



Development Services Department
303 First St. P.O. Box 1129
New Bern, NC 28563
(252) 639-7581

TO: New Bern Historic Preservation Commission
FROM: Matt Schelly, AICP, City Planner
DATE: January 13, 2021
RE: Regular Meeting, **5:30 PM, Wednesday, January 20, 2021**, in the Courtroom,
Second Floor, City Hall, 303 Pollock St.

INDIVIDUALS WITH DISABILITIES REQUIRING SPECIAL ASSISTANCE SHOULD CALL
639-7501 NO LATER THAN 3 P.M. THE DATE OF THE MEETING

REGULAR MEETING AGENDA – 5:30 PM

1. Opening of Meeting with Roll Call
2. Approval of Minutes of Previous Meeting(s)
3. Hearings on Certificates of Appropriateness:
 - A. **Hearings: Introduction, Swearing-In, Summary of Process**
 - Introduction of Hearings and Rules of Procedure
 - Swearing-In of Speakers
 - Summary of the Hearing Process
 - Applications:**
 - B. **415 S. Front St. (Blackbeard's)** – to include replacing T-111 siding with louver screens and revising the roofing material for the covered deck in the Tertiary AVC.
 - C. **309 Bern St.** – to include an addition and new, screened porch in the Tertiary AVC.
**Please note that applications for these projects, including proposed plans, are available for review during normal business hours in the Development Services Department (303 First Street).*
4. Old Business (non-hearing items tabled or continued from a previous meeting): None
5. General Public Comments
6. New Business:
 - A. **Discuss and Decide on the HPC Training Videos**
7. HPC Administrator's Report
 - A. **Report on CoAs Issued since the Workday before the Prior Regular Meeting Agenda was posted until the Workday before this Agenda Was Posted (11/11/20 - 1/11/21)**

MAJORS:

719 E. Front St. – revisions to the approved CoA for a new infill house
212 Hancock – resubmittal of expired CoA for porch revisions and new front terrace
614 Craven St. – new brick and metal fencing and gate plus wood porch railing in the Primary AVC; and paving, metal gate, wood gate, and replacement wood window in the Tertiary AVC.

MINORS:

311 Bern St. – shed reroofing
609 New St. – generator and mech unit
616 Middle St. ROW – tree replacement
1215 National Ave. ROW – tree replacement
203 S. Front St. ROW – tree replacement
413 George St. – Minor amendment of Major CoA
511 New St. – metal gate
802 Broad St. – labyrinth and mural
612 New St. – HVAC units
215 Middle St. – reapproval of COA: new window openings, additional front door
246 Craven St. – repointing
1404 National Ave – fencing, plantings, paving, parking
317 Middle St. – repointing
509 Broad St. – rear access ramp and deck
802 Broad St. – sculpture, sign
208 New St. – trees replacement
207 Broad St. – deck replacement and new roof

B. Report on CoA Extensions Issued since the Prior Regular Meeting:

421 E. Front St. (Farmers Market) – Extension until January 22, 2022, of the CoA approved January 22, 2020 – new replacement garage doors.

C. Other Items and Updates

8. Commissioners' Comments
9. Adjourn

FEE SCHEDULE (office use only)

☐ \$22 Standard Application (minor)
☒ \$107 Standard Application (major)



HPC Administrator
 HPCadmin@newbern-nc.org
 Work: (252) 639-7583
 Fax: (252) 636-2146

Application for a Certificate of Appropriateness
(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☒ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:

Property Address (Include year built, if known): 415-417 S. Front Street (1965)

Property Owner Name(s): 415 S. Front Street, LLC	Owner Mailing Address: 227 E. Front Street New Bern, NC 28560	Phone #'s: 252-638-4215	Email: hubie@uhfdevelopmentgroup.com
Applicant Name (if different): GO Architectural Design, PLLC Sarah Afflerbach, AIA	Applicant Mailing Address: 1202A Pollock Street New Bern, NC 28560	Phone #'s: 252-633-0322	Email: sarah@goarchdesign.com

II. Project Information: *(See "CoA Instructions" & "Historic Guidelines" for help in completing this section)*

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

Expand portion of existing rear preservative treated wood deck with a similar wood deck and cover desk area with a flat roof as shown on the attached drawings.

Continued on additional sheet or attached brochure ☒

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

2.6.1
4.6.2-3
4.7.2

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

Preservative treated wood posts and decking with membrane roofing.

Continued on additional sheet or attached brochure ☐

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

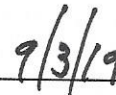
Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.

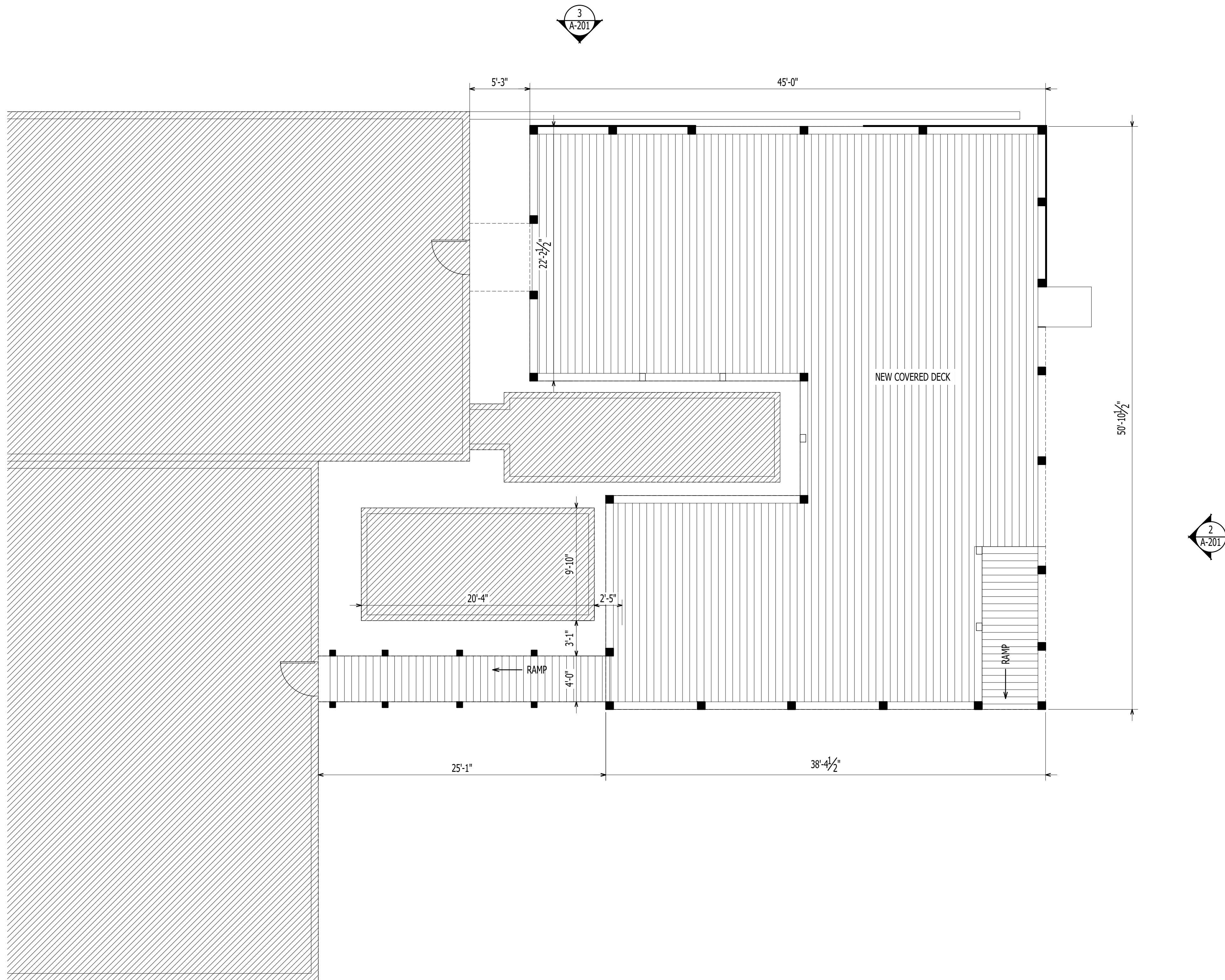


Signature of Applicant/Owner



Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.



1
A-101
NEW PLAN
Scale: 3/16" = 1'-0"

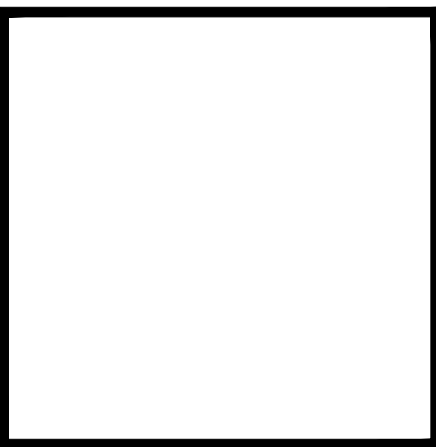


IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.



Date: 12.01.2020

Revisions:

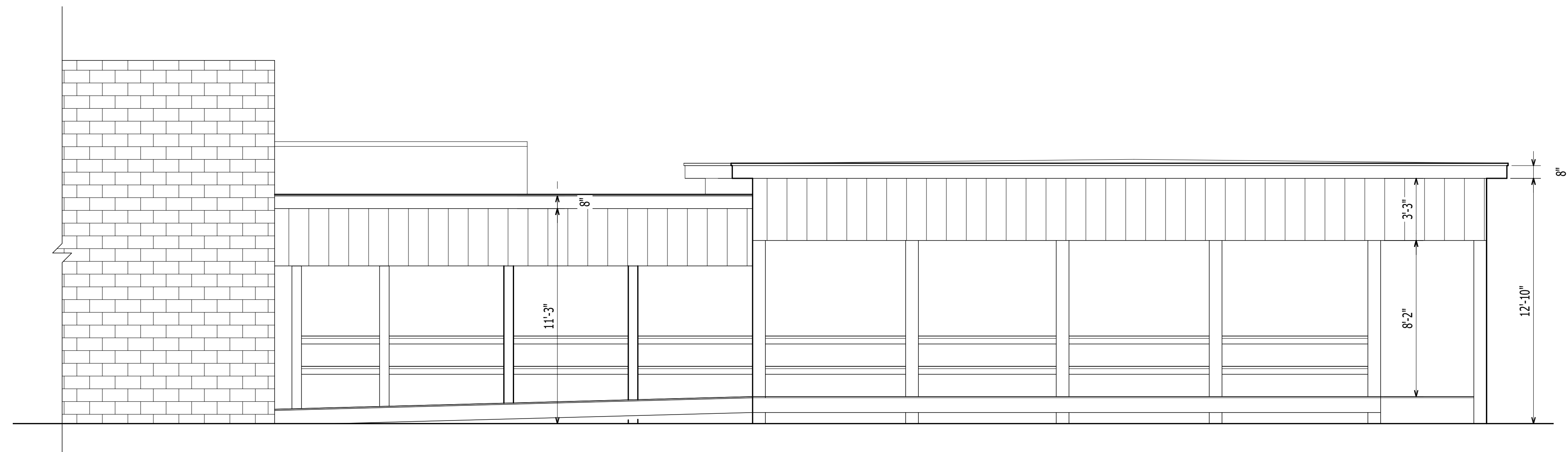
BLACKBEARD'S OUTDOOR DECK

415 & 417 S FRONT STREET, NEW BERN, NC 28560

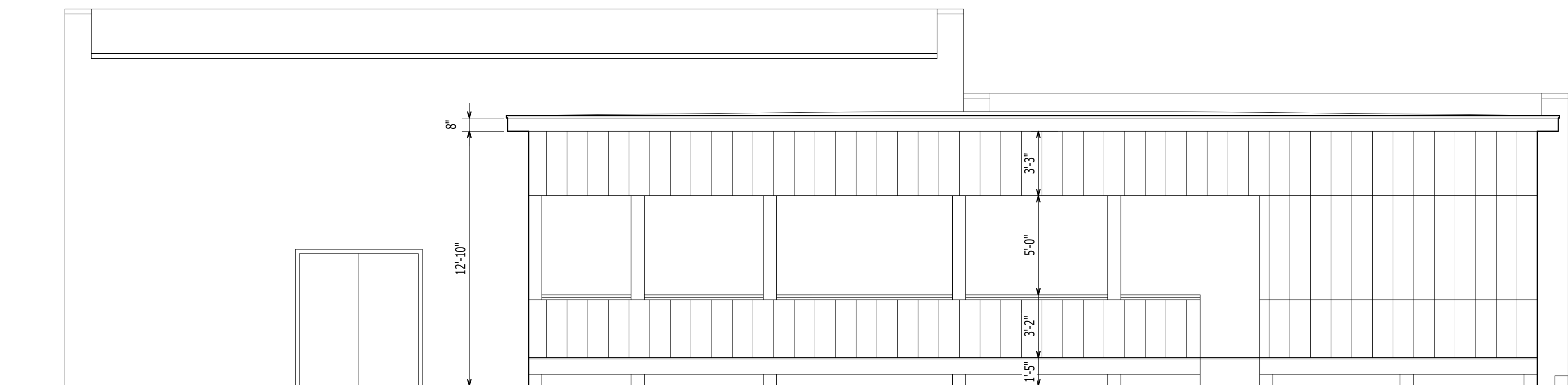
A-101

NEW PLAN

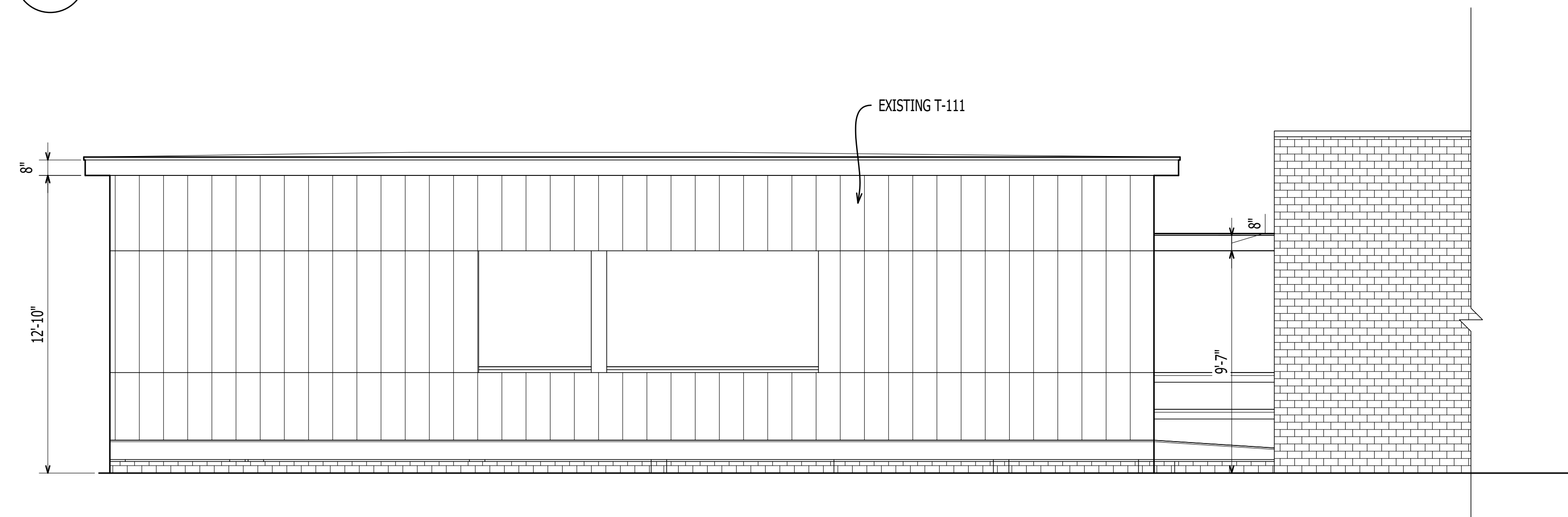
12 X 18 SHEETS ARE HALF SIZE



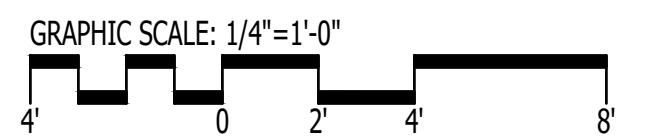
1
A-201
EXISTING ELEVATION
Scale: 1/4" = 1'-0"



2
A-201
EXISTING ELEVATION
Scale: 1/4" = 1'-0"



3
A-201
EXISTING ELEVATION
Scale: 1/4" = 1'-0"

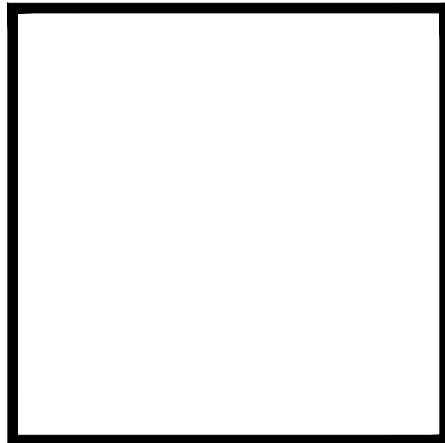


IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.



Date: 12.01.2020

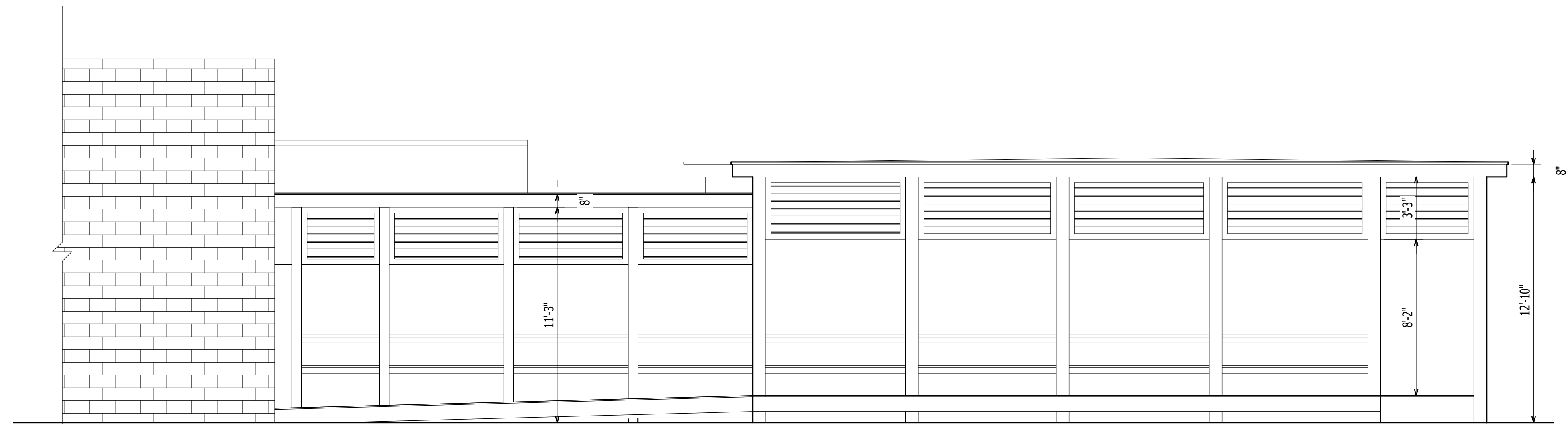
Revisions:

BLACKBEARD'S OUTDOOR DECK
415 & 417 S FRONT STREET, NEW BERN, NC 28560

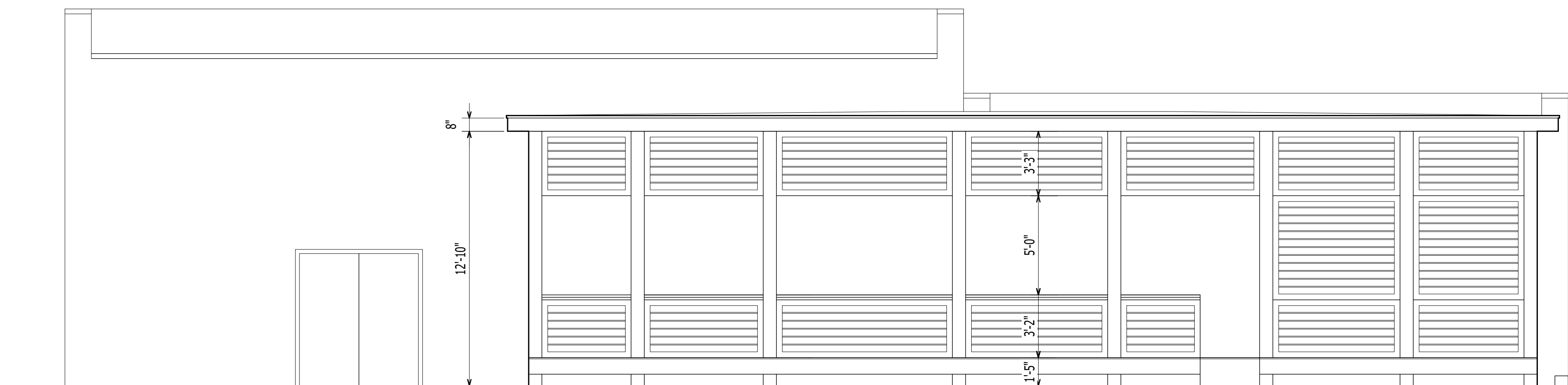
A-201

EXISTING ELEVATIONS

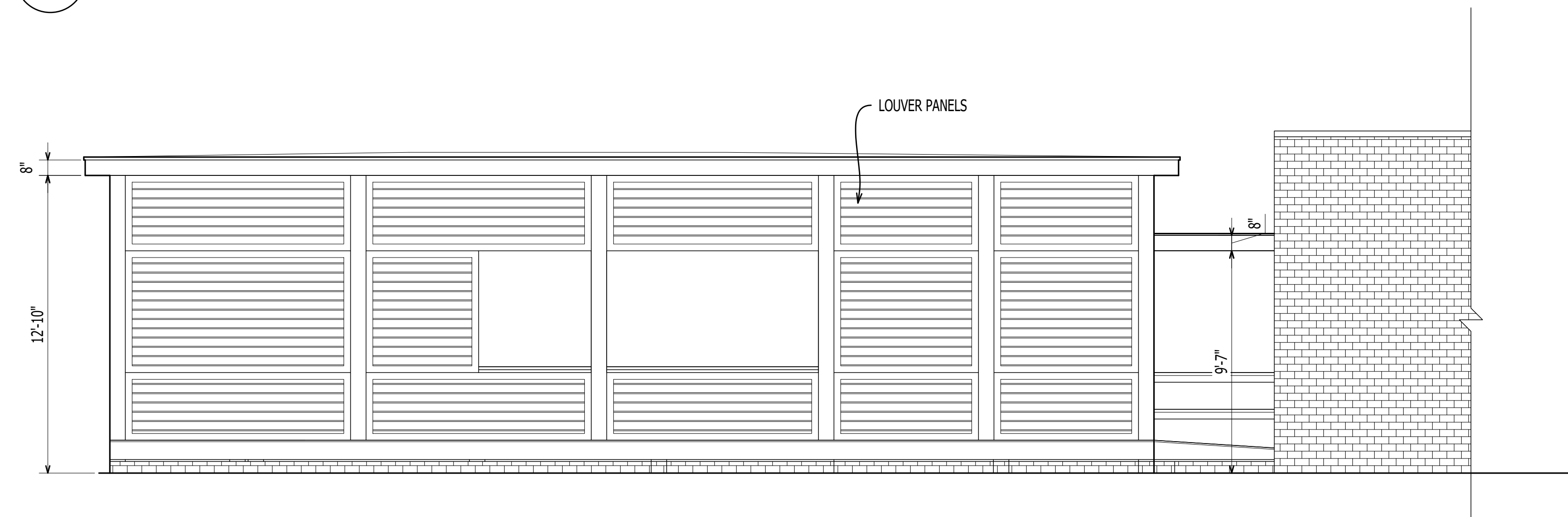
12 X 18 SHEETS ARE HALF SIZE



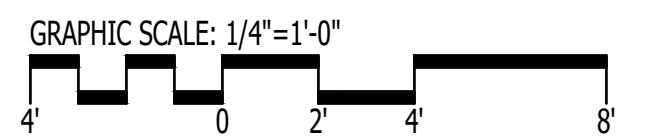
1
A-201
NEW ELEVATION
Scale: 1/4" = 1'-0"



2
A-201
NEW ELEVATION
Scale: 1/4" = 1'-0"



3
A-201
NEW ELEVATION
Scale: 1/4" = 1'-0"



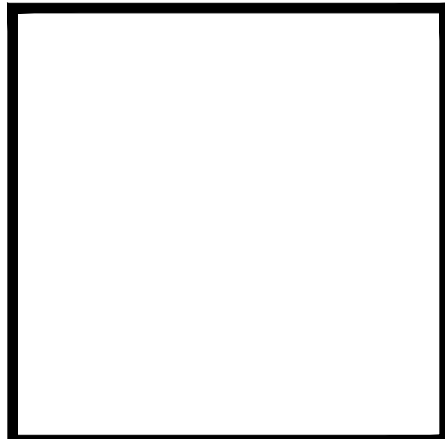
IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.



Date: 12.01.2020

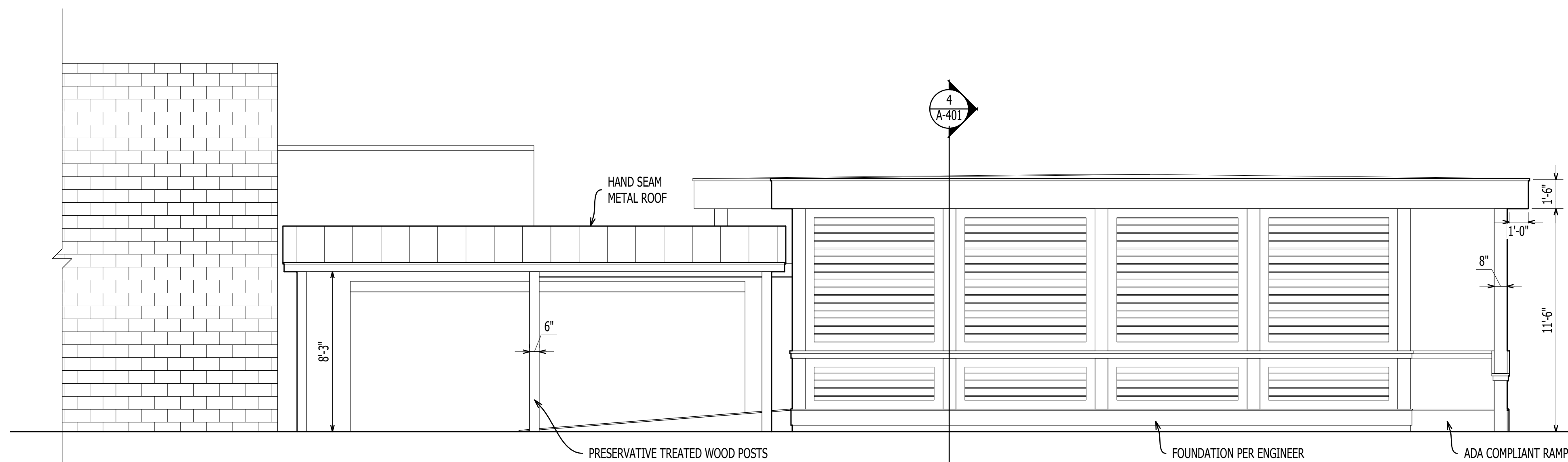
Revisions:

BLACKBEARD'S OUTDOOR DECK
415 & 417 S FRONT STREET, NEW BERN, NC 28560

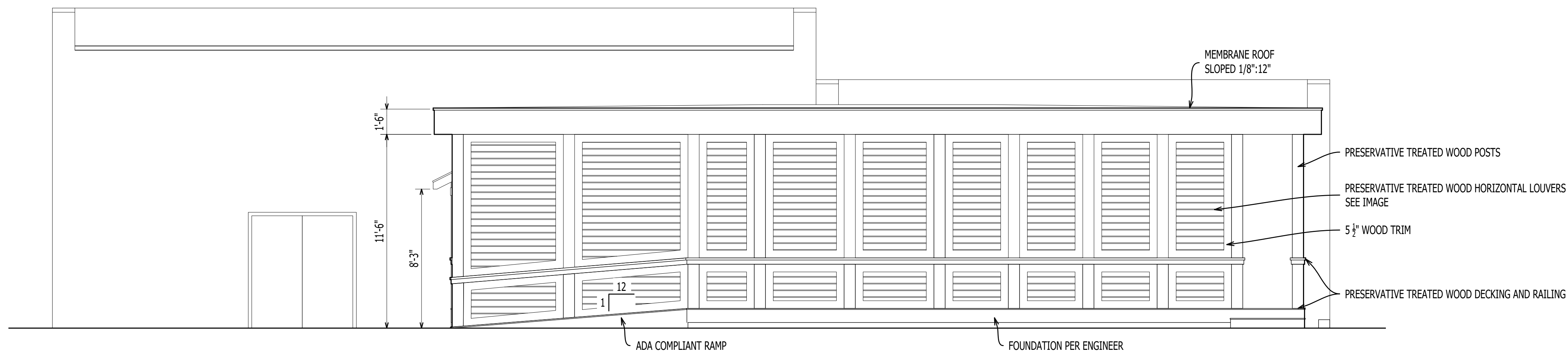
A-201A

NEW ELEVATIONS

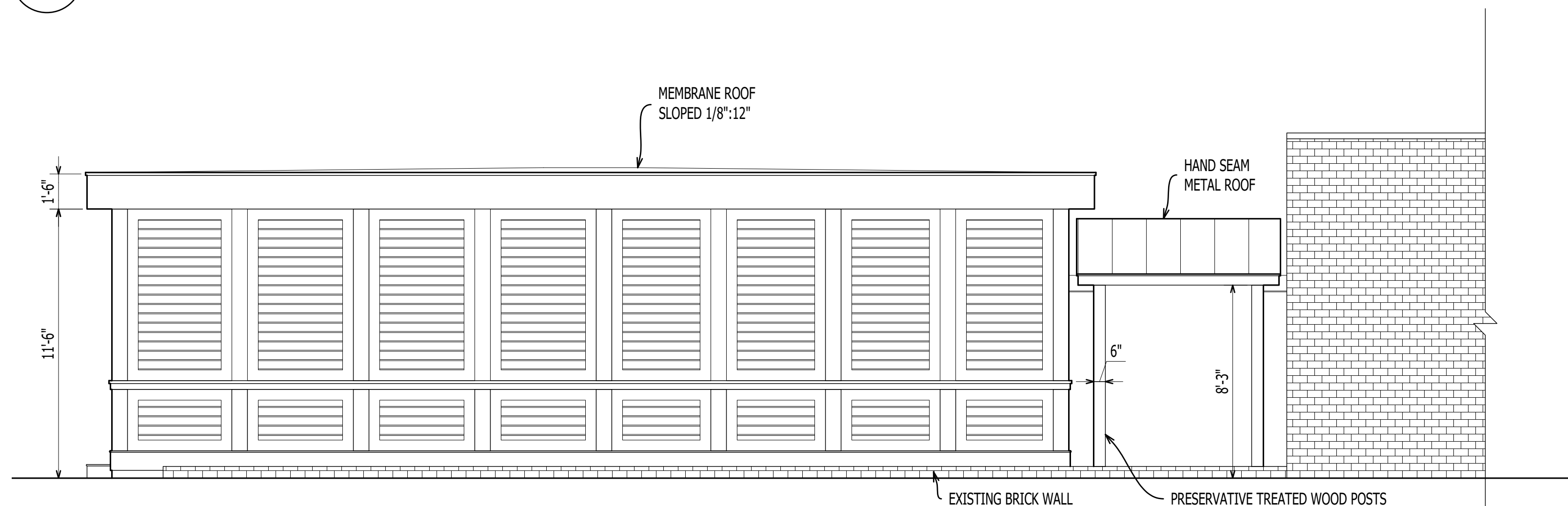
12 X 18 SHEETS ARE HALF SIZE



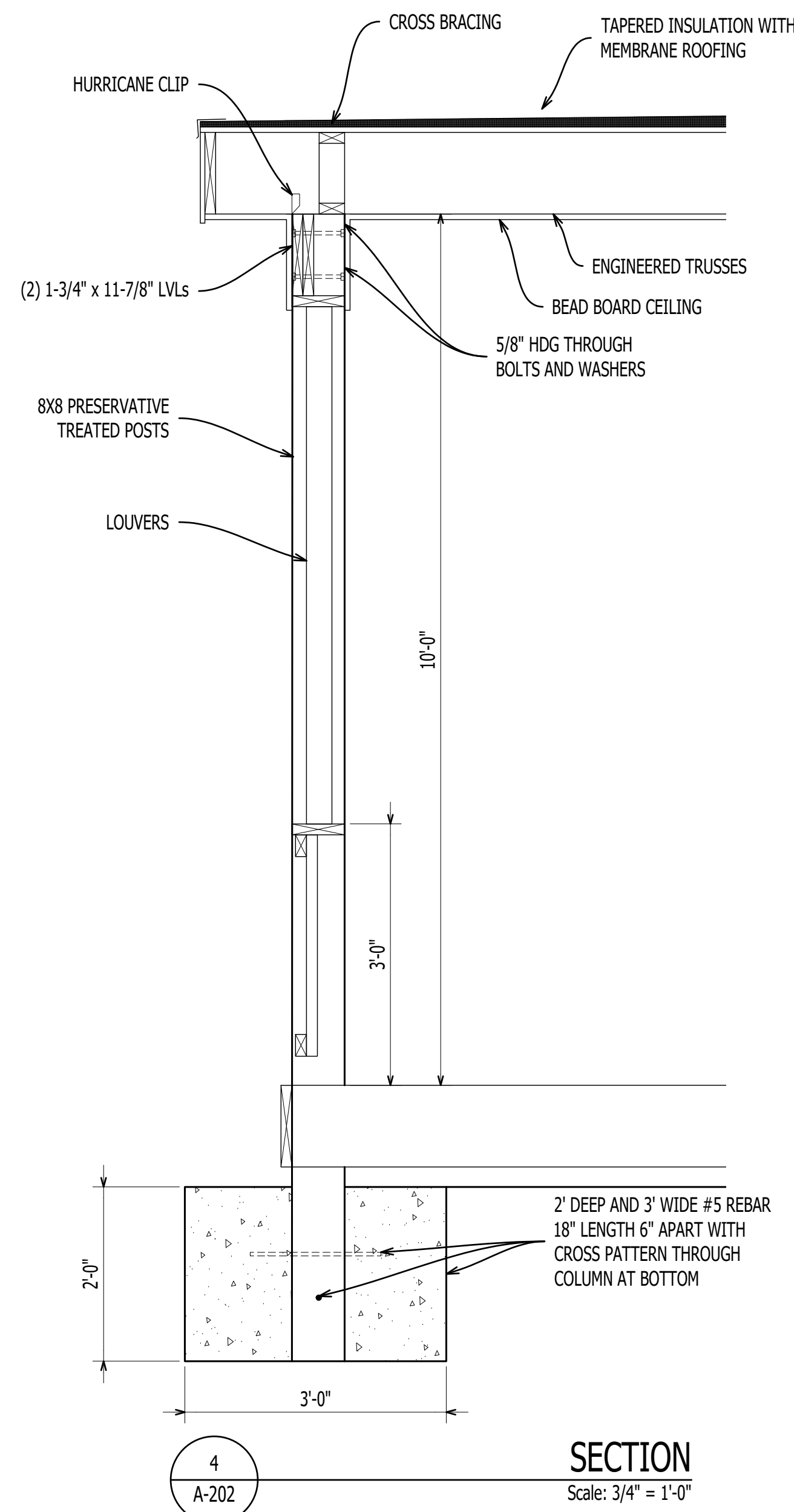
1
A-202
NEW ELEVATION W/ LOUVERS
Scale: 1/4" = 1'-0"



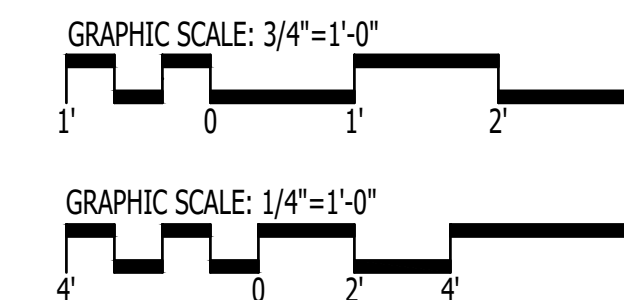
2
A-202
NEW ELEVATION W/ LOUVERS
Scale: 1/4" = 1'-0"



3
A-202
NEW ELEVATION W/ LOUVERS
Scale: 1/4" = 1'-0"



4
A-202
SECTION
Scale: 3/4" = 1'-0"



IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.





PHOTO 01



PHOTO 02



PHOTO 03



PHOTO 04



PHOTO 05

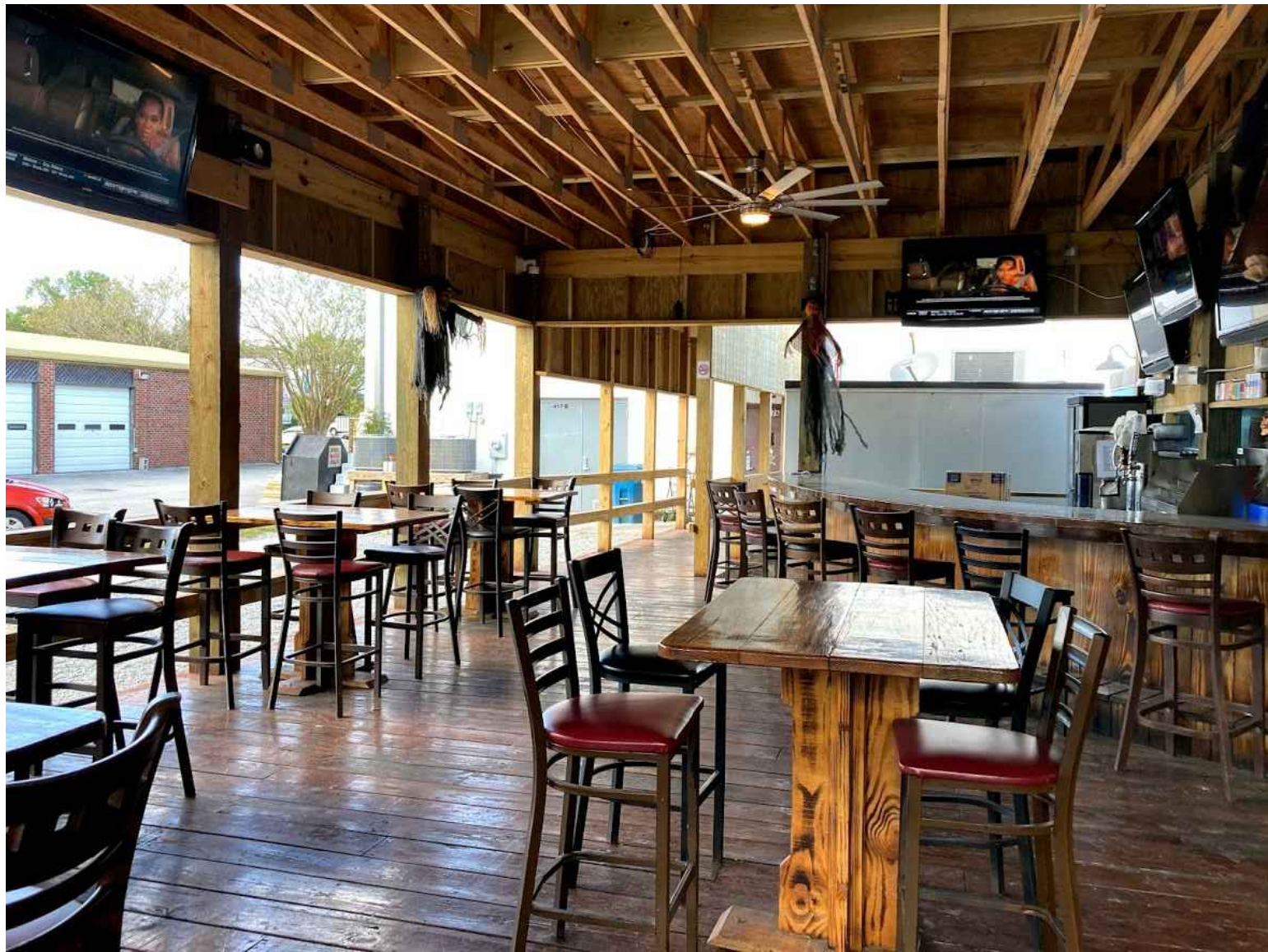


PHOTO 06



PHOTO 07



PHOTO 08



PHOTO 09



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.

Date:	12.01.2020
Revisions:	

BLACKBEARD'S OUTDOOR DECK

415 & 417 S FRONT STREET, NEW BERN, NC 28560

PHOTOS
DEMO / EXISTING
12 X 18 SHEETS ARE HALF SIZE



Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 415-417 S. Front St. – to include louver configuration and walkway roof revisions to the approved plans for a covered deck in the Tertiary AVC.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: C-1, Commercial Waterfront Overlay

Required Setbacks (primary structure): Front Side Rear

Accessory Setbacks: From Nearest Structure: Side Rear

Maximum Lot Coverage for proposed use:

Maximum Height of Structure:

Required Site Improvements: Landscaping Buffer Parking

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet ☐ the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator 11/13/2020

Chief Building Inspector please review the application and include any comments below

The proposed project Will ☐ Will Not ☒ require a building permit(s).

Comments:

Chief Building Inspector 11/13/2020

Certificate of Appropriateness Findings & Recommendations

HPC Meeting January 20, 2021

Applicant: 415 S. Front St. LLC/GO Architectural Group, PLLC
Applicant Address: 227 E. Front St, New Bern, NC 28560
Project Address: 415 S. Front St., New Bern, NC 28560
Historic Property Name: 415: Interstate Securities, built ca. 1975
Status: **Contributing:** **Non-contributing:** **X** **Vacant Lot:**

415-417 S. Front St. – to include replacing T-111 siding with louver screens and revising the roofing material for the covered deck in the Tertiary AVC.

Staff submits the following Historic District Guidelines as appropriate to this application:

Accessibility and Life Safety

4.7.2 Locate ramps, lifts, fire stairs and fire doors in visually unobtrusive areas. Avoid accommodations within a Primary AVC when possible.

Paint

5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.

5.4.4 Consider using opaque stain in lieu of paint on porch flooring, deck flooring and similar wood surfaces exposed to foot traffic.

Contemporary Materials

5.5.1 In general, contemporary material shall match the dimension, shape and texture of their counterparts commonly found in the historic districts.

5.5.2 Use contemporary and nontraditional materials in traditional ways. Apply materials in a traditional manner that conveys the same visual appearance as historic materials.

5.5.3 Contemporary and nontraditional materials should convey appropriate historic material characteristics, and will be evaluated on a case-by-case basis for appearance, dimension, texture, color, sheen, visual weight and similar characteristics.

5.5.6 Contemporary materials such as synthetic slate and fiberglass asphalt shingles are acceptable for sloped roofing regardless of building age. Select fiberglass asphalt shingles from a darker color palette. Contemporary membrane and roll roofing are acceptable for low-sloped roofs with a 1 inch per foot pitch or less regardless of building age.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The primary structure is not a contributing resource in the district;
2. The project is within the Tertiary AVC, is a replacement of non-compliant siding material and revises two areas of the roof with compliant roof form and roofing;
3. The proposed design, components, and materials meet the requirements of the Guidelines;
4. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;

Certificate of Appropriateness Findings & Recommendations

HPC Meeting January 20, 2021

5. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application to include replacing T-111 siding with louver screens and revising the roofing material for the covered deck in the Tertiary AVC.

FEE SCHEDULE (office use only)

☐ \$22 Standard Application (minor)
☐ \$107 Standard Application (major)



HPC Administrator
HPCadmin@newbern-nc.org
 Work: (252) 639-7583
 Fax: (252) 636-2146

Application for a Certificate of Appropriateness
(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☒ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:

Property Address (Include year built, if known): 309 Bern Street (Built 1790)

Property Owner Name(s): Dee Congleton	Owner Mailing Address: 309 Bern Street New Bern, NC 28560	Phone #'s: 252-946-6896	Email:
Applicant Name (if different): GO Architectural Design, PLLC Sarah Afflerbach, AIA	Applicant Mailing Address: 1202A Pollock Street New Bern, NC 28560	Phone #'s: 252-633-0322	Email: sarah@goarchdesign.com

II. Project Information: *(See "CoA Instructions" & "Historic Guidelines" for help in completing this section)*

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

Add a new dining room addition to match the existing house construction and new screened porch off the rear of the house.
 Add a new storage shed in the rear yard.

Continued on additional sheet or attached brochure ☒

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

Accessory Structures 2.6.1-3 Modifications 3.2.1-5 Additions 3.3.1-3 Foundations 4.1.1-4 Ornamentation 4.2.1-5
 Windows/Doors 4.3.1-7 Roofs 4.5.1-6 Masonry 5.1.1-6 Wood 5.2.1-2 Paint 5.4.1-9

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

Painted wood siding and trim, painted wood windows with 3D grilles inside and out, t&g stained wood porch flooring and screening,
 metal roofing to match existing.

Continued on additional sheet or attached brochure ☐

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.

Sarah Affhebaul
Signature of Applicant/Owner

1/2/2021
Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.

CONGLETON HOUSE RENOVATION



KEYS & SYMBOLS

DOOR & WINDOW SIZE KEY
2'6" = 2'-6" WIDE (ASSUME STANDARD DOOR HEIGHT OF 6'-8" UNLESS NOTED)
2060 = 2'-0" WIDE X 6'-0" HIGH

DRAWING NUMBER
SHEET NUMBER
ROOM NAME
CEILING HEIGHT AND SQUARE FOOTAGE
FLOOR FINISH

DRAWING NUMBER
SHEET NUMBER

ELEVATION HEIGHT

1
A-204

BEDROOM
10' CLG WOOD

1
A-101

FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

RECEPTACLE

FLOOR RECEPTACLE

GFCI RECEPTACLE

WATER PROOF RECEPTACLE

SWITCH

3 WAY SWITCH

FAN / LIGHT

SECURITY LIGHT

CEILING MOUNT

WALL SCONCE

CEILING PENDANT

FAN / LIGHT

6" RECESSED CAN

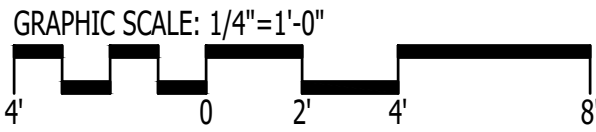
FLUORESCENT

UNDER-COUNTER

CABLE

TELEPHONE

SHEET SCHEDULE	
G-101	TITLE SHEET
C-101	SITE PLAN
AD-101	EXISTING DRAWINGS
AD-102	EXISTING CONDITIONS PHOTOS
A-101	NEW FLOOR PLAN
A-201	NEW ELEVATIONS



IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.

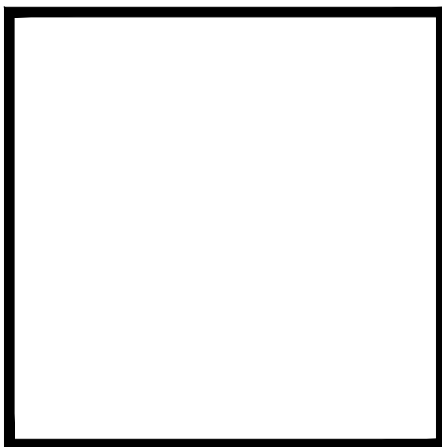


1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.

CONGLETON - RENOVATION
309 BERN STREET, NEW BERN, NC 28560

THIS PLAN HAS BEEN PREPARED TO MEET TOP PROFESSIONAL STANDARDS AND PRACTICES. HOWEVER, BUILDING CODES AND ENVIRONMENTAL CONDITIONS VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING CONSTRUCTION. VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. VERIFY COMPLIANCE WITH ALL LOCAL CODES. PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS. HVAC & PLUMBING LAYOUTS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL MECH. CONTRACTOR OR ENGINEER TO ENSURE COMPLIANCE WITH LOCAL CODE AND THAT EQUIPMENT IS SIZED CORRECTLY FOR YOUR PARTICULAR REGION AND CONDITIONS. VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER.



G-101
TITLE SHEET
01.02.2021
CONGLETON - 309 BERN ST



FRONT FACADE FROM STREET



REAR FACADE FROM YARD



REAR FACADE FROM YARD



VIEW OF YARD AT LOCATION OF FUTURE SHED



VIEW OF RESIDENCE AND SURROUNDING HOMES



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.

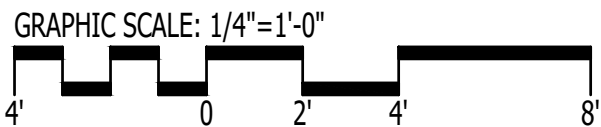
CONGLETON - RENOVATION

309 BERN STREET, NEW BERN, NC 28560

THIS PLAN HAS BEEN PREPARED TO MEET TOP PROFESSIONAL STANDARDS AND PRACTICES. HOWEVER, BUILDING CODES AND ENVIRONMENTAL CONDITIONS VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING CONSTRUCTION. VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. VERIFY COMPLIANCE WITH ALL LOCAL CODES. PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS. HVAC & PLUMBING LAYOUTS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL MECH. CONTRACTOR OR ENGINEER TO ENSURE COMPLIANCE WITH LOCAL CODE AND THAT EQUIPMENT IS SIZED CORRECTLY FOR YOUR PARTICULAR REGION AND CONDITIONS. VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER.

PHOTO

EXISTING CONDITIONS
01.02.2021
CONGLETON - 309 BERN ST



3
C101

SITE PLAN
Scale: 1/4" = 1'-0"



IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.

CONGLETON - RENOVATION

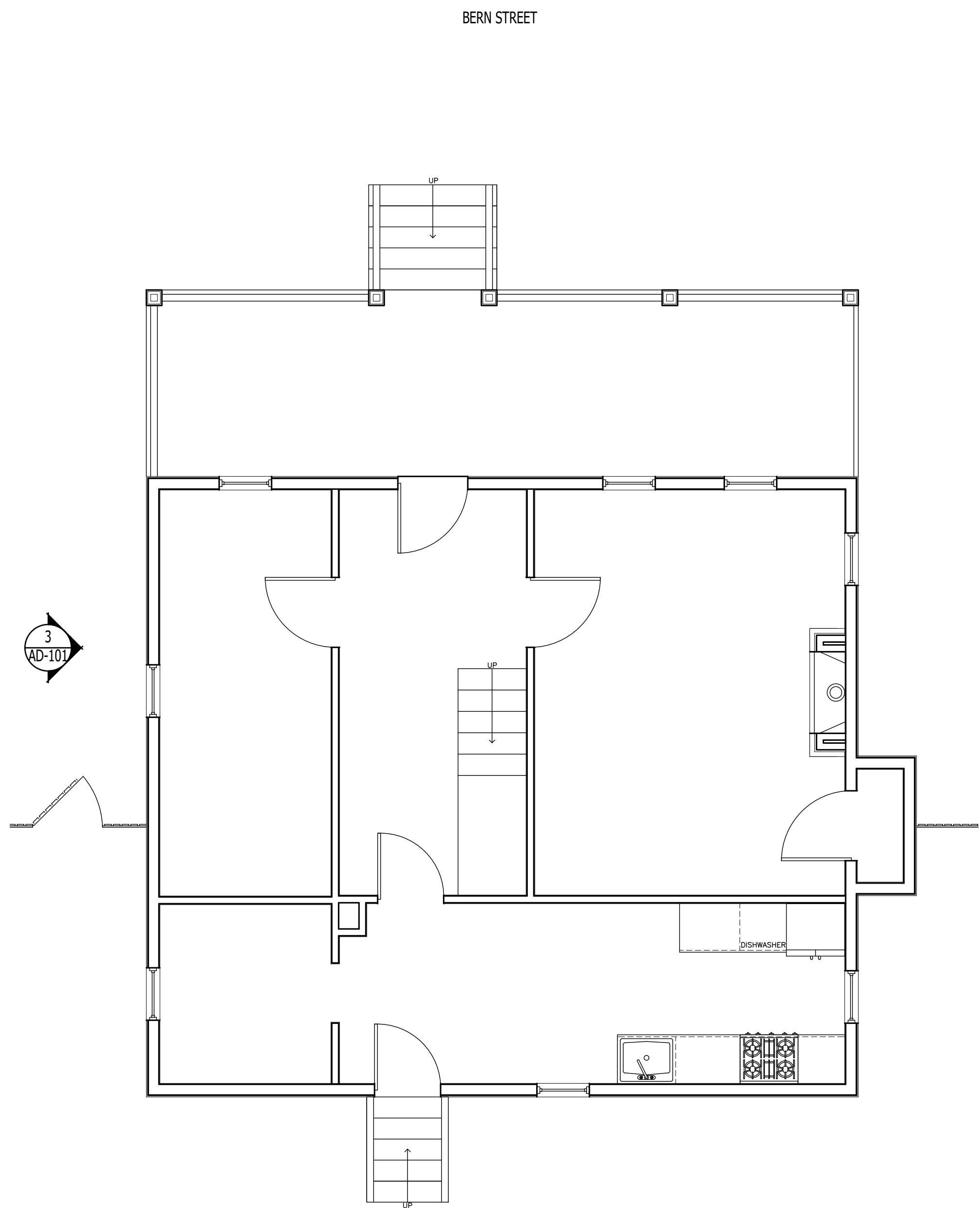
309 BERN STREET, NEW BERN, NC 28560

THIS PLAN HAS BEEN PREPARED TO MEET TOP PROFESSIONAL STANDARDS AND PRACTICES. HOWEVER, BUILDING CODES AND ENVIRONMENTAL CONDITIONS VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING CONSTRUCTION. VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. VERIFY COMPLIANCE WITH ALL LOCAL CODES. PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS. HVAC & PLUMBING LAYOUTS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL MECH. CONTRACTOR OR ENGINEER TO ENSURE COMPLIANCE WITH LOCAL CODE AND THAT EQUIPMENT IS SIZED CORRECTLY FOR YOUR PARTICULAR REGION AND CONDITIONS. VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER.

C-101

SITE PLAN

01.02.2021
CONGLETON - 309 BERN ST



BERN STREET

BACK YARD

1
AD-101

EXISTING FLOOR PLAN
Scale: 1/4" = 1'-0"



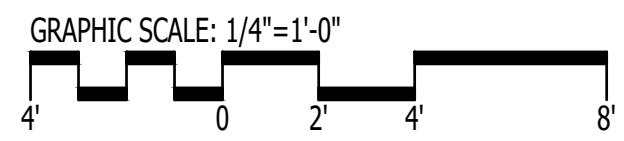
2
AD-101

EXISTING ELEVATION
Scale: 1/4" = 1'-0"



3
AD-101

EXISTING ELEVATION
Scale: 1/4" = 1'-0"



IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.

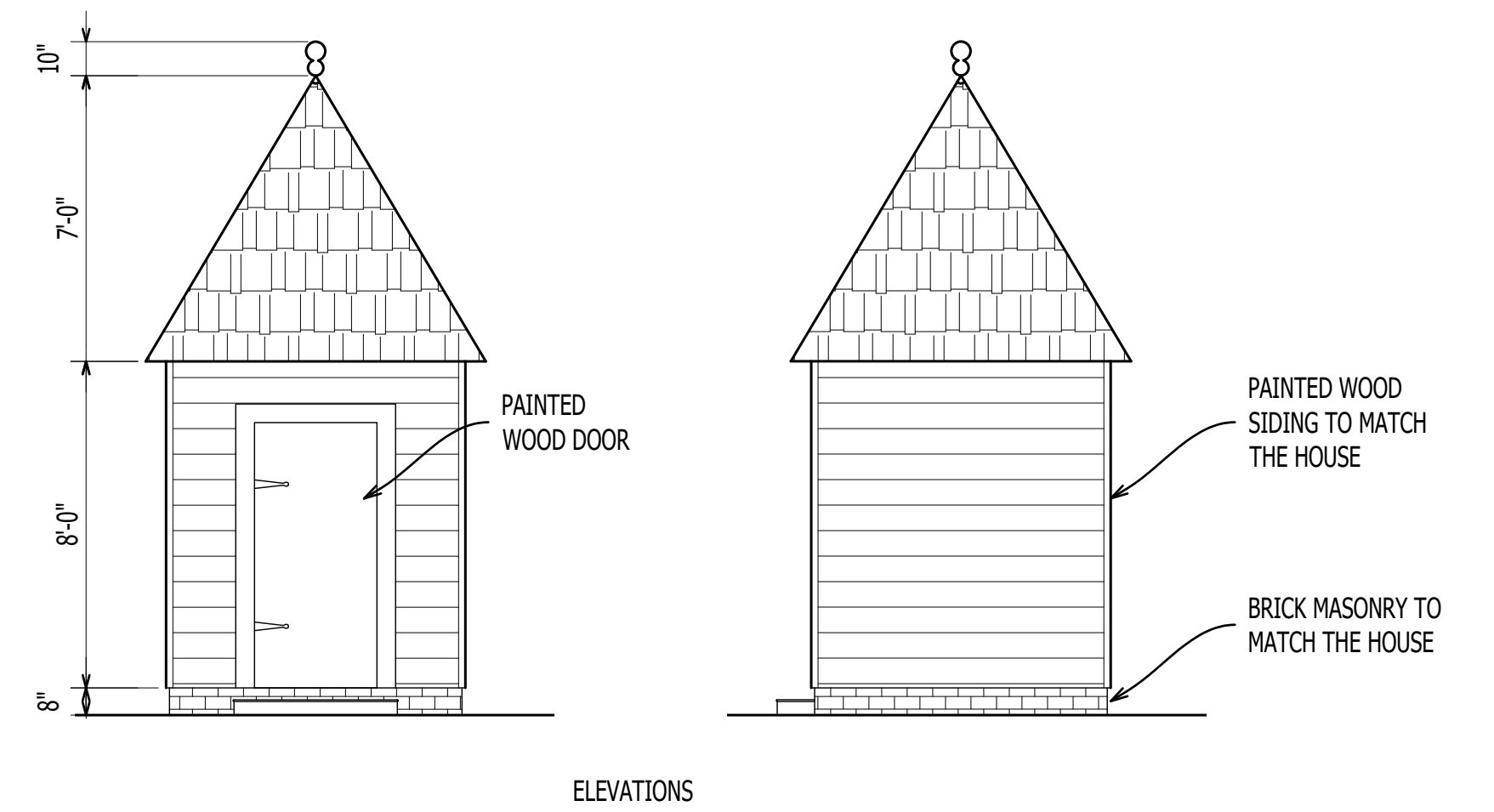
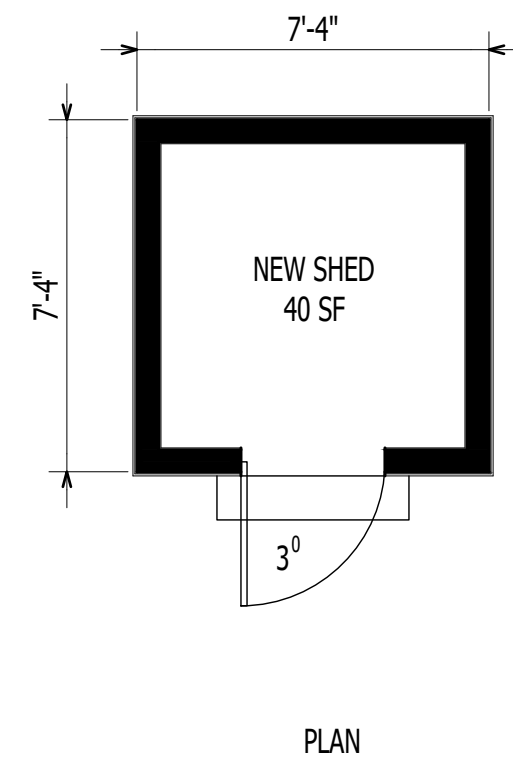
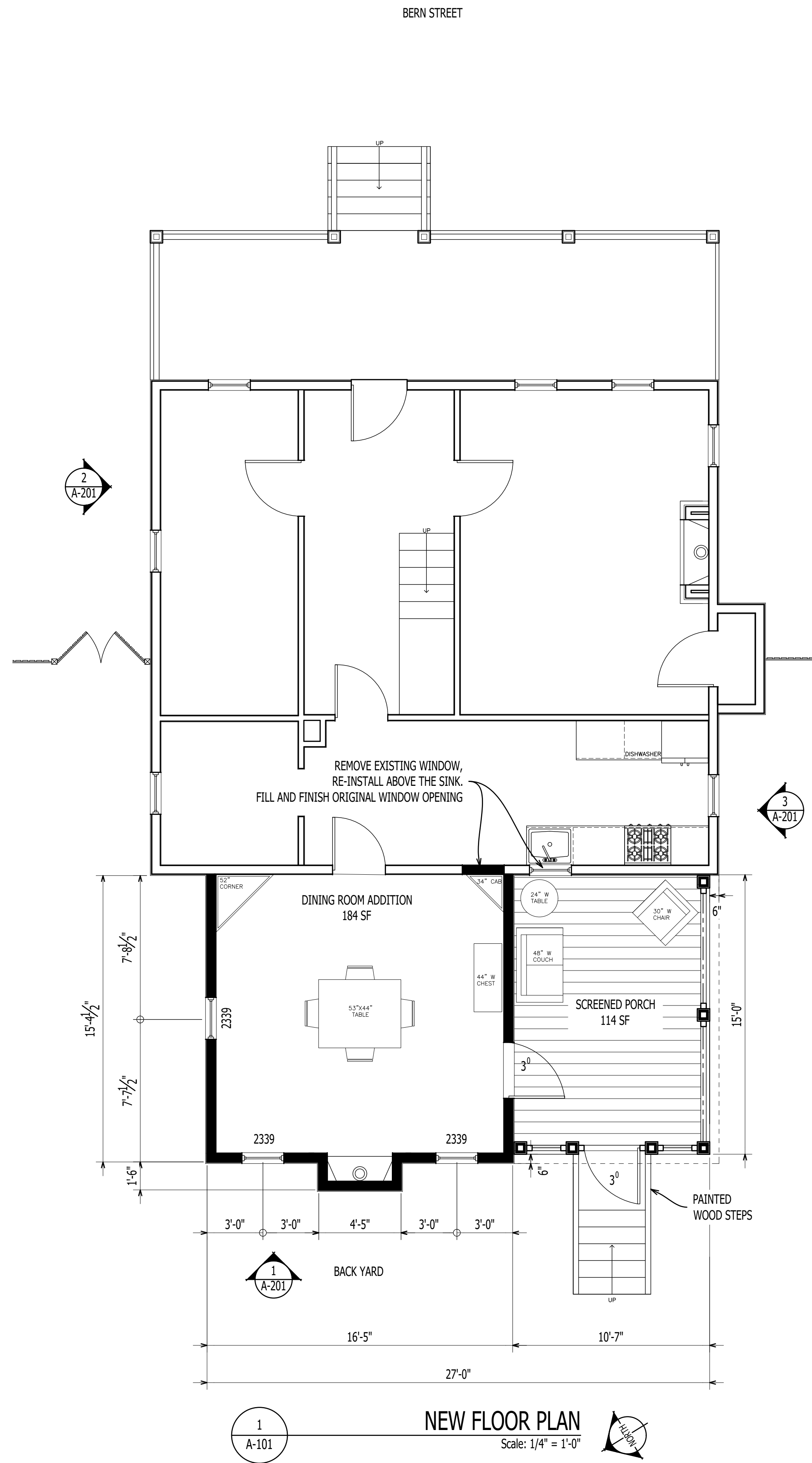
CONGLETON - RENOVATION

309 BERN STREET, NEW BERN, NC 28560

THIS PLAN HAS BEEN PREPARED TO MEET TOP PROFESSIONAL STANDARDS AND PRACTICES. HOWEVER, BUILDING CODES AND ENVIRONMENTAL CONDITIONS VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING CONSTRUCTION. VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. VERIFY COMPLIANCE WITH ALL LOCAL CODES. PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS. HVAC & PLUMBING LAYOUTS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL MECH. CONTRACTOR OR ENGINEER TO ENSURE COMPLIANCE WITH LOCAL CODE AND THAT EQUIPMENT IS SIZED CORRECTLY FOR YOUR PARTICULAR REGION AND CONDITIONS. VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER.

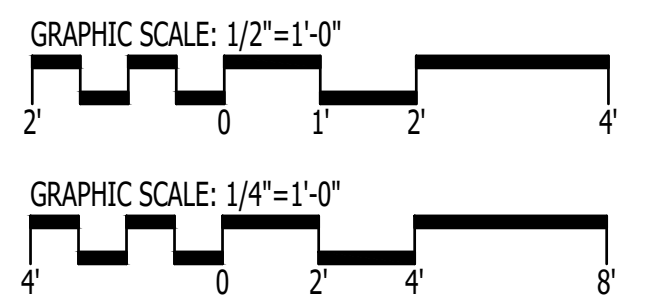
AD-101
EXISTING CONDITIONS

01.02.2021
CONGLETON - 309 BERN ST



2
A-101

NEW SHED PLANS/ELEVATIONS
Scale: 1/4" = 1'-0"



IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.

CONGLETON - RENOVATION

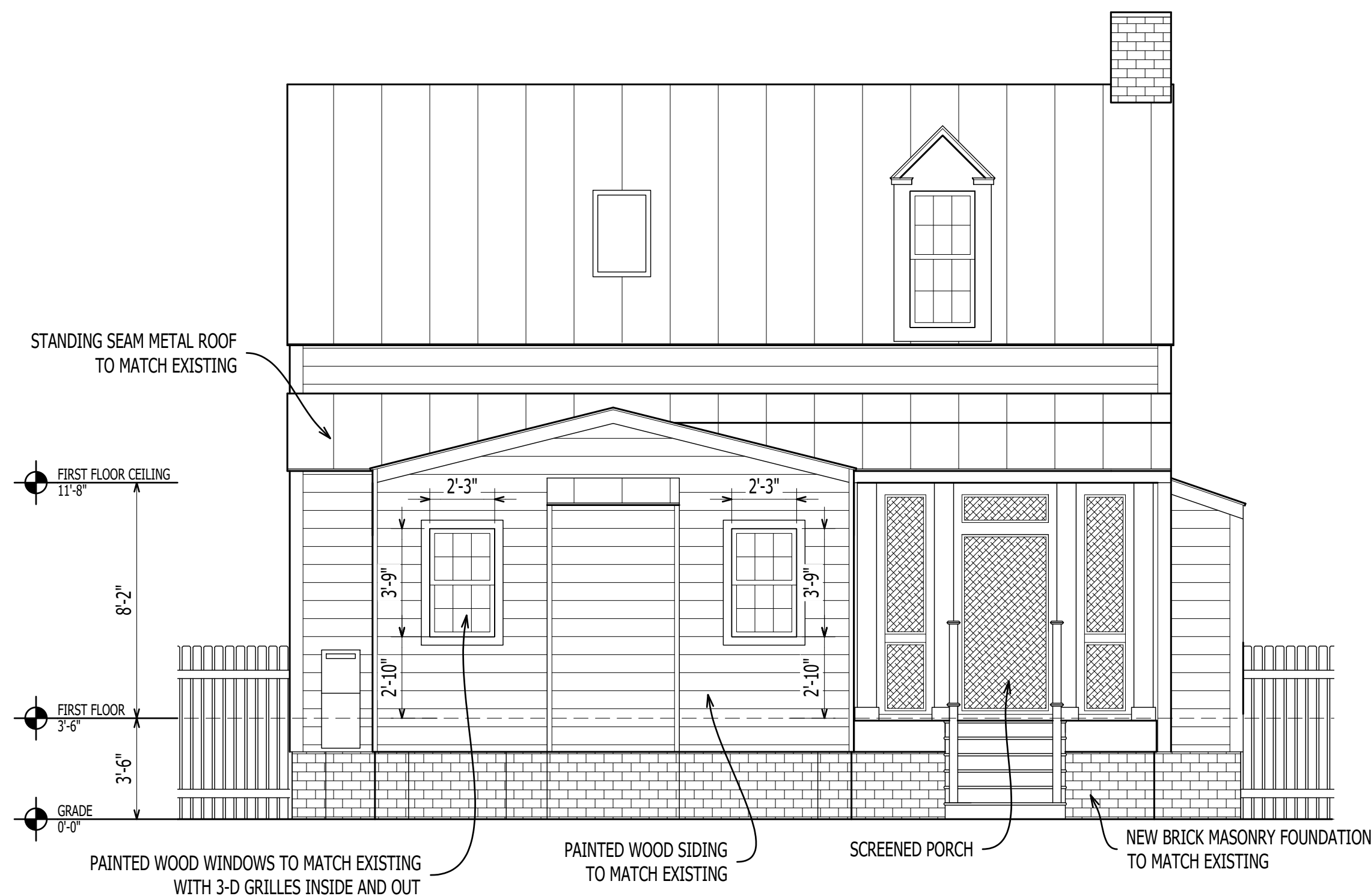
309 BERN STREET, NEW BERN, NC 28560

THIS PLAN HAS BEEN PREPARED TO MEET TOP PROFESSIONAL STANDARDS AND PRACTICES. HOWEVER, BUILDING CODES AND ENVIRONMENTAL CONDITIONS VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING CONSTRUCTION. VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. VERIFY COMPLIANCE WITH ALL LOCAL CODES. PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS. HVAC & PLUMBING LAYOUTS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL MECH. CONTRACTOR OR ENGINEER TO ENSURE COMPLIANCE WITH LOCAL CODE AND THAT EQUIPMENT IS SIZED CORRECTLY FOR YOUR PARTICULAR REGION AND CONDITIONS. VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER.

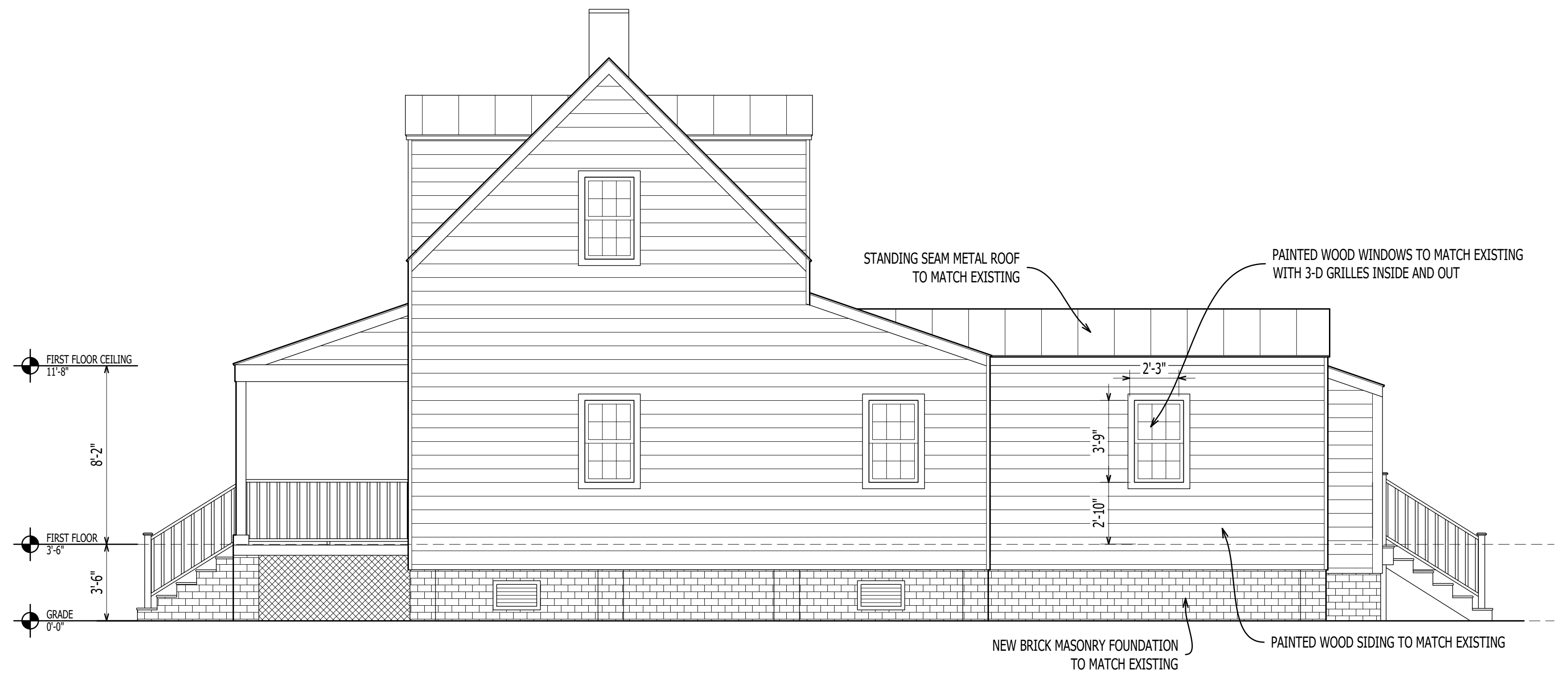
A-101

NEW FLOOR PLAN

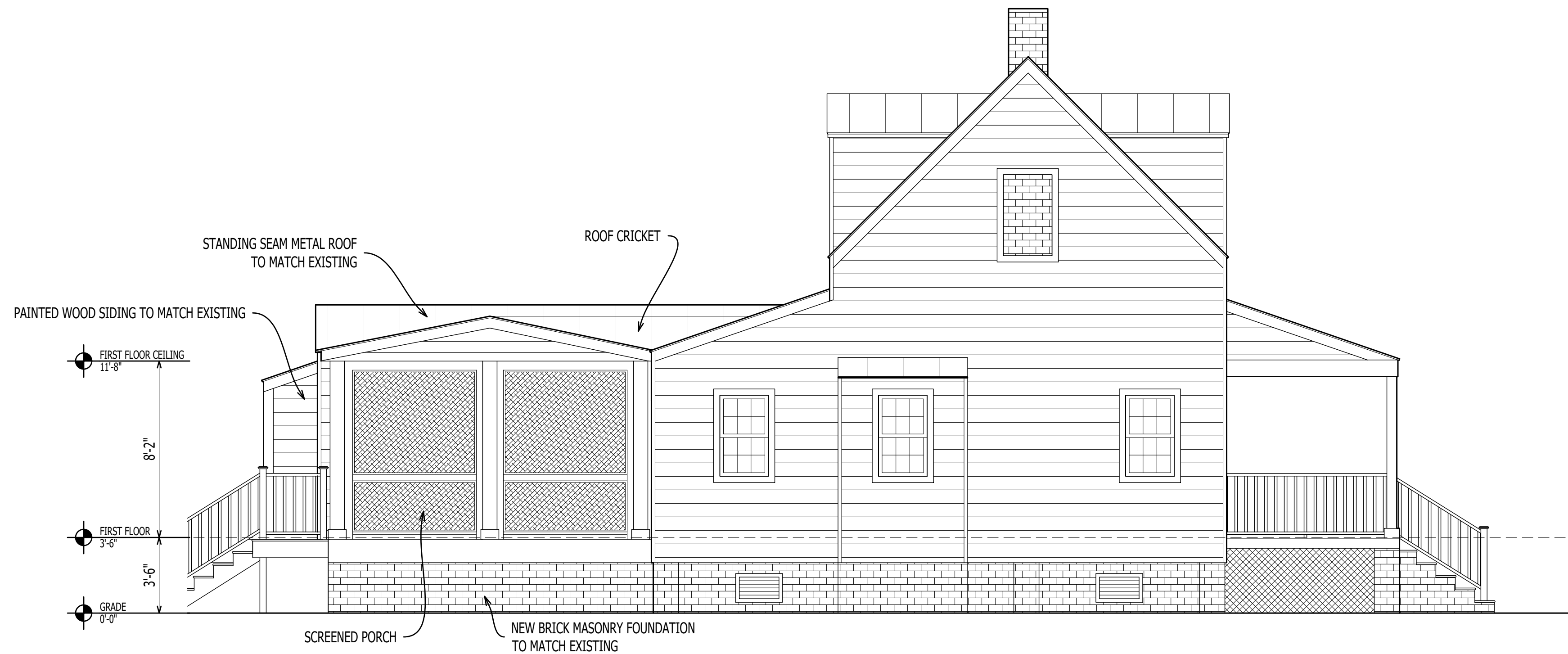
01.02.2021
CONGLETON - 309 BERN ST



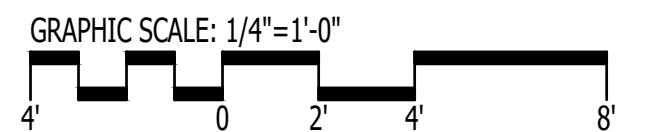
1
A-201
NEW ELEVATION
Scale: 1/4" = 1'-0"



2
A-201
NEW ELEVATION
Scale: 1/4" = 1'-0"



2
A-201
NEW ELEVATION
Scale: 1/4" = 1'-0"



IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.

CONGLETON - RENOVATION

309 BERN STREET, NEW BERN, NC 28560

THIS PLAN HAS BEEN PREPARED TO MEET TOP PROFESSIONAL STANDARDS AND PRACTICES. HOWEVER, BUILDING CODES AND ENVIRONMENTAL CONDITIONS VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING CONSTRUCTION. VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. VERIFY COMPLIANCE WITH ALL LOCAL CODES. PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS. HVAC & PLUMBING LAYOUTS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL MECH. CONTRACTOR OR ENGINEER TO ENSURE COMPLIANCE WITH LOCAL CODE AND THAT EQUIPMENT IS SIZED CORRECTLY FOR YOUR PARTICULAR REGION AND CONDITIONS. VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER.

A-201

NEW FLOOR PLAN

01.02.2021
CONGLETON - 309 BERN ST



NEW BERN
CITY OF NEW BERN

Aldermen

Sabrina Bengel
Jameesha S. Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham

300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Dana E. Outlaw
Mayor

Mark A. Stephens
City Manager

Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION

Dear Sir or Madame:

I am the owner of the property located at:

309 Bern Street, New Bern, N.C. 28562
(address, city, zip code)

I hereby authorize GO Architectural Design, PLLC to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

210 Water Street, Washington, N.C. 27889 Phone 252-946-6896

Adeline S. Congleton
Owner's Signature

Adeline S. Congleton
Print Name

12-14-2020
Date

Sworn to and subscribed before me this 14 day of December, 2020.

Judith Rodgerson Nicholson
Notary Public:

My commission expires: April 7, 2021

Judith Rodgerson Nicholson
NOTARY PUBLIC
Martin County, NC
My Commission Expires April 7, 2021



Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description:

309 Bern St. – to include an addition and new, screened porch in the Tertiary AVC.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: C-5A

Required Setbacks (primary structure): Front average Side 20 ft Rear 6 ft

Accessory Setbacks: From Nearest Structure 8 ft Side 3 ft Rear 3 ft

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: 50 ft

Required Site Improvements: Landscaping N/A Buffer N/A Parking N/A

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet _____ the requirements of the Land Use Ordinance.

Comments:

Seth M. Laughlin Zoning Administrator 1/14/21

Chief Building Inspector please review the application and include any comments below

The proposed project Will ☒ Will Not _____ require a building permit(s).

Comments:

Chief Building Inspector 1/14/21

Certificate of Appropriateness Findings & Recommendations

HPC Meeting January 20, 2021

Applicant: Dee Congleton/GO Architectural Group, PLLC

Applicant Address: 309 Bern St., New Bern, NC 28560

Project Address: 309 Bern St., New Bern, NC 28560

Historic Property Name: Federal-Period Cottage, built ca. 1800-1820

Status: **Contributing:** X **Non-contributing:** **Vacant Lot:**

309 Bern St. – to include an addition and new, screened porch in the Tertiary AVC.

NR Inventory Description (2003): One-and-a-half stories; four bays by two bays; shed-roofed porch, gable-end roof, exposed-face chimney in south elevation.

Sandbeck Description (1988): “... merit[ed] a careful restoration in the late 1970s. ... Original gabled dormers, two on each roof slope, light the finished attic story. Early one-story shed rooms extend across the rear of the house. ...”

Staff submits the following Historic District Guidelines as appropriate to this application:

Accessory Structures

- 2.6.1 Locate accessory structures in Secondary or Tertiary AVCs, and behind primary structures when possible. Accessory structures are to be secondary to the primary structure in regard to mass, scale, form, and texture.
- 2.6.2 It is appropriate for outbuildings, and similar structures with substantial foundations, to have a similar form and detailing as the primary structure. Reduce these elements in scale to compliment the outbuilding massing, and incorporate less ornate and simpler elements than found on the primary structure.
- 2.6.3 Accessory structures such as sheds, gazebos, pergolas, arbors, trellises, and similar types of site improvements with minimal foundations are to serve as focal points within rear yard landscapes. These forms and detailing have little relationship to historic fabric and can be easily removed without creating permanent damage.

Modifications

- 3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.
- 3.2.2 Modifications to a structure should not conceal, damage, or remove significant design components or architectural features.

Additions

- 3.3.1 Locate additions in a Secondary or Tertiary AVC to minimize the impact on primary, character defining elevations. Limit the footprint of additions to maintain private open spaces.
- 3.3.2 Use roof forms and pitches that are similar to those found on the primary structure. Delineate the addition from the plane of the primary structure by creating slight offsets and corners.
- 3.3.3 Incorporate materials and details derived from the primary structure. Extend the architectural hierarchy of the primary structure to the addition. Architectural embellishments and detailing are often simplified on less visible Secondary and Tertiary AVC elevations.

Foundations

- 4.1.1 Adhere to Guidelines for retention of historic fabric when altering foundation components.

Certificate of Appropriateness Findings & Recommendations

HPC Meeting January 20, 2021

- 4.1.2 When infilling between brick piers, recess brick curtain walls 1 to 2 inches to visually delineate piers.
- 4.1.3 Use traditional materials when constructing foundations. Concrete block should receive a veneer of stucco, brick or other appropriate masonry material.

Walls, Trim and Ornamentation

- 4.2.1 Adhere to Guidelines for retention of historic fabric when altering wall components.
- 4.2.2 It is not appropriate to introduce trim or ornamentation to a contributing structure without documentary evidence that such elements historically existed.
- 4.2.3 It is not appropriate to cover wood siding, trim and ornamentation with a contemporary material on a contributing structure.
- 4.2.4 Incorporate wood trims and articulate masonry appropriately for the application.
- 4.2.5 Primary structures are generally more ornate and detailed. Accessory structures are generally subordinate to the primary structure and have minimal ornamentation, if any, and simplified details.

Windows, Doors and Openings

- 4.3.1 Adhere to Guidelines for retention of historic fabric when altering window, door and opening components.
- 4.3.2 Add window and door openings in Secondary or Tertiary AVCs in locations that do not diminish the original design. In general, openings shall have a vertical orientation or be square.
- 4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.
- 4.3.5 Tinted, opaque, and reflective glazing is not appropriate in historic windows.

Entrances

- 4.4.1 Adhere to Guidelines for retention of historic fabric when altering entrance components.
- 4.4.4 Provide porches, entrance doors, railings, and other ornaments that proportionally relate to the building. Appropriate balustrades often convey a heavier visual appearance. Center balusters between the top and bottom rails and space them about three inches apart.
- 4.4.5 Enclose and screen porches in Secondary and Tertiary AVCs in a manner that preserves historic features. Walls and screens should not obscure columns and balustrades.

Roofs

- 4.5.4 Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation. Provide double locked seams with flush ridge and hip flashings on contributing structures.

Masonry

- 5.1.2 Match the masonry bond, or pattern, of masonry materials found in adjoining work. In general, new material should be the same size, color, and texture of that existing.
- 5.1.3 The size, color, texture and bond, or pattern, of masonry and mortar creates the intended finished appearance. It is not appropriate to paint masonry that has not been previously painted.

Certificate of Appropriateness Findings & Recommendations

HPC Meeting January 20, 2021

- 5.1.4 Select mortar with appropriate strength properties for masonry units involved. A commonly used mix for softer, historic masonry is one-part portland cement, two parts hydrated lime and nine parts sand.
- 5.1.5 Provide a veneer of brick, stucco, or other appropriate material over concrete masonry units. Architectural concrete masonry units such as rusticated, split face or similar types may be substituted for stone masonry construction.
- 5.1.6 It is not appropriate to use water repellants or sealers on masonry because these treatments often trap moisture and accelerate spalling.

Wood

- 5.2.1 Adhere to Preservation Guidelines for retention of historic fabric when altering wood materials.
- 5.2.2 Construct wood assemblies similar to that found in adjoining work. In general, new material should be the same dimension and shape of that existing.

Metals

- 5.3.2 Use metal fabrications found in adjoining work. In general, new material should be the same dimension, shape, and alloy of that existing.

Paint

- 5.4.1 Adhere to Guidelines for retention of historic fabric when altering painted materials.
- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on porch flooring, deck flooring and similar wood surfaces exposed to foot traffic.
- 5.4.6 It is not appropriate to apply paint, water repellent or sealant coatings to unpainted surfaces such as masonry, stone, copper, and bronze.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

- 1. The primary structure is a contributing resource in the district;
- 2. The project is within the Tertiary AVC;
- 3. The proposed design, components, and materials meet the requirements of the Guidelines;
- 4. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
- 5. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application to include an addition and new, screened porch in the Tertiary AVC.