



City of North Royalton

Mayor Larry Antoskiewicz

Community Development, Building Division
Dan Kulchytsky Building Commissioner

11545 Royalton Road, North Royalton, OH 44133

Phone: 440-582-3001

Fax: 440-582-3089

CITY OF NORTH ROYALTON PLANNING COMMISSION APPLICATION

1. This request is made for the following property:

5389 Royalton Road	Bank of America
Address	Name of Occupant, Business or Tenant (if applicable)
487-10-011	TCD-5
Permanent Parcel Number	Zoning District and Ward

2. Property Owner of Parcel:

Tri Norwood Holdings LLC	
Name	Name of Business (if applicable)
P.O. Box 33572	216-598-0315
Address	Phone
North Royalton, Ohio, 44133	james.asimes@norwoodgroup.com
City, State and Postal Code	Email (electronic mail)

3. This request is being made by the following responsible party (Owner / Authorized Representative):

Amber Bloomfield	Jones Lang LaSalle (JLL)
Name	Name of Business (if applicable)
540 W. Madison	312-919-5211
Address	Phone
Chicago, IL 60661	Amber.Bloomfield@am.jll.com
City, State and Postal Code	Email (electronic mail)

For Office Use Only

8-9-21	9-8-21	PC21-27+
Date Application Submitted	Meeting Date Assigned	Identification Number Assigned -28
\$250	CR #37919	
Application Fee	Payment Information (date, check number, cash, etc.)	
Other Application Fee Information		



The attached images are concept renderings of a prototypical Bank of America. These are very similar in nature to the design we are proposing for North Royalton (with changes to the site layout and ATM drive-thru location).



BANK OF AMERICA

Do Not Enter

Now
earn 2%
cash

AMERICA

RESERVED
PARKING
ONLY

RESERVED
PARKING
ONLY

RESERVED
PARKING
ONLY

RESERVED
PARKING
ONLY

RESERVED
PARKING
ONLY



Plant Schedule					
Key	Qty	Botanical / Common Name	Size	Cond.	Spacing
Trees					
AG	1	Amelanchier x grandiflora 'Autumn Brilliance' / Serviceberry	2"	B&B	See Plan
GT	22	Gleditsia triacanthos Inermis 'Skyline' / Skyline Honeylocust	2 1/2" Cal.	B&B	See Plan
QB	2	Quercus bicolor / Swamp Oak	2 1/2" Cal.	B&B	See Plan
Shrubs					
CA	5	Clethra alnifolia 'Hummingbird' / Summersweet Clethra	15"	No. 2	3' O.C.
IC	22	Ilex crenata 'Green Lustre' / Green Lustre Japanese Holly	24"	B&B	4' O.C.
JGO	18	Juniperus v. 'Grey Owl' / Grey Owl Juniper	30"	B&B	4' O.C.
Perennials					
EAB	80	Elymus arenarius 'Blue Dune' / Blue Dune Lyme Grass	Clump	No. 2	24" O.C.



Serviceberry



Skyline Honeylocust



Swamp White Oak



Summersweet Clethra



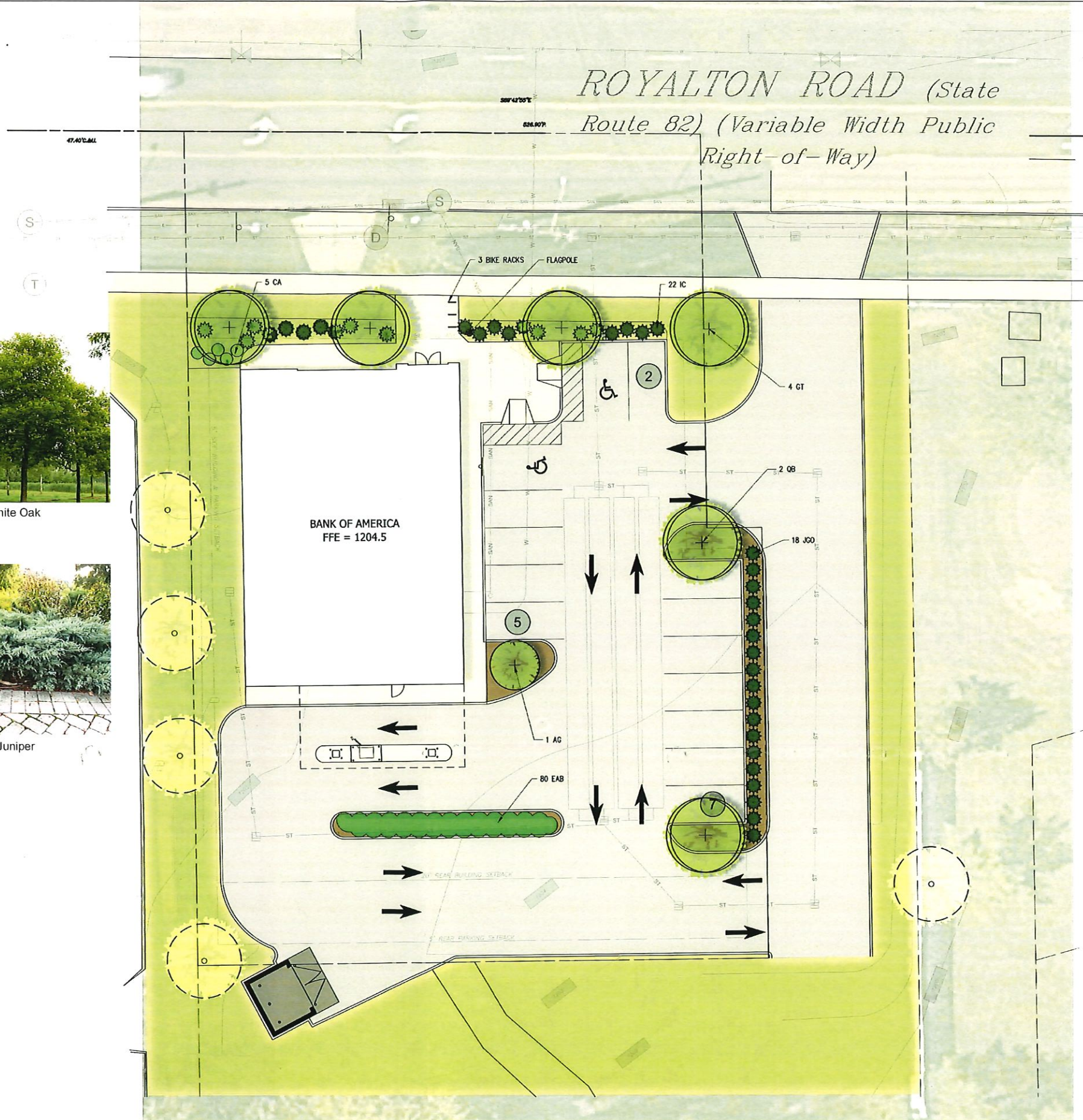
Green Lustre Japanese Holly



Grey Owl Juniper



Blue Dune Lyme Grass

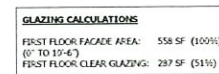


SS-3 BRAKE METAL BASE AT EPS-5 - COLOR TO MATCH EPS-5

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1. BANK OF AMERICA SIGN BY OWNER. COORDINATE SIGNAGE LOCATIONS AND POWER REQUIREMENTS WITH VENDOR.
2. PROVIDE ENL FLASHING AND SEALANT AT PARAPET FACE AND ADJACENT CAP. 30' GROUND MOUNTED FLAG POLE - PROVIDED BY CONTRACTOR. FLAG IS FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR.
3. LIGHT FIXTURE MOUNTED ON TOP OF FLAG POLE. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
4. EXTERIOR SECURITY CAMERA. COORDINATE LOCATIONS AND TYPE WITH SECURITY VENDOR.
5. GC TO COORDINATE WITH LOCAL FIRE AUTHORITY FOR MOUNTING HEIGHT AND LOCATION OF THE KNOX BOX.

Description:	No:	Date:
Issued for Schematic Design		06/16/2020
Issued for Design Development		07/29/2020
Issued for CD COE		07/21/2021
Issued for Planning Review		08/09/2021



3 NORTH ELEVATION
1/4" = 1'-0"

EXTERIOR ELEVATIONS

A09.11

EXTERIOR FINISH SCHEDULE:

STUCCO/PLASTER

PT-3 PAREX ARMOURWALL 300 STUCCO ASSEMBLY; BENJAMIN MOORE: CHARCOAL SLATE FLAT

STUCCO ACCESSORIES

SA-2 NARROW CHANNEL SKEED AS SPECIFIED; PAINT TO MATCH STUCCO FINISH COLOR
CJ CONTROL JOINT; PAINT TO MATCH STUCCO FINISH COLOR

ALUMINUM COMPOSITE METAL PANEL (B.O.D. - CITADEL)

EPS-1 CITADEL ENVELOPE 2000 RAINSCREEN (RS); CLEAR SATIN ANODIZED
EPS-3 CITADEL ENVELOPE 2000 RAINSCREEN (RS); ARCTIC WHITE SATIN

FORMED METAL WALL PANEL SYSTEM (PURE & FREEFORM)

EPS-5 HORIZONTAL FORMED WALL METAL PANEL; ROMA NOCE #SN043 SATIN

FLASHING BASE

SS-1 BRAKE METAL BASE AT PT-3 - COLOR TO MATCH PT-3
SS-2 BRAKE METAL BASE AT EPS-3 - COLOR TO MATCH EPS-3
SS-3 BRAKE METAL BASE AT EPS-5 - COLOR TO MATCH EPS-5

EXTERIOR GLAZING

GL-1 1" HEAT STRENGTHENED TEMPERED INSULATED GLAZING AS SPECIFIED
GL-2 1" TEMPERED INSULATED GLAZING AS SPECIFIED

ALUMINUM GLAZING FRAME

AF-2 ALUMINUM STOREFRONT SYSTEM; CLEAR ANODIZED ALUMINUM FINISH

EXTERIOR PAINT

EXPT-1 EXTERIOR PAINT; BENJAMIN MOORE: CHARCOAL SLATE FLAT

EXTERIOR SEALANT COLOR

GLAZING AT EXTERIOR STOREFRONT	BLACK
METAL PANEL TO METAL PANEL	MATCH CLIP
WINDOW FRAME/STOREFRONT TO STUCCO	MATCH FRAME
WINDOW FRAME/STOREFRONT TO METAL PANEL	MATCH FRAME
METAL PANEL TO STUCCO	MATCH STUCCO

EXTERIOR GENERAL NOTES:

- CONTRACTOR TO COORDINATE ELECTRICAL SERVICE FOR WALL MOUNTED SIGNS WITH OWNER. SIGN VENDOR TO DETERMINE EXACT MOUNTING LOCATION(S).
- SIGNAGE SHOWN FOR REFERENCE ONLY - TO BE COVERED UNDER SEPARATE DESIGN AND PERMIT BY OWNER VENDOR.
- REFER TO A12.11 FOR ENTRANCE DOOR HARDWARE WIRING DIAGRAM.
- REFER TO DETAIL SHEETS FOR TYPICAL WINDOW FLASHING DETAILS.

EXTERIOR KEY NOTES:

- BANK OF AMERICA SIGN BY OWNER. COORDINATE SIGNAGE LOCATION(S) AND POWER REQUIREMENTS WITH VENDOR.
- PROVIDE EID FLASHING AND SEALANT AT PARAPET FACE AND ADJACENT CAP.
- 30' GROUND MOUNTED FLAG POLE - PROVIDED BY CONTRACTOR. FLAG IS FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR.
- LIGHT FIXTURE MOUNTED ON TOP OF FLAG POLE. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- EXTERIOR SECURITY CAMERA. COORDINATE LOCATION(S) AND TYPE WITH SECURITY VENDOR.
- GC TO COORDINATE WITH LOCAL FIRE AUTHORITY FOR MOUNTING HEIGHT AND LOCATION OF THE KNOX BOX.

NELSON
Nelson Architecture & Interiors, Inc.

6000 Lombardo Center Suite #500
Cleveland, OH 44131
Phone: (216) 781-9144

Client Representative:

Jones Lang LaSalle
Attn: Bill Arnold
Tel: 312-343-9651
Email: bill.arnold@am.jll.com

Architect:

Nelson Architecture & Interiors, Inc.
Attn: Rob Sullivan, Senior Architect
Tel: 216.830.1561
Email: rsullivan@nelsonwi.com

AOR Contact: Vincent Duet
Tel: 215.825.6620
Email: vduet@nelsonwi.com

Civil:

Thorson Baker + Associates
Attn: David Myers, P.E. & P.S.
Tel: 234.400.0168
E: dmyers@thorsonbaker.com

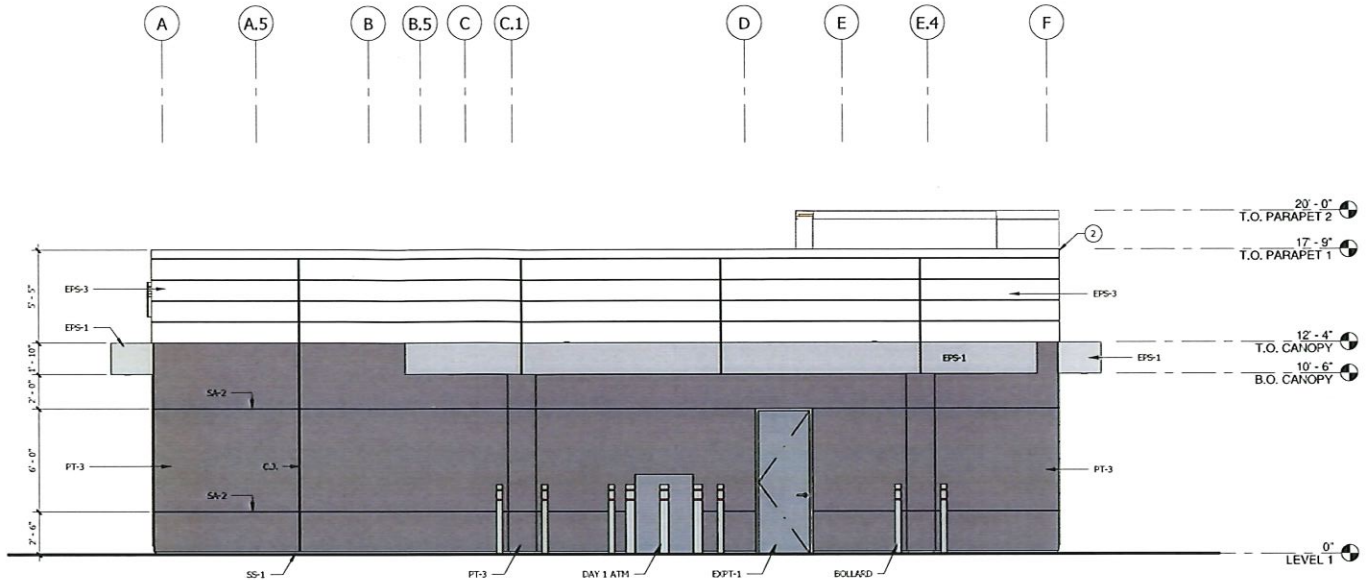
Structural:

Thorson Baker + Associates
Attn: Patty Fellenstein, P.E.
Tel: 234.400.0148
Email: pfellenstein@thorsonbaker.com

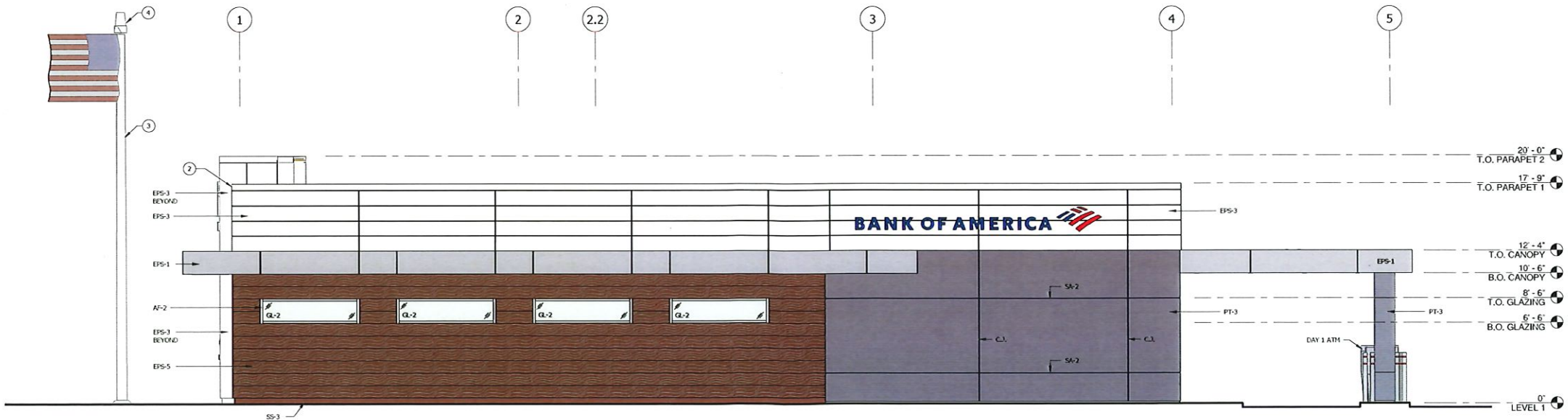
MEP:

Thorson Baker + Associates
Attn: Bryan Helvin, EI
Tel: 330.659.6688
Email: bmelvin@thorsonbaker.com

Description: No: Date:
Issued for Schematic Design 06/16/2020
Issued for Design Development 07/29/2020
Issued for CD COE 07/21/2021
Issued for Planning Review 08/04/2021



1 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

BANK OF AMERICA
North Royalton

5389 Royalton Road
North Royalton, Ohio 44133

PROPERTY ID: OHW-176
NSRP VERSION: 2.0
BULLETIN: 2-2021

EXTERIOR ELEVATIONS

Project No: 23.00002136.000 Reviewed By:

A09.12

*ROYALTON ROAD (State
Route 82) (Variable Width Public
Right-of-Way)*

156.64'C.&U. (156.69'PLAT)

351.5 LF. 12" SAN. SL

174 LF. 12" STM SEWER @ 0.67%

PARCEL 2

S/L Z-5

S/L 1

S/L 2

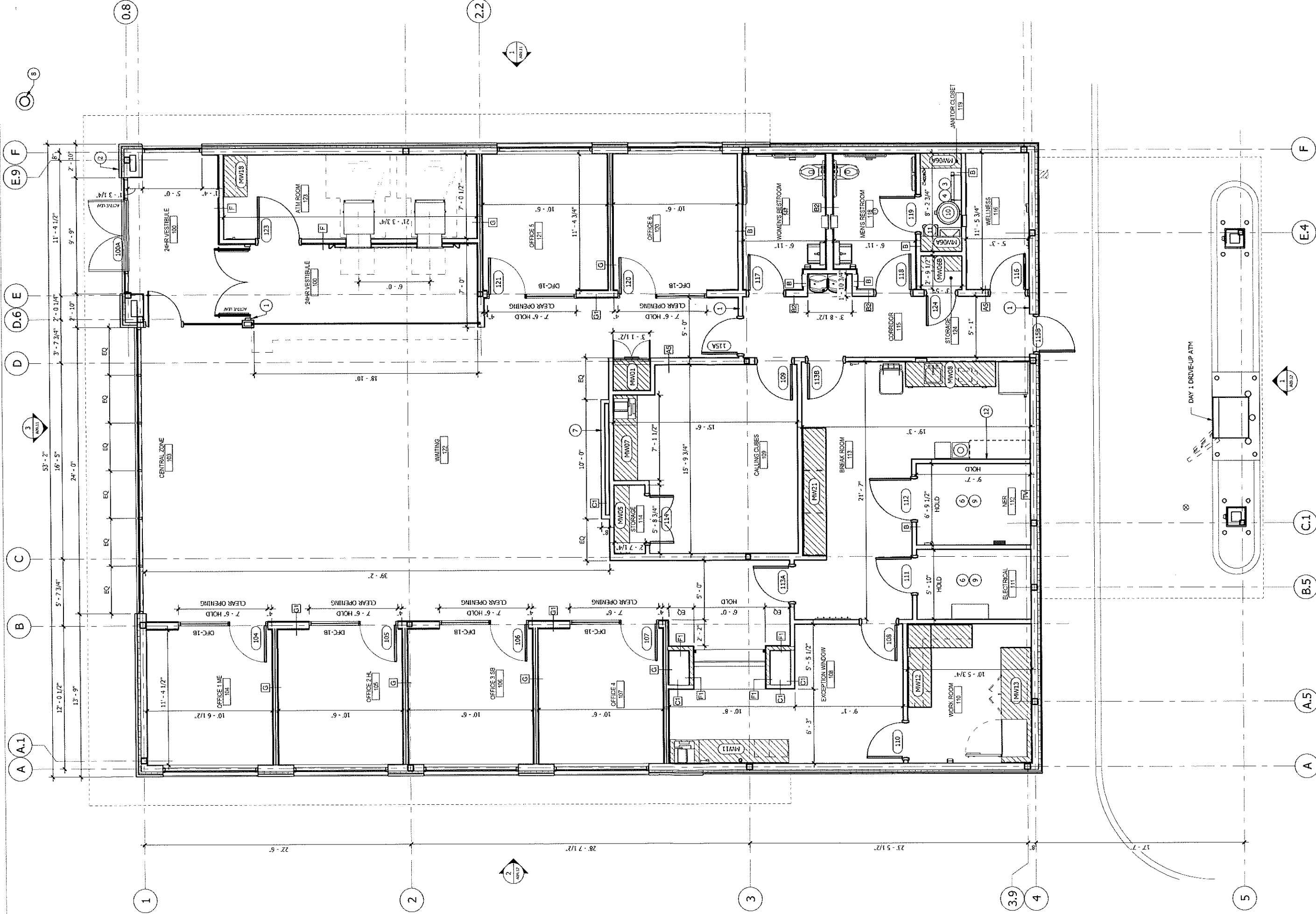
PROPOSED UNDERGROUND STORMWATER MANAGEMENT SYSTEM

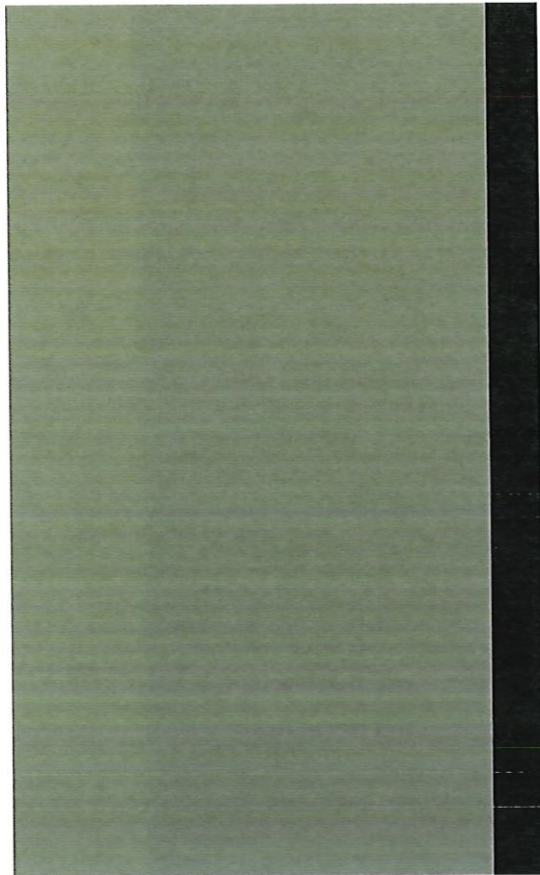
P.P.
SWAN LAKE
VOLUME

P.P.N. 487-10-009
GLENWAY APARTMENTS LTD.
VENICE WAY APARTMENTS LTD.
AFN 201611030317

1 STORY
STUCCO
BUILDING
#5527

F.F. 1205.47





PT-3
PAREX STUCCO - COLOR
BENJAMIN MOORE - CHARCOAL
SLATE FLAT



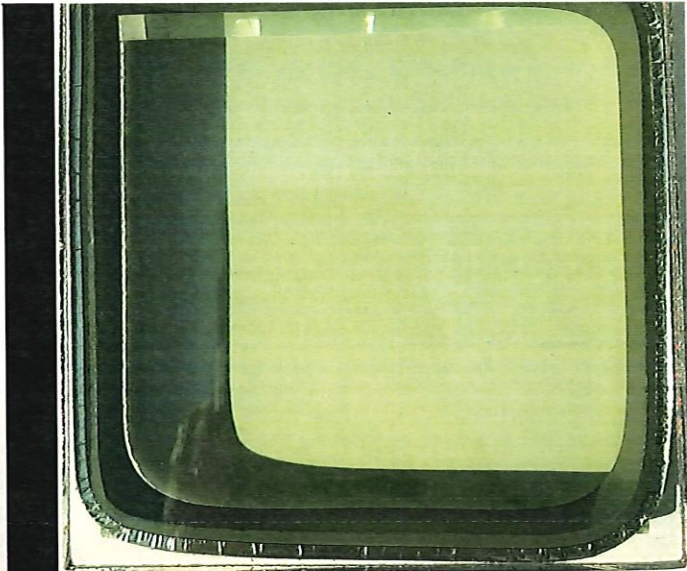
EPS-3
CITADEL ACM - ARCTIC WHITE



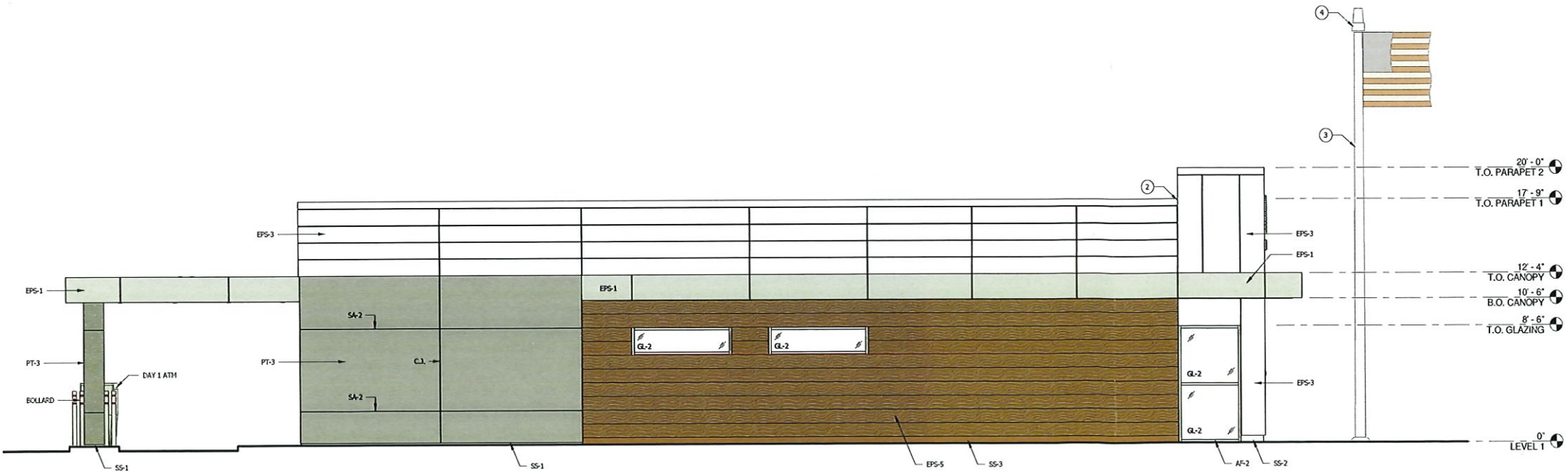
EPS-5
PURE + FREEFORM METAL PANEL
ROMA NOCE #SN043 SATIN



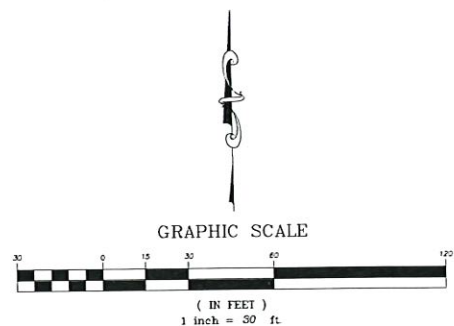
EPS-1
CITADEL ACM - CLEAR SATIN
ANODIZED



GL-1/GL-2
CLEAR TEMPERED INSULATED
GLAZING W/ LOW-E COATING



TOPOGRAPHIC SURVEY
FOR
BANK OF AMERICA - NORTH ROYALTON
SITUATED IN THE CITY OF NORTH ROYALTON, COUNTY OF CUYAHOGA, AND STATE OF OHIO:
AND KNOWN AS BEING ALL OF PARCEL NO. 1 IN THE LOT SPLIT AND CONSOLIDATION OF
PERMANENT PARCEL NUMBER 487-10-011 FOR CHARLES E. OSTERLAND OF PART OF
ORIGINAL ROYALTON TOWNSHIP SECTION NO. 18, AS SHOWN BY THE RECORDED PLAT IN
VOLUME 262, PAGE 71 OF CUYAHOGA COUNTY MAP RECORDS.



NOTE:
BASIS OF BEARINGS AND ELEVATIONS ARE BASED ON GPS OBSERVATION
UTILIZING THE OHIO DEPARTMENT OF TRANSPORTATION (ODOT) VRS NETWORK,
OHIO STATE PLANE NORTH COORDINATES, NAD83 HORIZONTAL DATUM AND
NAVD83 (GEOID 12A) VERTICAL DATUM.
DATE OF SURVEY: MARCH 30, 2021.

UTILITY NOTE:
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY
EVIDENCE, PLANS AND MARKINGS PROVIDED BY OWNER, UTILITY COMPANIES OR
THEIR REPRESENTATIVES. THE SURVEYOR MAKES NO GUARANTEE THAT THE
UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA,
EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT
WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT
LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS
ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THIS SURVEYOR
HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

CERTIFICATION:
THIS SURVEY CONFORMS TO OAC 4733-37, M.N.V.U.M. STANDARDS FOR A BOUNDARY SURVEY.
DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. ALL TO THE BEST OF MY
KNOWLEDGE, INFORMATION AND PERSONAL BELIEF, WHICH I HEREBY STATE TO BE CORRECT.

E.K. Cooper 07/20/2021
ELTON K. COOPER, SR. PS 8671 DATE

NOTE:
BEARINGS SHOWN HEREON ARE TO AN ASSUMED MERIDIAN AND ARE USED TO DENOTE
ANGLES ONLY.

● = 5/8"X30" IRON P.N. SET AND CAPPED P.S. NO. 8671



REFERENCE SURVEYS:
1. VOLUME 262, PAGE 71 OF C.C.M.R.
2. VOLUME 262, PAGE 77 OF C.C.M.R.
3. VOLUME 264, PAGE 11 OF C.C.M.R.

2 WORKING DAYS
BEFORE YOU DIG
CALL TOLL FREE 800-362-2764
OHIO UTILITY PROTECTION SERVICE

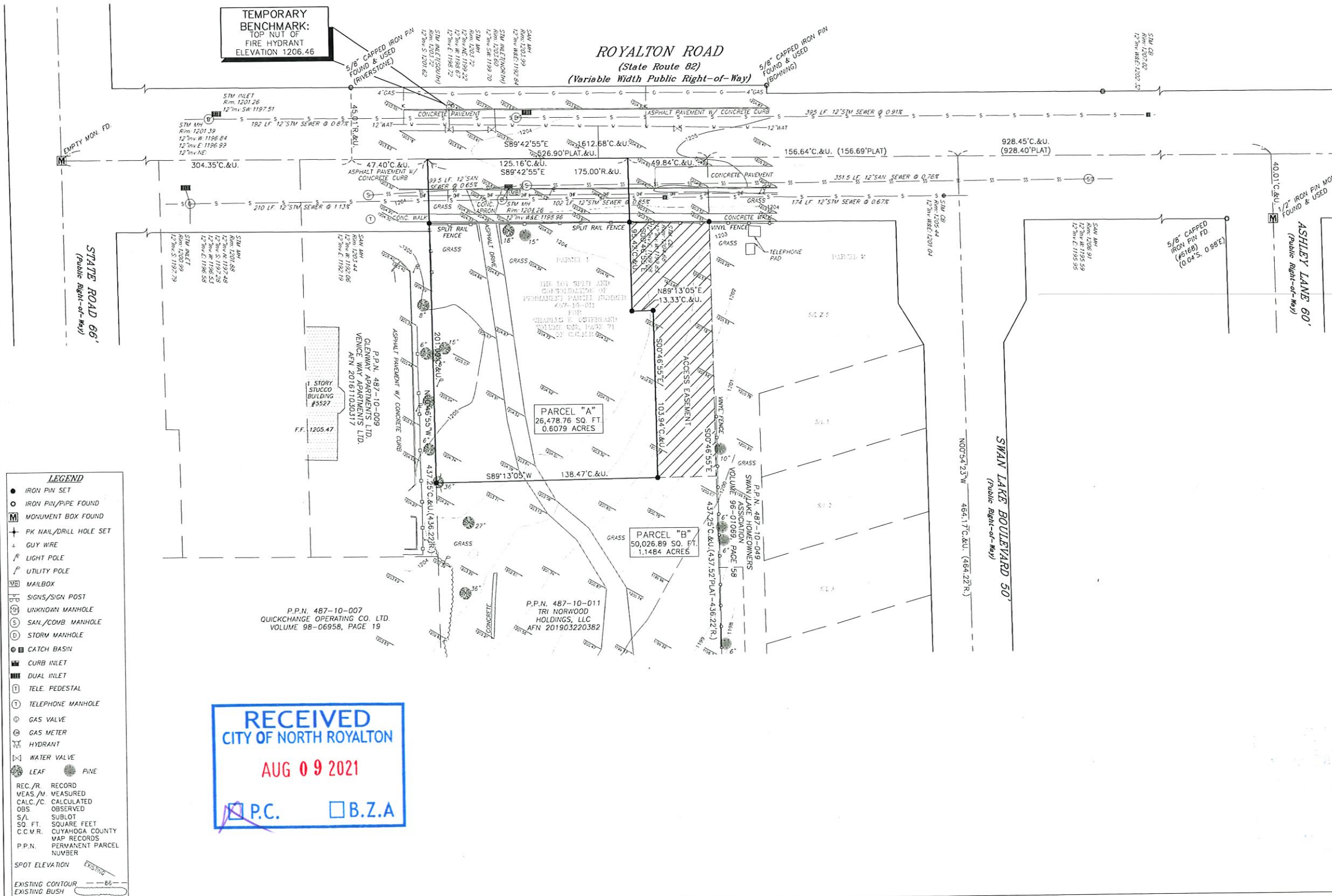
Reference No. A108103102
Reference No. A108103110
Date: MARCH 22, 2021

Ohio Utility Protection Service (OUPS)
1-800-362-2764
webmaster@ohioonecall.org



CARDINAL SURVEYING AND MAPPING, INC.
3368 EAST 113TH STREET
CLEVELAND, OHIO 44104
(216) 751-4669 OFFICE
(877) 752-4849 FAX

DRAWN BY E.K.C.	SCALE 1"=30'	DATE 03/30/2021
CHECK BY E.K.C.	JOB NO. 21-093	PAGE 1 OF 1



TEMPORARY
BENCHMARK:
TOP NUT OF
FIRE HYDRANT
ELEVATION 1206.46

ROYALTON ROAD
(State Route 82)
(Variable Width Public Right-of-Way)

ASHLEY LANE 60'
(Public Right-of-Way)

SWAN LAKE BOULEVARD 50'
(Public Right-of-Way)

PARCEL "A"
26,478.76 SQ. FT.
0.6079 ACRES

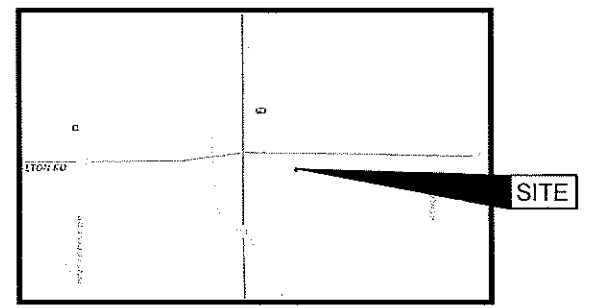
PARCEL "B"
50,026.89 SQ. FT.
1.1484 ACRES

P.P.N. 487-10-007
QUICKCHANGE OPERATING CO. LTD.
VOLUME 98-06958, PAGE 19

P.P.N. 487-10-011
TRI NORWOOD
HOLDINGS, LLC
AFN 201903220382

RECEIVED
CITY OF NORTH ROYALTON
AUG 09 2021
P.C. B.Z.A.

- LEGEND
- IRON PIN SET
 - IRON PIN/PIPE FOUND
 - MONUMENT BOX FOUND
 - + PK NAIL/DRILL HOLE SET
 - ~ GUY WIRE
 - ⊥ LIGHT POLE
 - ⊥ UTILITY POLE
 - ✉ MAILBOX
 - ⊥ SIGNS/SIGN POST
 - ⊥ UNKNOWN MANHOLE
 - ⊥ SAN/COMB MANHOLE
 - ⊥ STORM MANHOLE
 - ⊥ CATCH BASIN
 - ⊥ CURB INLET
 - ⊥ DUAL INLET
 - ⊥ TELE. PEDESTAL
 - ⊥ TELEPHONE MANHOLE
 - ⊥ GAS VALVE
 - ⊥ GAS METER
 - ⊥ HYDRANT
 - ⊥ WATER VALVE
 - ⊥ LEAF
 - ⊥ PINE
 - REC./R. RECORD
 - MEAS./M. MEASURED
 - CALC./C. CALCULATED
 - OBS. OBSERVED
 - S/L. SUBLOT
 - SQ. FT. SQUARE FEET
 - C.C.M.R. CUYAHOGA COUNTY
 - MAP RECORDS
 - P.P.N. PERMANENT PARCEL
 - NUMBER
 - SPOT ELEVATION
 - EXISTING
 - EXISTING CONTOUR
 - EXISTING BUSH



VICINITY MAP (N.T.S.)

- LEGEND
- EXISTING ELECTRIC
 - EXISTING SANITARY
 - EXISTING STORM
 - EXISTING TELEPHONE
 - EXISTING WATER
 - PROPOSED SANITARY
 - PROPOSED STORM
 - PROPOSED WATERLINE
 - PROPOSED LIGHT FIXTURE
 - PROPOSED CATCH BASIN (CB) BY CURB FILET (C)
 - PROPOSED CLEANOUT (CO)
 - EXISTING CONTOURS
 - PROPOSED CONTOURS

SITE DATA

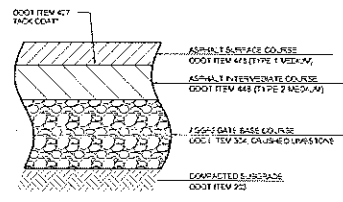
PARCEL NUMBER: 487-10-011
ZONING DISTRICT: TCD - TRADITIONAL TOWN CENTER
ADJOINING ZONING DISTRICTS: TCD - TRADITIONAL TOWN CENTER
SITE AREA: 0.6079 AC
CURRENT USE: VACANT
PROPOSED USE: BANK OF AMERICA
LOT COVERAGE: PROPOSED BUILDING: 4,064 SF (15.3%)
PAVED SURFACES: 13,126 SF (49.6%)
GREEN SPACE: 9,249 SF (35.1%)
TOTAL LOT AREA: 26,479 SF = 0.6079 AC

	REQUIRED	PROVIDED	NEED VARIANCES
MAX BUILDING HEIGHT	24-47	28	NO
FRONT YARD BLDG. SETBACK	10-25	15.8	NO
SIDE YARD BLDG. SETBACK	5	12.7	NO
REAR YARD BLDG. SETBACK	20	67.2	NO
FRONT YARD PARKING SETBACK	10	10	NO
SIDE YARD PARKING SETBACK	5	5.3	NO
REAR YARD PARKING SETBACK	5	33	NO
MIN. LOT AREA	-	0.6079 AC	NO
MIN. GREEN SPACE COVERAGE	-	35.1%	NO
MAX BUILDING COVERAGE	-	15.3%	NO
MIN. LOT WIDTH AT RIGHT-OF-WAY	-	125	NO
MIN. LOT WIDTH AT BLDG. LINE	-	125	NO

PARKING CALCULATION
REQUIRED PARKING: 3 SPACES PER 1,000 SQ. FT. = 12 SPACES
PROPOSED SPACES: 12 + 2 HC = 14 TOTAL

PARKING SPACE SIZE: 8'x19' REQUIRED & PROVIDED
TWO-WAY DRIVE AISLE MIN 24' REQUIRED & PROVIDED

SECTION	SURFACE	INTERLARD	BASE
STANDARD	1"	2"	4"
HEAVY DUTY	1.5"	2"	4"



ASPHALT DRIVE MATERIALS

3" ODOT #1. 448 ASPHALT SURF. COURSE
6" ODOT #1. 304 AGG. COURSE
ASPHALT SEAL JOINTS

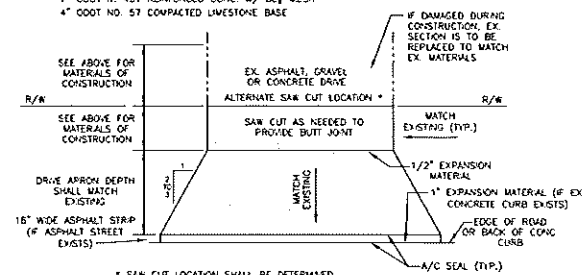
GRAVEL DRIVE MATERIALS

4" ODOT NO. 57 COMPACTED GRAVEL

CONCRETE APPROX. "THRU SIDEWALK" & DRIVE MATERIALS

7" ODOT #1. 451 REINFORCED CONC. W/ 58# MESH
4" ODOT NO. 57 COMPACTED LESTONE BASE

ASPHALT PAVEMENT DETAIL



* SAW CUT LOCATION SHALL BE DETERMINED TYPICALLY. IT WILL BE ALONG THE NEAREST CONCRETE JOINT AS DETERMINED BY THE CITY ENGINEER.

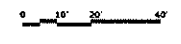
HARD SURFACE DRIVE APRON IS REQUIRED UP TO RIGHT-OF-WAY.

DRIVE APRON DETAIL

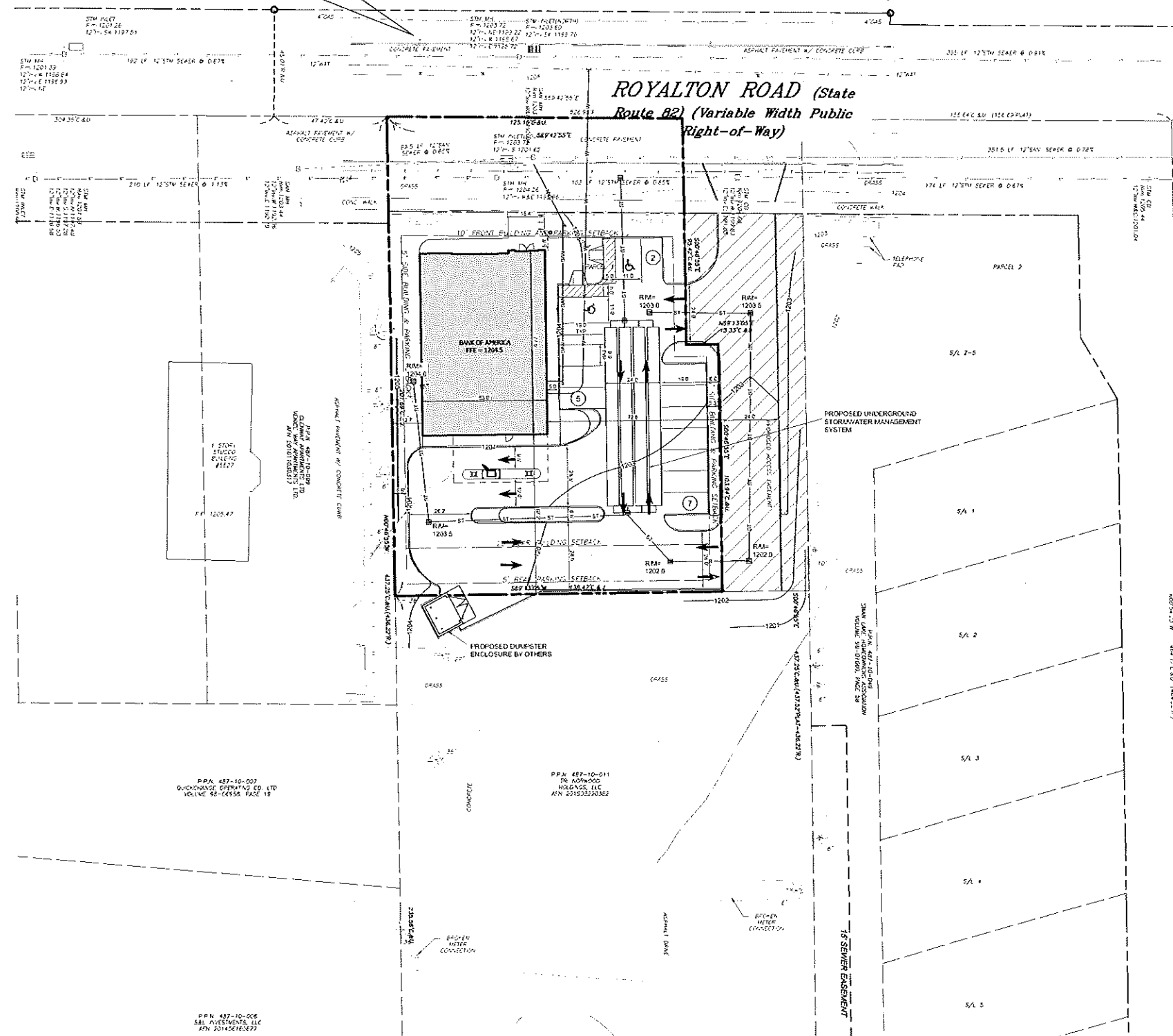
NOT TO SCALE



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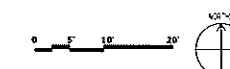
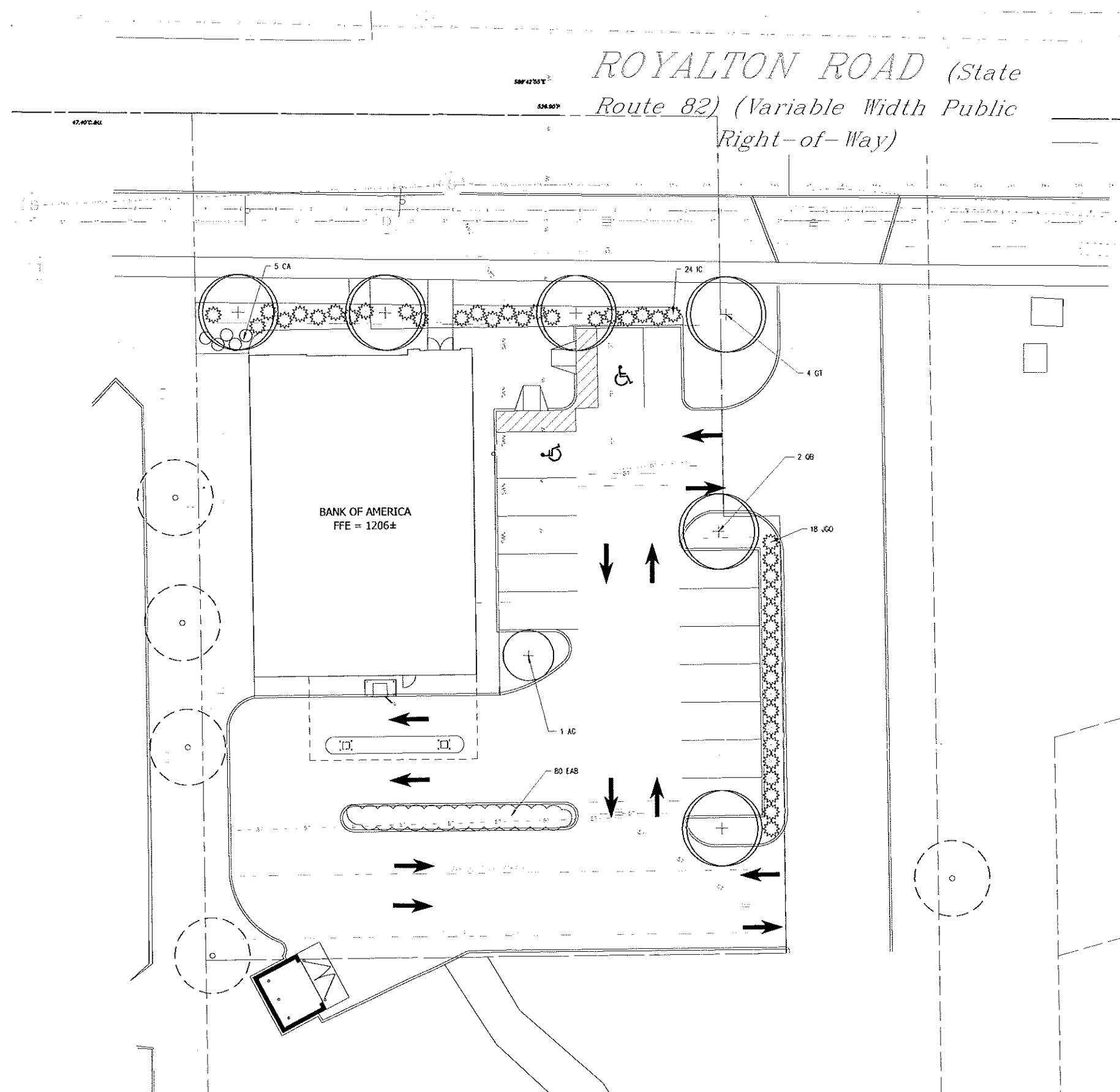
TEMPORARY
BENCHMARK:
TOP NUT OF
FIRE HYDRANT
ELEVATION 1206.46



PPN 487-10-006
S&L INVESTMENTS, LLC
ATTN: 20140616077

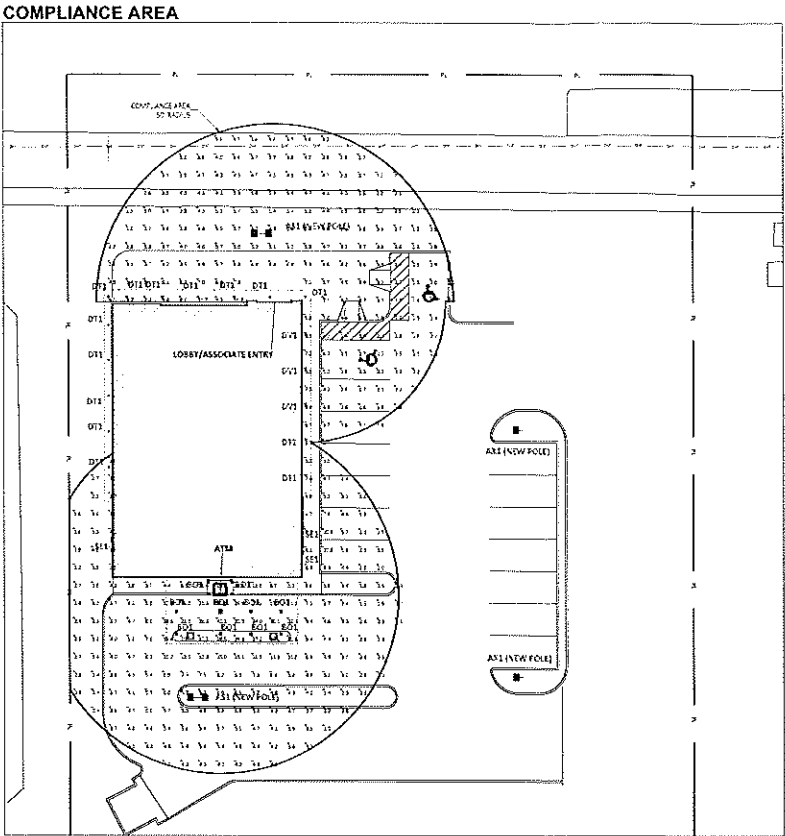
PPN 487-10-011
THE ASHWOOD
HOLDINGS, LLC
ATTN: 20160320002

Plant Schedule					
Key	Qty	Botanical / Common Name	Size	Cond.	Spacing
Trees					
AG	1	Amygdalin x grandiflora 'Autumn Brilliance' / Serviceberry	2"	B&B	See Plan
GT	2	Gleditsia triacanthos Inermis 'Skyline' / Skyline Honeylocust	2 1/2" Cal.	B&B	See Plan
QB	2	Quercus bicolor / Swamp Oak	2 1/2" Cal.	B&B	See Plan
Shrubs					
CA	5	Clethra alnifolia 'Hummingbird' / Summersweet Clethra	15"	No. 2	3' O.C.
IC	24	Ilex crenata 'Green Lustre' / Green Lustre Japanese Holly	24"	B&B	4' O.C.
JGO	18	Juniperus v. 'Grey Owl' / Grey Owl Juniper	30"	B&B	4' O.C.
Perennials					
EAB	60	Elymus arenarius 'Blue Dune' / Blue Dune Lyme Grass	Clump	No. 2	24" O.C.

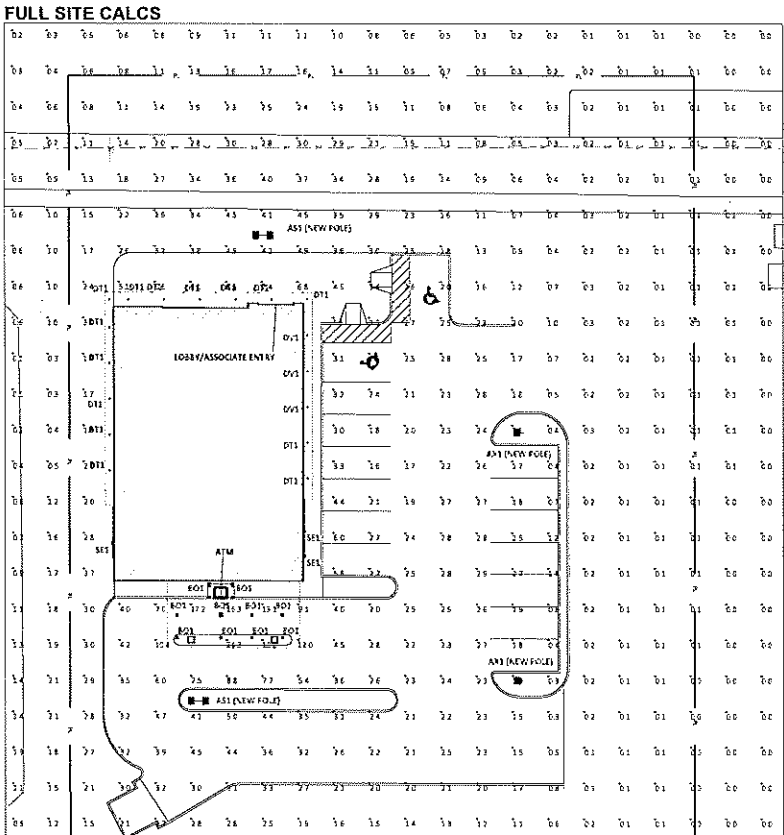




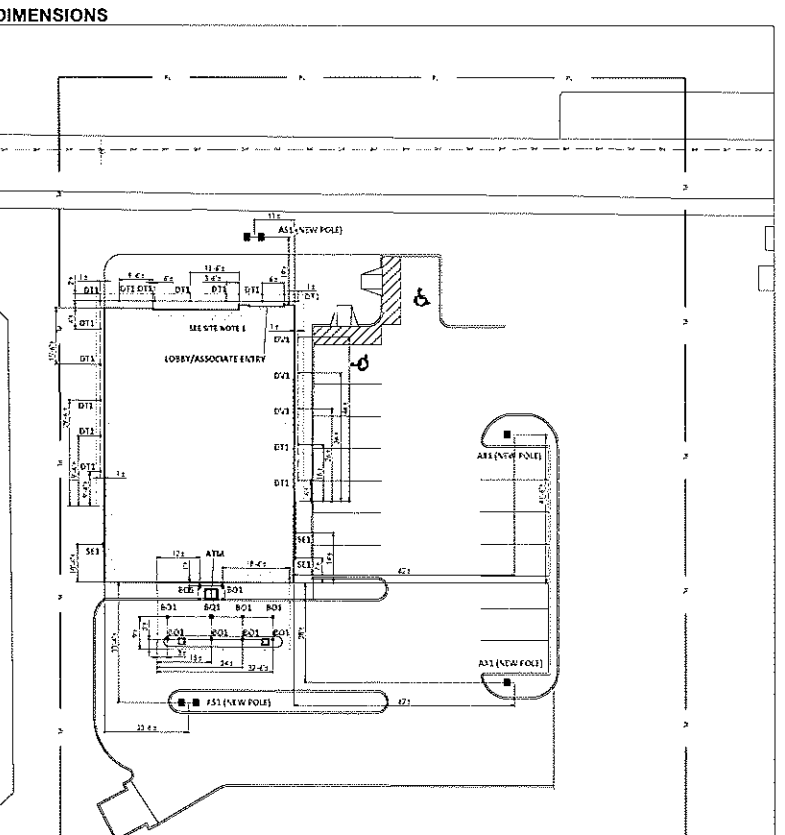
BLUE = NEW FIXTURE
GREEN = EXISTING FIXTURE LOCATION TO BE REPLACED
TURQUOISE = EXISTING FIXTURE TO BE REMOVED
PINK = REPLACE WITH NEW POLE AT NEW HEIGHT
--- = INDICATES NEW SECURITY FENCE
PL = PROPERTY LINE BASED ON COUNTY APPRAISAL INFORMATION



SCALE: 1/2" = 1'-0"



SCALE: 1/2" = 1'-0"



SCALE: 1/2" = 1'-0"

N.T.S.
v1 210804

DESIGN NO.	REVISION	DATE
1		



North Royalton
OH-176
5389 Royalton Rd
North Royalton, OH

SITE DETAILS

DESIGN BY	JWG	DRAWN BY	RCS
REVIEWED BY	AWD	APPROVED BY	KRM

SHEET 1/2
LU-1

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	100' NEW POLE	1	EA	100.00	100.00
2	100' NEW POLE	1	EA	100.00	100.00
3	100' NEW POLE	1	EA	100.00	100.00
4	100' NEW POLE	1	EA	100.00	100.00
5	100' NEW POLE	1	EA	100.00	100.00
6	100' NEW POLE	1	EA	100.00	100.00
7	100' NEW POLE	1	EA	100.00	100.00
8	100' NEW POLE	1	EA	100.00	100.00
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NOTES:
1. THE SCOPE OF WORK FOR THIS PROJECT IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE FOLLOWING:
2. THE DESIGN AND CONSTRUCTION OF THE FOLLOWING:
3. THE DESIGN AND CONSTRUCTION OF THE FOLLOWING:
4. THE DESIGN AND CONSTRUCTION OF THE FOLLOWING:
5. THE DESIGN AND CONSTRUCTION OF THE FOLLOWING:
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8. THE DESIGN AND CONSTRUCTION OF THE FOLLOWING:
9. THE DESIGN AND CONSTRUCTION OF THE FOLLOWING:
10. THE DESIGN AND CONSTRUCTION OF THE FOLLOWING:

CONSTRUCTION PLAN NOTES:

- A. ALL PARTITIONS TO BE TYPE "A1", UNLESS OTHERWISE NOTED. REFER TO SHEET A12.01 FOR PARTITION TYPES.
- B. UNLESS OTHERWISE NOTED, LOCATE HINGE SIDE OF ALL DOORS 6" FROM ADJACENT PERPENDICULAR PARTITION.
- C. CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL EQUIPMENT AND ACCESSORIES MOUNTED ON WALLS.
- D. DIMENSIONS PROVIDED ARE SHOWN FROM FACE OF GYP UNLESS OTHERWISE NOTED.

CONSTRUCTION KEY NOTES:

1. TACTILE EXIT SIGNAGE. SEE 9/AD0-40.
2. APPROXIMATE LOCATION OF KNOX BOX. COORDINATE WITH LOCAL FIRE AUTHORITY FOR FINAL LOCATION.
3. LADDER TO ROOF HATCH - SEE DETAIL ON SHEET A09.29.
4. ROOF HATCH ABOVE - SEE DETAIL ON SHEET A09.29.
5. PROVIDE ROLLER SHADE WITH VALANCE. TOP SIDE MOUNTED.
6. PROVIDE FIRE RATED 3/4" PLYWOOD BACKBOARD ON ALL WALLS. H = 8'-0".
7. 82" DISPLAY MEDIA MONITOR. SEE ELECTRICAL FOR MORE INFORMATION. COORDINATE WITH ELECTRICAL DRAWINGS AND TECHNOLOGY VENDOR. REFER TO INSTALLATION INSTRUCTIONS AND PROVIDE BLOCKING IN WALL AS REQUIRED.
8. FLAGPOLE.
9. NO WATER PIPING SHALL BE ROUTED THROUGH OR OVERHEAD THIS ROOM.
10. LOCATION OF TRASH CONTAINER.
11. LOCATION OF MOP BUCKET.
12. PROVIDE LOCKING IN WALL AS REQUIRED FOR LOCKERS. COORDINATE WITH VENDOR.

CONSTRUCTION PLAN LEGEND:

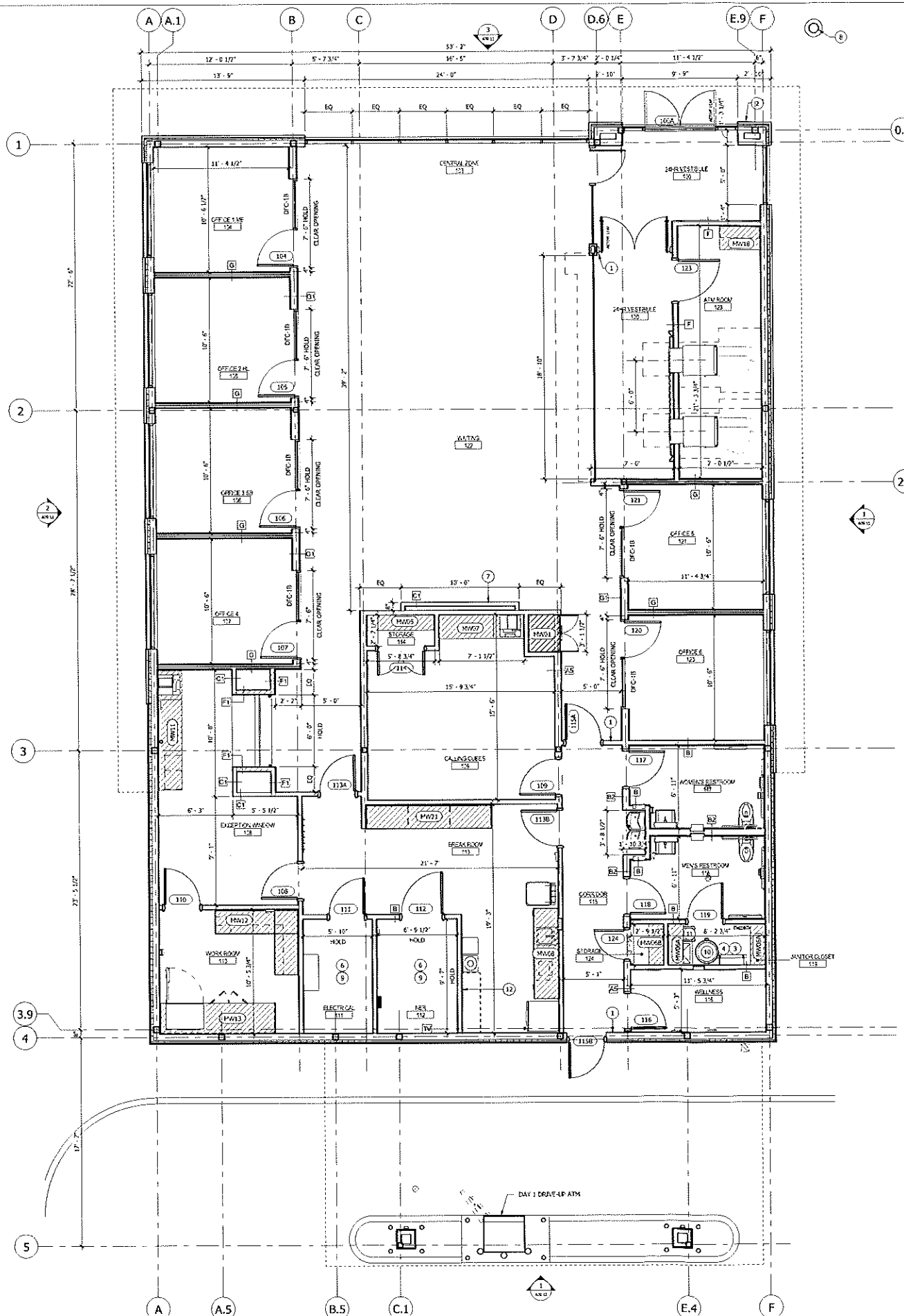
- NIC NOT IN CONTRACT (NIC)
- A1 NEW PARTITION (SEE SCHEDULE)
- NEW PARTITION WITH PLY BLOCKING
- NEW PARTITION WITH KEVLAR REINFORCEMENT
- OFFICE ROOM NAME
- 04F06 ROOM NUMBER
- XXXX DOOR NUMBER (SEE SCHEDULE)
- ELEVATION DATUM POINT
- ALIGN ALIGN SURFACES
- MILLWORK MILLWORK SCHEDULE TAG
- FIRE EXTINGUISHER CABINET
- NEW SWING DOOR WITH DOOR TYPE. (SEE DOOR SCHEDULE)

EXTERIOR ELEVATION INDICATOR

- ROW ON ELEVATION SHEET WHERE SHOWN
- DIRECTION OF ELEVATION VIEW
- SHEET WHERE SHOWN
- DESCRIPTION OF SIMILAR OR OPPOSITE DETAIL NUMBER
- AREA TO BE DETAILED

INTERIOR ELEVATION INDICATION

- LOCATION ON ROW WHERE SHOWN
- ROW ON ELEVATION SHEET WHERE SHOWN
- DIRECTION OF ELEVATION
- SHEET WHERE SHOWN
- DIRECTION OF SECTION/ELEVATION
- SHEET WHERE SHOWN



EXTERIOR FINISH SCHEDULE:

STUCCO/PLASTER

PT-3 PAREX ARMOURWALL 300 STUCCO ASSEMBLY; BENJAMIN MOORE: CHARCOAL SLATE FLAT

STUCCO ACCESSORIES

SA-2 NARROW CHANNEL SCREED AS SPECIFIED; PAINT TO MATCH STUCCO FINISH COLOR
C3 CONTROL JOINT; PAINT TO MATCH STUCCO FINISH COLOR

ALUMINUM COMPOSITE METAL PANEL (B.O.D. - CITADEL)

EPS-1 CITADEL ENVELOPE 2000 RAINSCREEN (RS); CLEAR SATIN ANODIZED
EPS-3 CITADEL ENVELOPE 2000 RAINSCREEN (RS); ARCTIC WHITE SATIN

FORMED METAL WALL PANEL SYSTEM (PURE & FREEFORM)

EPS-5 HORIZONTAL FORMED WALL METAL PANEL; ROMA NOCE #S10-13 SATIN

FLASHING BASE

SS-1 BRAKE METAL BASE AT PT-3 - COLOR TO MATCH PT-3
SS-2 BRAKE METAL BASE AT EPS-3 - COLOR TO MATCH EPS-3
SS-3 BRAKE METAL BASE AT EPS-5 - COLOR TO MATCH EPS-5

EXTERIOR GLAZING

GL-1 1" HEAT STRENGTHENED TEMPERED INSULATED GLAZING AS SPECIFIED
GL-2 1" TEMPERED INSULATED GLAZING AS SPECIFIED

ALUMINUM GLAZING FRAME

AF-2 ALUMINUM STOREFRONT SYSTEM; CLEAR ANODIZED ALUMINUM FINISH

EXTERIOR PAINT

EPT-1 EXTERIOR PAINT; BENJAMIN MOORE: CHARCOAL SLATE FLAT

EXTERIOR SEALANT COLOR

GLAZING AT EXTERIOR STOREFRONT	BLACK
METAL PANEL TO METAL PANEL	MATCH CLIP
WINDOW FRAME/STOREFRONT TO STUCCO	MATCH FRAME
WINDOW FRAME/STOREFRONT TO METAL PANEL	MATCH FRAME
METAL PANEL TO STUCCO	MATCH STUCCO

EXTERIOR GENERAL NOTES:

- CONTRACTOR TO COORDINATE ELECTRICAL SERVICE FOR WALL MOUNTED SIGNS WITH OWNER. SIGN VENDOR TO DETERMINE EXACT MOUNTING LOCATION(S).
- SIGNAGE SHOWN FOR REFERENCE ONLY - TO BE COVERED UNDER SEPARATE DESIGN AND PERMIT BY OWNER VENDOR.
- REFER TO A12.11 FOR ENTRANCE DOOR HARDWARE WIRING DIAGRAM.
- REFER TO DETAIL SHEETS FOR TYPICAL WINDOW FLASHING DETAILS.

EXTERIOR KEY NOTES:

- BANK OF AMERICA SIGN BY OWNER. COORDINATE SIGNAGE LOCATIONS AND POWER REQUIREMENTS WITH VENDOR.
- PROVIDE END FLASHING AND SEALANT AT PARAPET FACE AND ADJACENT CAP.
- 30' GROUND MOUNTED FLAG POLE - PROVIDED BY CONTRACTOR. FLAG IS FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR.
- LIGHT FIXTURE MOUNTED ON TOP OF FLAG POLE. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- EXTERIOR SECURITY CAMERA. COORDINATE LOCATIONS AND TYPE WITH SECURITY VENDOR.
- GC TO COORDINATE WITH LOCAL FIRE AUTHORITY FOR MOUNTING HEIGHT AND LOCATION OF THE KNOX BOX.

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Email: rsullivan@nelsonnm.com

AOR Contact: Vincent Duet
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Email: dmyers@thorsonbaker.com

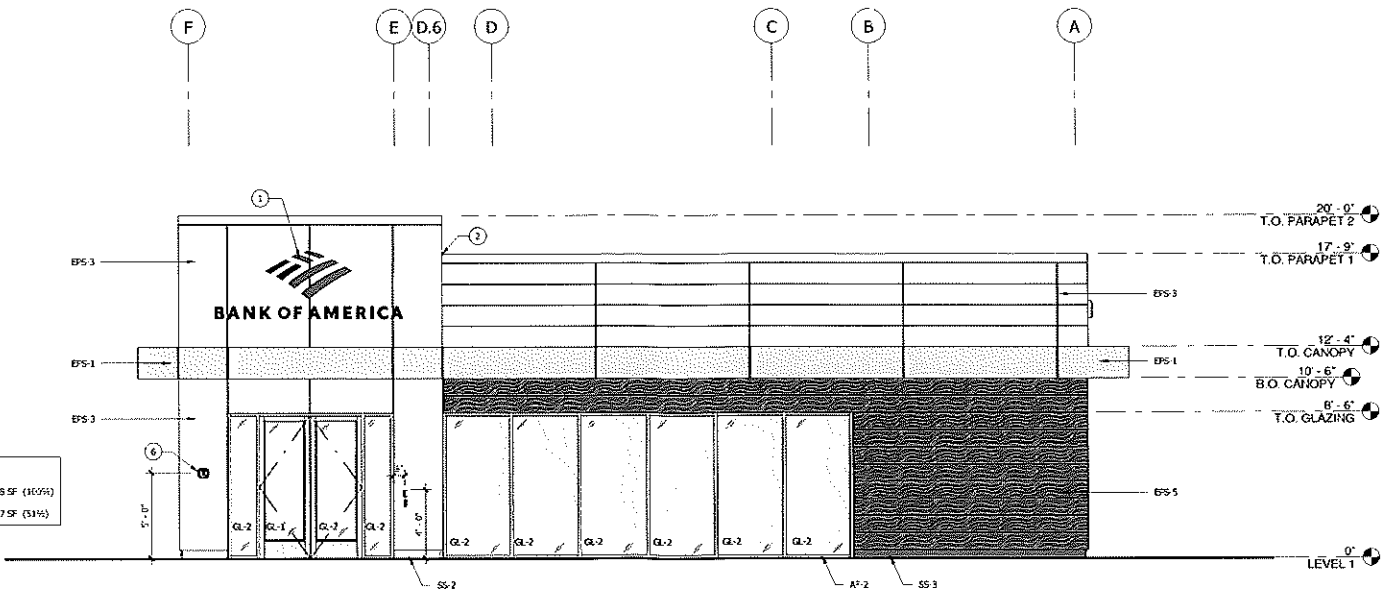
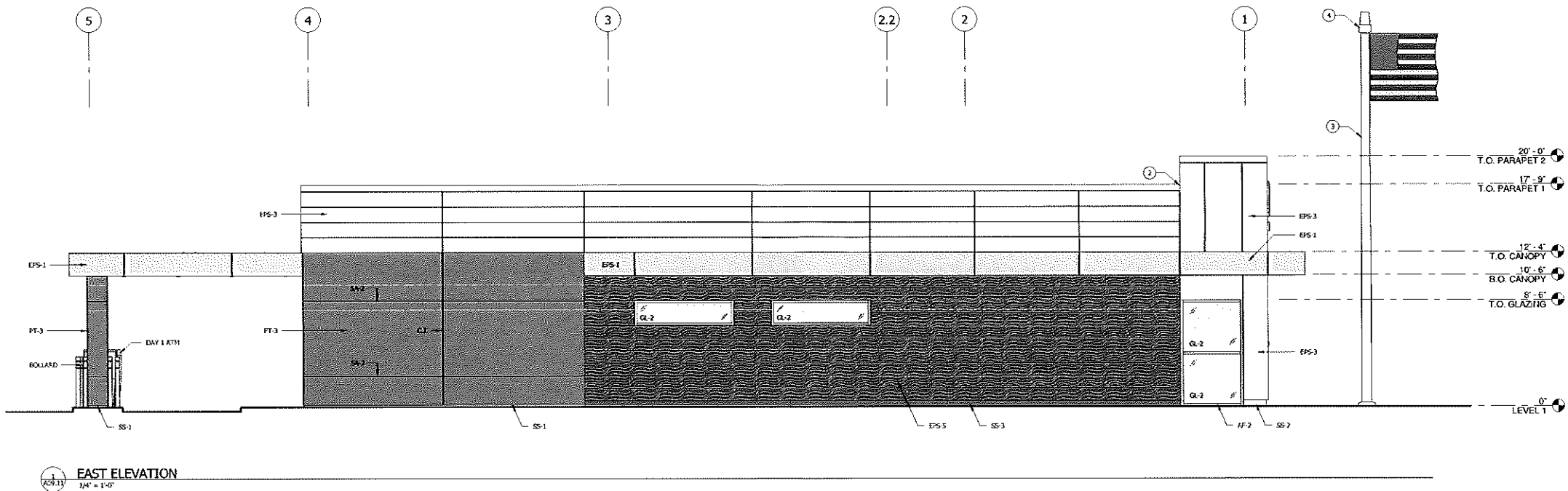
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MEP:

Thorson Baker + Associates
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Description	Rev	Date
Issued for Schematic Design	01	06/14/2020
Issued for Design Development	02	07/28/2020
Issued for CD/CG	03	07/28/2020
Issued for Planning Review	04	08/06/2020



BANK OF AMERICA
North Royalton

5389 Royalton Road
North Royalton, Ohio 44133

PROPERTY ID: OHW-176
NSRP VERSION: 2.0
SHEET: 2-2021

EXTERIOR ELEVATIONS

Project No: 20-0002136-000 Reviewed By:

A09.11

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EXTERIOR PAINT

EXT-1 EXTERIOR PAINT; BENJAMIN MOORE: CHARCOAL SLATE FLAT

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Drawings: No. 0000
Issued for Architect Design: 06/14/2020
Issued for Design Development: 07/23/2020
Issued for CD/COC: 07/24/2020
Issued for Permit Review: 05/05/2021

BANK OF AMERICA
North Royalton

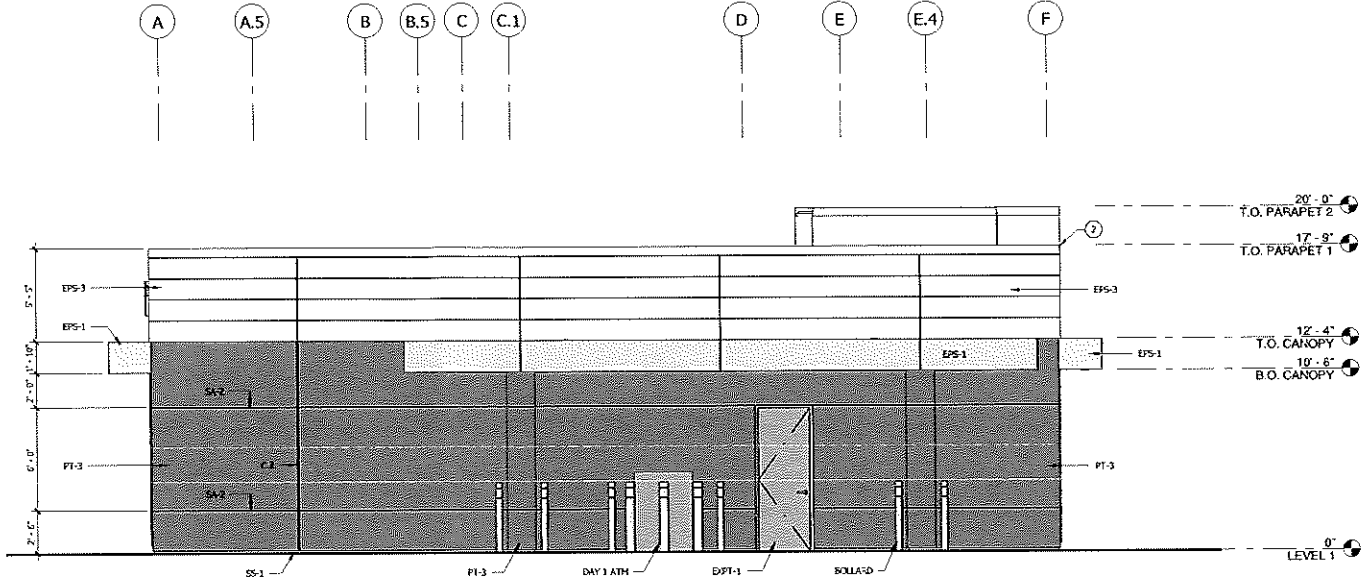
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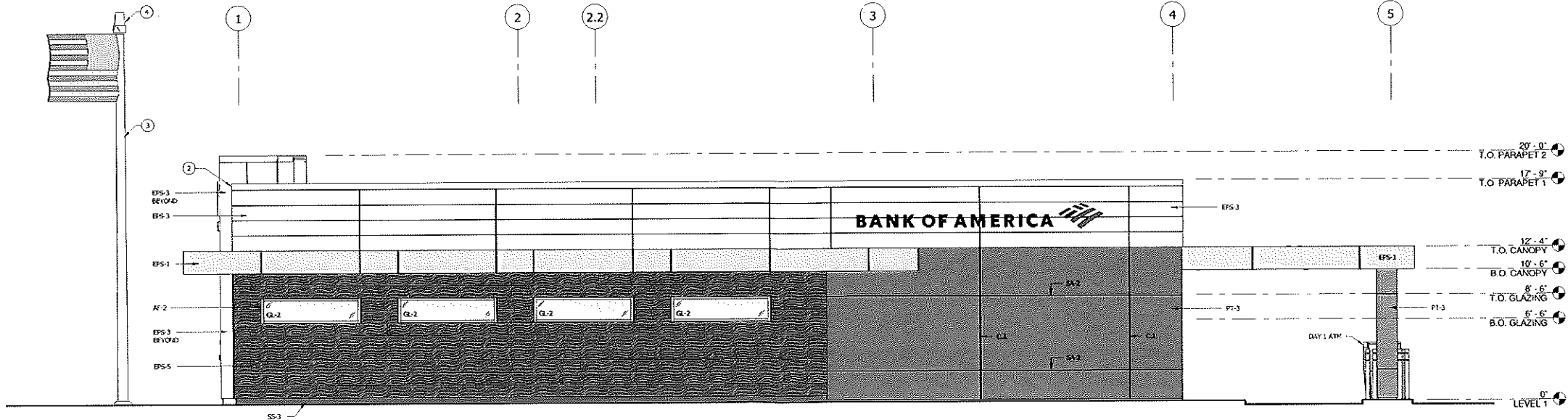
EXTERIOR ELEVATIONS

Project No. 200002136-000 Reviewed By:

A09.12



SOUTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"