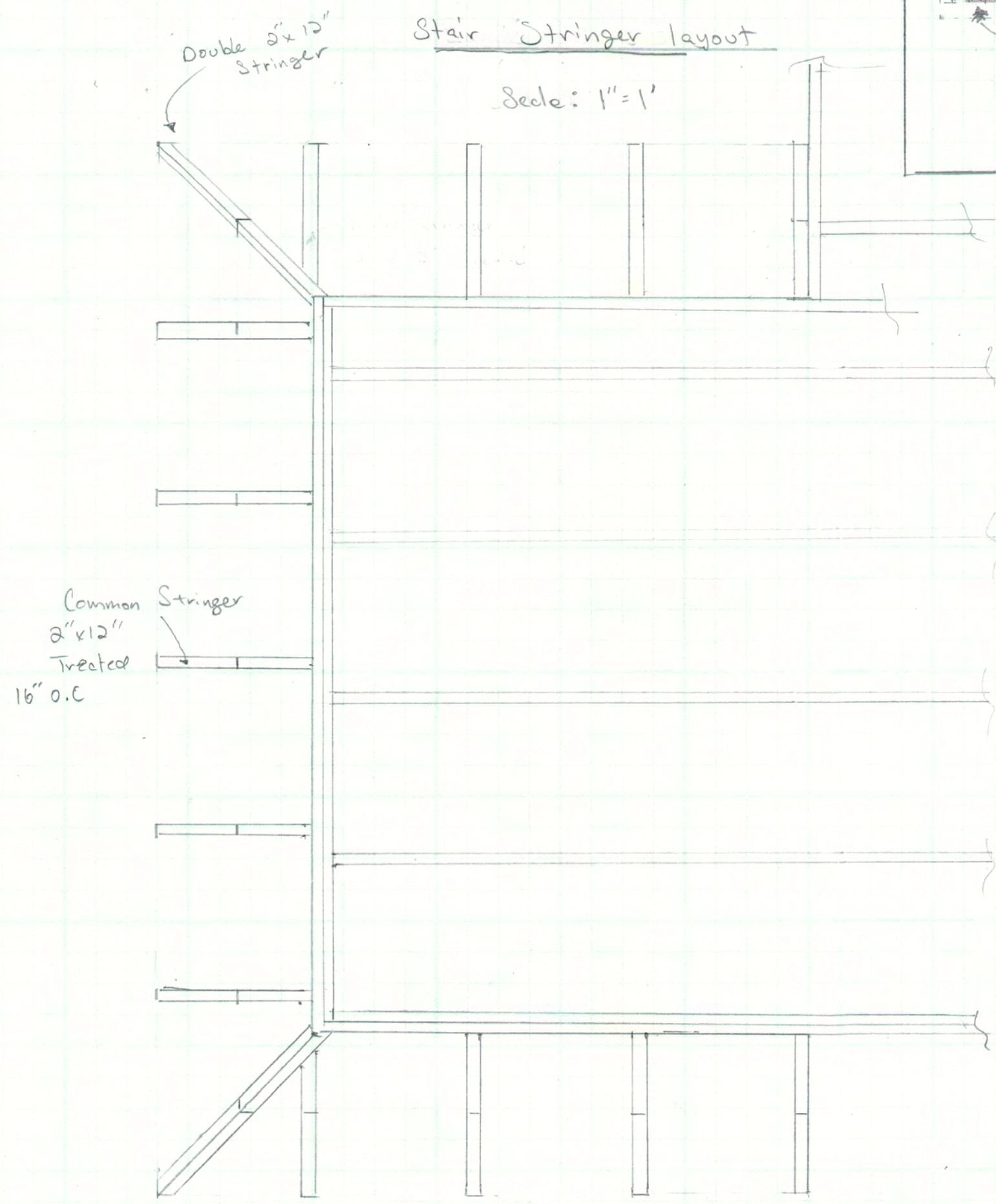
* May use compost
if budget allows

Decking - 5/4 Treated Decking
w/ (2) 2 1/2" deck screw per joist



Stair Stringer layout

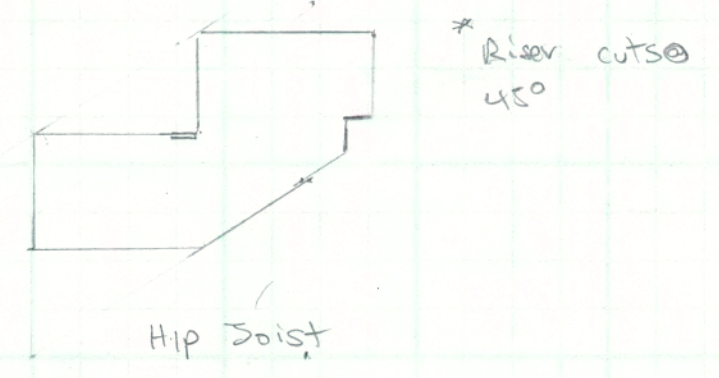
Scale: 1" = 1'



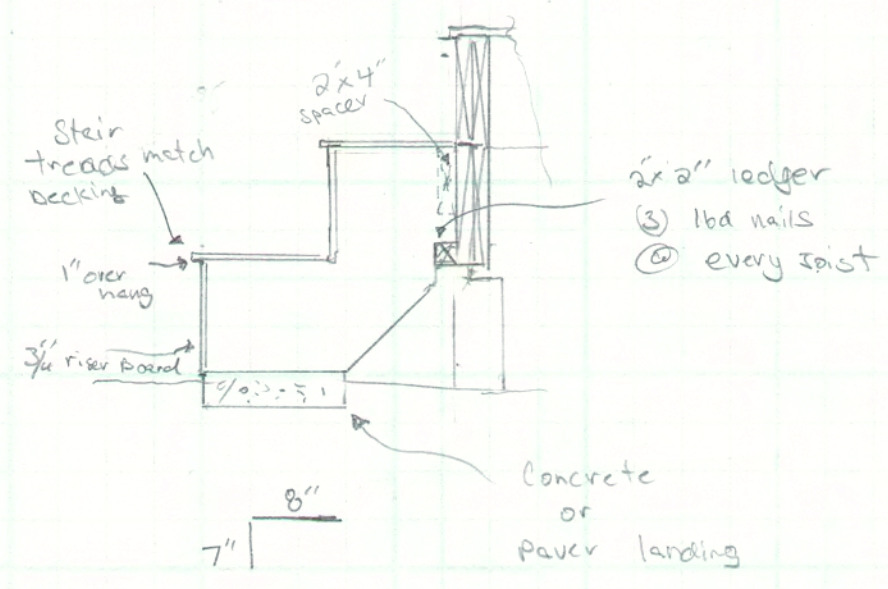
Deck Joist layout

Stair Stringer Detail

Scale 1" = 1'



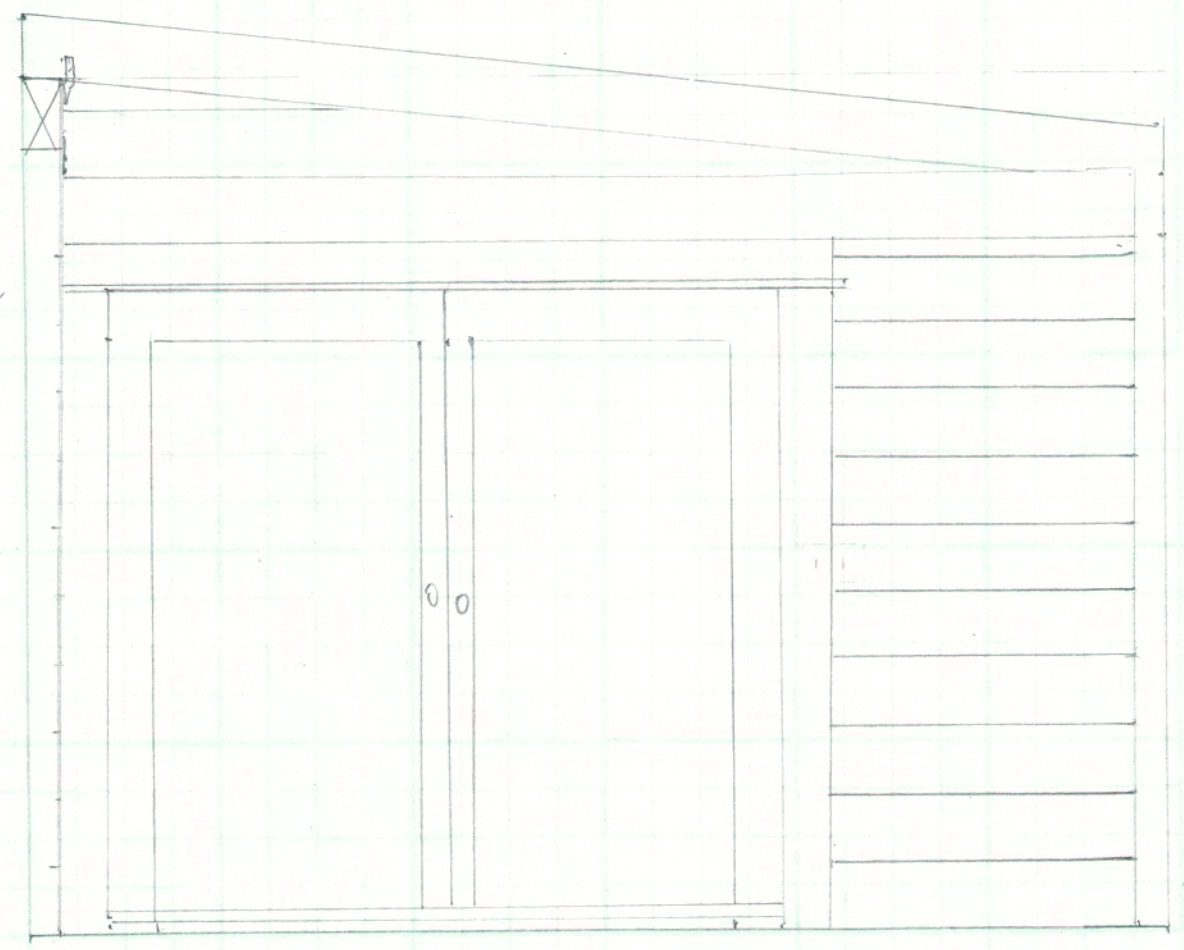
Scale: 1" = 1'



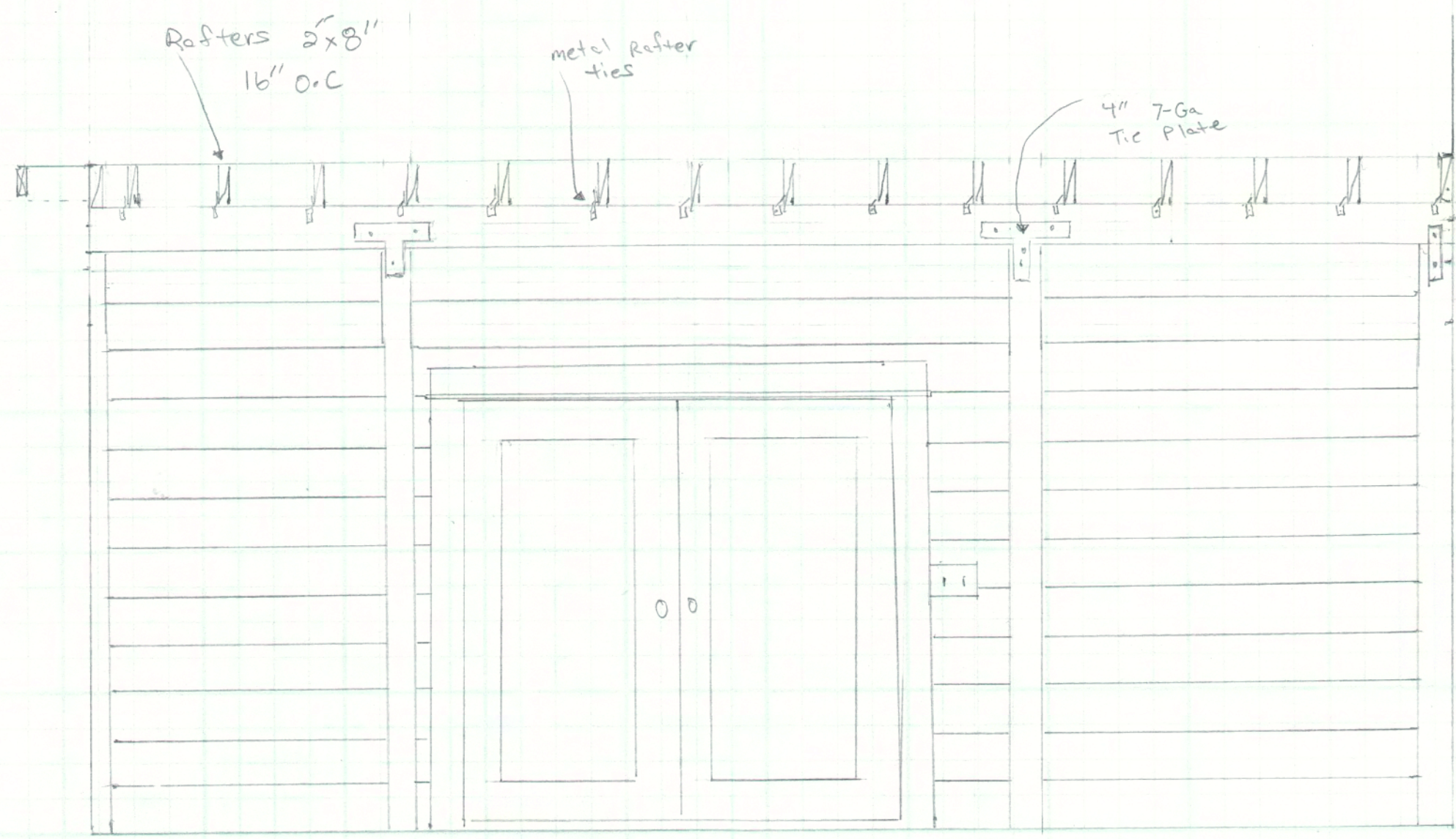
* Notes

Siding - 1"x6"
Pine Tongue & Groove

Door - 72" French Door
replacing double window



Inside Rear View
Scale: 1/2" = 1'



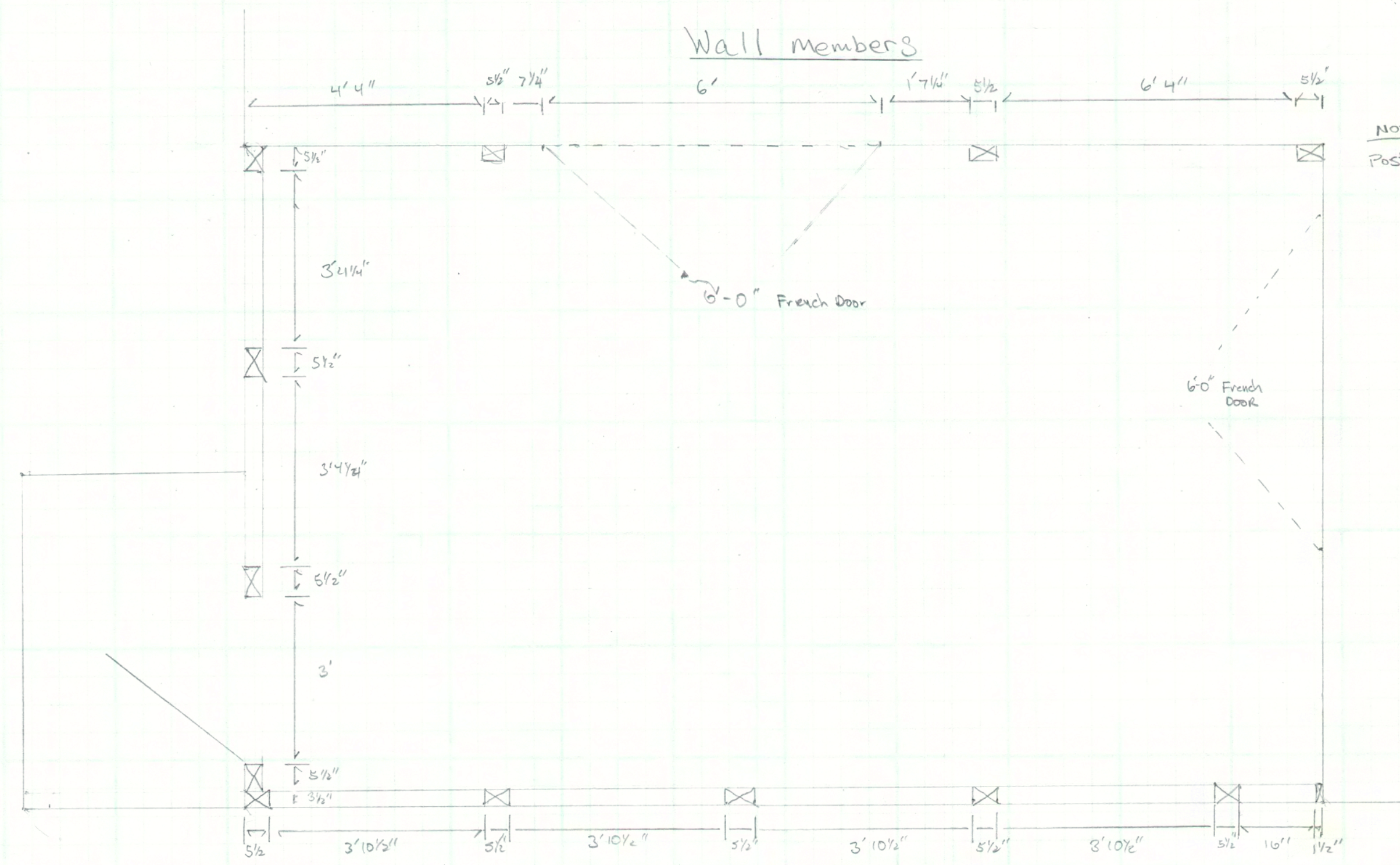
Inside Right View
Scale: 1/2" = 1'

NOTES

- Post - 4" x 6" Treated
- Beam - 4" x 8" Treated
- Rafters - 2" x 8" 16" O.C.
- Exterior Siding - 1" x 6" Pine Tongue & Groove
- Trim - 1 1/2" Pine
- Door - 72" x 80" Blinds Btwn Glass Fiberglass
- Tie Plate - 4" 7ga
- Rafter Ties - 18ga

* Replaced window moved to Replace Rear Door

Wall members



NOTES

- Post - 4" x 6" Treated

Scale: 1/2" = 1'

Beam / Girder - / Band Joist / Post Detail

5/4" Treated Decking

4" x 6" Treated Post

metal ties

metal post tie

(2) 2" x 8" treated

(3) 16d galvanized nails

12" x 8"



Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It is does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 413 George St. – to include a new covered and screened deck and other modifications in the Secondary and Tertiary AVCs.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-8

Required Setbacks (primary structure): Front Avg. Side 5' Rear 6'

Accessory Setbacks: From Nearest Structure 8' Side 3' Rear 3'

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: 50'

Required Site Improvements: Landscaping N/A Buffer Parking

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets X Does Not Meet _____ the requirements of the Land Use Ordinance.

Comments:

Proposed improvements meet city standards provided they are in compliance with 5' side yard setback. Zoning Administrator [Signature] 9/11/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will X Will Not _____ require a building permit(s).

Comments:

Chief Building Inspector

[Signature]

9/11/20

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - September 2020

Applicant: Brian & Andrea Woodall

Applicant Address: 413 George St., New Bern, NC 28560

Project Address: 413 George St., New Bern, NC 28560

Historic Property Name: Stroud House.

Status: **Contributing:** **X** **Non-contributing:**

NR Inventory Description (2003): Two stories; three bays wide, two bays deep; six-over-six sash; front door in right bay; hip-roofed porch, tapered posts on brick piers; aluminum siding; metal-clad gable-front roof, interior chimney.

Sandbeck Description (1988): N/A

1223 National Ave. - to include a new screened porch and other modifications in the Secondary and Tertiary AVCs.

Staff submits the following Historic District Guidelines are appropriate to this application:

Design Principles

- 3.1.1 Consider the scale, mass, and proportion inherent to the surrounding historic development pattern, and design modifications that incorporate these characteristics. Use basic shapes and forms that are common to the historic districts.
- 3.1.2 Windows, doors and openings shall be compatible in proportion, shape, location, size and quantity with those on surrounding historic structures. Avoid large expanses of blank walls. Establish bays, visually subdivide facades and delineate building elevations to create form and rhythm.
- 3.1.4 Use details to articulate facades, and the openings within facades. Appropriately detail the base, body and edges of facades to create texture and visual interest.
- 3.1.5 Avoid creating a false sense of historical development. It is not appropriate to apply historic architectural styles to infill construction. Creative interpretation of traditional detailing and ornamentation is encouraged.

Guidelines for Modifications

- 3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.
- 3.2.2 Modifications to a structure should not conceal, damage or remove significant design components or architectural features.
- 3.2.3 Replace historic design components only if they are damaged beyond repair. Replacement for convenience is not appropriate. Use materials and details that match the original.
- 3.2.5 It is not appropriate to introduce features and details that will create a false sense of historic development.

Guidelines for Additions

- 3.3.1 Locate additions in a Secondary or Tertiary AVC to minimize the impact on primary, character defining elevations. Limit the footprint of additions to maintain private open spaces.
- 3.3.2 Use roof forms and pitches that are similar to those found on the primary structure. Delineate the addition from the plane of the primary structure by creating slight offsets and corners.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - September 2020

- 3.3.3 Incorporate materials and details derived from the primary structure. Extend the architectural hierarchy of the primary structure to the addition. Architectural embellishments and detailing are often simplified on less visible Secondary and Tertiary AVC elevations.

Guidelines for Foundations

- 4.1.3 Use traditional materials when constructing foundations. Concrete block should receive a veneer of stucco, brick or other appropriate masonry material.
- 4.1.4 Locate foundation features such as vents and access doors in areas that will not detract from the architectural character of the building. Coordinate with other architectural features when possible, such as aligning vents and access doors with windows above or centering them between piers.

Guidelines for Walls, Trim and Ornamentation

- 4.2.1 Adhere to Guidelines for retention of historic fabric when altering wall components.
- 4.2.4 Incorporate wood trims and articulate masonry appropriately for the application.

Guidelines for Windows, Doors and Openings

- 4.3.1 Adhere to Guidelines for retention of historic fabric when altering window, door and opening components.
- 4.3.2 Add window and door openings in Secondary or Tertiary AVCs in locations that do not diminish the original design. In general, openings shall have a vertical orientation or be square.
- 4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.

Guidelines for Entrances

- 4.4.4 Provide porches, entrance doors, railings, and other ornaments that proportionally relate to the building. Appropriate balustrades often convey a heavier visual appearance. Center balusters between the top and bottom rails and space them about three inches apart.
- 4.4.5 Enclose and screen porches in Secondary and Tertiary AVCs in a manner that preserves historic features. Walls and screens should not obscure columns and balustrades.

Guidelines for Roofs

- 4.5.1 Adhere to Guidelines for retention of historic fabric when altering roof components.

Guidelines for Decks and Patios

- 4.6.2 Locate decks in Secondary and Tertiary AVCs, and screen the underside with shrubbery, fencing, lattice, or masonry.
- 4.6.4 Construct low profile decks and patios that eliminate requirements for handrails and excessive screening.

Guidelines for Masonry

- 5.1.1 Adhere to Guidelines for retention of historic fabric when altering masonry materials.
- 5.1.2 Match the masonry bond, or pattern, of masonry materials found in adjoining work. In general, new material should be the same size, color, and texture of that existing.

Wood

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - September 2020

- 5.2.1 Adhere to Preservation Guidelines for retention of historic fabric when altering wood materials.
- 5.2.2 Construct wood assemblies similar to that found in adjoining work. In general, new material should be the same dimension and shape of that existing.

Paint

- 5.4.1 Adhere to Guidelines for retention of historic fabric when altering painted materials.
- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on flooring, fencing, and similar wood surfaces exposed to foot traffic or weather.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

- 1. The project is located within the Secondary and Tertiary AVCs;
- 2. The proposed additions and modifications do not conceal, damage, or remove historically significant design components or architectural features;
- 3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
- 4. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application to include a new screened porch and other modifications in the Secondary and Tertiary AVCs.

FEE SCHEDULE (office use only)
☐ \$22 Standard Application (minor)
☒ \$107 Standard Application (major)



HPC Administrator
HPAdmin@newbern-nc.org
Work: (252)639-7583
Fax: (252)636-2146

Application for a Certificate of Appropriateness
(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☐ Addition ☒ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:

Property Address (Include year built, if known): 801 E. Front Street - Lot 09 River Station (new build)

Property Owner Name(s): River Station Development Corp Hubie Tolson	Owner Mailing Address: 227 E. Front Street New Bern, NC 28560	Phone #'s: 252-638-4215	Email: hubie@uhfdevelopmentgroup.com
Applicant Name (if different): GO Architectural Design, PLLC Sarah Afflerbach, AIA	Applicant Mailing Address: 1202A Pollock Street New Bern, NC 28560	Phone #'s: 252-633-0322	Email: sarah@goarchdesign.com

II. Project Information: *(See "CoA Instructions" & "Historic Guidelines" for help in completing this section)*

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

Construct a new two story single family home on an empty lot. See plans and elevations for details and material choices.

Continued on additional sheet or attached brochure ☒

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

2.1.1, 2.1.2, 2.1.3, 4.1.1, 4.1.2, 4.1.3, 4.1.4, 4.2.1, 4.2.2, 4.2.3, 4.2.4, 4.3.1-4.3.7, 4.4.1-4.4.5, 4.5.1-4.5.6, 4.6.1-4.6.3

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

Hardie Board siding (smooth faced lap siding and shakes), Azek trim and railing and painted ornamental railing, brick masonry piers, painted preservative treaded louvers, vinyl windows with 3D grilles inside and out, asphalt shingles and hand seamed metal roofing, concrete walk and driveway.

Continued on additional sheet or attached brochure ☒

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☒ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

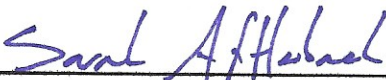
Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.



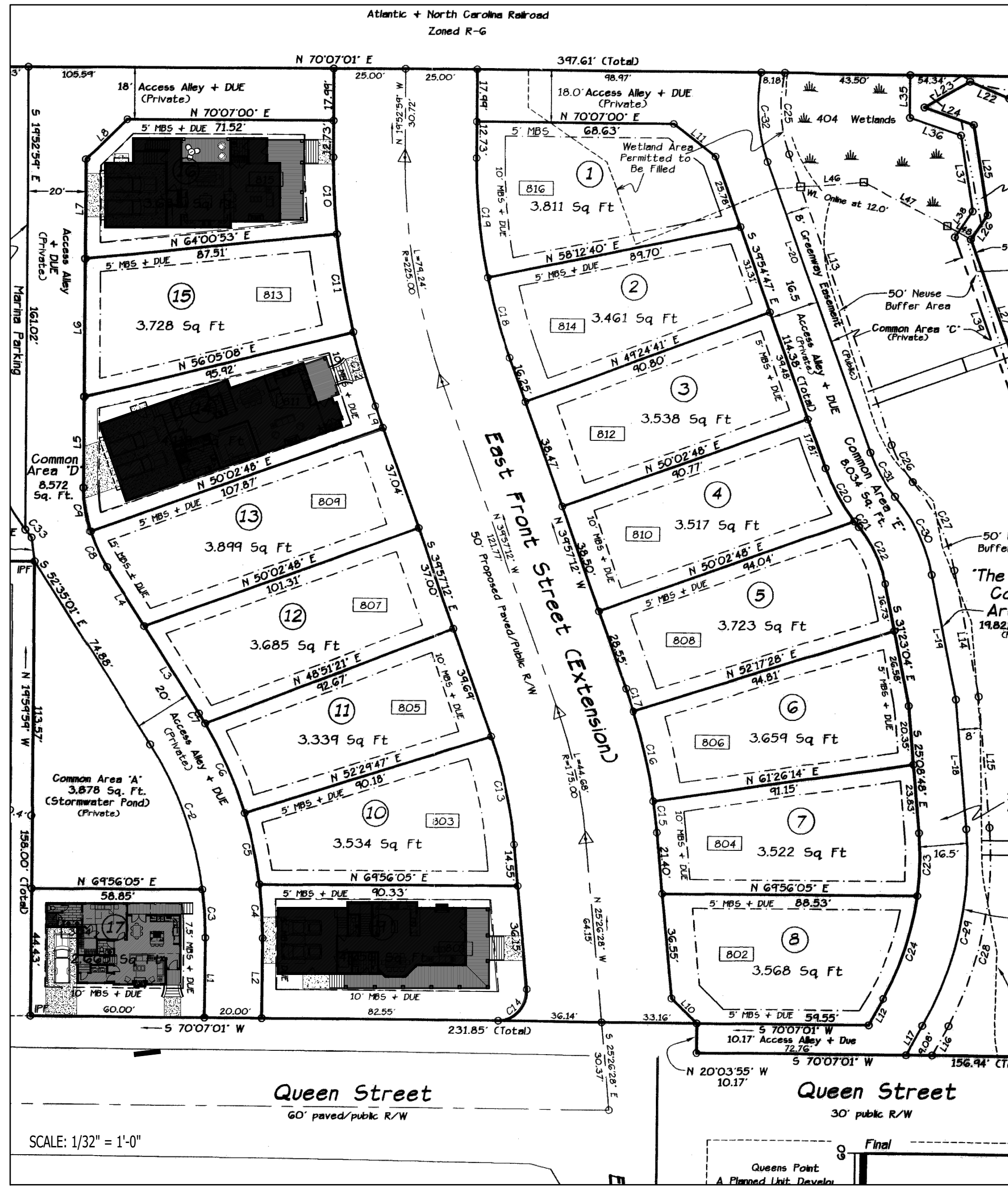
Signature of Applicant/Owner



Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.

LOT 09 - RIVER STATION CUSTOM HOME



KEYS & SYMBOLS

DOOR & WINDOW SIZE KEY
2'6" = 2'-6" WIDE (ASSUME STANDARD DOOR HEIGHT OF 6'-8" UNLESS NOTED)
2060 = 2'-0" WIDE X 6'-0" HIGH

DRAWING NUMBER



SHEET NUMBER

ROOM NAME



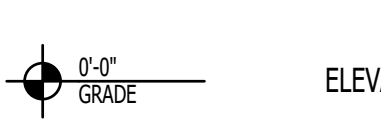
CEILING HEIGHT AND SQUARE FOOTAGE

DRAWING NUMBER



SHEET NUMBER

ELEVATION HEIGHT

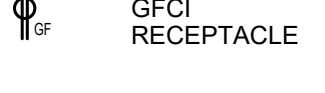


ELECTRICAL LEGEND

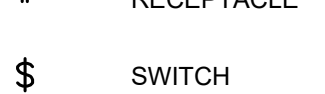
RECEPTACLE



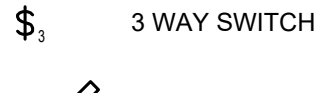
FLOOR RECEPTACLE



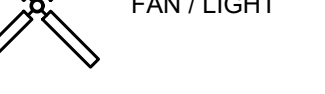
GFCI RECEPTACLE



WATER PROOF RECEPTACLE



SWITCH



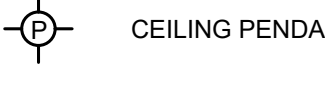
3 WAY SWITCH



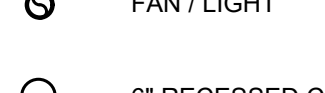
FAN / LIGHT



SECURITY LIGHT



CEILING MOUNT



WALL SCONCE



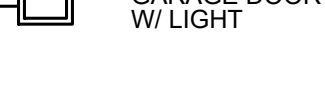
CEILING PENDANT



FAN / LIGHT



6" RECESSED CAN



DIRECTIONAL PIN LIGHT



FLUORESCENT



UNDER-COUNTER



CABLE



GARAGE DOOR OPENER W/ LIGHT



SHEET SCHEDULE

G-101	TITLE SHEET
C-101	SITE PLAN
A-101	FIRST FLOOR PLAN
A-102	SECOND FLOOR PLAN
A-103	ROOF PLAN
A-201	ELEVATION
A-202	ELEVATION CONT.
A-203	ELEVATION CONT.
A-204	ELEVATION CONT.
A-205	INTERIOR ELEVATIONS
A-301	WALL SECTION
A-302	WALL SECTION CONT.
E-101	ELECTRICAL PLANS
E-102	ELECTRICAL PLANS CONT.

GROSS SQUARE FOOTAGE

HEATED / COOLED	
FIRST FLOOR PLAN	1,010 SF
SECOND FLOOR PLAN	1,339 SF
TOTAL	2,349 SF

NON HEATED	
GARAGE	525 SF
COVERED PORCH (1ST)	457 SF
COVERED PORCH (2ND)	457 SF
TOTAL	1,439 SF

GROSS FOOTPRINT 1,992 SF
(INCLUDING PORCHES)

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

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Date: 09.10.2020

Revisions:

LOT 09 - RIVER STATION
801 E. FRONT STREET, NEW BERN, NC 28560

G-101

TITLE SHEET

12 X 18 SHEETS ARE HALF SIZE



PHOTO 01 - LOT 09 - CORNER OF E. FRONT STREET AND QUEEN STREET



PHOTO 02 - LOT 16 - VIEW DOWN QUEEN STREET



PHOTO 03 - VIEW ACROSS STREET FROM LOT



PHOTO 04 - EXISTING HOUSE



PHOTO 05 - EXISTING HOUSE

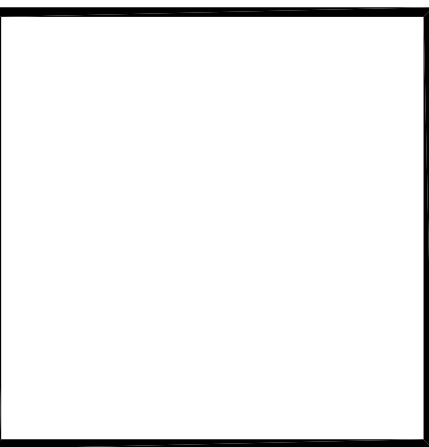


PHOTO 06 - EXISTING HOUSE



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Date: 09.10.2020

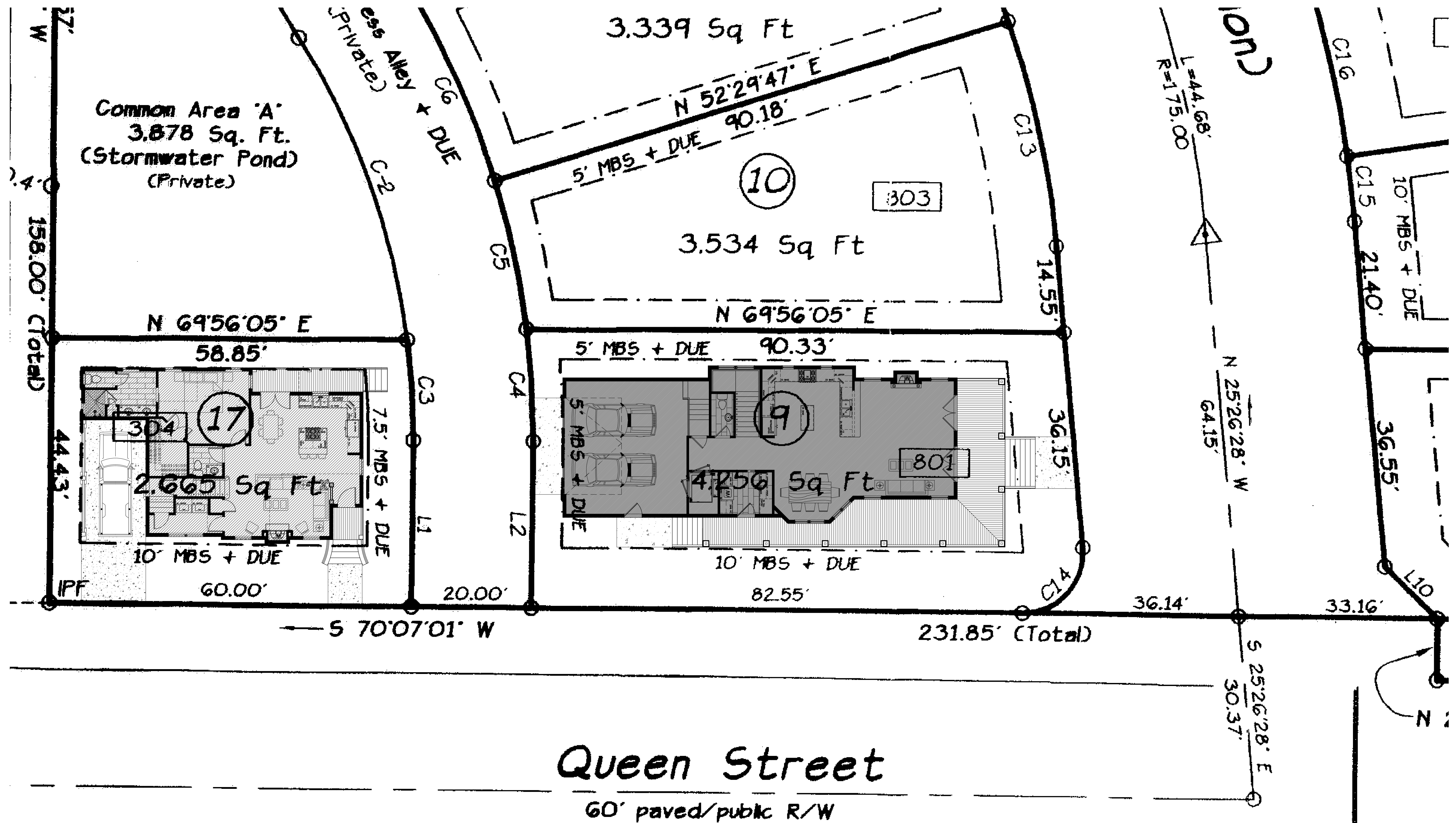
Revisions:

LOT 09 - RIVER STATION

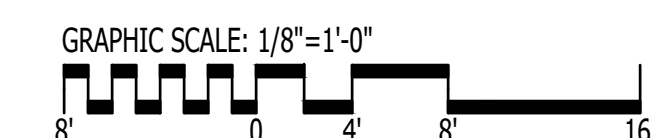
801 E. FRONT STREET , NEW BERN, NC 28560

PHOTO

12 X 18 SHEETS ARE HALF SIZE



1
C-101
SITE PLAN
Scale: 1/8" = 1'-0"

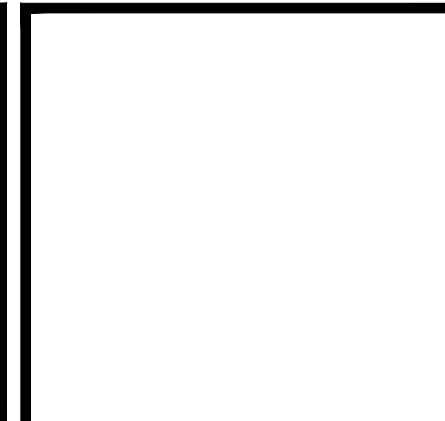


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Date: 09.10.2020

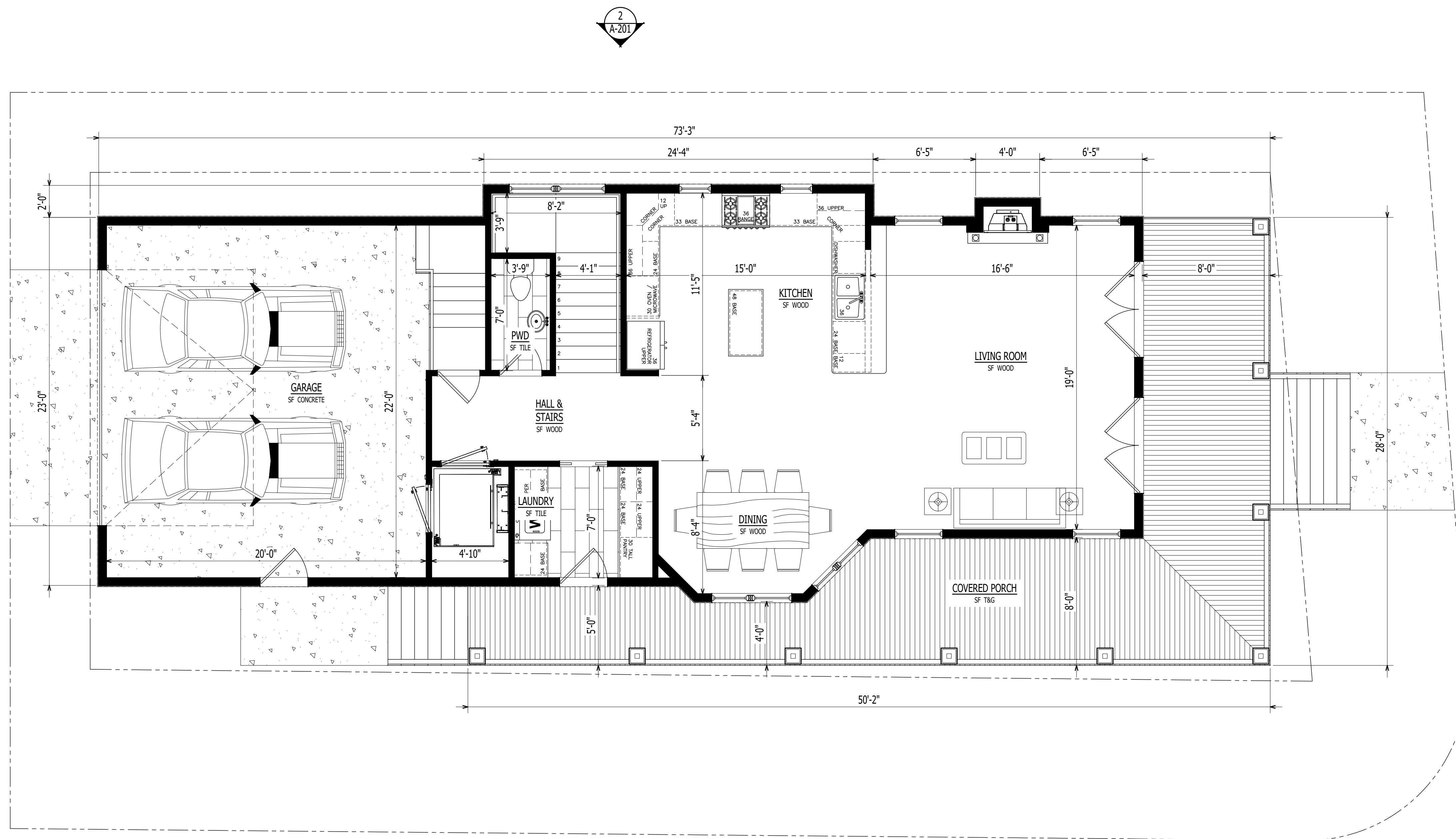
Revisions:

LOT 09 - RIVER STATION
801 E. FRONT STREET, NEW BERN, NC 28560

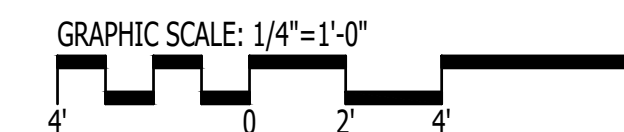
C-101

SITE PLAN

12 X 18 SHEETS ARE HALF SIZE



1
A-101
FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

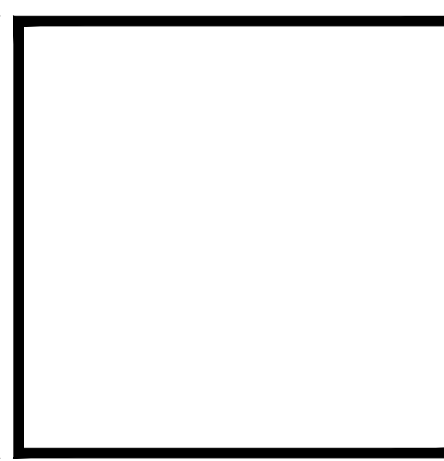


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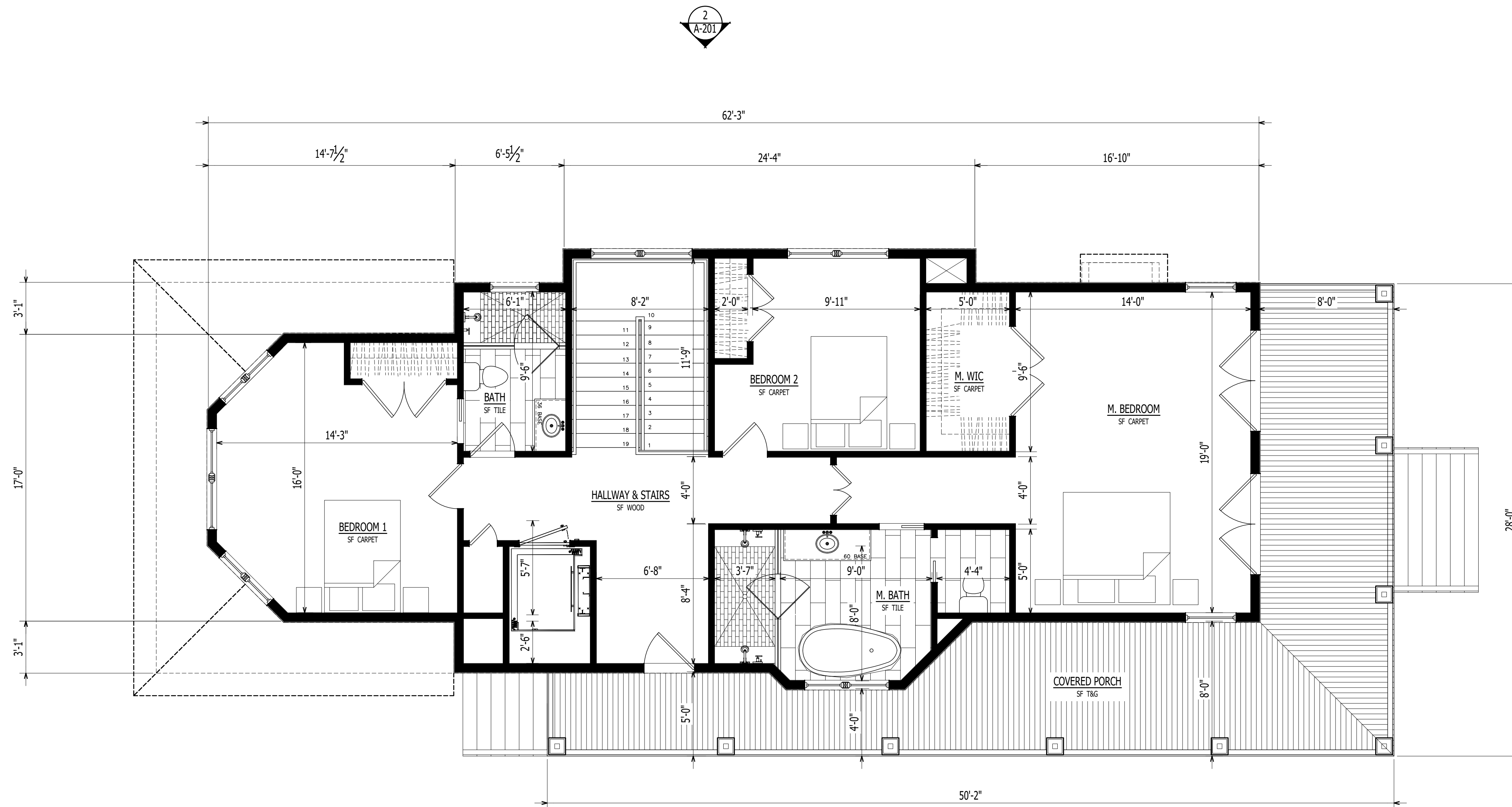


Date: 09.10.2020
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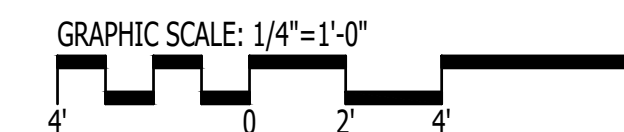
LOT 09 - RIVER STATION
801 E. FRONT STREET , NEW BERN, NC 28560

A-101
FLOOR PLAN

12 X 18 SHEETS ARE HALF SIZE



1
A-102
SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"
NORTH



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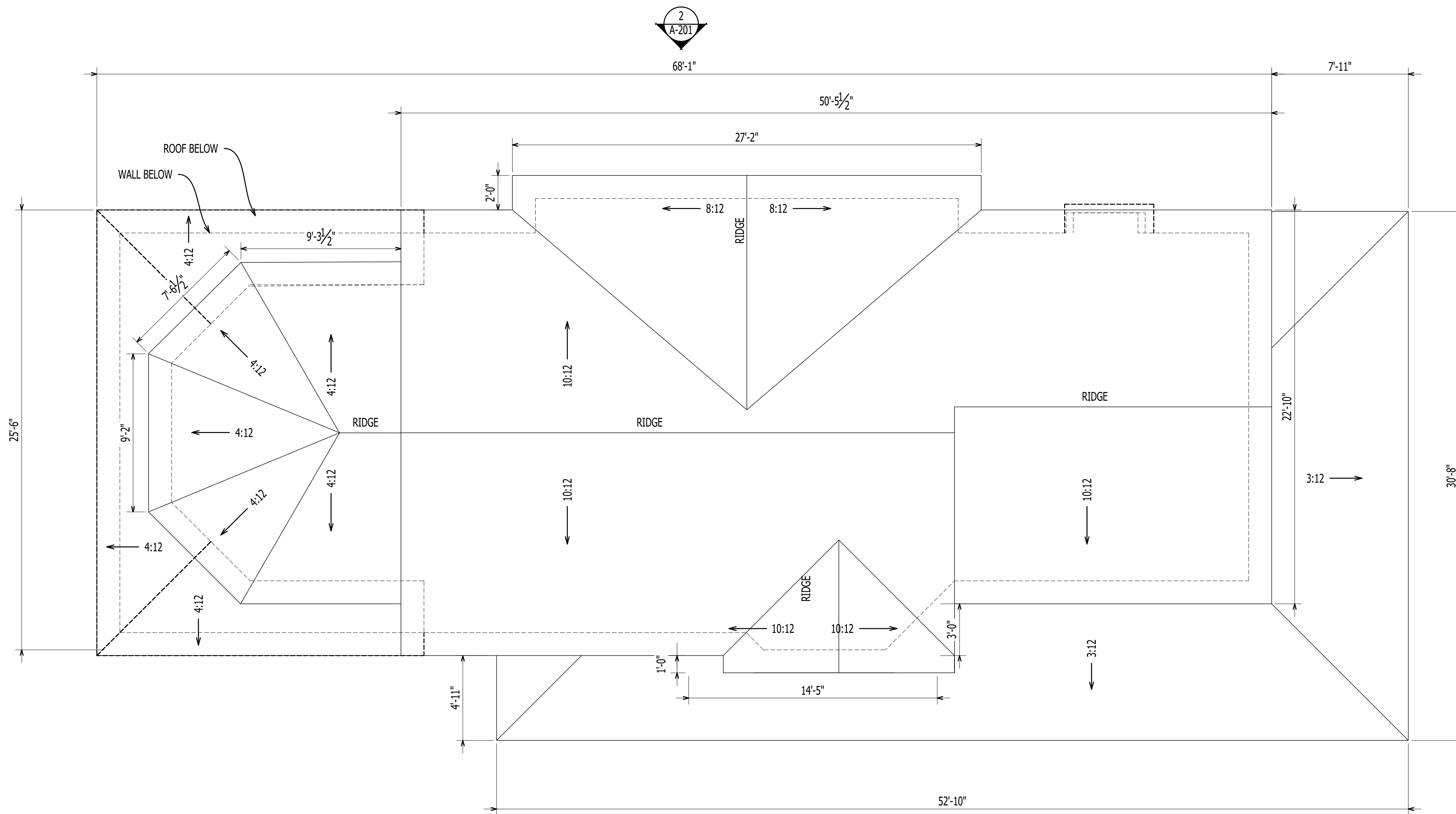
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LOT 09 - RIVER STATION
801 E. FRONT STREET , NEW BERN, NC 28560

Date: 09.10.2020

Revisions:

A-102
FLOOR PLAN
12 X 18 SHEETS ARE HALF SIZE

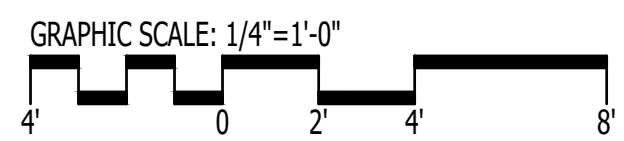


1
A-103

ROOF PLAN
Scale: 1/4" = 1'-0"



2
A-202



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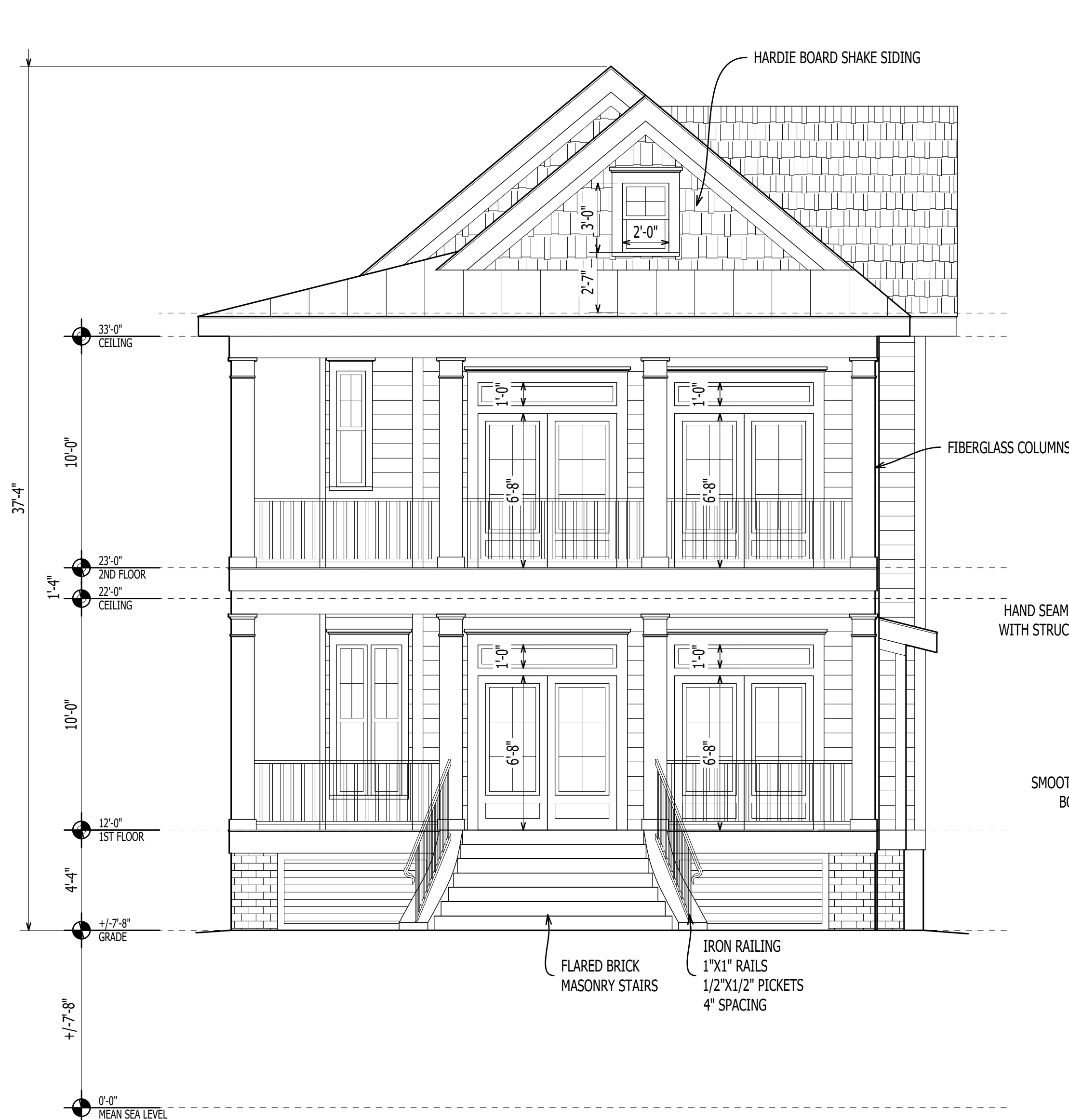
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Revisions:

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A-103
ROOF PLAN
12 X 18 SHEETS ARE HALF SIZE



1
A-201

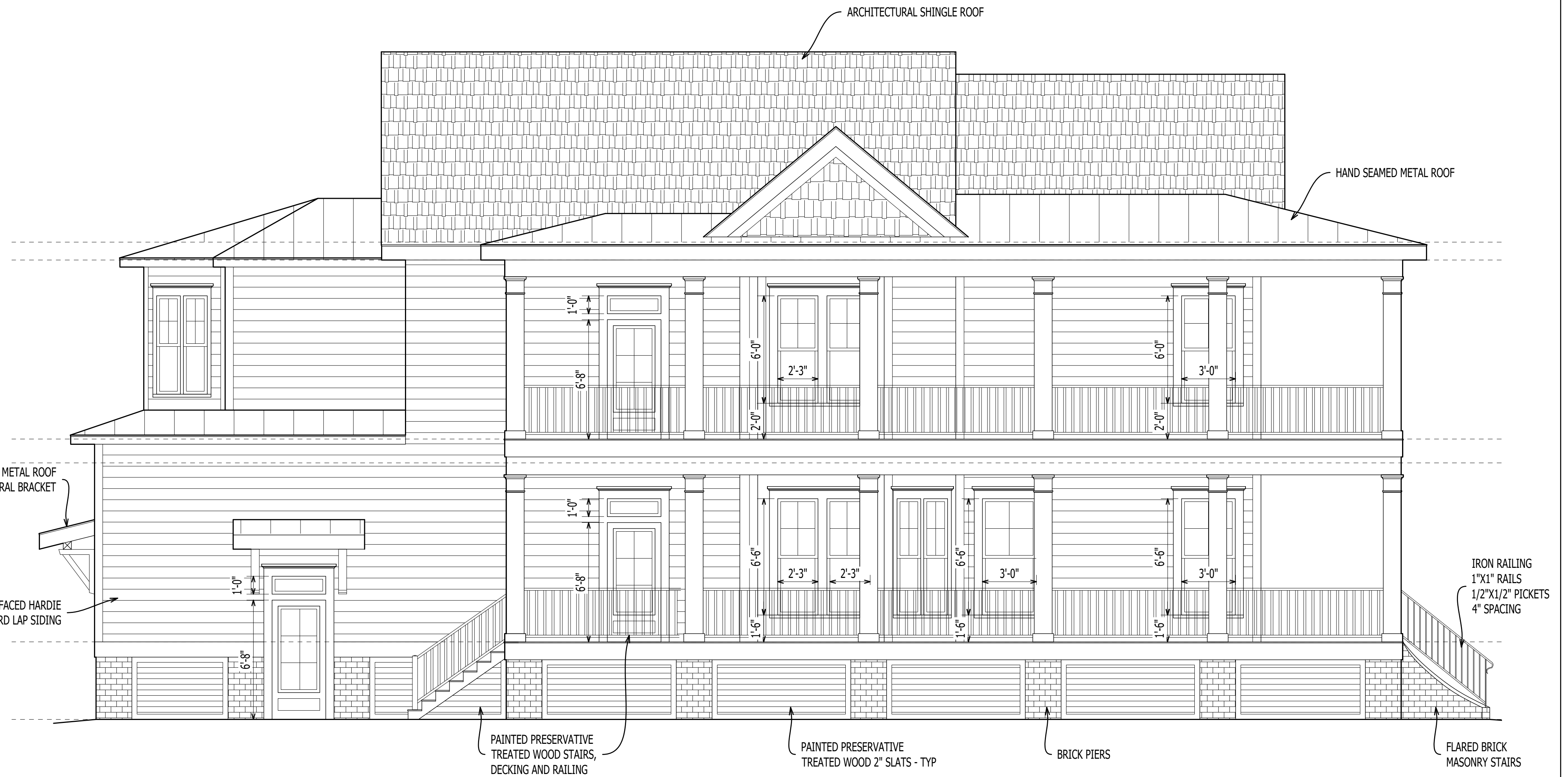
ELEVATION
Scale: 1/4" = 1'-0"

HAND SEAMED METAL ROOF
WITH STRUCTURAL BRACKET

SMOOTH FACED HARDIE
BOARD LAP SIDING

2
A-201

ELEVATION
Scale: 1/4" = 1'-0"



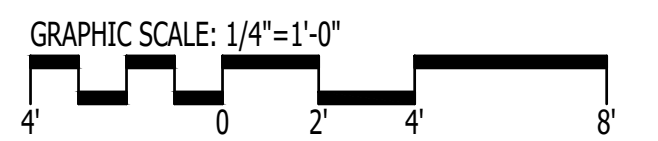
PAINTED PRESERVATIVE
TREATED WOOD STAIRS,
DECKING AND RAILING

PAINTED PRESERVATIVE
TREATED WOOD 2" SLATS - TYP

BRICK PIERS

IRON RAILING
1"x1" RAILS
1/2"x1/2" PICKETS
4" SPACING

FLARED BRICK
MASONRY STAIRS



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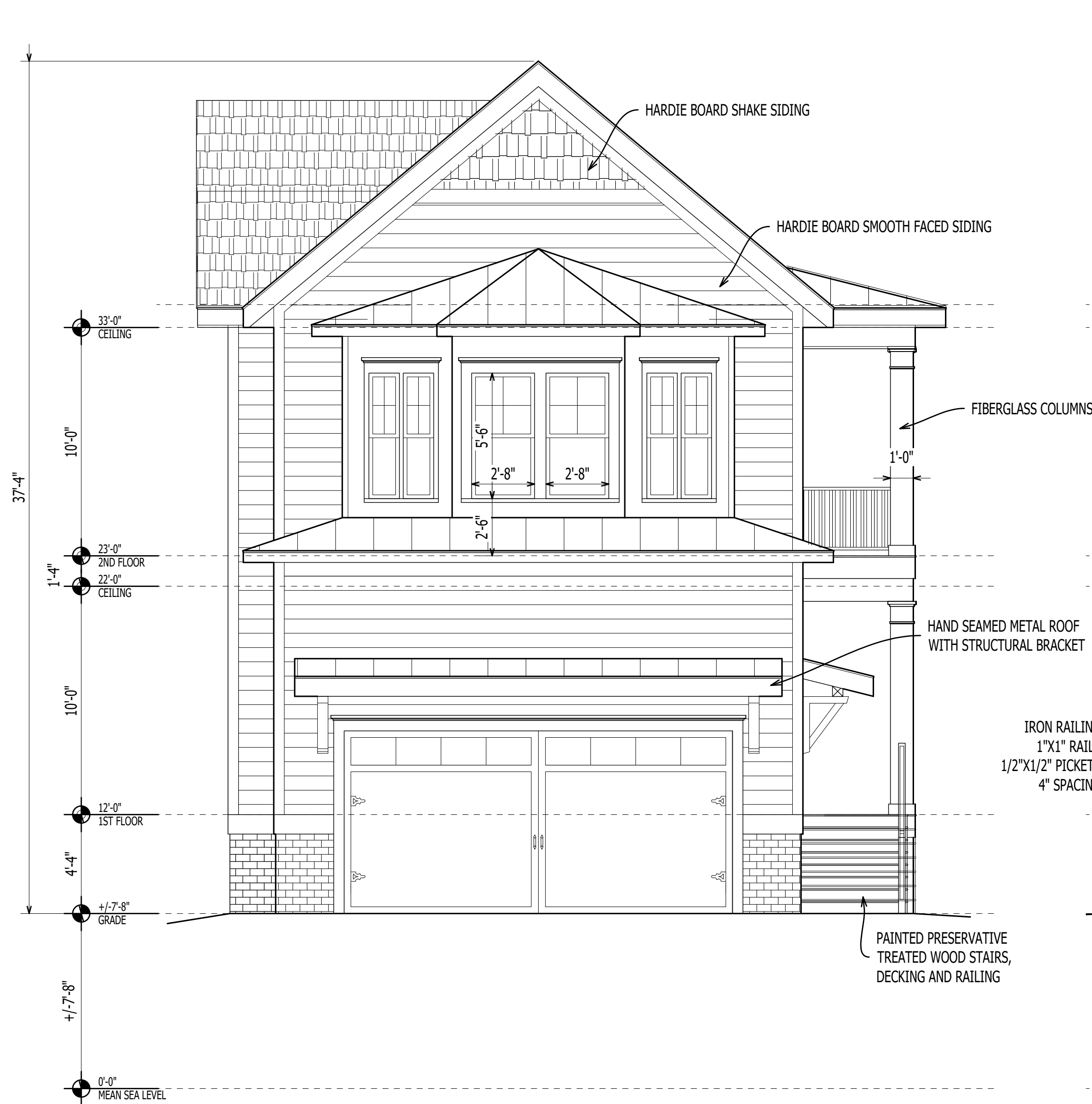
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A-201

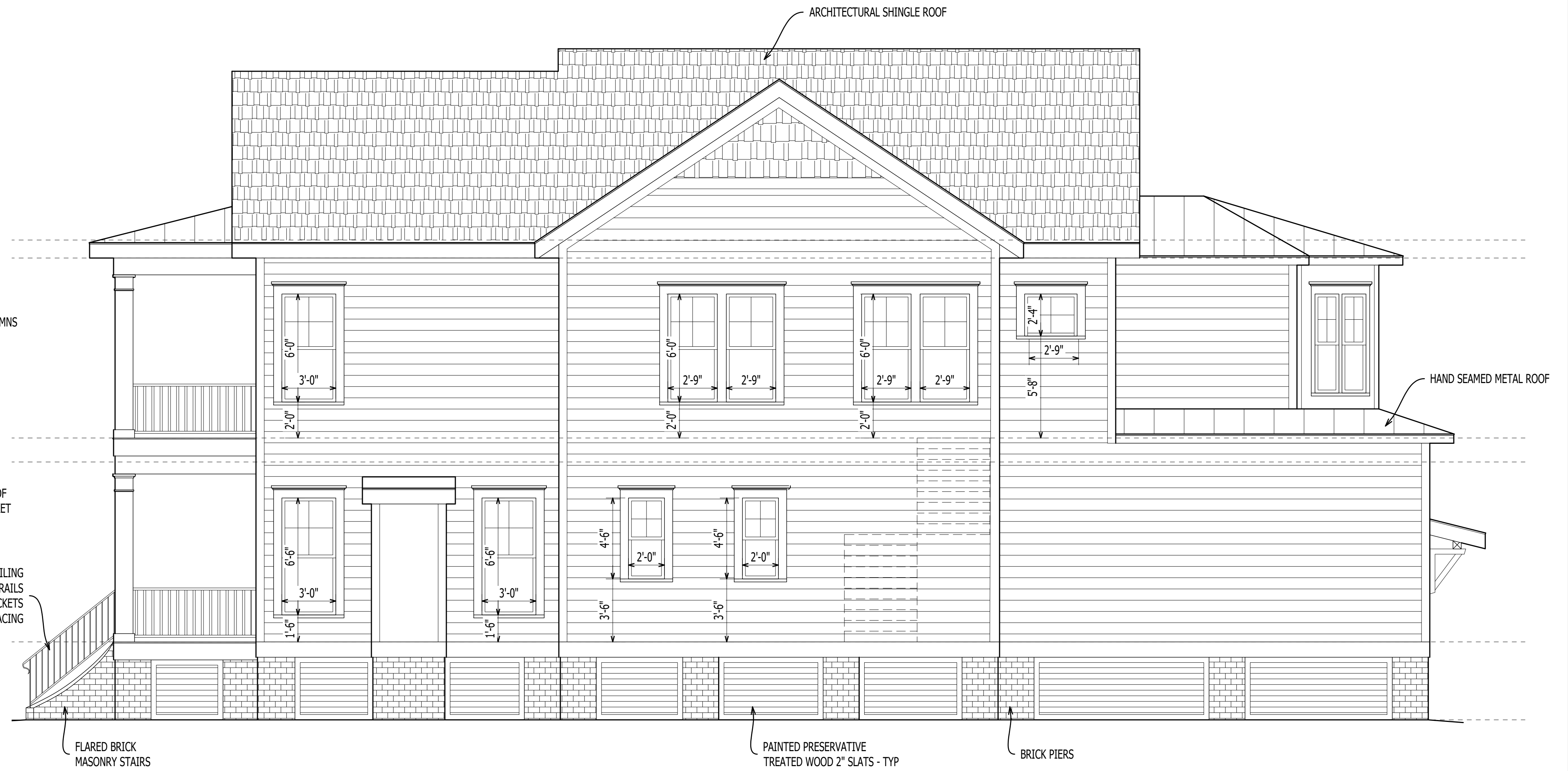
ELEVATION

12 X 18 SHEETS ARE HALF SIZE



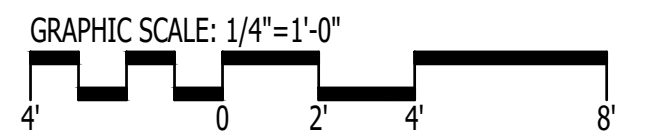
1
A-202

ELEVATION
Scale: 1/4" = 1'-0"



2
A-202

ELEVATION
Scale: 1/4" = 1'-0"



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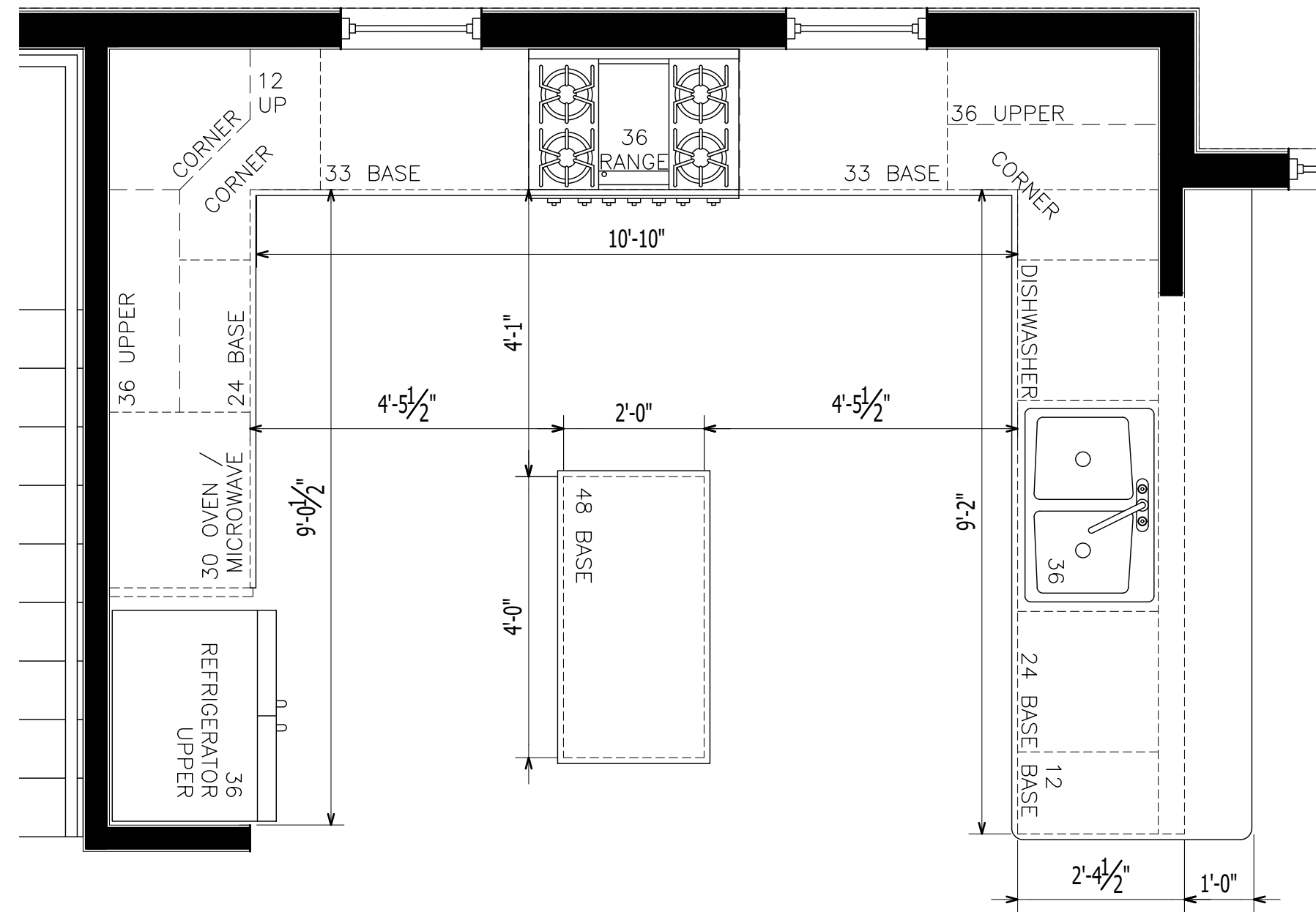
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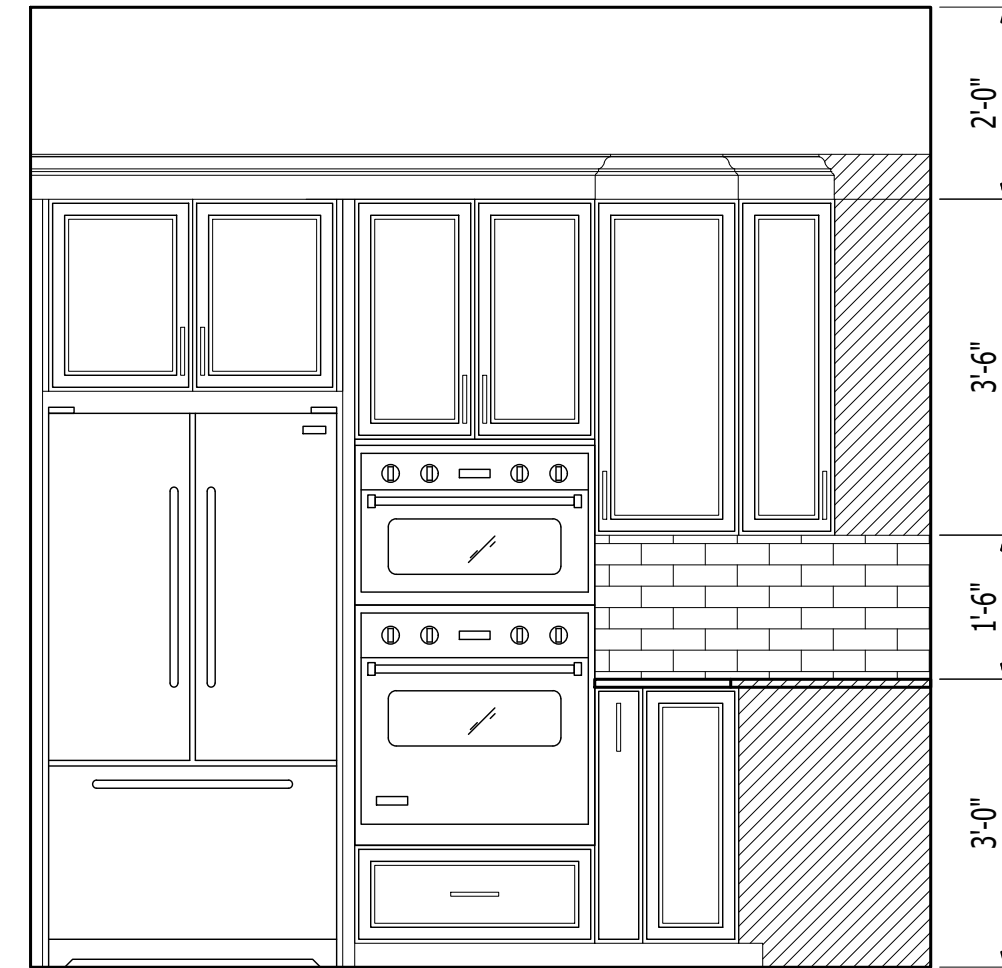
A-202

ELEVATION

12 X 18 SHEETS ARE HALF SIZE



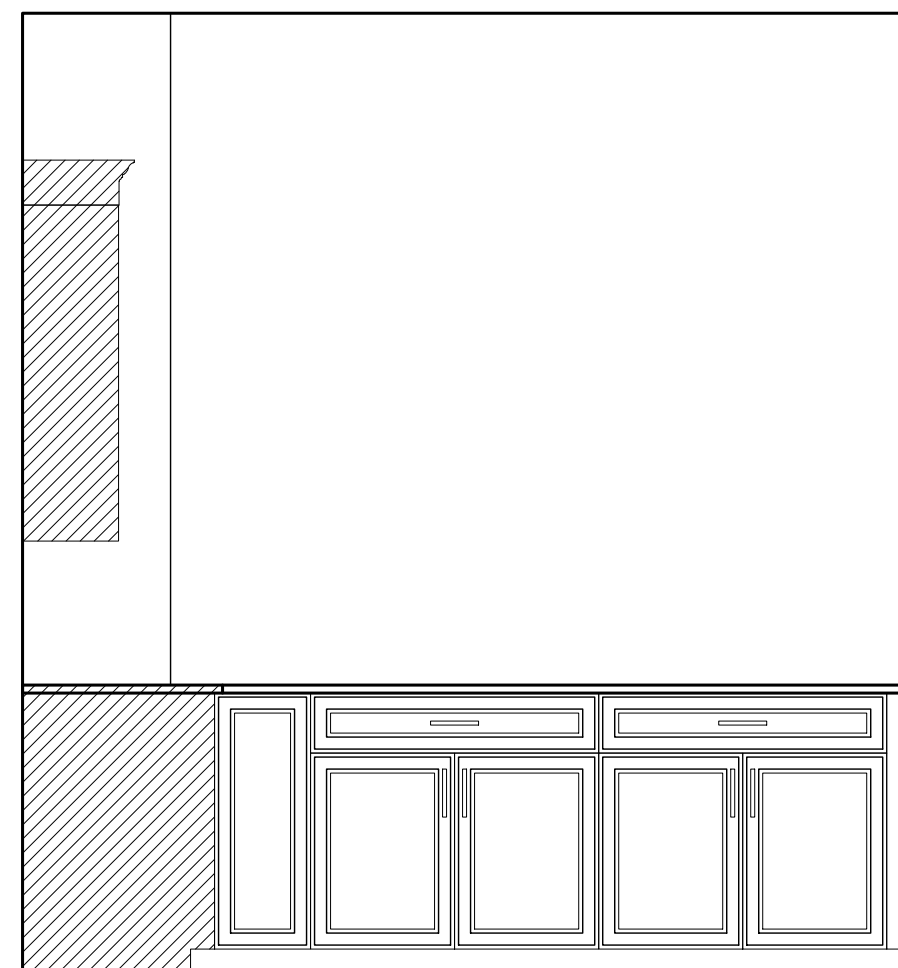
1
A-203
ENLARGED KITCHEN PLAN
Scale: 1/2" = 1'-0"



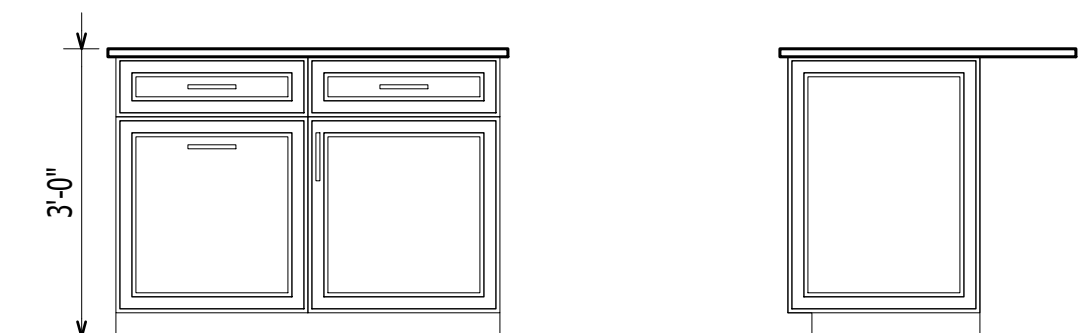
2
A-203
KITCHEN ELEVATION
Scale: 1/2" = 1'-0"



3
A-203
KITCHEN ELEVATION
Scale: 1/2" = 1'-0"

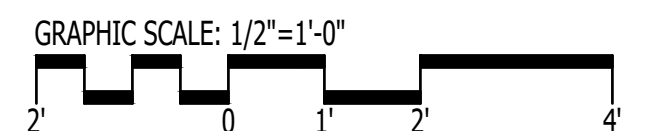


4
A-203
KITCHEN ELEVATION
Scale: 1/2" = 1'-0"



5
A-203
ISLAND ELEVATION
Scale: 1/2" = 1'-0"

6
A-203
ISLAND ELEVATION
Scale: 1/2" = 1'-0"



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Date: 09.10.2020

Revisions:

LOT 09 - RIVER STATION
801 E. FRONT STREET , NEW BERN, NC 28560

A-203

ENLARGED PLAN & INT
ELEVATIONS

12 X 18 SHEETS ARE HALF SIZE

Aldermen

Sabrina Bengel
Jameesha S. Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



NEW BERN
CITY OF NEW BERN

300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Dana E. Outlaw
Mayor

Mark A. Stephens
City Manager

Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION

Dear Sir or Madame:

I am the owner of the property located at:

304 Queen St. + 801 E Front St. + 808 E Front St., New Bern, NC 28560
(address, city, zip code)

I hereby authorize GO Architectural Design, PLLC to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

227 E Front St., New Bern, NC 28560 Phone (252) 638-4215

[Signature]
Owner's Signature

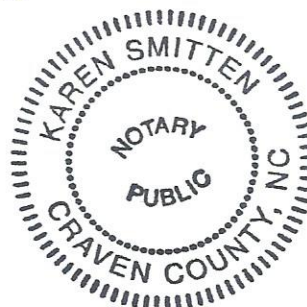
Hubert G. Tolson, III, Authorized Representative
Print Name
River Station Development Corporation

August 3rd, 2020
Date

Sworn to and subscribed before me this 3rd day of August, 2020

[Signature]
Notary Public:

My commission expires: 9/6/2024





Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It is does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 801 E. Front St. – construction of a new infill house.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-6 & Riverstation M.U. Overlay

Required Setbacks (primary structure): Front 10' Side 5' Rear 5'

Accessory Setbacks: From Nearest Structure N/A Side — Rear —

Maximum Lot Coverage for proposed use: 60% $4,256 \times .60 = 2,553 \text{ max.} \rightarrow 1,992 = \text{OK}$

Maximum Height of Structure: 50' above RFE

Required Site Improvements: Landscaping N/A Buffer — Parking 2

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets X Does Not Meet — the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator [Signature] 9/11/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will X Will Not — require a building permit(s).

Comments:

Chief Building Inspector [Signature] 9/11/20

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - September 2020

Applicant: Riverstation Development Corp./GO Architectural Design PLLC

Applicant Address: 227 E. Front St., New Bern, NC 28560

Project Address: 801 E. Front St., New Bern, NC 28560

Historic Property Name: N/A

Status: **Contributing:** **Non-contributing:** **Vacant:** X

NR Inventory Description (2003): N/A.

Sandbeck Description (1988): N/A

801 E. Front St. - to include construction of a new infill house.

Staff submits the following Historic District Guidelines are appropriate to this application:

Development Pattern

- 2.1.1 Maintain the established development pattern for placement of infill construction. The relationship of a structure to the property boundaries should be similar to those up the street, down the street and in most cases, across the street.
- 2.1.2 There are areas within the historic districts where the development pattern may have been weakened by vacant lots and nonconforming structures. In such areas, preference shall be given to contributing structures when defining the development pattern for infill construction.
- 2.1.3 The footprint, scale and proportion of infill construction shall be in keeping with neighboring properties. In general, it is not appropriate to construct a three-story structure in an area that is dominated by one-story structures.

Design Principles

- 3.1.1 Consider the scale, mass and proportion inherent to the surrounding historic development pattern, and design modifications that incorporate these characteristics. Use basic shapes and forms that are common to the historic districts.
- 3.1.2 Windows, doors and openings shall be compatible in proportion, shape, location, size, and quantity with those on surrounding historic structures. Avoid large expanses of blank walls. Establish bays, visually subdivide facades, and delineate building elevations to create form and rhythm.
- 3.1.3 Discretely use rooftop appurtenances such as spires, cupolas, and towers to articulate rooflines. Compliment the scale, form and proportion of the structure, and use rooftop appurtenances to identify a building entry or similar massing focal point.
- 3.1.4 Use details to articulate facades, and the openings within facades. Appropriately detail the base, body, and edges of facades to create texture and visual interest.
- 3.1.5 Avoid creating a false sense of historical development. It is not appropriate to apply historic architectural styles to infill construction. Creative interpretation of traditional detailing and ornamentation is encouraged.

Infill Construction

- 3.4.1 Maintain the relationship between building mass and open space that exists on the block or streetscape.
- 3.4.2 The predominant material of an infill building shall visually emulate the palette of materials traditionally found in the historic districts.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - September 2020

- 3.4.3 Use of modern materials is acceptable as a means of continuing the evolution of architecture through time. However, the use of aluminum and vinyl siding, faux brick and stone, stamped concrete and similar imitation materials is not appropriate.
- 3.4.4 Contemporary materials shall be appropriately proportioned, used in traditional ways and installed in a traditional manner.

Foundations

- 4.1.3 Use traditional materials when constructing foundations. Concrete block should receive a veneer of stucco, brick, or other appropriate masonry material.
- 4.1.4 Locate foundation features such as vents and access doors in areas that will not detract from the architectural character of the building. Coordinate with other architectural features when possible, such as aligning vents and access doors with windows above or centering them between piers.

Walls, Trim and Ornamentation

- 4.2.4 Incorporate wood trims and articulate masonry appropriately for the application.

Windows, Doors and Openings

- 4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.

Entrances

- 4.4.4 Provide porches, entrance doors, railings, and other ornaments that proportionally relate to the building. Appropriate balustrades often convey a heavier visual appearance. Center balusters between the top and bottom rails and space them about three inches apart.

Roofs

- 4.5.4 Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation. Provide double locked seams with flush ridge and hip flashings on contributing structures.

Decks and Patios

- 4.6.2 Locate decks in Secondary and Tertiary AVCs, and screen the underside with shrubbery, fencing, lattice, or masonry.

Masonry

- 5.1.3 The size, color, texture and bond, or pattern, of masonry and mortar creates the intended finished appearance. It is not appropriate to paint masonry that has not been previously painted.
- 5.1.5 Provide a veneer of brick, stucco, or other appropriate material over concrete masonry units. Architectural concrete masonry units such as rusticated, split face or similar types may be substituted for stone masonry construction.
- 5.1.6 It is not appropriate to use water repellants or sealers on masonry because these treatments often trap moisture and accelerate spalling.

Metals

- 5.3.3 Use full weld iron and steel fabrication techniques. Welds shall be properly dressed, or ground smooth.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - September 2020

- 5.3.4 Provide aluminum fabrications with welded joints or blind, mechanical connections having concealed fasteners.

Paint

- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on flooring, fencing, and similar wood surfaces exposed to foot traffic or weather.
- 5.4.6 It is not appropriate to apply paint, water repellant or sealant coatings to unpainted surfaces such as masonry, stone, copper, and bronze.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is located within the Primary, Secondary, and Tertiary AVCs;
2. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
3. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application for construction of a new infill house.

FEE SCHEDULE (office use only)
☐ \$22 Standard Application (minor)
☒ \$107 Standard Application (major)



HPC Administrator
 HPCadmin@newbern-nc.org
 Work:(252)639-7583
 Fax: (252)636-2146

Application for a Certificate of Appropriateness

(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☐ Addition ☒ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:			
Property Address (Include year built, if known): 815 E. Front Street - Lot 16 River Station(new build)			
Property Owner Name(s): River Station Development Corp Hubie Tolson	Owner Mailing Address: 227 E. Front Street New Bern, NC 28560	Phone #'s: 252-638-4215	Email: hubie@uhfdevelopmentgroup.com
Applicant Name (if different): GO Architectural Design, PLLC Sarah Afflerbach, AIA	Applicant Mailing Address: 1202A Pollock Street New Bern, NC 28560	Phone #'s: 252-633-0322	Email: sarah@goarchdesign.com

II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)
<p>1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)</p> <p>Construct a new two story single family home on an empty lot. See plans and elevations for details and material choices.</p> <p style="text-align: right;">Continued on additional sheet or attached brochure <input checked="" type="checkbox"/></p>
<p>2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):</p> <p>2.1.1, 2.1.2, 2.1.3, 4.1.1, 4.1.2, 4.1.3, 4.1.4, 4.2.1, 4.2.2, 4.2.3, 4.2.4, 4.3.1-4.3.7, 4.4.1-4.4.5, 4.5.1-4.5.6, 4.6.1-4.6.3</p> <p style="text-align: right;">Continued on additional sheet or attached brochure <input type="checkbox"/></p>
<p>3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):</p> <p>Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).</p> <p>Hardie Board siding (smooth faced lap siding and shakes), Azek trim and railing and painted ornamental railing, brick masonry piers, painted preservative treaded louvers, vinyl windows with 3D grilles inside and out, asphalt shingles and hand seamed metal roofing, concrete walk and driveway.</p> <p style="text-align: right;">Continued on additional sheet or attached brochure <input checked="" type="checkbox"/></p>

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☒ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

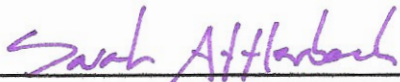
Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.



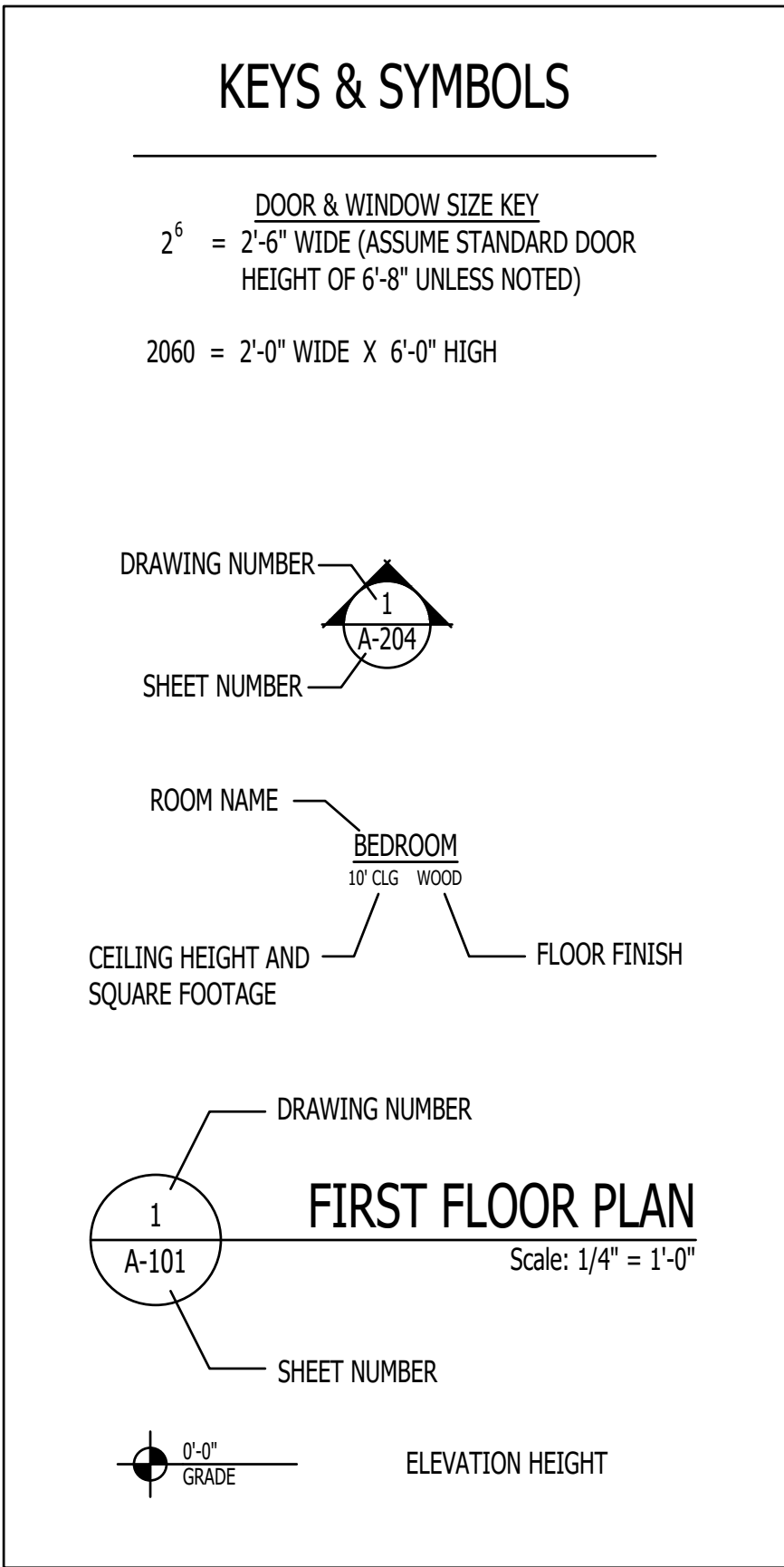
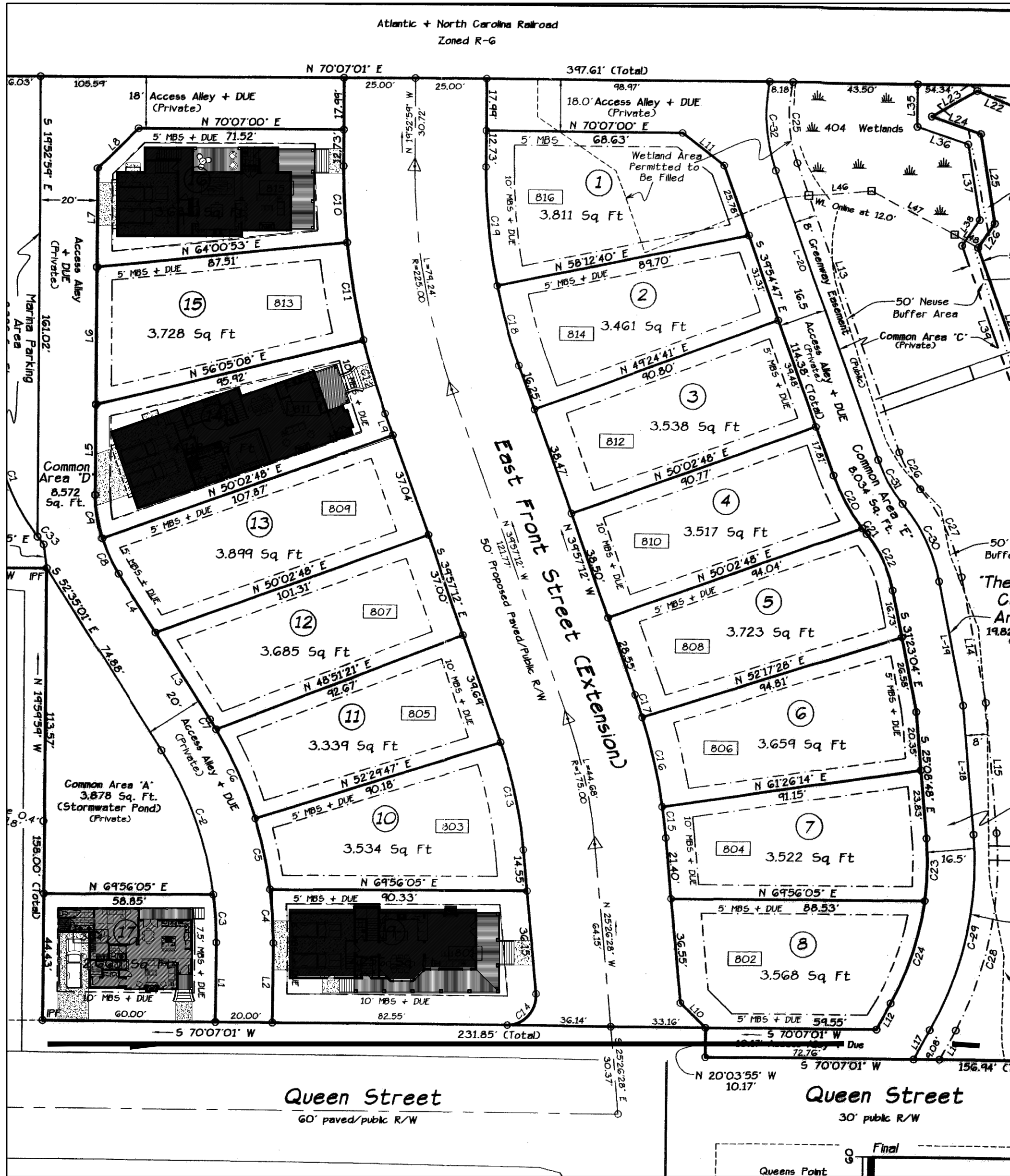
Signature of Applicant/Owner



Date

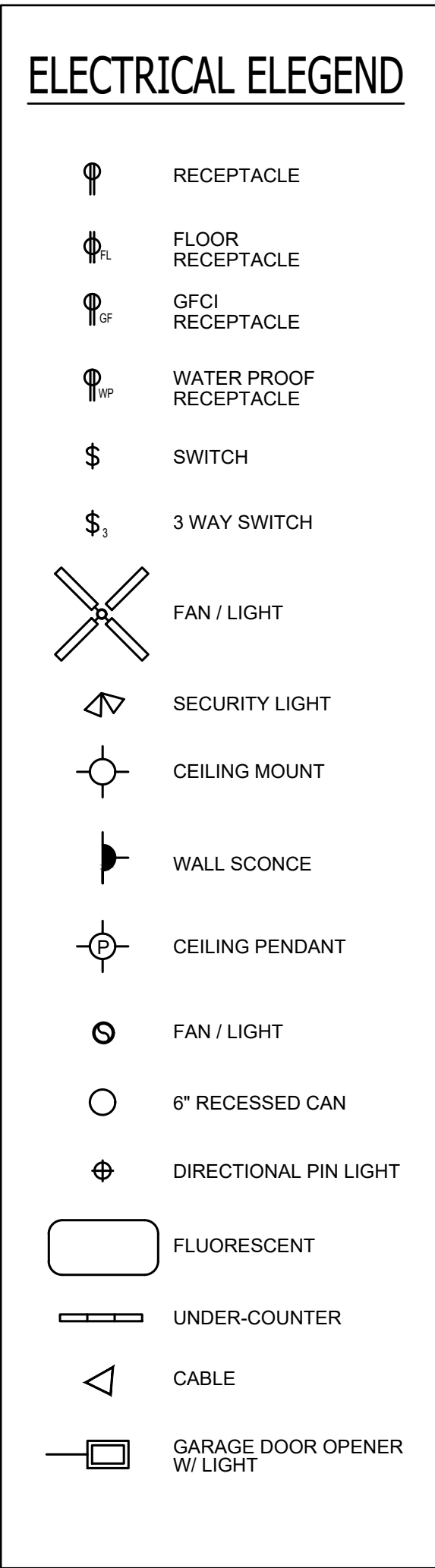
APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.

LOT 16 - RIVER STATION CUSTOM HOME



VENTILATION

GARAGE	904 SQ IN (8) 8" X 16" VENTS
ROOF	1421 SQ IN



SHEET SCHEDULE

G-101	TITLE SHEET
C-101	SITE PLAN
A-101	FIRST FLOOR PLAN
A-102	SECOND FLOOR PLAN
A-103	ROOF PLAN
A-104	FRAMING PLANS
A-201	ELEVATIONS
A-202	KITCHEN ELEVATIONS
A-301	SECTION
E-101	ELECTRICAL PLANS

GROSS SQUARE FOOTAGE

HEATED / COOLED

FIRST FLOOR PLAN	1,122 SF
SECOND FLOOR PLAN	1,602 SF
TOTAL H/C	2,724 SF

NON HEATED

1ST FL SCREENED PORCH	139 SF
1ST FL FRONT PORCH	257 SF
GARAGE	481 SF
TOTAL NON H/C	877 SF

GROSS FOOTPRINT 1,999 SF
(INCLUDING PORCHES)

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PHOTO 01 - LOT 16



PHOTO 02 - LOT 16



PHOTO 03 - LOT 16



PHOTO 04 - EXISTING HOUSE



PHOTO 05 - EXISTING HOUSE



PHOTO 06 - EXISTING HOUSE



GO
ARCHITECTURAL
DESIGN
— PLLC —

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LOT 16 - RIVER STATION

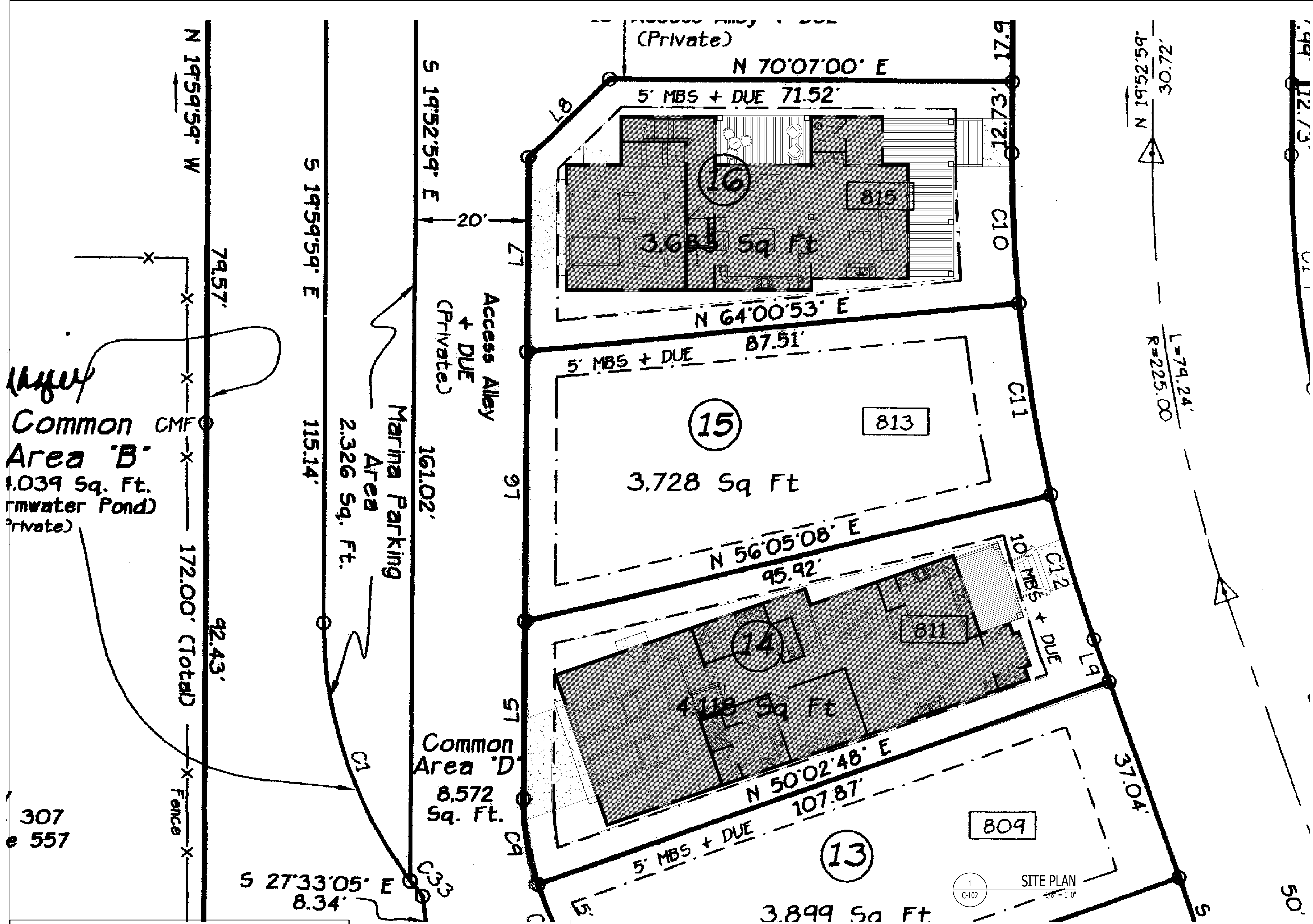
815 E. FRONT STREET , NEW BERN, NC 28560

Date: 09.09.2020

Revisions:

PHOTOS

12 X 18 SHEETS ARE HALF SIZE



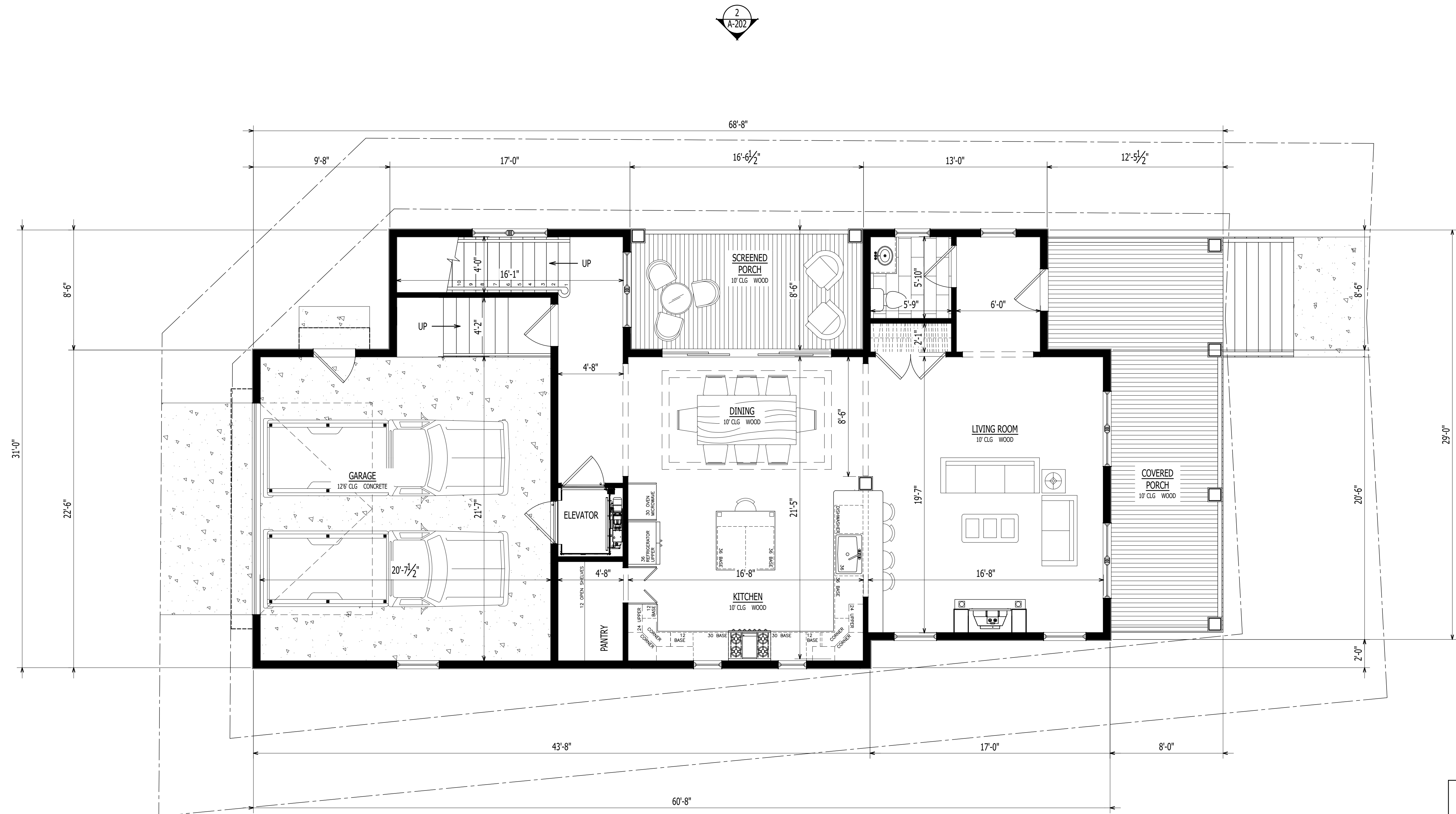
NOTES:

REVIEW THE CERTIFICATE OF APPROPRIATENESS PRIOR TO CONSTRUCTION.

PLANT 2 APPROVED FLOWERING TREES IN THE RIGHT OF WAY ON QUEEN STREET

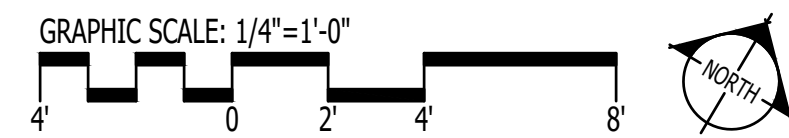
GRAPHIC SCALE: 1/8"=1'-0"

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1
A-101
FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

- GENERAL NOTE:
1. ALL WINDOWS WITH SILL AT OR BELOW 18" WILL BE TEMPERED
 2. ALL DIMENSIONS ARE TO WOOD STUD UNLESS OTHERWISE NOTED



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Date: 09.09.2020

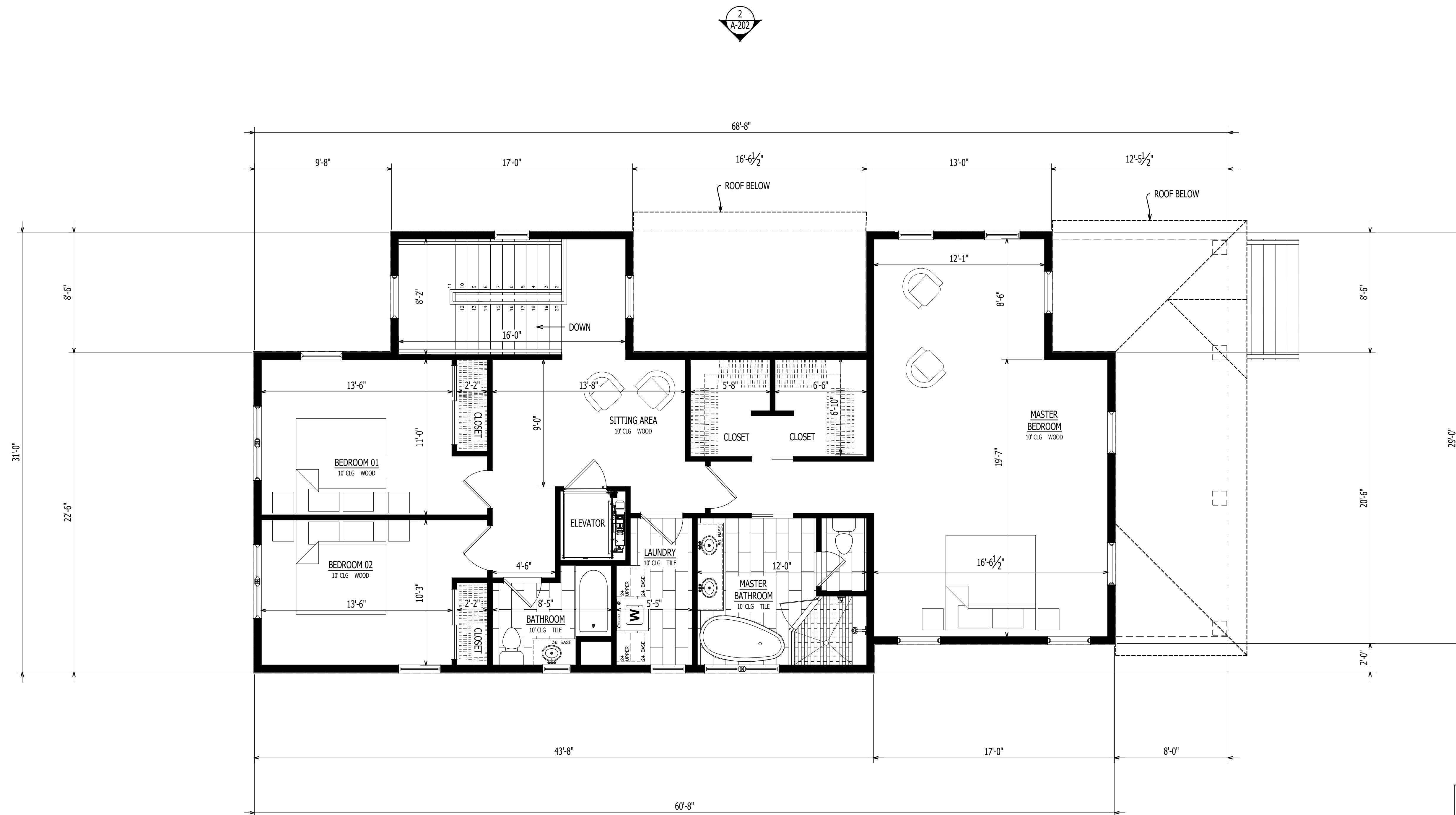
Revisions:

LOT 16 - RIVER STATION
815 E. FRONT STREET , NEW BERN, NC 28560

A-101

FIRST FLOOR PLAN

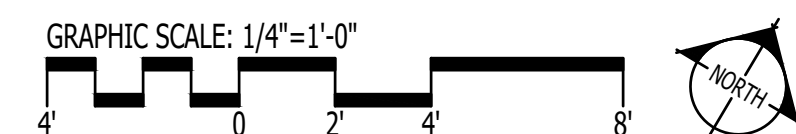
12 X 18 SHEETS ARE HALF SIZE



1
A-102

SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

- GENERAL NOTE:**
1. ALL WINDOWS WITH SILL AT OR BELOW 18" WILL BE TEMPERED
 2. ALL DIMENSIONS ARE TO WOOD STUD UNLESS OTHERWISE NOTED



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Date: 09.09.2020

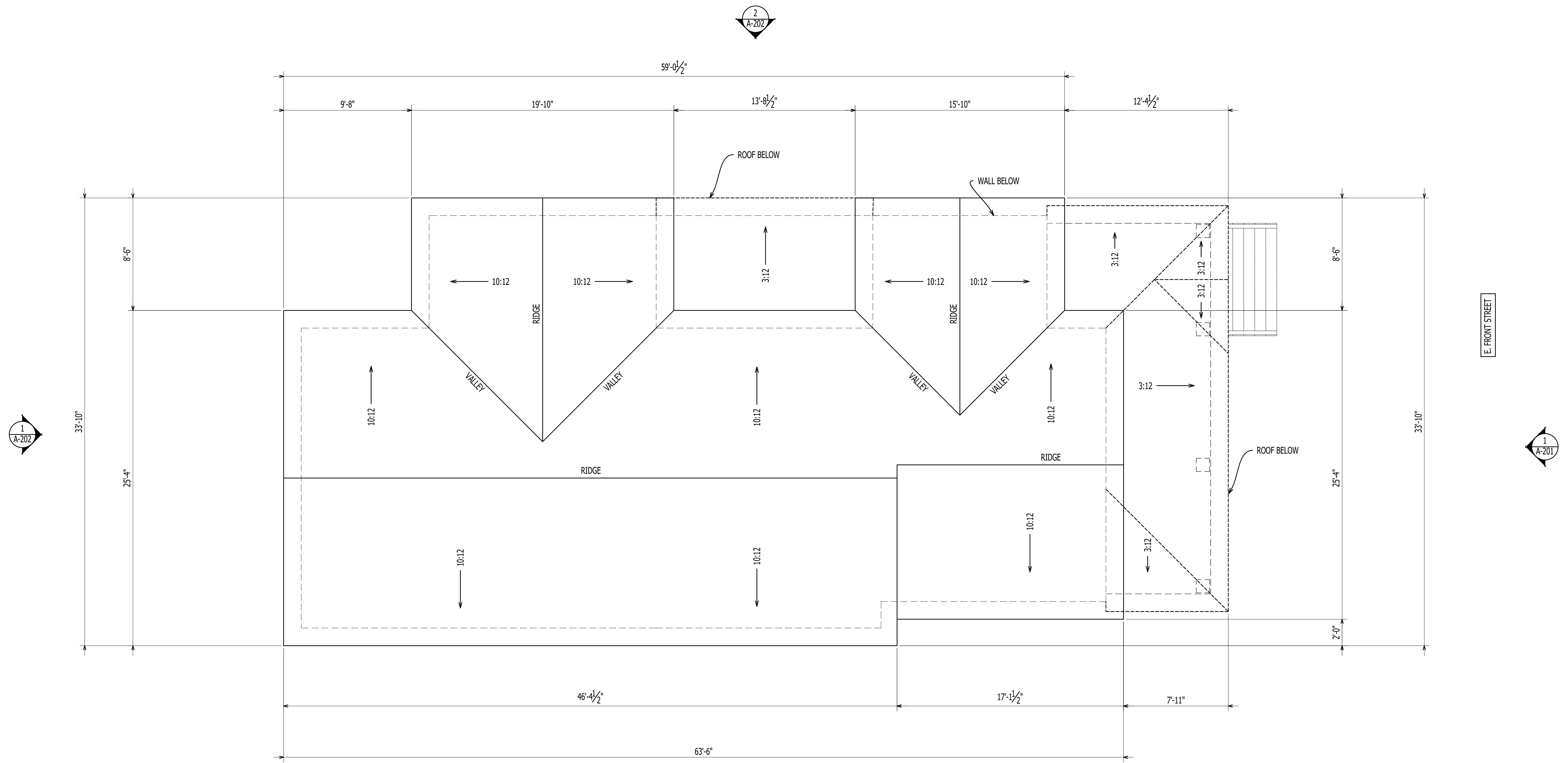
Revisions:

LOT 16 - RIVER STATION
815 E. FRONT STREET , NEW BERN, NC 28560

A-102

SECOND FLOOR PLAN

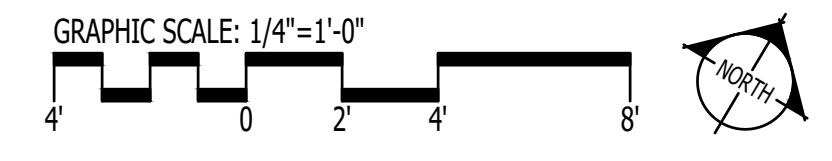
12 X 18 SHEETS ARE HALF SIZE



1
A-103

ROOF PLAN
Scale: 1/4" = 1'-0"

2
A-201

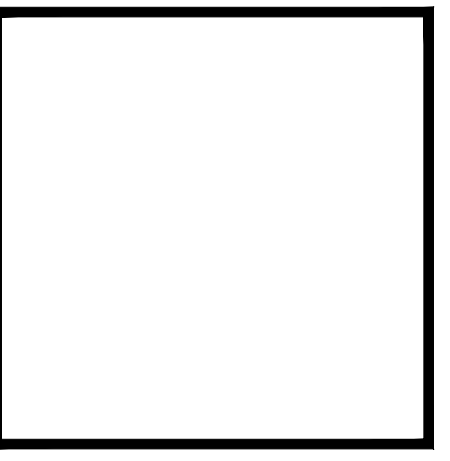


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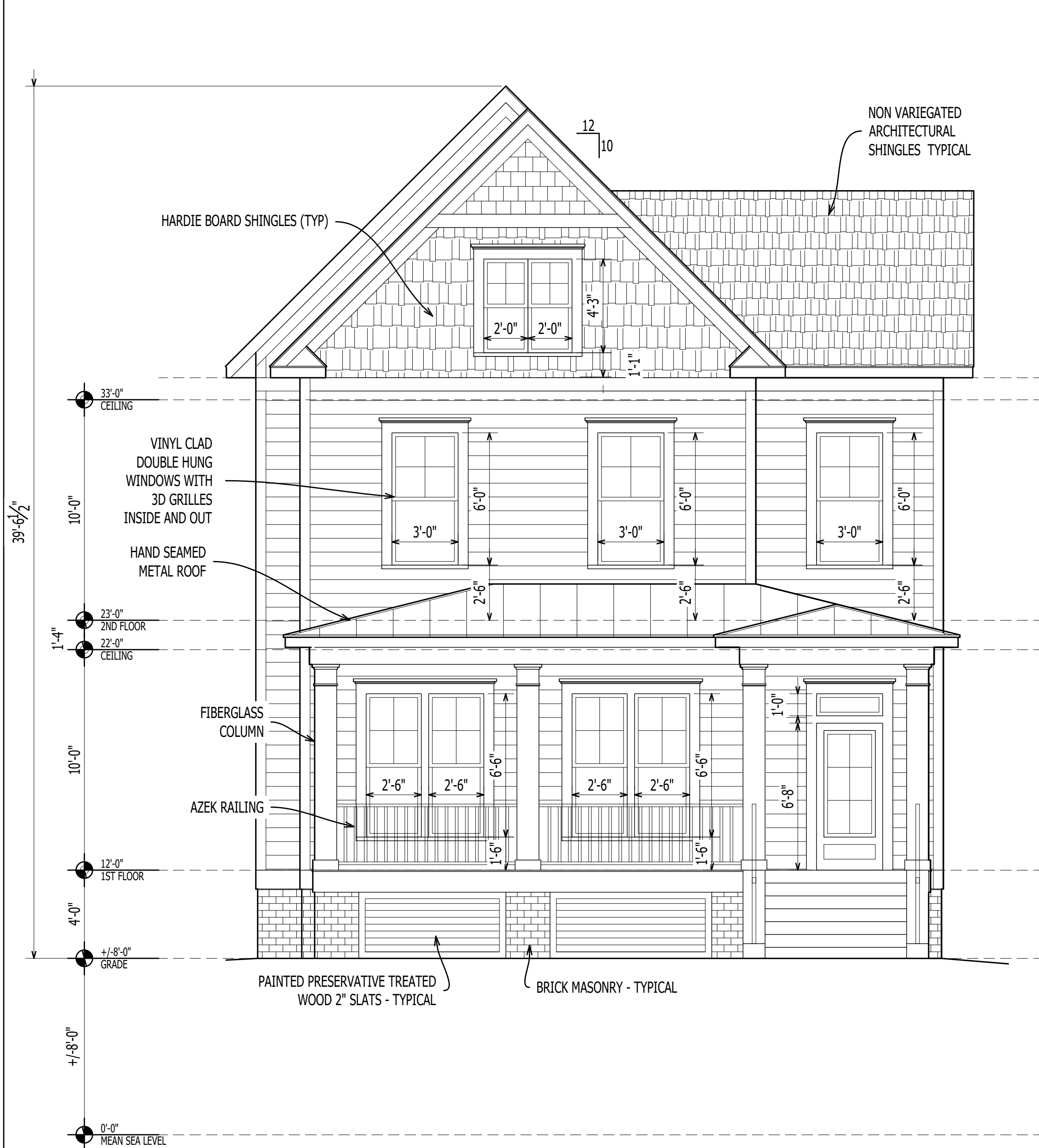


Date: 09.09.2020
Revisions:

LOT 16 - RIVER STATION
815 E. FRONT STREET , NEW BERN, NC 28560

A-103
ROOF PLAN

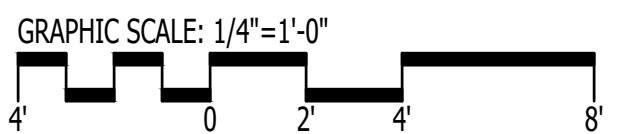
12 X 18 SHEETS ARE HALF SIZE



1
A-201
ELEVATION
Scale: 1/4" = 1'-0"



2
A-201
ELEVATION
Scale: 1/4" = 1'-0"



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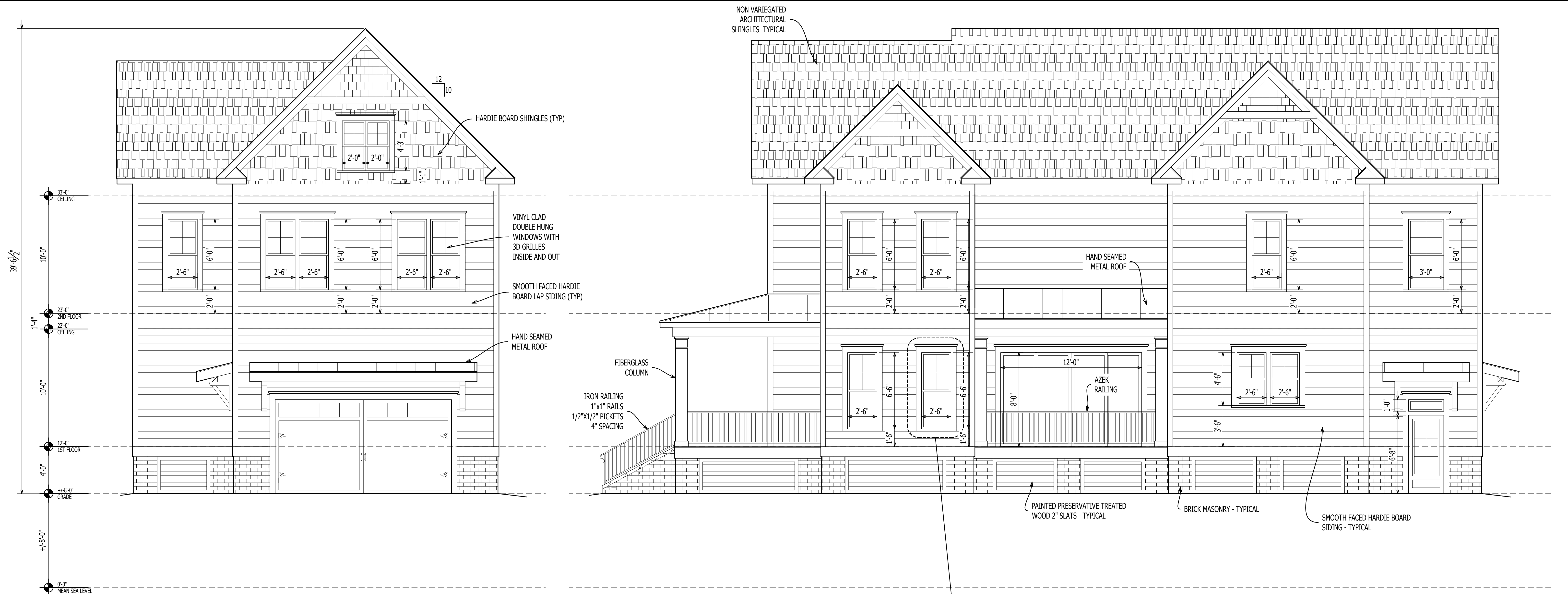
Revisions:

LOT 16 - RIVER STATION
815 E. FRONT STREET , NEW BERN, NC 28560

A-201

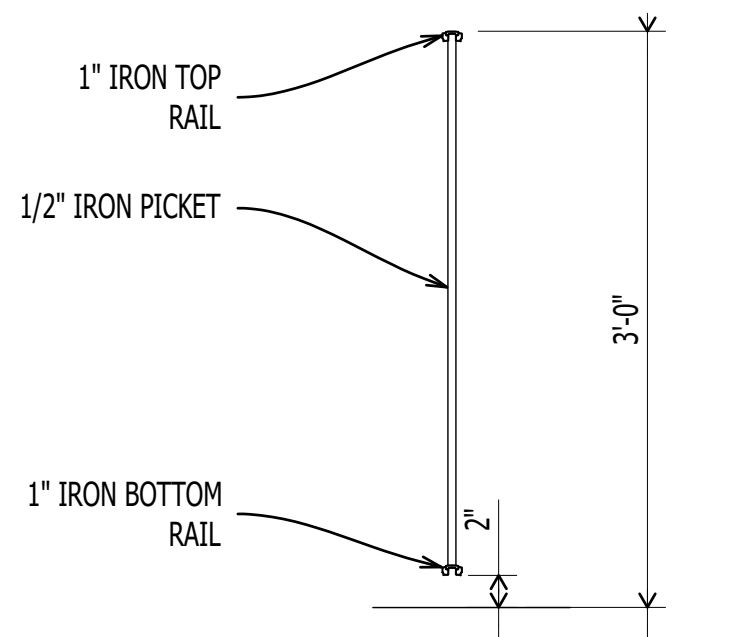
ELEVATIONS

12 X 18 SHEETS ARE HALF SIZE

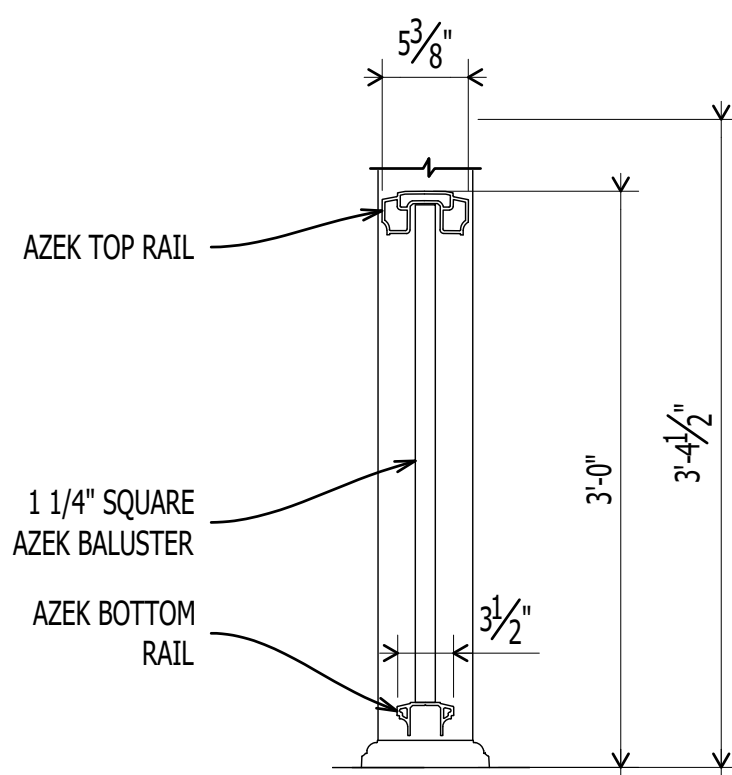


1
A-202
ELEVATION
Scale: 1/4" = 1'-0"

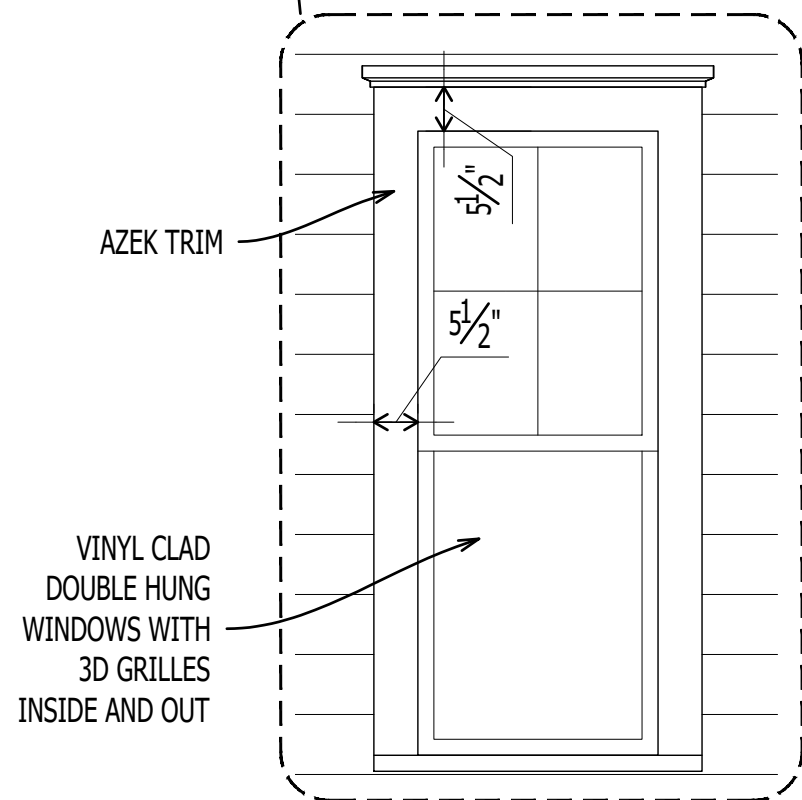
2
A-202
ELEVATION
Scale: 1/4" = 1'-0"



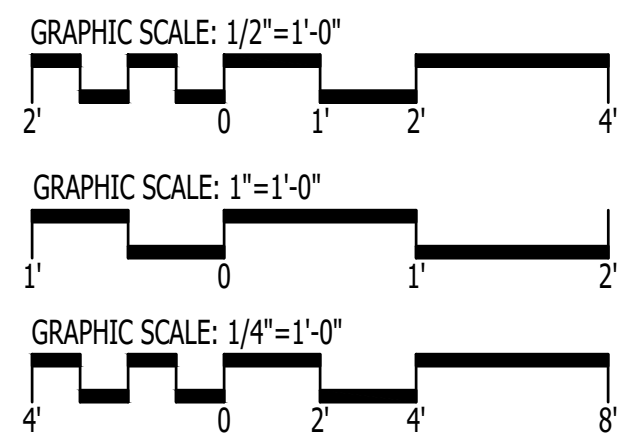
3
A-202
IRON RAILING
Scale: 1" = 1'-0"



4
A-202
AZEK RAILING
Scale: 1" = 1'-0"



5
A-201
ENLARGED WINDOW
Scale: 1/2" = 1'-0"



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Date: 09.09.2020

Revisions:

LOT 16 - RIVER STATION
815 E. FRONT STREET , NEW BERN, NC 28560

A-202

ELEVATIONS

12 X 18 SHEETS ARE HALF SIZE

Aldermen

Sabrina Bengel
Jameesha S. Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Dana E. Outlaw
Mayor

Mark A. Stephens
City Manager

Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION

Dear Sir or Madame:

I am the owner of the property located at:


811, 815, & 816 East Front Street, New Bern, NC 28560
(address, city, zip code)

I hereby authorize GO Architectural Design, PLLC to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

227 E. Front Street Phone 252-638-4215
New Bern, NC 28560


Owner's Signature

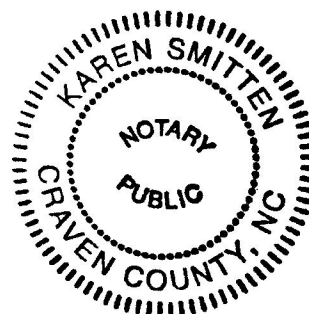
Hubert G. Tolson, III
Print Name

9-1-2020
Date

Sworn to and subscribed before me this 1st day of September, 2020

Karen Smitten
Notary Public:

My commission expires: 9-6-2024





Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 815 E. Front St. – construction of a new infill house.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-6 d River Station M.U. Overlay

Required Setbacks (primary structure): Front 10' Side 5' Rear 5'

Accessory Setbacks: From Nearest Structure N/A Side — Rear —

Maximum Lot Coverage for proposed use: 60% $3,488 \times .6 = 2,212 \text{ max.} \rightarrow 1,999 = \text{ok}$

Maximum Height of Structure: 50' above RFPE

Required Site Improvements: Landscaping N/A Buffer N/A Parking 2

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet ☐ the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator [Signature] 9/11/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will ☒ Will Not ☐ require a building permit(s).

Comments:

Chief Building Inspector [Signature] 9/11/20

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - September 2020

Applicant: Riverstation Development Corp./GO Architectural Design PLLC

Applicant Address: 227 E. Front St., New Bern, NC 28560

Project Address: 815 E. Front St., New Bern, NC 28560

Historic Property Name: N/A

Status: **Contributing:** **Non-contributing:** **Vacant:** X

NR Inventory Description (2003): N/A.

Sandbeck Description (1988): N/A

815 E. Front St. - to include construction of a new infill house.

Staff submits the following Historic District Guidelines are appropriate to this application:

Development Pattern

- 2.1.1 Maintain the established development pattern for placement of infill construction. The relationship of a structure to the property boundaries should be similar to those up the street, down the street and in most cases, across the street.
- 2.1.2 There are areas within the historic districts where the development pattern may have been weakened by vacant lots and nonconforming structures. In such areas, preference shall be given to contributing structures when defining the development pattern for infill construction.
- 2.1.3 The footprint, scale and proportion of infill construction shall be in keeping with neighboring properties. In general, it is not appropriate to construct a three-story structure in an area that is dominated by one-story structures.

Design Principles

- 3.1.1 Consider the scale, mass and proportion inherent to the surrounding historic development pattern, and design modifications that incorporate these characteristics. Use basic shapes and forms that are common to the historic districts.
- 3.1.2 Windows, doors and openings shall be compatible in proportion, shape, location, size, and quantity with those on surrounding historic structures. Avoid large expanses of blank walls. Establish bays, visually subdivide facades, and delineate building elevations to create form and rhythm.
- 3.1.3 Discretely use rooftop appurtenances such as spires, cupolas, and towers to articulate rooflines. Compliment the scale, form and proportion of the structure, and use rooftop appurtenances to identify a building entry or similar massing focal point.
- 3.1.4 Use details to articulate facades, and the openings within facades. Appropriately detail the base, body, and edges of facades to create texture and visual interest.
- 3.1.5 Avoid creating a false sense of historical development. It is not appropriate to apply historic architectural styles to infill construction. Creative interpretation of traditional detailing and ornamentation is encouraged.

Infill Construction

- 3.4.1 Maintain the relationship between building mass and open space that exists on the block or streetscape.
- 3.4.2 The predominant material of an infill building shall visually emulate the palette of materials traditionally found in the historic districts.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - September 2020

- 3.4.3 Use of modern materials is acceptable as a means of continuing the evolution of architecture through time. However, the use of aluminum and vinyl siding, faux brick and stone, stamped concrete and similar imitation materials is not appropriate.
- 3.4.4 Contemporary materials shall be appropriately proportioned, used in traditional ways and installed in a traditional manner.

Foundations

- 4.1.3 Use traditional materials when constructing foundations. Concrete block should receive a veneer of stucco, brick, or other appropriate masonry material.
- 4.1.4 Locate foundation features such as vents and access doors in areas that will not detract from the architectural character of the building. Coordinate with other architectural features when possible, such as aligning vents and access doors with windows above or centering them between piers.

Walls, Trim and Ornamentation

- 4.2.4 Incorporate wood trims and articulate masonry appropriately for the application.

Windows, Doors and Openings

- 4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.

Entrances

- 4.4.4 Provide porches, entrance doors, railings, and other ornaments that proportionally relate to the building. Appropriate balustrades often convey a heavier visual appearance. Center balusters between the top and bottom rails and space them about three inches apart.

Roofs

- 4.5.4 Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation. Provide double locked seams with flush ridge and hip flashings on contributing structures.

Decks and Patios

- 4.6.2 Locate decks in Secondary and Tertiary AVCs, and screen the underside with shrubbery, fencing, lattice, or masonry.

Masonry

- 5.1.3 The size, color, texture and bond, or pattern, of masonry and mortar creates the intended finished appearance. It is not appropriate to paint masonry that has not been previously painted.
- 5.1.5 Provide a veneer of brick, stucco, or other appropriate material over concrete masonry units. Architectural concrete masonry units such as rusticated, split face or similar types may be substituted for stone masonry construction.
- 5.1.6 It is not appropriate to use water repellants or sealers on masonry because these treatments often trap moisture and accelerate spalling.

Metals

- 5.3.3 Use full weld iron and steel fabrication techniques. Welds shall be properly dressed, or ground smooth.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - September 2020

- 5.3.4 Provide aluminum fabrications with welded joints or blind, mechanical connections having concealed fasteners.

Paint

- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on flooring, fencing, and similar wood surfaces exposed to foot traffic or weather.
- 5.4.6 It is not appropriate to apply paint, water repellent or sealant coatings to unpainted surfaces such as masonry, stone, copper, and bronze.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is located within the Primary, Secondary, and Tertiary AVCs;
2. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
3. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application for construction of a new infill house.

FEE SCHEDULE (office use only)
☐ \$22 Standard Application (minor)
☒ \$107 Standard Application (major)



HPC Administrator
 HPCadmin@newbern-nc.org
 Work: (252) 639-7583
 Fax: (252) 636-2146

Application for a Certificate of Appropriateness
(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☐ Addition ☒ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:

Property Address (Include year built, if known): 811 E. Front Street (new build)

Property Owner Name(s): River Station Development Corp Hubie Tolson	Owner Mailing Address: 227 E. Front Street New Bern, NC 28560	Phone #'s: 252-638-4215	Email: hubie@uhfdevelopmentgroup.com
Applicant Name (if different): GO Architectural Design, PLLC Sarah Afflerbach, AIA	Applicant Mailing Address: 1202A Pollock Street New Bern, NC 28560	Phone #'s: 252-633-0322	Email: sarah@goarchdesign.com

II. Project Information: *(See "CoA Instructions" & "Historic Guidelines" for help in completing this section)*

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

Construct a new two story single family home on an empty lot. See plans and elevations for details and material choices.

Continued on additional sheet or attached brochure ☒

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

2.1.1, 2.1.2, 2.1.3, 4.1.1, 4.1.2, 4.1.3, 4.1.4, 4.2.1, 4.2.2, 4.2.3, 4.2.4, 4.3.1-4.3.7, 4.4.1-4.4.5, 4.5.1-4.5.6, 4.6.1-4.6.3

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

Hardie Board siding (smooth faced lap siding and shakes), Azek trim and railing and painted ornamental railing, brick masonry piers, painted preservative treaded louvers, vinyl windows with 3D grilles inside and out, asphalt shingles and hand seamed metal roofing, concrete walk and driveway.

Continued on additional sheet or attached brochure ☒

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☒ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.



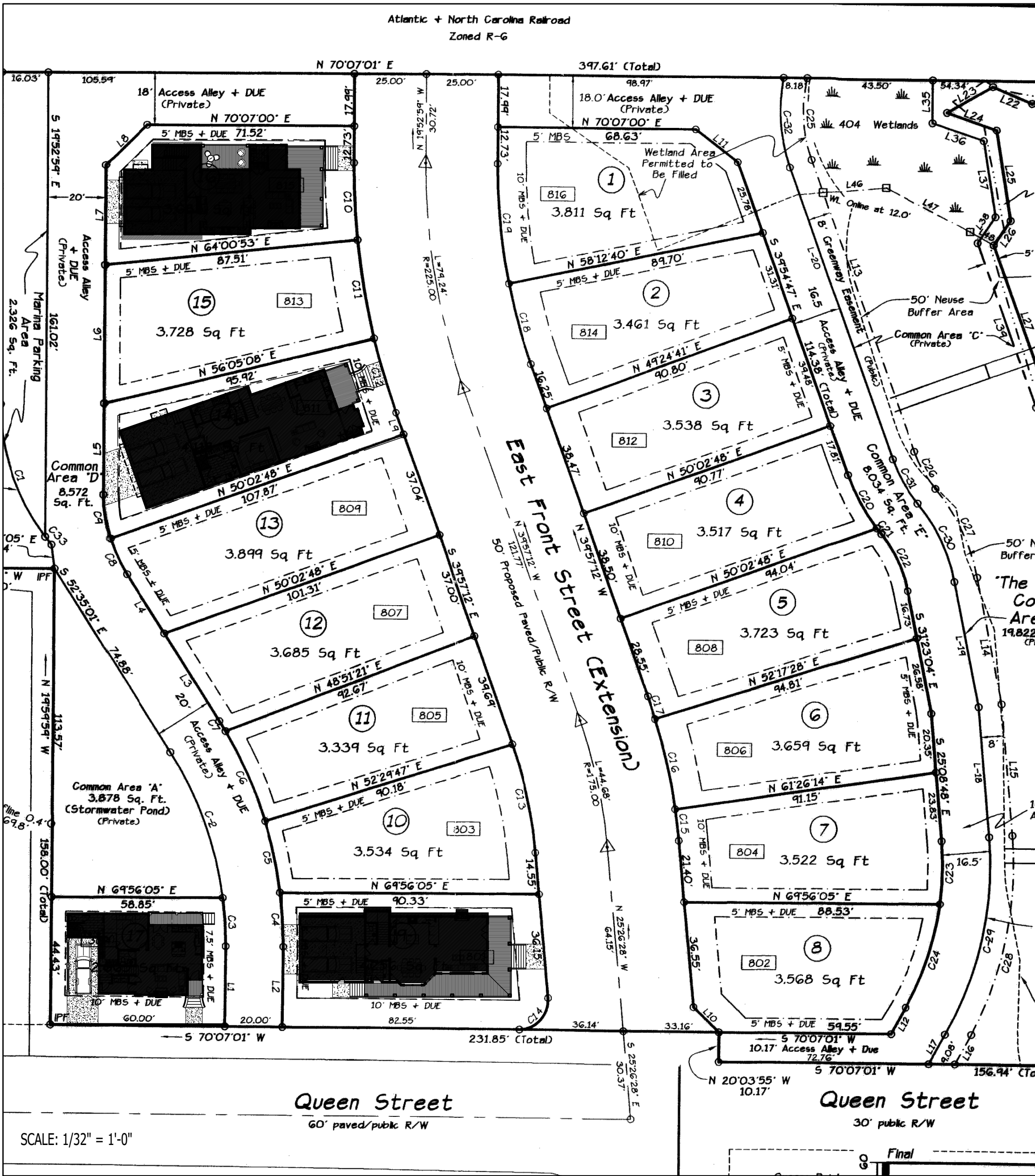
Signature of Applicant/Owner



Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.

LOT 14 - RIVER STATION CUSTOM HOME



CONCEPTUAL RENDERING

KEYS & SYMBOLS

DOOR & WINDOW SIZE KEY
2'6" = 2'-6" WIDE (ASSUME STANDARD DOOR
HEIGHT OF 6'-8" UNLESS NOTED)

2060 = 2'-0" WIDE X 6'-0" HIGH

DRAWING NUMBER

SHEET NUMBER

ROOM NAME

CEILING HEIGHT AND
SQUARE FOOTAGE

DRAWING NUMBER

FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

SHEET NUMBER

0'-0" GRADE

ELEVATION HEIGHT

ELECTRICAL ELEGEND

- RECEPTACLE
- FLOOR RECEPTACLE
- GFCI RECEPTACLE
- WATER PROOF RECEPTACLE
- SWITCH
- 3 WAY SWITCH
- FAN / LIGHT
- SECURITY LIGHT
- CEILING MOUNT
- WALL SCONE
- CEILING PENDANT
- FAN / LIGHT
- 6" RECESSED CAN
- DIRECTIONAL PIN LIGHT
- FLUORESCENT
- UNDER-COUNTER
- CABLE
- GARAGE DOOR OPENER W/ LIGHT

SHEET SCHEDULE

- G-101 TITLE SHEET
- C-101 SITE PLAN
- A-101 FIRST FLOOR PLAN
- A-102 SECOND FLOOR PLAN
- A-103 ROOF PLAN
- A-201 ELEVATIONS
- A-202 ELEVATIONS

GROSS SQUARE FOOTAGE

HEATED / COOLED

FIRST FLOOR PLAN	1,271 SF
SECOND FLOOR PLAN	1,335 SF
TOTAL H/C	2,606 SF

NON HEATED

1ST FL PORCH	112 SF
2NS FL PORCH	112 SF
GARAGE	632 SF
TOTAL NON H/C	856 SF

GROSS FOOTPRINT 2,210 SF
(INCLUDING PORCHES)

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New Bern, NC 28560
252-633-0322
www.goarchdesign.com

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PROSECUTION AND PENALTIES.

Date: 09.09.2020

Revisions:

LOT 14 - RIVER STATION
811 E. FRONT STREET , NEW BERN, NC 28560

G-101

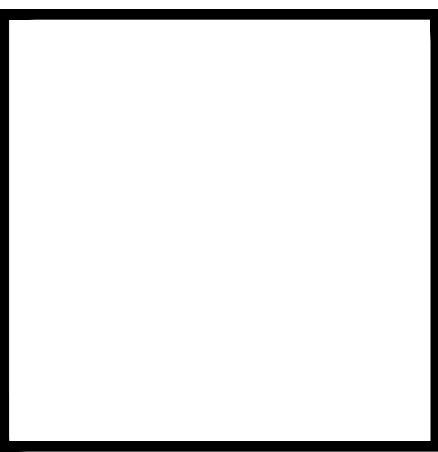
TITLE SHEET

12 X 18 SHEETS ARE HALF SIZE



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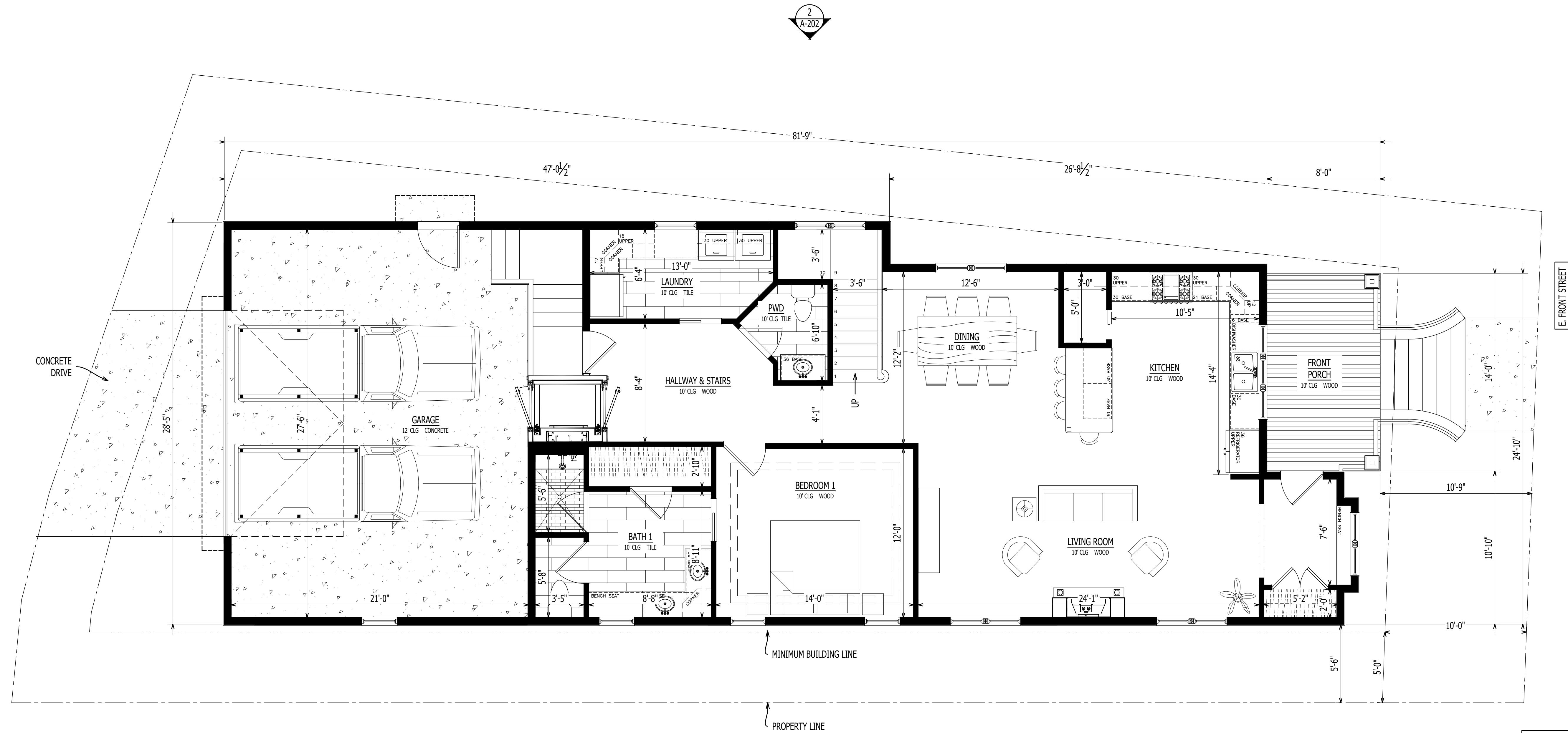
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Date: 09.09.2020
Revisions:

LOT 14 - RIVER STATION 811 E. FRONT STREET , NEW BERN, NC 28560

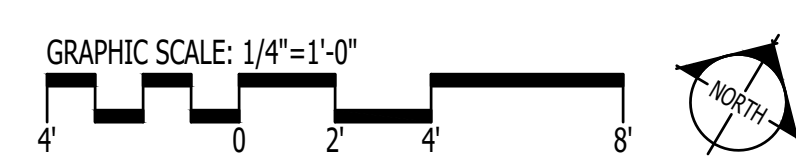
PHOTOS
12 X 18 SHEETS ARE HALF SIZE



1
A-101
FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

GENERAL NOTE:

1. ALL WINDOWS WITH SILL AT OR BELOW 18" WILL BE TEMPERED
2. ALL DIMENSIONS ARE TO WOOD STUD UNLESS OTHERWISE NOTED

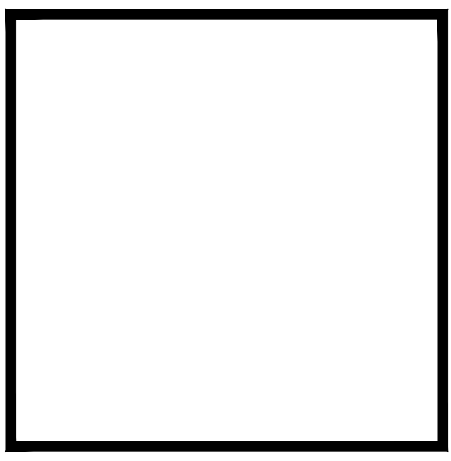


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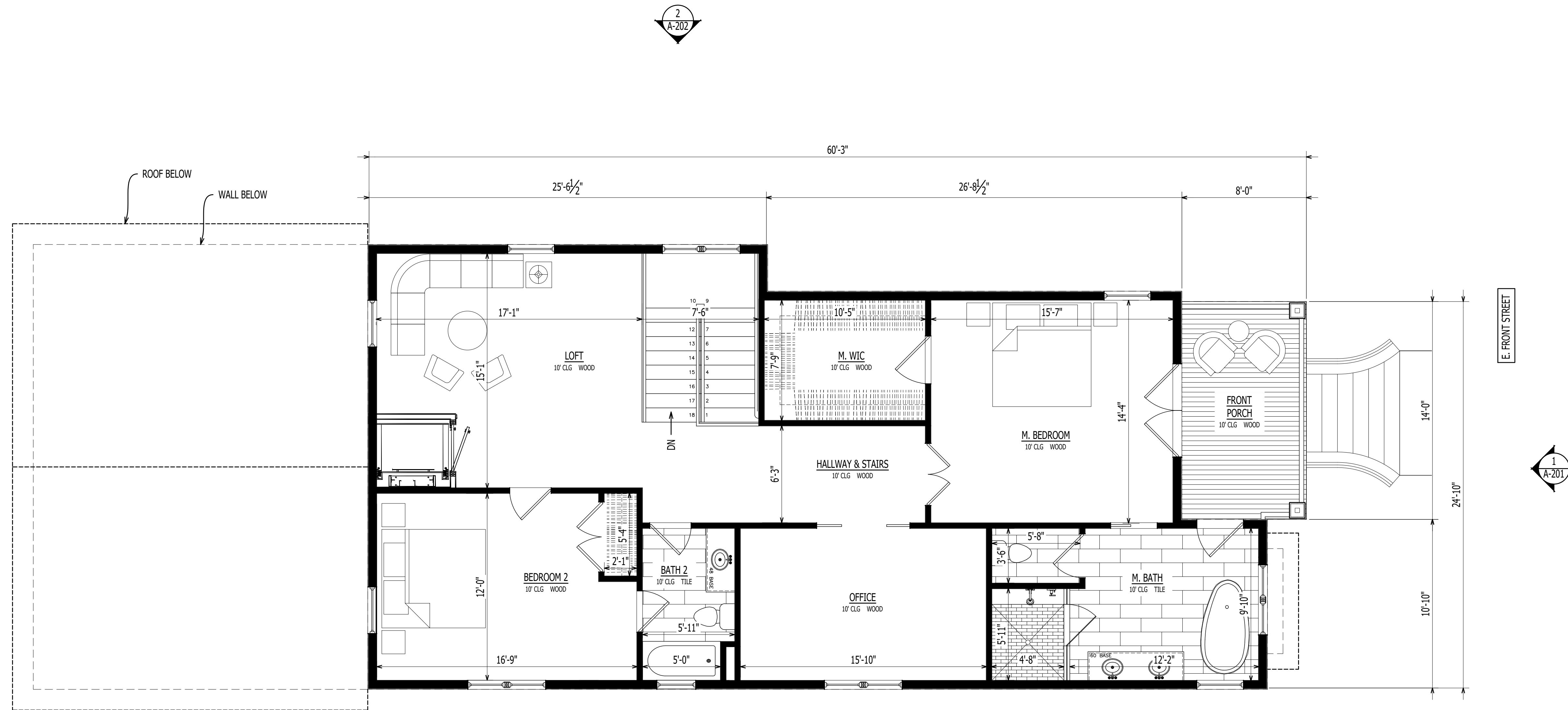
Date: 09.09.2020
Revisions:

LOT 14 - RIVER STATION

811 E. FRONT STREET , NEW BERN, NC 28560

A-101
FLOOR PLANS

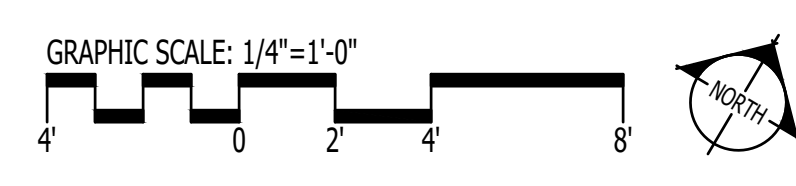
12 X 18 SHEETS ARE HALF SIZE



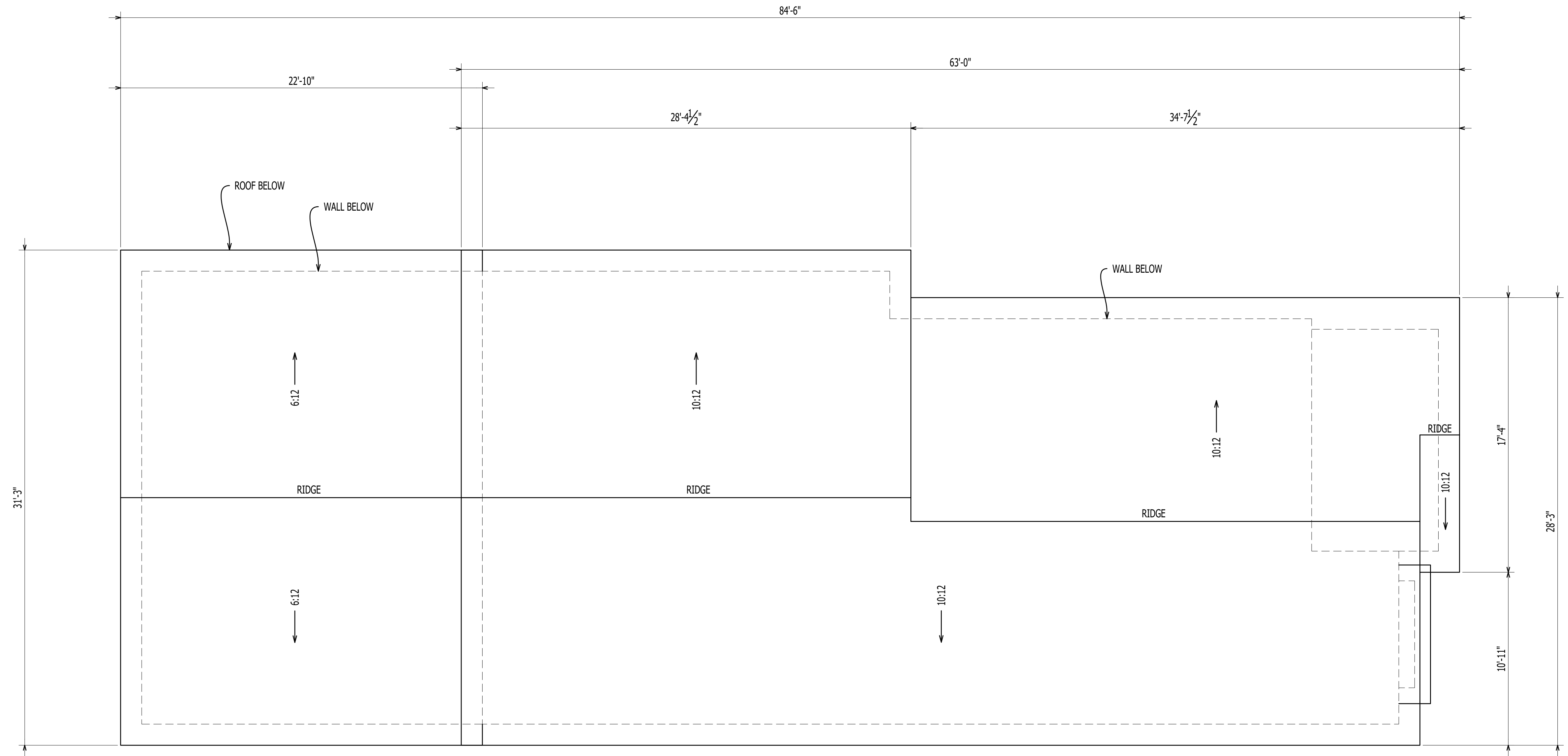
1
A-102

SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

- GENERAL NOTE:**
1. ALL WINDOWS WITH SILL AT OR BELOW 18" WILL BE TEMPERED
 2. ALL DIMENSIONS ARE TO WOOD STUD UNLESS OTHERWISE NOTED

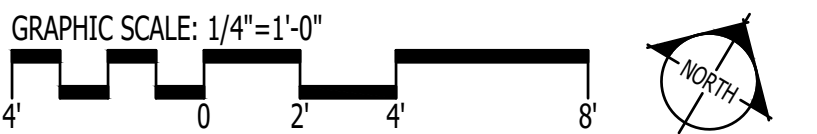


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1
A-103

ROOF PLAN
Scale: 1/4" = 1'-0"

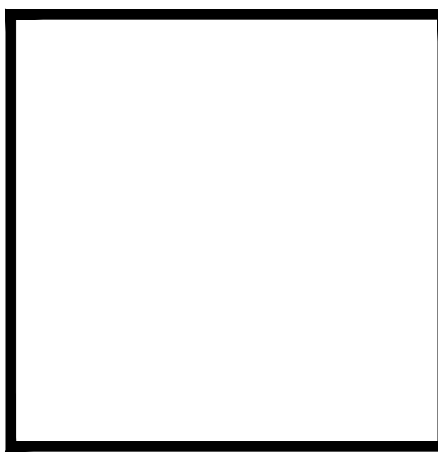


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Date: 09.09.2020

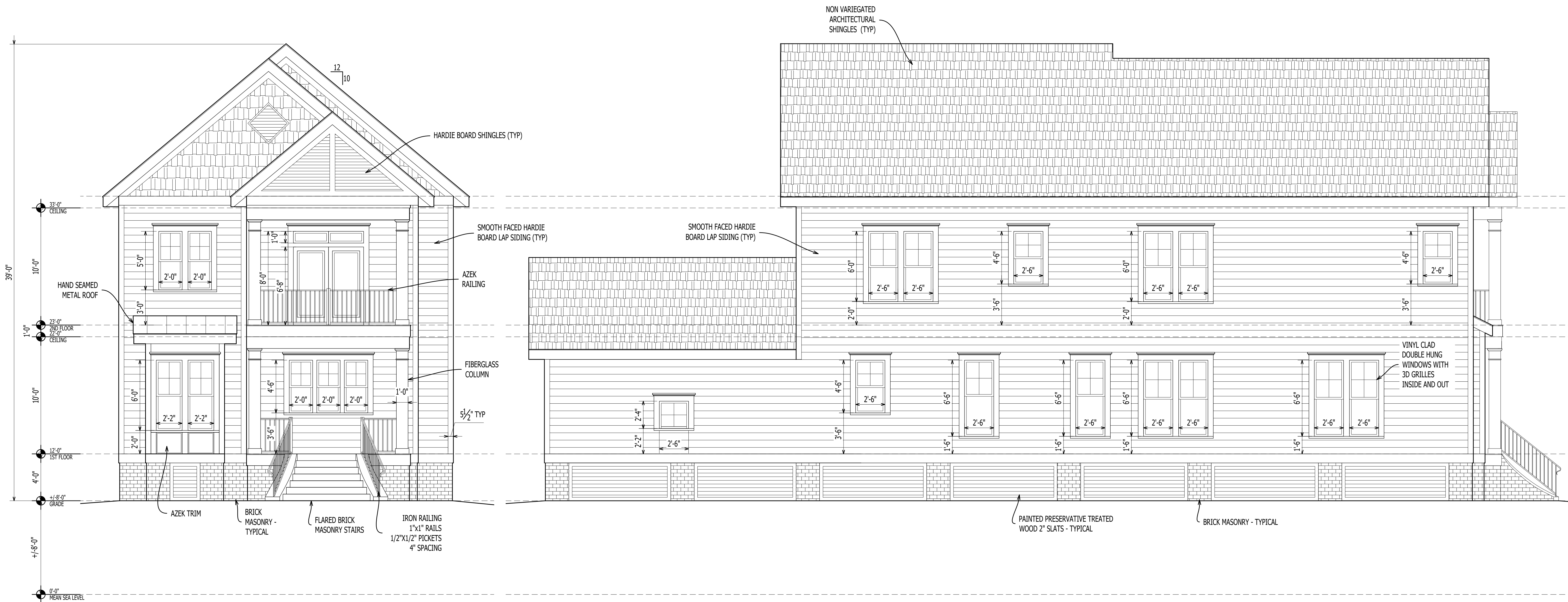
Revisions:

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A-103

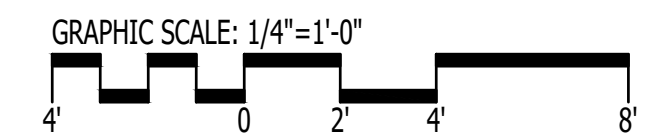
ROOF PLAN

12 X 18 SHEETS ARE HALF SIZE

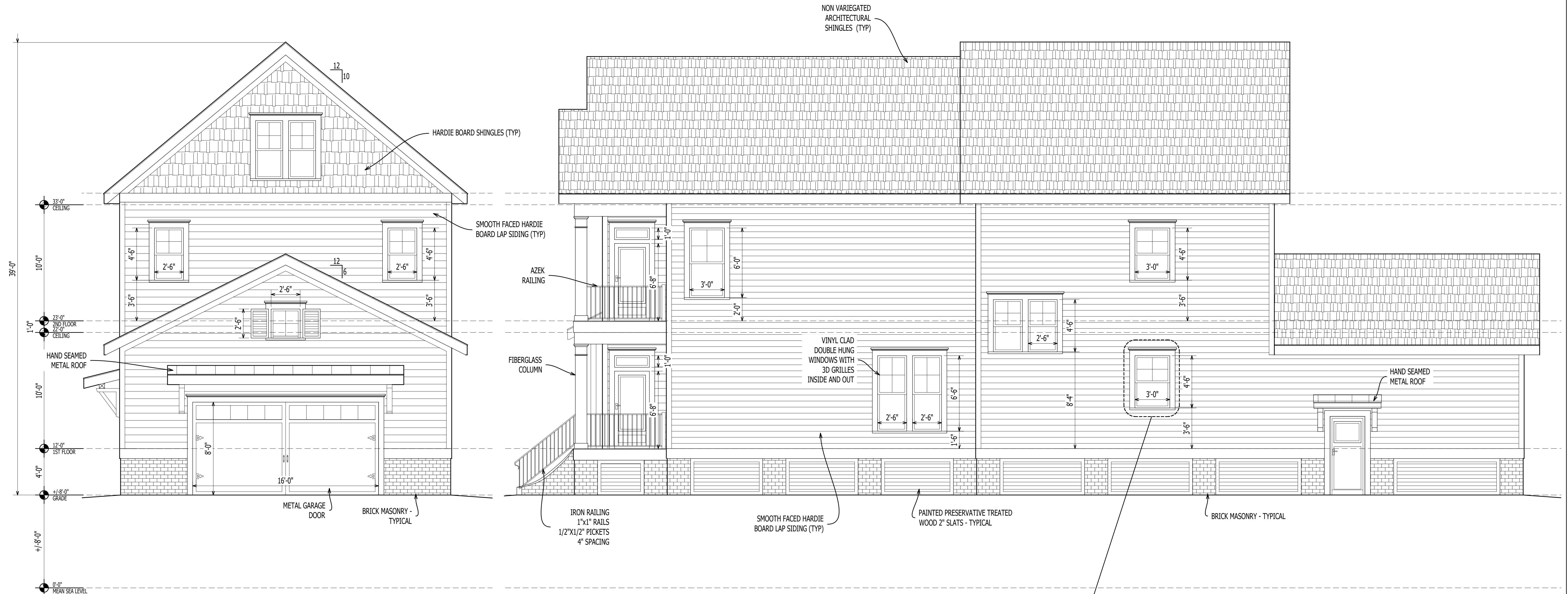


1
A-201
ELEVATION
Scale: 1/4" = 1'-0"

1
A-201
ELEVATION
Scale: 1/4" = 1'-0"

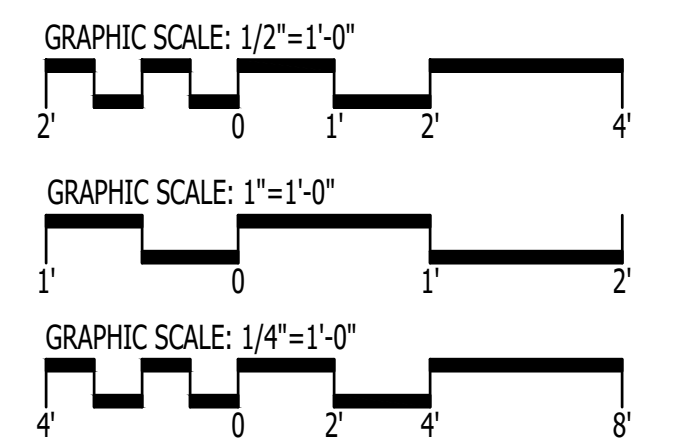
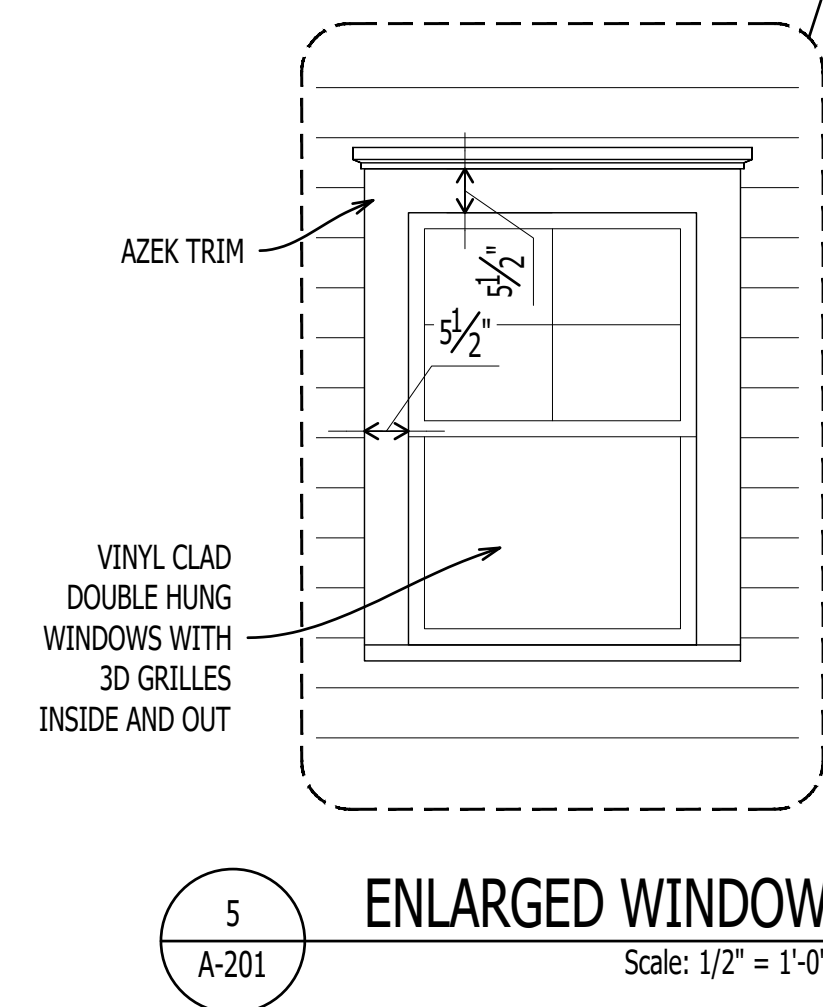
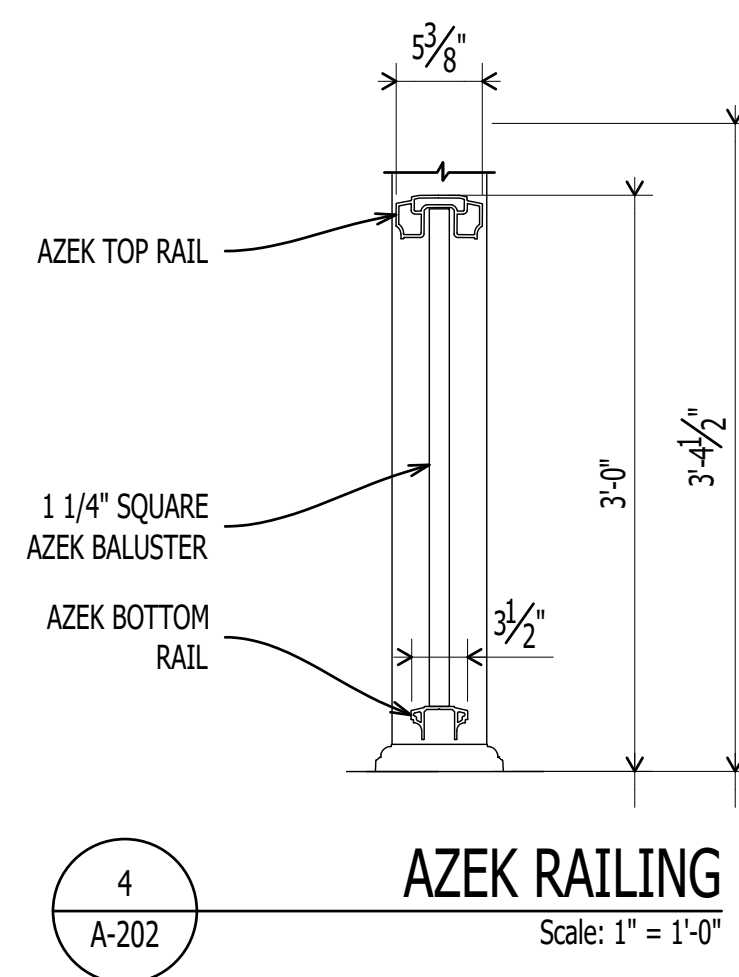
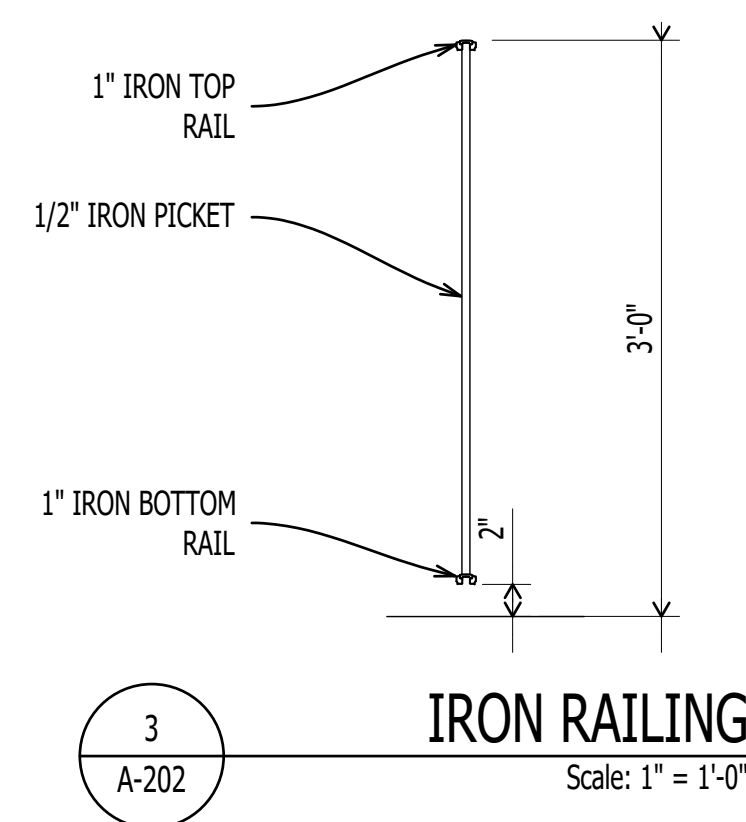


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1
A-202
ELEVATION
Scale: 1/4" = 1'-0"

2
A-202
ELEVATION
Scale: 1/4" = 1'-0"



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Date: 09.09.2020

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LOT 14 - RIVER STATION
811 E. FRONT STREET , NEW BERN, NC 28560

A-202
ELEVATIONS

12 X 18 SHEETS ARE HALF SIZE

Aldermen

Sabrina Bengel
Jameesha S. Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Dana E. Outlaw
Mayor

Mark A. Stephens
City Manager

Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION

Dear Sir or Madame:

I am the owner of the property located at:

811, 815, & 816 East Front Street, New Bern, NC 28560
(address, city, zip code)

I hereby authorize GO Architectural Design, PLLC to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

227 E. Front Street Phone 252-638-4215
New Bern, NC 28560


Owner's Signature

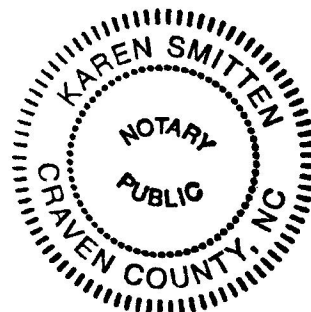
Hubert G. Tolson, III
Print Name

9-1-2020
Date

Sworn to and subscribed before me this 1st day of September, 2020

Karen Smitten
Notary Public:

My commission expires: 9-6-2024





Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It is does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 811 E. Front St. – construction of a new infill house.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-6 & RiverStation M.U. Overlay

Required Setbacks (primary structure): Front 10' Side 5' Rear 5'

Accessory Setbacks: From Nearest Structure N/A Side — Rear —

Maximum Lot Coverage for proposed use: 60% $4118 \times .6 = 2470 \text{ max.} \rightarrow 2210 = \text{OK}$

Maximum Height of Structure: 50' above RFPE

Required Site Improvements: Landscaping N/A Buffer — Parking 2

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets X Does Not Meet — the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator [Signature] 9/11/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will X Will Not — require a building permit(s).

Comments:

Chief Building Inspector [Signature] 9/11/20

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - September 2020

Applicant: Riverstation Development Corp./GO Architectural Design PLLC

Applicant Address: 227 E. Front St., New Bern, NC 28560

Project Address: 811 E. Front St., New Bern, NC 28560

Historic Property Name: N/A

Status: **Contributing:** **Non-contributing:** **Vacant:** X

NR Inventory Description (2003): N/A.

Sandbeck Description (1988): N/A

811 E. Front St. - to include construction of a new infill house.

Staff submits the following Historic District Guidelines are appropriate to this application:

Development Pattern

- 2.1.1 Maintain the established development pattern for placement of infill construction. The relationship of a structure to the property boundaries should be similar to those up the street, down the street and in most cases, across the street.
- 2.1.2 There are areas within the historic districts where the development pattern may have been weakened by vacant lots and nonconforming structures. In such areas, preference shall be given to contributing structures when defining the development pattern for infill construction.
- 2.1.3 The footprint, scale and proportion of infill construction shall be in keeping with neighboring properties. In general, it is not appropriate to construct a three-story structure in an area that is dominated by one-story structures.

Design Principles

- 3.1.1 Consider the scale, mass and proportion inherent to the surrounding historic development pattern, and design modifications that incorporate these characteristics. Use basic shapes and forms that are common to the historic districts.
- 3.1.2 Windows, doors and openings shall be compatible in proportion, shape, location, size, and quantity with those on surrounding historic structures. Avoid large expanses of blank walls. Establish bays, visually subdivide facades, and delineate building elevations to create form and rhythm.
- 3.1.3 Discretely use rooftop appurtenances such as spires, cupolas, and towers to articulate rooflines. Compliment the scale, form and proportion of the structure, and use rooftop appurtenances to identify a building entry or similar massing focal point.
- 3.1.4 Use details to articulate facades, and the openings within facades. Appropriately detail the base, body, and edges of facades to create texture and visual interest.
- 3.1.5 Avoid creating a false sense of historical development. It is not appropriate to apply historic architectural styles to infill construction. Creative interpretation of traditional detailing and ornamentation is encouraged.

Infill Construction

- 3.4.1 Maintain the relationship between building mass and open space that exists on the block or streetscape.
- 3.4.2 The predominant material of an infill building shall visually emulate the palette of materials traditionally found in the historic districts.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - September 2020

- 3.4.3 Use of modern materials is acceptable as a means of continuing the evolution of architecture through time. However, the use of aluminum and vinyl siding, faux brick and stone, stamped concrete and similar imitation materials is not appropriate.
- 3.4.4 Contemporary materials shall be appropriately proportioned, used in traditional ways and installed in a traditional manner.

Foundations

- 4.1.3 Use traditional materials when constructing foundations. Concrete block should receive a veneer of stucco, brick, or other appropriate masonry material.
- 4.1.4 Locate foundation features such as vents and access doors in areas that will not detract from the architectural character of the building. Coordinate with other architectural features when possible, such as aligning vents and access doors with windows above or centering them between piers.

Walls, Trim and Ornamentation

- 4.2.4 Incorporate wood trims and articulate masonry appropriately for the application.

Windows, Doors and Openings

- 4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.

Entrances

- 4.4.4 Provide porches, entrance doors, railings, and other ornaments that proportionally relate to the building. Appropriate balustrades often convey a heavier visual appearance. Center balusters between the top and bottom rails and space them about three inches apart.

Roofs

- 4.5.4 Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation. Provide double locked seams with flush ridge and hip flashings on contributing structures.

Decks and Patios

- 4.6.2 Locate decks in Secondary and Tertiary AVCs, and screen the underside with shrubbery, fencing, lattice, or masonry.

Masonry

- 5.1.3 The size, color, texture and bond, or pattern, of masonry and mortar creates the intended finished appearance. It is not appropriate to paint masonry that has not been previously painted.
- 5.1.5 Provide a veneer of brick, stucco, or other appropriate material over concrete masonry units. Architectural concrete masonry units such as rusticated, split face or similar types may be substituted for stone masonry construction.
- 5.1.6 It is not appropriate to use water repellants or sealers on masonry because these treatments often trap moisture and accelerate spalling.

Metals

- 5.3.3 Use full weld iron and steel fabrication techniques. Welds shall be properly dressed, or ground smooth.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - September 2020

- 5.3.4 Provide aluminum fabrications with welded joints or blind, mechanical connections having concealed fasteners.

Paint

- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on flooring, fencing, and similar wood surfaces exposed to foot traffic or weather.
- 5.4.6 It is not appropriate to apply paint, water repellant or sealant coatings to unpainted surfaces such as masonry, stone, copper, and bronze.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is located within the Primary, Secondary, and Tertiary AVCs;
2. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
3. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application for construction of a new infill house.

4. Old Business (non-hearing items tabled or continued from a previous meeting):
None

5. General Public Comments

6. New Business

Committee Requests for HPC Action

A. Proposal by Guidelines Updates

Committee – change Minor Works list

B. Proposal by Prevention of

Demolition By Neglect Committee – revise
PDBN list

C. Create new Historic Owners' Support
Committee

7. HPC Administrator's Report

8. Commissioners' Comments

9. Adjourn