City of North Royalton

Mayor Larry Antoskiewicz

Community Development, Building Division

Dan Kulchytsky Building Commissioner

11545 Royalton Road, North Royalton, OH 44133

Phone: 440-582-3001 Fax: 440-582-3089

RECEIVED
NOV 01 2021
CITY OF NORTH ROYALTON
BUILDING DEPT.

PLANNING COMMISSION APPLICATION - INSTRUCTIONS AND CHECKLIST

Use the following checklist to ensure accurate completion of the application:

☐ APPLICATION - Submit the completed application. Type or print all information in ink. Fill in the forms completely. Incomplete forms shall delay processing and placement on an agenda.

☐ SUBMISSION – Provide a digital (PDF) copy and ten (12) copies of the entire submittal package (not including instruction and checklist pages). The drawings shall consist of one (1) full size set and twelve (12) eleven inch by seventeen inch (11" by 17") sets. All drawings shall be to scale. The submission shall include: a description of property or portion thereof, site plans that show setbacks and topography, floor plans, elevations, renderings and other drawings at a reasonable scale that convey the proposed project and illustrate the conditions present at the subject property.

☐ PROOF OF OWNERSHIP, LEGAL INTEREST OR WRITTEN AUTHORITY - Property owners and applicants must attend all meetings. If the property involved is not registered in the same name in the County records as the property owner on the application, an agent or representative must submit written notarized consent from the property owner and this must be presented with this application. The applicant or a designated representative must be present at all official meetings. If the individual present is an owner's representative, then a notarized letter granting permission for the representative to make decisions on the owner's behalf shall be submitted.

☐ PAYMENT - Attach a check or money order payable to the City of North Royalton for the appropriate amount noted on the Fee Schedule. Cash is accepted only in person. All fees are payable subject to section 214.07(b) of the codified ordinances and are nonrefundable.

(1)	Subdivision and/or consolidation of property.		
	(A)	Parcel split or consolidation (one)	$50.00
	(B)	Parcel split or consolidation (two through five)	$100.00
	(C)	Parcel split or consolidation (six through ten)	$150.00
	(D)	Parcel split or consolidation (eleven and greater)	$250.00
(2)	Site plan review.		
	(A)	Residential Subdivision	$10.00 per lot, per submittal
	(B)	Cluster development	$25.00 per unit, per submittal
	(C)	Two-family three-family development	$25.00 per unit, per submittal
	(D)	Multifamily (four or more attached units)	$25.00 per unit, per submittal
	(E)	Motel or hotel	$25.00 per unit
	(F)	Planned unit development - Single-family	$10.00 per unit or lot
	(G)	Planned unit development - Multifamily	$25.00 per unit
	(H)	Commercial and Industrial	
		4,000 square feet and less	$200.00
		4,001 square feet to 10,000 square feet	$250.00
		10,001 square feet to 20,000 square feet	$300.00
		20,001 square feet to 50,000 square feet	$400.00
		50,001 square feet and greater	$600.00

☐ OTHER - Any other documents deemed necessary by the Building Commissioner.

☐ EXTRA COSTS - Any extra costs or additional work performed by the Law Department or the City Engineer or any other department of the Municipality, including but not limited to engineering and architectural services, in connection with the matter contained in the application, shall be added to the application fee and the applicant shall bear all additional expenses.

PLANNING COMMISSION - 2021 SCHEDULE

The Planning Commission meeting is held at the North Royalton City Hall Council Chambers (14600 State Road, North Royalton, Ohio). The Planning Commission Caucus begins at 6:45 pm followed by the Planning Commission Meeting at 7:00 pm.

MEETING DATE	MEETING DEADLINE (Noon)
January 6, 2021	December 7, 2020
February 3, 2021	January 4, 2021
March 3, 2021	February 1, 2021
April 7, 2021	March 8, 2021
May 5, 2021	April 5, 2021
June 2, 2021	May 3, 2021
July 7, 2021	June 7, 2021
August 4, 2021	July 2, 2021
September 8, 2021	August 9, 2021
October 6, 2021	September 3, 2021
November 4, 2021	October 4, 2021
December 8, 2021	November 8, 2021
January 5, 2022	December 6, 2021

OTHER INFORMATION

1. REVIEW FOR COMPLETENESS BY THE BUILDING COMMISSIONER - Upon receipt the Building Commissioner shall make a preliminary review of the submission to determine whether such application provides the information necessary for review and evaluation. If it is determined that such application does not provide the information necessary for such review and evaluation, the Building Commissioner shall so advise the applicant of the deficiencies and shall not further process the application until the deficiency is corrected.

2. C.O. 1220.08 JURISDICTION - The Planning Commission shall have jurisdiction over any plan, process or related matter affecting the use of land.

City of North Royalton

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Community Development, Building Division
Dan Kulchytsky Building Commissioner

11545 Royalton Road, North Royalton, OH 44133

Phone: 440-582-3001 Fax: 440-582-3089

CITY OF NORTH ROYALTON PLANNING COMMISSION APPLICATION

1. This request is made for the following property:

6031 Royalton Road	Patio 82, LLC
Address	Name of Occupant, Business or Tenant (if applicable)
487-05-022	Traditonal Town Center (TCD)
Permanent Parcel Number	Zoning District and Ward

2. Property Owner of Parcel:

Patio 82, LLC	Fire 45 (updated from Islander Grille)
Name	Name of Business (if applicable)
5781 Pearl Road	330-807-8678
Address	Phone
Middleburgh Hts., Ohio 44130	Chad.Trush@yahoo.com
City, State and Postal Code	Email (electronic mail)

3. This request is being made by the following responsible party (Owner / Authorized Representative):

Chad Trush	Patio 82, LLC
Name	Name of Business (if applicable)
5781 Pearl Road	330-807-8678
Address	Phone
Middleburgh Hts., Ohio 44130	Chad.Trush@yahoo.com
City, State and Postal Code	Email (electronic mail)

For Office Use Only

11.1.2021	11.4.2021	
Date Application Submitted	Meeting Date Assigned	Identification Number Assigned
$100	Cash	KR
Application Fee	Payment Information (date, check number, cash, etc.)	Application Fee Received By

Other Application Fee Information

4. Narrative statement describing the project and its features:

Submittal provides design updates to previously approved renovations.

Design updates include:

Entry design change to correct technical issues with prior design, improve entry design .

Add sign fascia to improve building and sign visibility from Royalton Road.

Add enclosed dining room 2 in lieu for outdoor patio.

Redesign east wall of patio 1 to allow installation or vinyl curtains to permit room to be used all year, add heating and cooling to patio 1.

Provide design at east patio wall for future operable windows.

Revise fireplace at patio 2 to a linear fire pit.

Finishes and materials are similar to prior submittal, replace stucco with masonry, update to lower maintenance and longer life materials.

Add screening to all roof mount equipment at patio 1

5. Applicant's Plan Request: (please mark appropriate box)

Commercial / Industrial / Residential:

- ☐ Preliminary Site Plan Approval
- ☑ Final Site Plan Approval

Subdivision:

- ☐ Sketch Plan Approval
- ☐ Preliminary Site Plan Approval
- ☐ Final Site / Preliminary Plat Approval
- ☐ Final Plat / Dedication Approval

The Planning Commission or its agent(s) is hereby authorized to enter upon the property for which his approval is sought, without further notification, to inspect said property. Any such inspection shall be conducted between the hours of 9 a.m. and 5 p.m. on any day of the week, including weekends.

I further understand that any misrepresentation of data or facts or violations of the Ordinances of the City of North Royalton are cause for refusal, suspension or revocation of this license if issued.

Applicant Signature	Chad Trush Printed Name and Title	11-01-2021 Date
Owner Signature	Chad Trush Printed Name and Title	11-01-2021 Date

6. Written Authority Form (complete this form if you are unable to be present at meeting). (submit original – do not fax or email)

I, _____ (name) of _____ (company, if applicable), hereby certify that I/we are the _____ (owner(s), executor(s), etc.) of _____ (property address or permanent parcel number) and further verify that _____ **(name of representative)** is authorized to represent my/our interests and make decisions on my/our behalf when appearing before the North Royalton Planning Commission.

_____ _____

Signature Date

Before me, a Notary Public in and for said county, personally appeared _____ who acknowledged that he or she did sign the foregoing instrument and the same is his or her free act and deed.

In testimony where of I have hereunto set my hand and official seal at _____, Ohio on this _____ day of _____, 20_____.

_____

Notary Signature

Seal:

State of Ohio
County of Cuyahoga

CITY OF NORTH ROYALTON PLANNING COMMISSION APPLICATION
REQUIRED INFORMATION FOR REVIEW

GENERAL INFORMATION

- Name of development; name, address and telephone number of owner, architect, or engineer.
- Street address, permanent parcel number.
- North arrow, date.
- Location map, or indicate nearest intersection.
- Any additional information as required by Building Commissioner and/or City Engineer.

EXISTING CONDITIONS

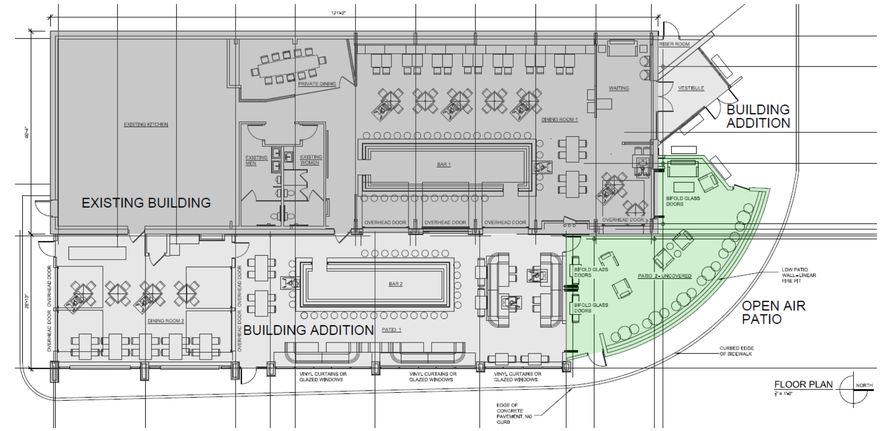
- Zoning on the site and adjacent to the site.
- Location of buildings and grade on adjacent sites within 100' of property lines.
- Utilities on and adjacent to site, including size of storm and sanitary sewers, water lines, and hydrant locations.
- Existing roads, sidewalks.
- Topography at contour intervals of no more than 2'.
- Centerline elevations of adjacent street(s).
- Bearings and distances of property lines.
- Lot area calculations.
- Adjacent property ownership.
- Existing easements.
- Legend for all symbols used on plans.
- Any additional information as required by Building Commissioner and/or City Engineer.

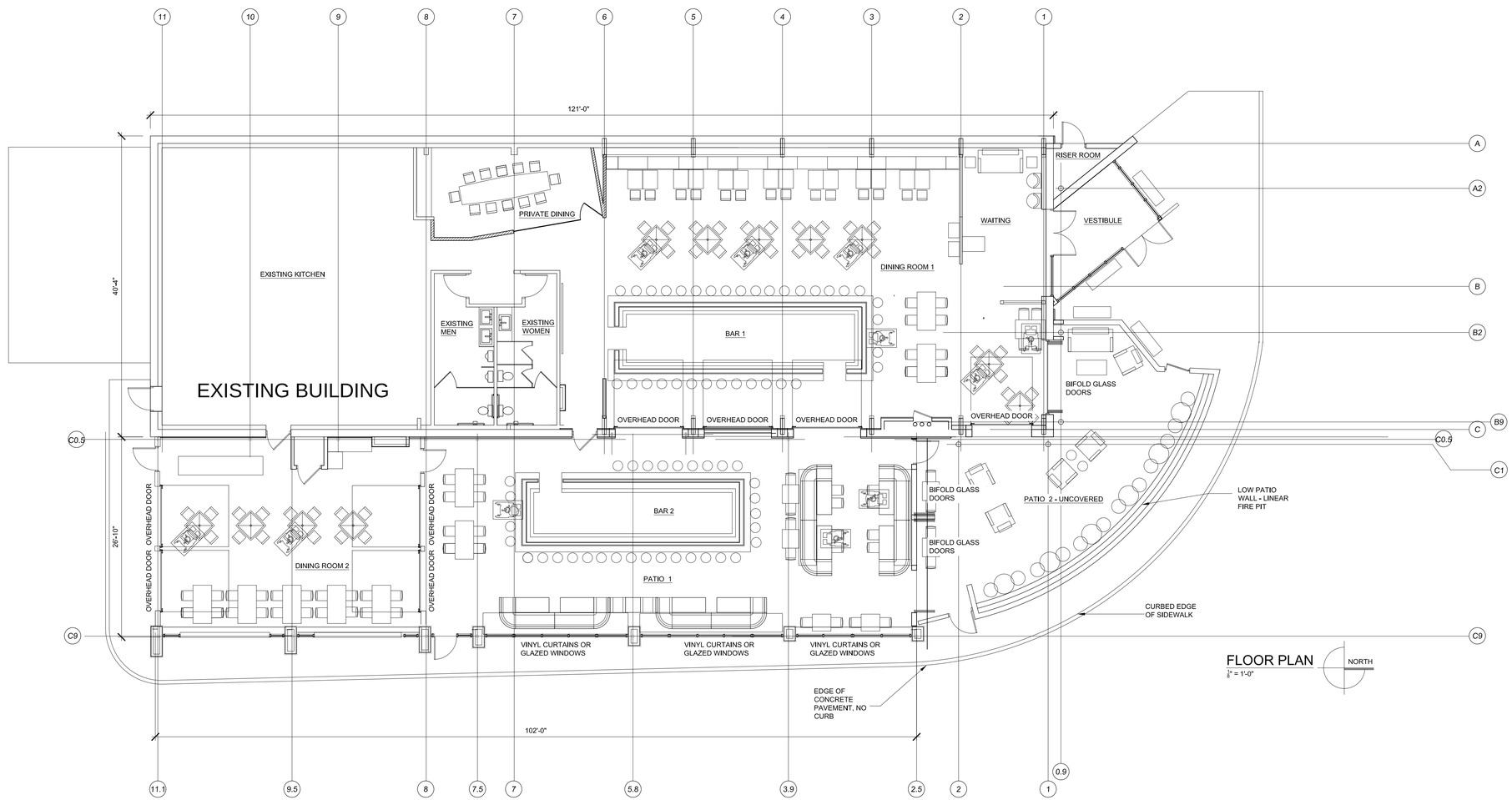
PROPOSAL

- Location, type, use and dimensions of all structures, including signs, fences, dumpster enclosures.
- Finished floor and yard grades.
- Final contours.
- Statement on calculations for required parking spaces.
- Parking spaces and aisles, including typical dimensions.
    - Concrete curb or precast concrete barriers at pavement perimeter.
    - Paving specifications, including concrete aprons.
- Exterior lighting.
- Floor plans.
- Elevation views and rendered perspective view.
- Exterior samples, colors of all materials.
- Landscape material.
- Proposed storm, sanitary, and water lines (with all appropriate details and classification of materials.)
- Consideration shown for storm water management per Chapter 1481 of the North Royalton Codified Ordinance.
- Sidewalk.
- Legend for all symbols used on plan.
- Any additional information as required by Building Commissioner and/or City Engineer.

THE ABOVE REQUIREMENTS CONSTITUTE A MINIMUM SUBMITTAL.

FAILURE TO MEET THESE REQUIREMENTS WILL AUTOMATICALLY CONSTITUTE NON-APPROVAL OF THE SUBMISSION.





DPA
David Ports Architect inc
8223 BRECKSVILLE RD
SUITE 3
BRECKSVILLE, OHIO 44141
P. 440.526.6978
portsarchitects.com

SEAL

FIRE 45
patio · grille · social
6031 ROYALTON ROAD (SR 82)
NORTH ROYALTON, OHIO 44133

DATE	ISSUE/REVISION
11-01-2021	PC SUBMITTAL

FLOOR PLAN

DRAWING NUMBER

PC1.0

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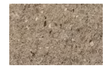
EAST PATIO WALL WITHOUT WINDOWS

EAST PATIO WALL WITH OPEN WINDOW AREA



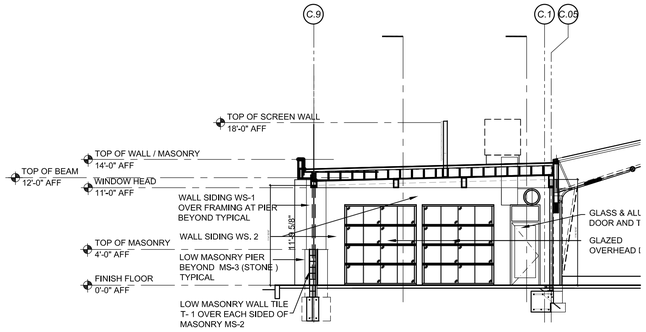
MASONRY AT ADDITION WALLS & PAINT COLOR OF EXISTING MASONRY WHERE NOTED

MANUFACTURED STONE CLADDING COLUMN ENCLOSURE BASES AND LOW PATIO WALL AREAS WHERE NOTED

COMPOSITE WOOD SIDING MATERIAL EXISTING AND NEW BUILDING WALL SURFACES WHERE NOTED

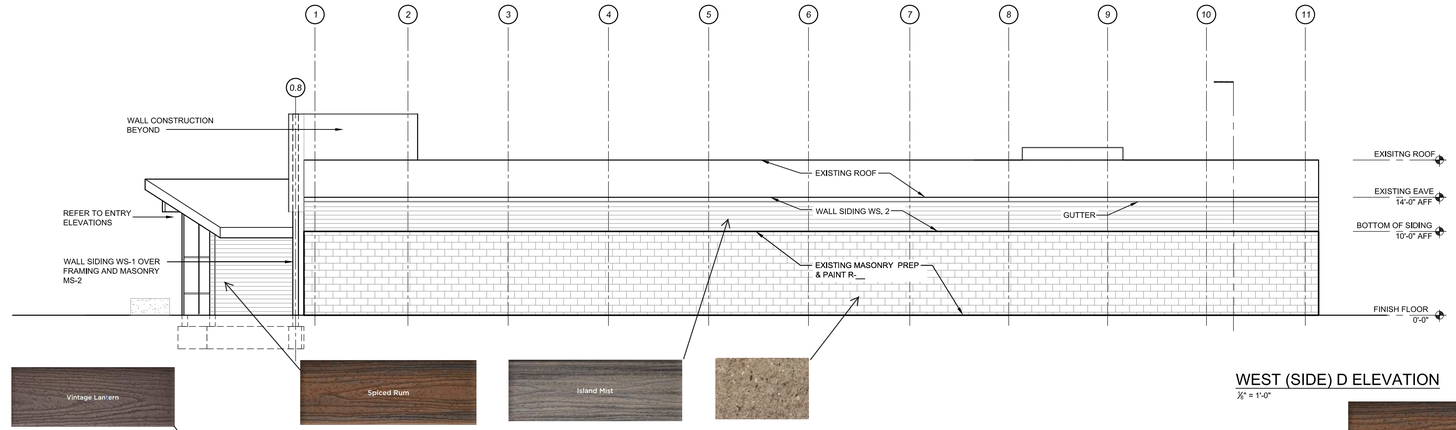
COMPOSITE WOOD SIDING MATERIAL ADDITION COLUMN ENCLOSURES WHERE NOTED

COMPOSITE WOOD SIDING MATERIAL NEW BUILDING FACADE AND ENTRANCE WALL SIDING



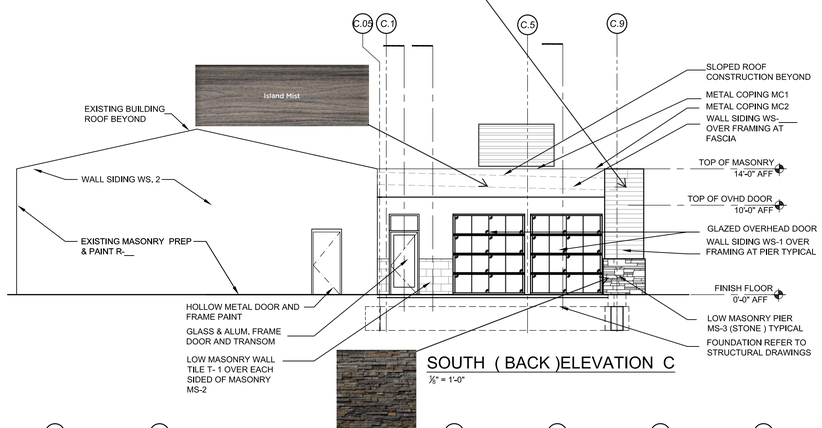
SECTION 1 - PATIO SOUTH WALL

1/8" = 1'-0"



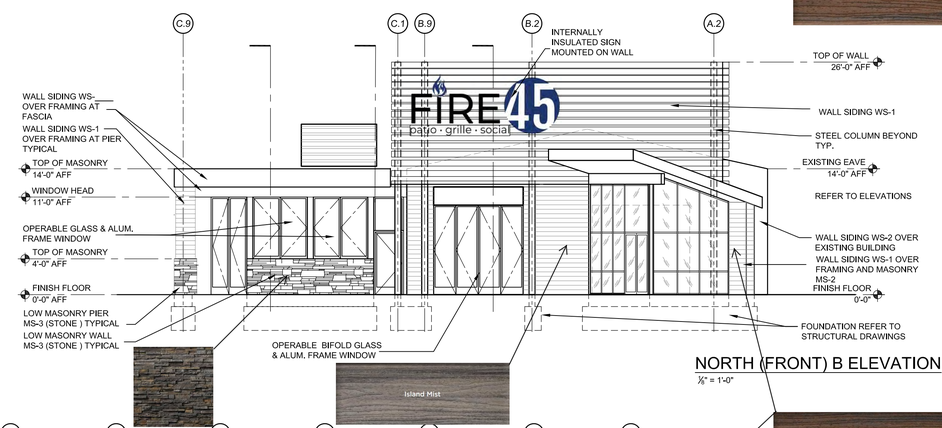
WEST (SIDE) D ELEVATION

1/8" = 1'-0"



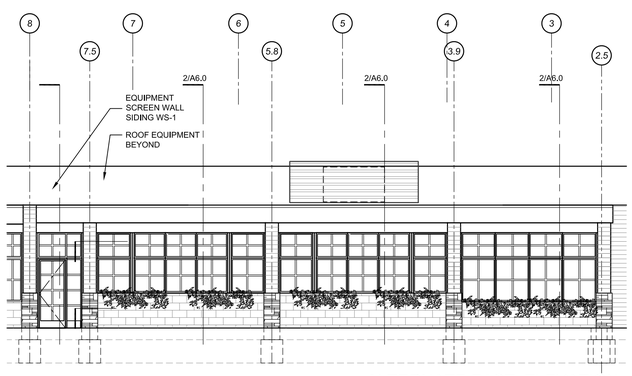
SOUTH (BACK)ELEVATION C

1/8" = 1'-0"

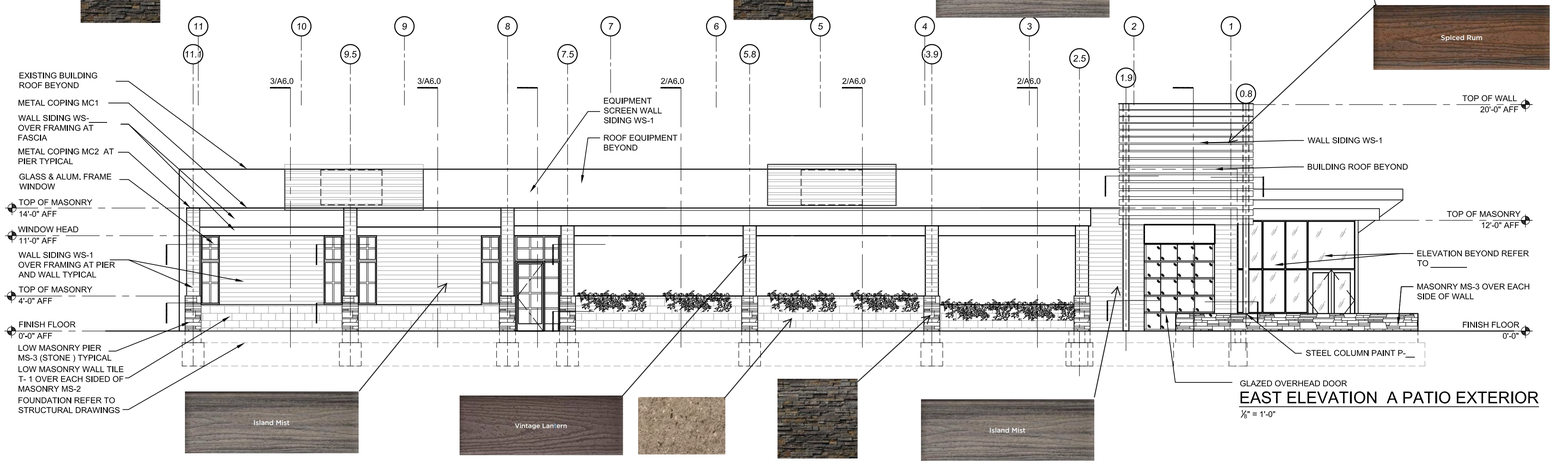


NORTH (FRONT) B ELEVATION

1/8" = 1'-0"



ALTERNATE EAST ELEVATION WITH WINDOWS



EAST ELEVATION A PATIO EXTERIOR

1/8" = 1'-0"

DPA
David Ports Architect inc
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P. 440.526.6978
portsarchitects.com

SEAL

FIRE 45 patio · grille · social

6031 ROYALTON ROAD NORTH ROYALTON, OHIO 44133

DATE	ISSUE/REVISION
11-01-2021	PC SUBMITTAL

EXTERIOR ELEVATIONS

DRAWING NUMBER

PC2.0

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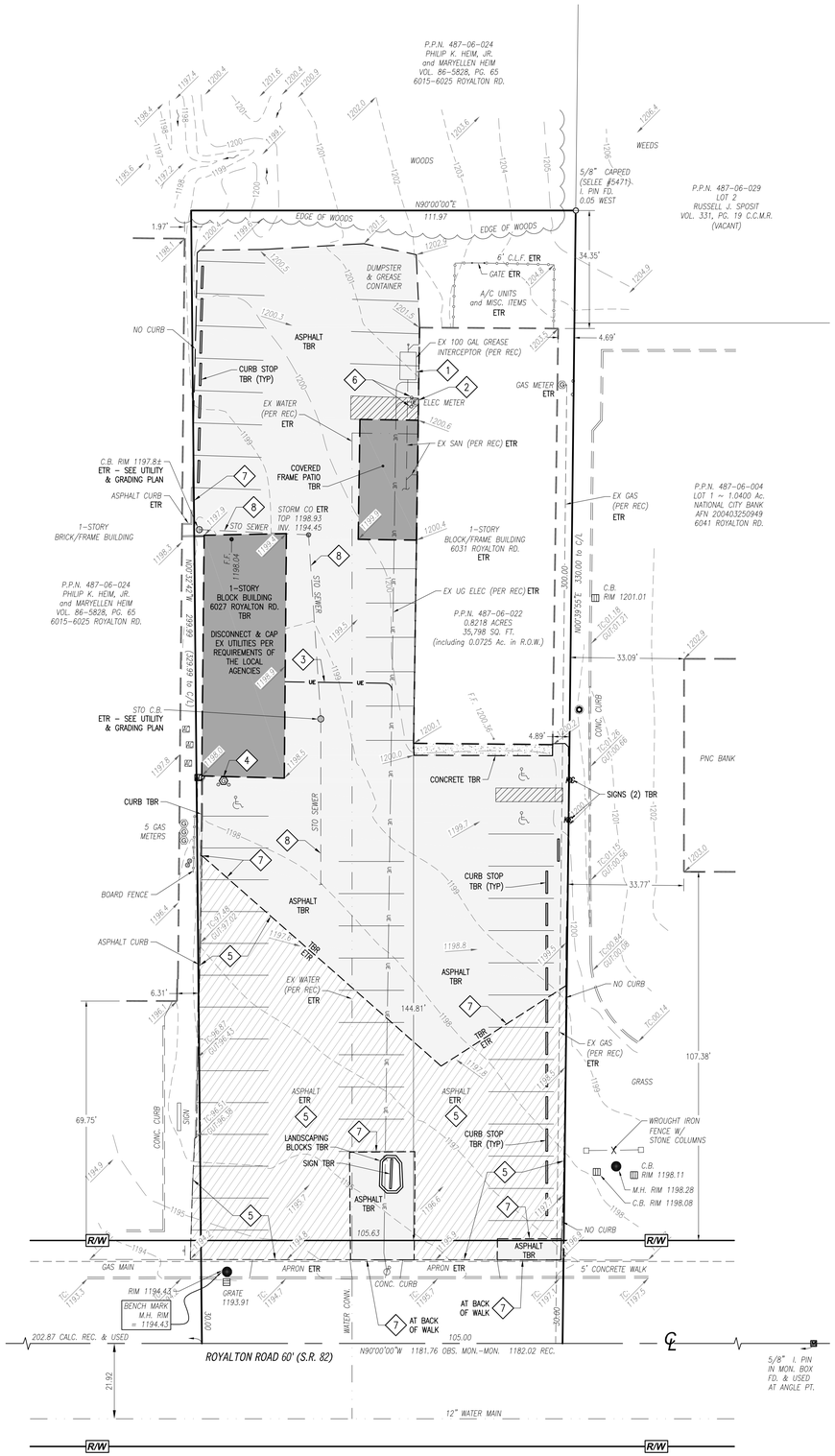


DEMOLITION PLAN KEY NOTE LEGEND

1. EX GREASE INTERCEPTOR (PER REC) – TO BE REMOVED/RELOCATED – SEE UTILITY PLAN
2. EX ELEC METER – SEE ARCH & MEP PLANS
3. EX ELEC SERVICE TO "1-STORY BLOCK BUILDING" IS TO BE DISCONNECTED PER REQUIREMENTS OF THE LOCAL AGENCY – ELEC SERVICE TO "1-STORY BLOCK/FRAME BUILDING" TO REMAIN
4. EX GAS METER & BOLLARDS – TBR – EX GAS SERVICE TO "1-STORY BLOCK BUILDING" IS TO BE DISCONNECTED & CAPPED PER COLUMBIA GAS OF OHIO REQUIREMENTS – GAS SERVICE TO "A-STORY BLOCK/FRAME BUILDING" TO REMAIN
5. CRACKFILL & SEALCOAT & RESTRIPE EXISTING ASPHALT TO REMAIN (TRANSVERSE HATCH) – SEE SITE PLAN FOR PROPOSED PAVEMENT MARKINGS
6. EX BOLLARD – TBR
7. MAKE FDSC AT LIMIT OF PAVT/CURB REMOVAL
8. ASSUMED LOCATION OF EXISTING STORM SEWER – FIELD VERIFY EXISTING STORM SEWER NETWORK (LOCATIONS, SIZES, MATERIALS, DEPTHS, ETC.) – SEE UTILITY PLAN

DEMOLITION PLAN NOTES

1. TBR = TO BE REMOVED
2. ETR = EXISTING TO REMAIN
3. FDSC = FULL DEPTH SAW CUT
4. OUPS SHALL BE CONTACTED 2 DAYS PRIOR TO ANY ON SITE EXCAVATION PERFORMED AS PART OF THIS PROJECT 1-800-362-2764.
5. THE MOST CURRENT VERSION OF OHIO'S RAINWATER AND LAND DEVELOPMENT MANUAL SHALL BE APPLICABLE TO THIS PROJECT.
6. THE CONTRACTOR SHALL CONDUCT OPERATIONS WITH A MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE THOROUGHFARES. MAINTAIN INGRESS EGRESS AND ACCESS AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ROADWAYS AND SIDEWALKS WITHOUT APPROPRIATE PERMITS.
7. CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL OF ALL STRUCTURES, PADS, WALLS, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES , ETC.... IN A LOCATION APPROVED BY ALL GOVERNING AGENCIES. ALL ITEMS REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL.
8. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL DEMOLITION RELATED PERMITS, INCLUDING AN EPA NOTICE OF INTENT, IF NECESSARY.
9. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES OR DEPARTMENTS PRIOR TO REMOVAL OR SHUTOFF OR INSTALLATION OF ANY UTILITIES. THE CONTRACTOR SHALL COORDINATE WORK WITH THE UTILITY COMPANIES AS TO WHICH PORTIONS ARE TO BE PERFORMED BY THE UTILITY COMPANY.
10. CONTRACTOR IS CAUTIONED THAT THE LOCATION AND/ OR ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS IN ADVANCE OF ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF THE UTILITIES.
11. EXISTING UTILITIES OR STRUCTURES NOT DESIGNATED FOR REMOVAL ARE TO REMAIN.
12. ALL WASTE OR DEBRIS GENERATED AS PART OF SITE DEMOLITION SHALL BE DISPOSED OF OFF SITE AS PER CURRENT GOVERNMENT REGULATIONS.
13. ALL PROJECT AREAS DESIGNATED TO BE PAVED OR BUILT UPON SHALL BE CLEARED AND GRUBBED AS PER PROJECT SPECIFICATIONS.
14. ANY FILL MATERIAL SALVAGED FROM GRADING OPERATIONS THAT CAN BE DETERMINED BY AN INDEPENDENT TESTING AGENCY TO BE SUITABLE, SHALL BE USED FOR FILL MATERIAL AS APPROPRIATE.
15. ALL EXISTING LANDSCAPING WITHIN THE PROJECT LIMITS SHALL BE REMOVED, EXCEPT AS SHOWN TO REMAIN. TREES BEING REMOVED SHALL HAVE THEIR STUMPS GROUND.
16. CONTRACTOR SHALL MAKE PROVISIONS FOR STORM WATER DURING DEMOLITION PROCESS.
17. ALL STRUCTURES, UTILITIES, ETC.. NOT DESIGNATED FOR REMOVAL SHALL BE PROTECTED BY THE CONTRACTOR DURING CONSTRUCTION.
18. DEMOLITION SHALL BE PERFORMED WITH CARE AND DUE DILIGENCE AS TO NOT DISRUPT THE OPERATION OF EXISTING UTILITY SERVICES TO REMAIN. ANY UTILITY DISCOVERED DURING DEMOLITION OR CONSTRUCTION, WHICH IS NOT SHOWN ON THE PLANS, SHALL BE REPORTED TO THE DESIGN ENGINEER FOR EVALUATION.
19. CONTRACTOR SHALL PROTECT ALL TREES AND LANDSCAPING NOTED TO REMAIN.
20. ALL ITEMS NOTED TO BE SALVAGED ARE TO BE PACKAGED BY THE CONTRACTOR AND TURNED OVER TO THE OWNER FOR REUSE. COORDINATE TURNOVER WITH OWNER.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, RELOCATION, AND MAINTENANCE OF ALL EROSION CONTROL AND SEDIMENT PRACTICES.
22. OWNER SHALL PROVIDE ABATEMENT RELATED TO ASBESTOS, LEAD CONTAINING MATERIALS, MERCURY, ETC.. AS NEEDED PRIOR TO DEMOLITION.
23. EXISTING PAVEMENT TYPES SHOWN ARE SURFACE CONDITIONS. DIFFERENT PAVEMENT TYPES MAY EXIST BELOW THE SURFACE. THE COST TO COMPLETELY REMOVE UP TO 12 INCHES OF ALL EXISTING PAVEMENT SECTIONS SHALL BE INCLUDED AS PART OF THE BID.
24. ALL LAWN AREAS REMOVED OR DISTURBED SHALL BE REPLACED BY SEEDING AND MULCHING IN ACCORDANCE WITH ITEM 659 OF ODOT SPECIFICATIONS AND SHALL BE RESEEDED AND MULCHED WHEN REQUESTED IF SATISFACTORY RE-ESTABLISHMENT OF LAWN DOES NOT OCCUR.

PROJECT GENERAL NOTES

1. ALL CONSTRUCTION AND MATERIALS INCLUDED ON THIS PROJECT SHALL BE IN ACCORDANCE WITH THE LATEST STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS AND THE CITY ENGINEER.

2. ANY DEFECTS IN THE CONSTRUCTION WITHIN THE RIGHT OF WAY INCLUDING MATERIALS OR WORKMANSHIP SHALL BE REPLACED OR CORRECTED BY REMOVAL AND REPLACEMENT BY THE CONTRACTOR OR OTHER APPROVED METHODS PRIOR TO ACCEPTANCE BY THE MUNICIPAL ENGINEER AT NO ADDITIONAL COST.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO ROAD SURFACES, SIGNS, GUARDRAILS, MAIL/PAPER BOXES, CULVERTS, EASEMENTS OR RIGHT OF WAYS DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENT. ALL DAMAGES SHALL BE RESTORED AT NO COST TO THE MUNICIPALITY TO THE ORIGINAL CONDITION. THE MUNICIPAL ENGINEER IN WRITING SHALL ACCEPT APPROVAL OF RESTORATION.

4. THE CONTRACTOR SHALL NOT COMMENCE WITH ANY FORM OF CONSTRUCTION WITHOUT NOTIFYING THE OFFICE OF THE CITY ENGINEER AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO STARTING CONSTRUCTION.

5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.

6. THE CONTRACTOR SHALL PROVIDE A TWENTY-FOUR (24) HOUR, SEVEN DAYS A WEEK EMERGENCY CONTACT LIST. THE CONTACT LIST SHALL INCLUDE CONTACT NAMES AND PHONE NUMBERS OF INDIVIDUALS WHO CAN BE REACHED AT ANY TIME. NO CONSTRUCTION SHALL OCCUR BEFORE CONTACT LIST IS PROVIDED TO THE MUNICIPALITY.

7. ALL LAWN AREAS REMOVED OR DISTURBED SHALL BE REPLACED BY SEEDING AND MULCHING IN ACCORDANCE WITH ITEM 659 OF ODOT SPECIFICATIONS AND SHALL BE RESEEDED AND MULCHED WHEN REQUESTED IF SATISFACTORY RE-ESTABLISHMENT OF LAWN DOES NOT OCCUR.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE EXISTING PUBLIC WATER, STORM AND SANITARY SYSTEM RESULTING FROM NON-CONFORMANCE WITH THE APPLICABLE STANDARDS OR THROUGH GENERAL NEGLIGENCE.

9. ALL VOIDS CREATED FROM BORING OF UTILITY LINES SHALL BE BACKFILLED WITH SAND OR GROUT. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES AND SHALL BACKFILL AND GRADE EXCAVATED AREAS TO ELIMINATE PONDING ON THE SITE.

DUST CONTROL:
10. THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY INCLUDING A DUST-FREE STREET SWEEPING DEVICE OR AS DIRECTED BY THE MUNICIPAL ENGINEER TO MAINTAIN ALL ROADWAYS BEING USED FOR ACCESS TO THE CONSTRUCTION SITE.

EROSION CONTROL:
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY EROSION CONTROL METHODS IN ACCORDANCE WITH CURRENT COUNTY AND STATE REQUIREMENTS AND AS REQUIRED BY THE MUNICIPAL ENGINEER. EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL CLEAN ALL EXISTING STREETS OF MUD AND DIRT DURING THE CONSTRUCTION PHASE AS NEEDED OR DIRECTED BY THE MUNICIPAL ENGINEER.

GENERAL SEWER:
12. AT ALL STORM SEWER, SANITARY SEWER, AND/OR WATERMAIN INTERSECTIONS HAVING LESS THAN EIGHTEEN (18) INCH VERTICAL SEPARATION, ENCASE THE LOWER AND MONOLITHICALLY CRADLE THE UPPER PIPE IN 3000 PSI CONCRETE PER THE REQUIREMENTS OF THE UNIFORM STANDARDS CONCRETE ENCASEMENT DETAIL.

LINE AND GRADE CONTROL:
13. THE LINE AND GRADE OF SEWER MAINS SHALL BE CONTROLLED DURING SEWER CONSTRUCTION BY USE OF AN APPROVED LASER DEVICE. THE LINE AND GRADE OF THE LASER SHALL BE "CHECKED" FROM LINE AND GRADE STAKES AT A MAXIMUM OF FIFTY FOOT (50) INTERVALS.

EARTHWORK:
14. WHEREVER UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED THAT ARE NOT INDICATED ON THE PLANS, THE WORK SHALL BE DISCONTINUED UNTIL THE GEOTECHNICAL ENGINEER APPROVES THE METHOD AND MATERIAL TO BE INCORPORATED INTO THE WORK.

15. ALL UNFORESEEN UNDERGROUND OR ABOVE GROUND UTILITIES OR CONDITIONS THAT ARE DISCOVERED IN THE PROJECT AREA DURING CONSTRUCTION SHALL BE REPORTED BY THE CONTRACTOR TO THE DESIGN ENGINEER IMMEDIATELY FOR EVALUATION / POSSIBLE REDESIGN. THE FIELD DATA SHALL INCLUDE MATERIAL TYPE, SIZE, CONDITION, LOCATION, DEPTH / ELEVATION, ETC...

MAINTENANCE OF TRAFFIC

INTERFERENCE WITH TRAFFIC:
1. THE CONTRACTOR SHALL MAINTAIN SAFE TRAFFIC CONDITIONS IN ACCORDANCE WITH THE MANUAL OF TRAFFIC CONTROL DEVICES. COORDINATE ALL LANE / ROAD CLOSURES WITH THE LOCAL MUNICIPAL ENGINEER(S).

TRAFFIC DIVERSION:
2. WHENEVER IT IS NECESSARY TO DIVERT TRAFFIC FROM ITS NORMAL CHANNEL INTO ANOTHER CHANNEL, SUCH DIVERSIONS SHALL BE CLEARLY MARKED BY CONES, DRUMS, BARRICADES OR TEMPORARY GUARDRAIL. IF THE MARKERS ARE LEFT IN PLACE AT NIGHT, SUITABLE LIGHTS SHALL BE PROVIDED AND MAINTAINED.

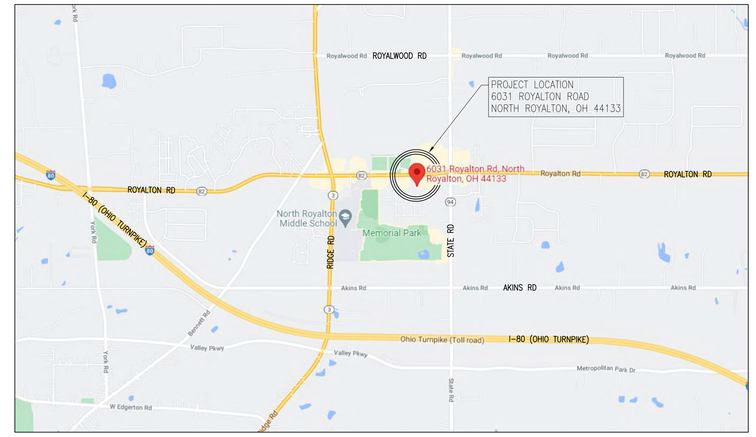
ONE WAY TRAFFIC:
3. WHENEVER ONE-WAY TRAFFIC IS ESTABLISHED, AT LEAST TWO FLAGGERS SHALL BE USED.

STREET CLOSING:
4. THE CONTRACTOR MAY NOT CLOSE THE STREET TO THROUGH TRAFFIC.

MAINTENANCE:
5. IF PROPER MAINTENANCE OF TRAFFIC FACILITIES AND/OR PROPER PROVISION FOR TRAFFIC CONTROL IS NOT BEING PROVIDED, THE MUNICIPALITY MAY TAKE NECESSARY STEPS TO CORRECT TRAFFIC MAINTENANCE. THE COST OF SUCH SERVICE WILL BE CHARGED TO THE CONTRACTOR.

ISLANDER GRILLE
ADDITIONS AND ALTERATIONS

6031 ROYALTON ROAD
NORTH ROYALTON, OHIO



PROJECT VICINITY MAP
NO SCALE

PROJECT PARCEL DATA

ADDRESS	6031 ROYALTON ROAD NORTH ROYALTON, OHIO		
PARCEL #	487-06-022		
PROJECT PARCEL AREA =	35,798 SF	=	0.822 ACRES
PROJECT DISTURBANCE AREA =	20,070 SF	=	0.461 ACRES
EXISTING IMPERVIOUS AREA =	32,596 SF	=	0.748 ACRES
PROPOSED IMPERVIOUS AREA =	32,450 SF	=	0.745 ACRES
NET IMPERVIOUS AREA =	-146 SF	=	-0.003 ACRES

CIVIL SHEET INDEX

C100	CIVIL COVER SHEET & DEMOLITION PLAN
C101	SITE PLAN
C102	UTILITY PLAN
C103	GRADING PLAN
C200	ABBR SWP3-1
C201	ABBR SWP3-2
C300	DETAILS

CIVIL ENGINEER

ROCKAWAY CIVIL LLC
10191 SPERRY ROAD
KIRTLAND, OHIO 44094
JOHN URBANICK, PE 66506
440 655 8182
JURBANICK@ROCKAWAYCIVIL.COM

LAND SURVEY NOTES

LAND SURVEY DATA SHOWN ON THE CIVIL PLAN SHEETS HAS BEEN REFERENCED FROM A BOUNDARY AND TOPOGRAPHIC FIELD SURVEY PERFORMED BY RICHARD KOLE OF RM KOLE & ASSOCIATES CORP. FILE # 20239 TOPO DATED DECEMBER 4, 2020.

UTILITY CONTACTS

OHIO UTILITIES PROTECTION SERVICE (OUPS)
(800) 362-2764 – "CALL 48 HOURS BEFORE YOU DIG"

CABLE
SPECTRUM CABLE (TWC)
GARY NAUMANN (GARY.NAUMANN@TWCABLE.COM)
PAUL SILVESTRO (PAUL.SILVESTRO@TWCABLE.COM)
8179 DOW CIRCLE
STRONGSVILLE, OH 44136
(216) 854-0717
(216) 555-5036 FOR NEW CONSTRUCTION

WIDE OPEN WEST OHIO, LLC
BOB HAMMOND (BOB.HAMMOND@WOWINC.COM)
105 BLAZE INDUSTRIAL PARKWAY
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CLEVELAND, OH 44111
(216) 476-6142

VERIZON
AL GUEST (ALLAN.GUEST@VERIZON.COM)
120 RAVINE STREET
AKRON, OH 44303
(330) 253-8267

GAS
COLUMBIA GAS OF OHIO
DAN SUREN (DSUREN@NISOURCE.COM)
7080 FRY ROAD
MIDDLEBURG HEIGHTS, OH 44130
(440) 891-2428

DOMINION EAST OHIO
BRYAN DAYTON (RELOCATION@DOM.COM)
320 SPRINGSIDE DRIVE, SUITE 320
AKRON, OH 44333
(330) 664-2409

ELECTRIC
THE ILLUMINATING COMPANY (FIRST ENERGY)
TED RADER (RADERT@FIRSTENERGYCORP.COM)
6896 MILLER ROAD
BRECKSVILLE, OH 44141
(440) 546-8738
(800) 589-3101

CITY OF NORTH ROYALTON – STORM SEWERS
CITY OF NORTH ROYALTON SERVICE DEPARTMENT
11545 ROYALTON ROAD
NORTH ROYALTON, OHIO 44133
NICK CINQUEPALMI
DIRECTOR OF PUBLIC SERVICE AND PROPERTY
(NCINQUEPALMI@NORTHROYALTON.ORG)
440-582-3002

CITY OF NORTH ROYALTON – SANITARY SEWERS
CITY OF NORTH ROYALTON WASTEWATER
11675 ROYALTON ROAD
NORTH ROYALTON, OHIO 44133
MARK SMITH
WASTEWATER SUPERINTENDENT
(MSMITH@NORTHROYALTON.ORG)
440-237-5010

CITY OF CLEVELAND – WATER MAINS
CITY OF CLEVELAND, DIVISION OF WATER
1201 LAKESIDE AVENUE
CLEVELAND, OHIO 44114
FRED ROBERTS
216-664-2444 X75590

ZONING DATA

REQUIRED NUMBER OF PARKING SPACES – PER CODE SECTION 1282.05

1 SPACE PER EMPLOYEE	X 10 EMPLOYEES	=	10 SPACES
1 SPACE PER 100 SF (INTERIOR)	X 2,109 SF	=	21 SPACES
1 SPACE PER 100 SF (EXTERIOR)	X 3,153 SF	=	32 SPACES
			63 TOTAL SPACES

OR...

1 SPACE PER EMPLOYEE	X 10 EMPLOYEES	=	10 SPACES
1 SPACE PER 4 SEATS (INTERIOR)	X 128 SEATS /4	=	32 SPACES
1 SPACE PER 4 SEATS (EXTERIOR)	X 166 SEATS /4	=	42 SPACES
			84 TOTAL SPACES**

** PER CITY CODE, THE GREATER OF THE TWO ABOVE CALCULATIONS MUST BE CONSIDERED FOR THE MINIMUM NUMBER OF REQUIRED PARKING SPACES.

TOTAL REQUIRED SPACES = 84 SPACES (INCLUDING ADA)

PROPOSED NUMBER OF PARKING SPACES

STANDARD SPACES	30 SPACES
PARALLEL SPACES	6 SPACES
ADA SPACES	2 SPACES
	38 TOTAL SPACES

REQUIRED PARKING SPACE DIMENSIONS – PER CODE SECTIONS 1282.12 & 1282.13

STANDARD SPACES	9' WIDE X 19' LONG	
PARALLEL SPACES	8' WIDE X 19' LONG	W/ 8' BETWEEN EVERY GROUP OF 2 SPACES
ADA SPACES	9' WIDE X 19' LONG	W/ 5' WIDE (TYP) & 8' WIDE (VAN) LOADING AREAS

PROPOSED PARKING SPACE DIMENSIONS

STANDARD SPACES	9' WIDE X 19' LONG	
PARALLEL SPACES	8' WIDE X 19' LONG	W/ 8' BETWEEN EVERY GROUP OF 2 SPACES
ADA SPACES	9' WIDE X 19' LONG	W/ 8' WIDE LOADING AREA

REQUIRED WIDTHS FOR 2-WAY DRIVES – PER CODE SECTION 1282.13

NO PARKING	24 FEET
90-DEG PARKING	24 FEET
PARALLEL PARKING	22 FEET

PROPOSED DRIVE AISLE WIDTHS VARY – SEE SITE PLAN FOR DIMENSIONS

STATE OF OHIO
JOHN URBANICK
E-66506
REGISTERED
PROFESSIONAL ENGINEER

ROCKAWAY CIVIL
Rockaway Civil LLC
10191 Sperry Road Kirtland Ohio 44094
440 655 8182 www.rockawaycivil.com

N
0 20'
SCALE: 1"=20'

OHIO811.org
Before You Dig

Islander Grille
Additions and Alterations
6031 Royalton Road
North Royalton, Ohio

Project Name

Sheet Revision

2	Permit	09-21-2021
1	Planning	02-25-2021

Project Issue

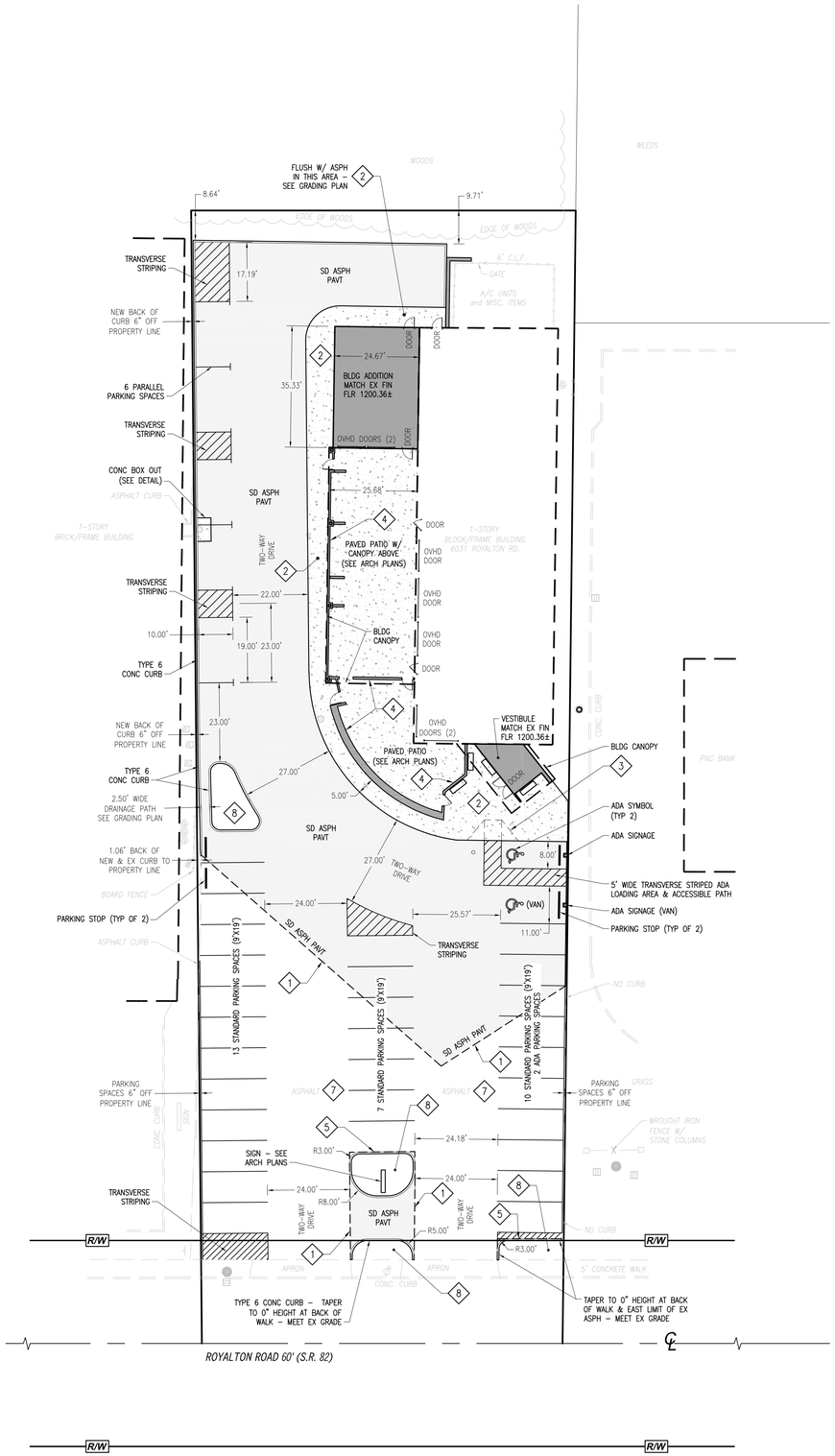
CIVIL COVER SHEET & DEMOLITION PLAN

Sheet Name

C100

Sheet #

RC Project # 20-035



SITE PLAN KEY NOTE LEGEND

1. MEET EX PAVT EDGE – PROVIDE BITUMINOUS SEALANT
2. CONC WALK W/ INTEGRAL CONC CURB
3. ADA RAMP – SEE DETAIL & GRADING PLAN
4. PATIO WALL – SEE ARCH PLANS
5. TYPE 6 CONC CURB – CUTTER LINE TO MEET EXISTING PAVT GRADE – PROVIDE BITUMINOUS SEALANT
6. VERSA-LOK RETAINING WALL – SEE GRADING PLAN
7. CRACKFILL & SEALCOAT & RESTRIPE EXISTING ASPHALT TO REMAIN
8. LANDSCAPED AREA – SEE ARCH PLANS

SITE PLAN NOTES

1. REFERENCE ARCHITECTURAL / STRUCTURAL / MEP / LANDSCAPE PLANS FOR THE FOLLOWING:
   –EXACT BUILDING FOUNDATION SPECIFICATIONS AND DIMENSIONS (DIMENSIONS SHOWN ARE FOR REFERENCE ONLY)
   –SITE LIGHTING / UNDERGROUND ELECTRIC INFORMATION
   –LANDSCAPING / ORNAMENTAL FENCING / PLANTING DETAILS
2. ALL DIMENSIONS (HORIZONTAL AND VERTICAL) SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO FABRICATION AND / OR INSTALLATION
3. SIGNS SHALL BE MOUNTED AT A HEIGHT OF 5' TO THE BOTTOM OF THE SIGN, UNLESS OTHERWISE NOTED.
4. SIGN SHEETING SHALL BE TYPE H REFLECTIVE SHEETING MATERIAL.
5. CONTRACTOR SHALL UTILIZE SIGNS, BARRICADES, FLAGMEN, ETC... DURING CONSTRUCTION TO ENSURE THE SAFETY OF PEDESTRIAN AND VEHICULAR TRAFFIC. ALL TEMPORARY TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH ODOT ITEM 107-10 AND 614 AND AS PER ORC 4571.09.

CONCRETE "BOX OUT" NOTES FOR STRUCTURES IN ASPHALT PAVEMENT

1. ALL CONCRETE WITHIN THE "BOX OUT" MUST BE PER THE HEAVY DUTY CONC PAVEMENT DETAIL
2. CONCRETE "BOX OUT" DIMENSION FOR MANHOLES AND SQUARE CATCH BASIN CASTINGS NOT AGAINST THE CURB SHALL BE 7' X 7' MIN WITH A MINIMUM DISTANCE OF 30" FROM THE EDGE OF THE CASTING TO THE EDGE OF THE "BOX OUT"
3. CONCRETE "BOX OUT" DIMENSIONS FOR CURB INLET CASTINGS SHALL BE 30" MIN IN EACH DIRECTION AWAY FROM THE LIMITS OF THE CASTING.
4. CONCRETE SURFACE SHALL HAVE A LIGHT BROOM FINISH.
5. CURB INLET "BOX OUT" REQUIRES CONTRACTION JOINTS PERPENDICULAR TO THE CASTING CORNERS WHICH ARE NOT AGAINST THE FACE OF THE CURB

PAVEMENT DRIVE APRONS, SIDEWALK, CURBS AND CURB RAMP REQUIREMENTS

GENERAL REQUIREMENTS:
THE FOLLOWING REQUIREMENTS APPLY TO ALL PAVEMENT DRIVE APRONS, SIDEWALKS AND CURB RAMPS. ALL PAVEMENT DRIVES, SIDEWALKS AND/OR CURB RAMPS SHALL CONFORM TO ODOT SPECIFICATIONS IF NOT SPECIFIED HEREIN. ALL PAVEMENT DRIVES, SIDEWALKS AND CURB RAMP REPLACEMENTS SHALL CONFORM TO THE GRADE OF THE EXISTING PAVEMENT DRIVE, SIDEWALK AND/OR CURB RAMP.

MATERIAL:
1. ALL CONCRETE SHALL BE CLASS "C" PER ODOT 499 AND PROPERLY CONSOLIDATED (NO SLAG).

NOTIFICATION TO RESIDENTS:
2. THE SCHEDULING FOR WORK SHALL BE DISCUSSED WITH EACH PROPERTY OWNER AFFECTED PRIOR TO COMMENCING THE CONSTRUCTION / REPLACEMENT OPERATION. EXCAVATION IN TRAFFIC AREAS SHALL NOT BE LEFT OPEN OVERNIGHT. ALL DRIVE APRON CONSTRUCTION SHALL FOLLOW A SCHEDULE THAT ALLOWS ACCESS TO AND FROM RESIDENCE, BUSINESS, ETC. AT ALL TIMES. THE DISRUPTION OF ACCESS TO DRIVEWAYS DUE TO THIS WORK SHALL BE KEPT TO A MINIMUM.

SIGNAGE:
3. THE CONTRACTOR MUST PROVIDE ADEQUATE SIGNS, MARKERS AND BARRICADES TO PROTECT PEDESTRIAN TRAFFIC, VEHICULAR TRAFFIC AND CONSTRUCTION PERSONNEL DURING THE PROGRESS OF THIS WORK. ADDITIONAL SIGNS INDICATING ENTRANCES FOR BUSINESSES IN A CONSTRUCTION ZONE ARE REQUIRED AS DIRECTED BY THE MUNICIPAL ENGINEER.

PAVEMENT DRIVE APRONS:
4. ALL PAVEMENT DRIVE APRONS SHALL HAVE A MINIMUM THICKNESS OF SIX (6) INCHES FOR RESIDENTIAL DRIVEWAYS AND EIGHT (8) INCHES FOR ALL OTHER DRIVEWAYS. REFER TO DETAILS.

R/W SIDEWALK:
5. ALL SIDEWALKS SHALL HAVE A MINIMUM THICKNESS OF FOUR (4) INCHES EXCEPT WITHIN THE LIMITS OF THE DRIVEWAYS, WHERE THE MINIMUM THICKNESS SHALL BE SIX (6) INCHES FOR ONE OR TWO FAMILY RESIDENTIAL DRIVEWAYS AND EIGHT (8) INCHES FOR ALL OTHER DRIVEWAYS.

6. ONE-HALF (1/2) INCH EXPANSION JOINTS SHALL BE PLACED AT INTERVALS NOT TO EXCEED FIFTY (50) FEET. EXPANSION JOINTS SHALL BE SEALED WITH 1/2" THICK SELF LEVELING URETHANE CHALK, LIMESTONE GRAY IN COLOR. ALL CONCRETE SIDEWALK AND/OR CURB SHALL BE OF MONOLITHIC CONSTRUCTION. ALL SIDEWALKS SHALL HAVE A FOUR (4) INCH MINIMUM SUBBASE, ODOT ITEM 304, COMPACTED TO 95% COMPACTION.

R/W CURB RAMPS:
7. CURB RAMPS SHALL BE PLACED AS SHOWN ON THE PLANS. ALL SIDEWALKS SHALL CONNECT TO THE PAVEMENT OR CURB AT INTERSECTIONS WITH WHEELCHAIR RAMPS AND ONE-HALF (1/2) INCH EXPANSION JOINTS BETWEEN THE WALK AND CURB. EXPANSION JOINTS SHALL BE SEALED WITH 1/2" THICK SELF LEVELING URETHANE CHALK, LIMESTONE GRAY IN COLOR. ALL CURB RAMPS SHALL MEET THE CURRENT ADA REQUIREMENTS. REFER TO DETAILS.

CONSTRUCTION SAW CUTTING:
8. WHERE IT IS NECESSARY TO DISTURB EXISTING PAVEMENT DRIVES, CURB RAMPS OR SIDEWALKS THE CONCRETE SHALL BE SAW CUT IN NEAT STRAIGHT LINES AS DIRECTED BY ENGINEER / MUNICIPALITY. THE DEPTH OF SAW CUT SHALL BE FULL DEPTH. WHERE IT IS NECESSARY TO DISTURB EXISTING PAVEMENT DRIVES, CURBS AND/OR WALKS THE ASPHALT CONCRETE SHALL BE LINE CUT WITH STRAIGHT VERTICAL EDGES. ALL CUT BITUMINOUS SURFACES SHALL BE SEALED WITH A 4" WIDE RUBBERIZED JOINT SEALER USING A SQUEEGEE.

9. CONCRETE SHALL BE REMOVED IN SECTIONS. SAW CUT LINES ARE TO TAKE PLACE AT EXISTING JOINTS.

CURING COMPOUND:
10. AN APPROVED SEALER SHALL SEAL ALL EXPOSED CONCRETE APPROPRIATE TO APPLICATION ON SURFACE OF CONCRETE. SEE CURRENT ODOT SPECIFICATIONS FOR APPLICATION METHODS.

STRUCTURES ENCOUNTERED:
11. THE CONTRACTOR SHALL ADJUST ANY "SURFACE STRUCTURE" IN THE AREA OF SIDEWALK AND/OR PAVEMENT DRIVE TO GRADE. THE CONTRACTOR SHALL FURNISH NECESSARY PARTS AND REPAIR ALL "SURFACE STRUCTURES" DAMAGED BY CONSTRUCTION OF IMPROVEMENT.

ASPHALT PAVEMENT CONSTRUCTION REQUIREMENTS

GENERAL REQUIREMENTS:
THE FOLLOWING REQUIREMENTS APPLY TO ALL PAVEMENT IMPROVEMENTS PLACED IN THE MUNICIPALITY.

COLD WEATHER:
1. NO ASPHALTIC PAVEMENT COURSE AND/OR CONCRETE PAVEMENT OR CURBING SHALL BE LAID ON FROZEN PAVEMENT, BASE OR SUBBASE.

2. SURFACE TEMPERATURES FOR ASPHALT PAVEMENT PLACEMENT SHALL BE 40 DEGREES FAHRENHEIT FOR THICKNESS GREATER THAN 1.5 INCHES AND 50 DEGREES FAHRENHEIT FOR SURFACE COURSES LESS THAN 1.5 INCHES. THE AIR TEMPERATURE SHOULD NOT BE LESS THAN 40 DEGREES FAHRENHEIT FOR ASPHALT PLACEMENT.

3. AMBIENT TEMPERATURE SHALL BE 35 DEGREE FAHRENHEIT AND RISING FOR CONCRETE PLACEMENT. WINTER PROTECTION SHALL BE IN EFFECT WHEN TEMPERATURES FALL BELOW 40 DEGREES FAHRENHEIT FOR A PERIOD OF 3 SUCCESSIVE DAYS. PROTECTION CONSISTS OF VISQUEEN AND BLANKETS.

EARTHWORK:
4. ALL FILLED AREAS, EXCLUDING TRENCHES WITHIN RIGHT-OF-WAY AREAS, SHALL BE COMPACTED IN ACCORDANCE WITH ODOT ITEM 203. IN ADDITION, FOR ANY FILL IN EXCESS OF TWO (2) FEET, AN APPROVED TESTING COMPANY IN ACCORDANCE WITH ODOT ITEM 203 SHALL PERFORM NUCLEAR COMPACTION TESTS.

ASPHALT PAVEMENT:
5. ALL MATERIAL MUST BE OBTAINED FROM A SOURCE APPROVED BY THE OHIO DEPARTMENT OF TRANSPORTATION. ASPHALT PAVING SHALL BE AS SHOWN ON THE TYPICAL SECTION.

MATERIALS:
6. AGGREGATE BASE – AGGREGATE BASE SHALL BE THE REQUIRED THICKNESS ACCORDING TO THE ATTACHED DETAILS AND IN ACCORDANCE TO ODOT ITEM 304. AGGREGATE BASE SHALL BE COMPACTED TO 98% MAXIMUM DENSITY.

7. SURFACE ASPHALT CONCRETE – SURFACE ASPHALT CONCRETE SHALL BE AS PER THE ATTACHED DETAILS. THE SURFACE COURSE SHALL BE FINISHED 1/4 INCH ABOVE THE GUTTER AND ALL CASTINGS IN ROADWAY.

8. INTERMEDIATE ASPHALT CONCRETE – INTERMEDIATE ASPHALT CONCRETE SHALL BE AS PER THE ATTACHED DETAILS.

9. BITUMINOUS AGGREGATE BASE – BITUMINOUS AGGREGATE BASE SHALL BE THE REQUIRED THICKNESS ACCORDING TO THE ATTACHED DETAILS AND IN ACCORDANCE TO ODOT ITEM 301.

10. JOINT SEALER – THE JOINT BETWEEN THE CONCRETE CURB AND PAVEMENT SURFACE SHALL BE SEALED WITH A FOUR (4) INCH WIDE APPLICATION OF RUBBERIZED JOINT SEALER OVERLAPPING THE CURB 1/2 INCH. THE SEAL SHALL BE LIGHTLY APPLIED IN A STRAIGHT LINE, SQUEEGEE AND LIGHTLY COVERED WITH SAND. THIS IS ALSO TO BE APPLIED TO THE PERIMETER OF UTILITY STRUCTURES IN PAVEMENT AREAS AS WELL AS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT. THESE AREAS SHALL BE SEALED WITH A FOUR (4) INCH WIDE APPLICATION OF RUBBERIZED JOINT SEALER OVERLAPPING THE UTILITY CASTING/EXISTING PAVEMENT SURFACE BY 1/2 INCH.

ASPHALT PAVEMENT REPAIR:
11. ASPHALT PAVEMENT REPAIR SHALL CONFORM TO ALL ODOT REQUIREMENTS AND SPECIFICATIONS HEREIN. IN ADDITION ASPHALT PAVEMENT REPAIRS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
    (A) SUBBASE REPAIR SHALL INCLUDE REMOVAL AND DISPOSAL OF DAMAGED AGGREGATE AND REPLACEMENT WITH COMPACTED ODOT ITEM 304 LIMESTONE. AREAS FOR REPAIR SHALL BE DETERMINED AS DIRECTED BY THE ENGINEER.
    (B) COLD WEATHER REPAIRS: DURING ADVERSE WEATHER CONDITIONS, LOW STRENGTH MORTAR (LSM) SHALL BE USED TO FILL THE TRENCH AND A 6" CONCRETE CAP TEMPORARILY INSTALLED USING A VISQUEEN BOND BREAKER.

ABUTTING ASPHALT CONTACT:
12. AT ANY POINT WHERE THE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE FULL DEPTH SAW CUT. THIS CUT SHALL BE PERPENDICULAR TO CENTERLINE REMOVING APPROXIMATELY ONE (1) FOOT OR ALL DAMAGED PAVEMENT AS DIRECTED BY THE ENGINEER. AN ADDITIONAL 18" OF ADJOINING ASPHALT SHALL BE MILLED 1 1/2" PRIOR TO APPLYING THE SURFACE COURSE. ASPHALT SURFACE CONCRETE PER DETAILS SHALL BE USED TO FEATHER THE TRANSITION AND MAINTAIN POSITIVE DRAINAGE BETWEEN THE EXISTING AND PROPOSED PAVEMENT.

SPECIFICATIONS FOR CRACK SEALING BITUMINOUS CONCRETE

1. CLEAN MAJOR PAVEMENT CRACKS GREATER THAN ¼ INCH WIDTH WITH FORCED AIR, POWER WIRE WHEEL AND/OR CLEAN BY HAND WHERE NECESSARY. PREPARED CRACKS SHALL BE CLEAN AND DRY AND FREE OF ALL FOREIGN DEBRIS PRIOR TO FILLING. HEAT LANCE OR HEAT FLASH CLEANED CRACK WHERE NECESSARY.
2. FILL CRACKS WITH HOT-APPLIED LIQUID RUBBERIZED CRACK AND JOINT SEALANT. MATERIAL SHALL MEET OR EXCEED FEDERAL SPECIFICATION 3405 AND SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS USING A DOUBLE JACKETED MELTER. MATERIAL SHALL BE APPLIED BY USE OF A PRESSURIZED WAND OR POUR POTS.
3. A FOUR-INCH WIDE OVER BAND SHALL BE INSTALLED AND LEVELED BY STRIKING WITH A SQUEEGEE TO ASSURE PROPER ADHESION AND TO MATCH EXISTING PAVEMENT GRADE.
4. APPLY A NON STICK AGENT TO FINISHED CRACK REPAIRED AREAS TO PREVENT TRACKING SHOULD IMMEDIATE ACCESS BE REQUIRED.

SPECIFICATIONS FOR SEAL COATING BITUMINOUS CONCRETE SURFACES

1. ALL CRACK SEALING AND ASPHALT PATCHING SHALL BE COMPLETED PRIOR TO SEAL COATING.
2. CLEAN AND AIR SWEEP BLACKTOP SURFACES TO BE SEAL COATED REMOVING ALL LOOSE AND FOREIGN DEBRIS.
3. DEGREASE, HEAT FLASH WHERE NECESSARY AND COAT PAVEMENT OIL SPOTS WITH OIL SPOT PRIMER PRIOR TO SEAL COATING.
4. APPLY TWO COATS OF COAL TAR EMULSION ASPHALT SEALER ACCORDING TO MANUFACTURER'S RECOMMENDATIONS TO SURFACES TO BE SEALCOATED. THE BATCH FORMULA SHALL BE THE FOLLOWING PERCENTS OF VOLUME AND VERIFIABLE BY LABORATORY TESTING.
5. THE MINIMUM APPLICATION RATE FOR BOTH COATS COMBINED WILL BE .30 GALLONS OF SEALANT PER SQUARE YARD OF SURFACE AREA. A MULTI-TIP SPRAY BAR UNIT SHALL BE USED TO APPLY SEAL COAT TO LARGER AREAS. COAL TAR EMULSION SHALL MEET OR EXCEED FEDERAL SPECIFICATION RP-355E.
6. FURNISH AND PROVIDE IN WRITING A TWO YEAR WARRANTY AGAINST SEAL COATED AREAS SHOWING PREMATURE WEAR, LIFTING, OR PEELING EXCEPT WHEN CAUSED BY CINDERS, PLOWS, TIRE CHAINS OR ANY OTHER PHYSICAL GRINDING OF THE SURFACE.

PAVEMENT MARKING NOTES

1. PAINT STRIPING AND PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED AND MAINTAINED IN CONFORMANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND WITH THE CONSTRUCTION AND MATERIALS SPECIFICATIONS OF THE OHIO DEPARTMENT OF TRANSPORTATION.
2. FURNISH PAINT, BEADS AND OTHER MATERIALS IN ACCORDANCE WITH ODOT CMS 740.
3. PAVEMENT PREPARATION, APPLICATION, LAYOUT AND MARKINGS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF ODOT CMS SECTIONS 641 AND 642.
4. ALL ADA ASSOCIATED PAVEMENT MARKINGS SHALL BE BLUE (ADA SYMBOL BACKGROUND AND STALL STRIPING AND TRANSVERSE STRIPING)
5. HANDICAP SYMBOL MARKINGS SHALL BE SHAPED IN CONFORMANCE WITH THE INTERNATIONAL SYMBOL ISSUED BY THE AMERICAN NATIONAL STANDARD INSTITUTE (ANSI A117.1).
6. PARKING STALL LINE THICKNESS SHALL BE 4" WIDE AND SHALL BE YELLOW UNLESS OTHERWISE DIRECTED BY THE ARCHITECT / OWNER.
7. ALL STOP BARS TO BE SOLID 24" WIDE WHITE STRIPE.
8. FOR WORDS PAINTED ON THE PAVEMENT, CHARACTER HEIGHT SHALL BE 3 FEET. THE CHARACTERS SHALL BE MARKED WITH 4 INCH (100 MILLIMETERS) STROKES OF YELLOW PAINT UNLESS OTHERWISE NOTED.
9. CROSSWALK STRIPE THICKNESS SHALL BE 12" WIDE SOLID WHITE STRIPE 5 FEET ON CENTER.
10. STOP BAR STRIPING SHALL BE 24" WIDE SOLID WHITE
11. CHANNELIZING STRIPING SHALL BE 4" WIDE SINGLE LINE WHITE IN COLOR
12. CENTERLINE STRIPING SHALL BE 4" WIDE DOUBLE LINE YELLOW IN COLOR

STATE OF OHIO JOHN URBANICK E-66506 REGISTERED PROFESSIONAL ENGINEER

ROCKWAY CIVIL
Rockaway Civil LLC
10191 Sperry Road Kirtland Ohio 44094
440 655 8182 www.rockawayciviil.com

N 0 20' SCALE: 1"=20'

OHIO811.org Before You Dig

Islander Grille Additions and Alterations
6031 Royalton Road
North Royalton, Ohio

Project Name

Sheet Revision

2	Permit	09-21-2021
1	Planning	02-25-2021

Project Issue

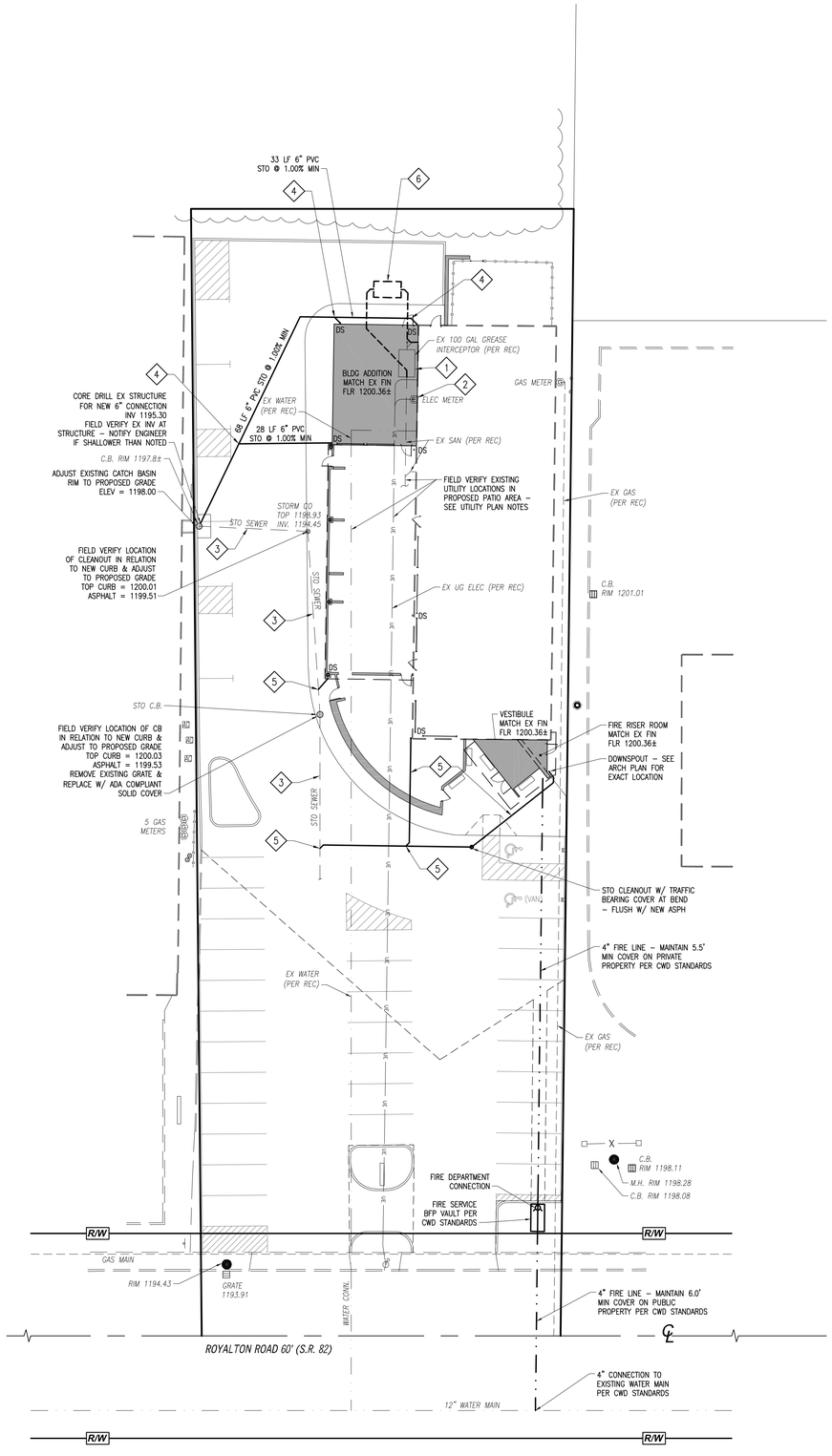
SITE PLAN

Sheet Name

C101

Sheet #

RC Project # 20-035



UTILITY PLAN KEY NOTE LEGEND

1. EX GREASE INTERCEPTOR (PER REC) – TO BE REMOVED/RELOCATED – SEE ARCH & MEP PLANS
2. EX ELEC METER – SEE ARCH & MEP PLANS
3. EX STORM SEWER (SEE DEMOLITION PLAN) – TO BE JETTED, CLEANED & HAVE VIDEO INSPECTION PRIOR TO REUSE – PROVIDE ENGINEER WITH VIDEO(S) FROM INSPECTION
4. CONNECT DOWNSPOUT (DS) TO NEW STORM SEWER NETWORK W/ 6" PVC STO @ 1.00% MIN – UTILIZE PREFABRICATED PVC FITTINGS AS NECESSARY TO MAKE CONNECTION
5. CONNECT DS TO EX STORM SEWER NETWORK W/ 6" PVC STO @ 1.00% MIN – UTILIZE PREFABRICATED PVC FITTINGS AS NECESSARY TO MAKE CONNECTION
6. NEW GREASE INTERCEPTOR LOCATION – GREASE INTERCEPTOR & PIPING/FITTINGS & CLEANOUTS TO BE INSTALLED PER LOCAL PLUMBING REQUIREMENTS – FIELD VERIFY CROSSINGS WITH NEW STORM TO PROVIDE 12" MIN CLEARANCE BETWEEN PIPES – RECONNECT TO BUILDING AT UPSTREAM END – RECONNECT TO EXISTING SAN AT DOWNSTREAM END – ALL CONNECTIONS ARE TO BE WATERTIGHT

STORM PIPE MATERIAL DATA

1. PP = DUAL WALLED POLYPROPYLENE PIPE PER ASTM F2764 (12–60 INCH) AND WATERTIGHT JOINTS PER ASTM D3212. USE ADS SANITITE HP OR APPROVED EQUAL.
2. HDPE = HIGH DENSITY POLYETHYLENE SEWER PIPE, BELL AND SPIGOT TYPE WITH RUBBER GASKETS AND SMOOTH INTERIOR, PER THE LATEST AASHTO M–294 SPECIFICATION.
3. PVC = SDR 35 POLYVINYL CHOLRIDE PIPING PER ASTM D3034 WITH PREMIUM JOINTS PER ASTM F 477 ASTM D 3212.

UTILITY PLAN NOTES

GENERAL

1. CONTRACTOR SHALL VERIFY ALL UTILITY CROSSING DEPTHS, SIZES, TYPES, CONDITIONS, ETC.. PRIOR TO CONSTRUCTION AND SHALL NOTIFY DESIGN ENGINEER WITH ANY CONFLICTS.
2. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING ITEMS AND MATERIALS ENCOUNTERED DURING CONSTRUCTION. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL AND STATE CODES AND REGULATIONS.
3. CONTRACTOR SHALL COORDINATE WORK WITH ALL UTILITY AGENCIES AS NECESSARY TO INSURE PROPER INSTALLATION OF SITE UTILITIES.
4. COORDINATE UTILITY CONNECTIONS AT THE BUILDING(S) WITH THE ARCHITECTURAL / MEP PLANS.
5. ANY EXISTING UTILITY CONNECTIONS BEING ABANDONED SHALL BE DISCONNECTED AND/OR CAPPED AS PER JURISDICTION OF THE RESPECTIVE UTILITY AGENCY.
6. ALL NEW FLEXIBLE PUBLIC SEWER PIPE 8" AND LARCER WILL HAVE TO UNDERGO DEFLECTION TESTING AS PER THE REQUIREMENTS OF THE CITY ENGINEER.
7. ALL NEW STORM SEWER AND SANITARY SEWER IMPROVEMENTS SHALL BE INSTALLED, INSPECTED, AND TESTED AS PER THE CURRENT REQUIREMENTS OF THE CITY ENGINEER.
8. CONTRACTOR IS REQUIRED TO FIELD VERIFY THE EXISTING CONDITIONS (SIZE, CONDITION, PIPE MATERIAL, INVERT ELEVATION) OF ALL SANITARY SEWER AND STORM SEWER CONNECTION POINT(S). THESE FIELD VERIFICATIONS SHALL BE PERFORMED AS EARLY AS POSSIBLE DURING THE PROJECT CONSTRUCTION PERIOD. PRIOR TO FABRICATION OF ALL PRECAST STRUCTURES, THE CONTRACTOR SHALL CONFIRM WITH THE ARCHITECT/ENGINEER THAT THE FIELD VERIFIED CONDITIONS ARE SUITABLE FOR THE DESIGN. ALL ADDITIONAL PRECAST STRUCTURE RELATED WORK DUE TO THE LACK OF VERIFICATION OF EXISTING CONDITIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. ALL UNFORESEEN UNDERGROUND OR ABOVE GROUND UTILITIES OR CONDITIONS THAT ARE DISCOVERED IN THE PROJECT AREA DURING CONSTRUCTION SHALL BE REPORTED BY THE CONTRACTOR TO THE DESIGN ENGINEER IMMEDIATELY FOR EVALUATION / POSSIBLE REDESIGN. THE FIELD DATA SHALL INCLUDE MATERIAL TYPE, SIZE, CONDITION, LOCATION, DEPTH / ELEVATION, ETC...
10. PREMIUM BACKFILL SHALL BE USED FOR STORM SEWER AND SANITARY SEWERS UNDER PAVEMENT ON PRIVATE PROPERTY.

WATER

11. ALL WATER LINE / FIRE LINE WORK SHALL BE PERFORMED AS PER THE LATEST REGULATIONS OF THE CITY OF CLEVELAND WATER DEPARTMENT.
12. CONTRACTOR SHALL COORDINATE SHUTOFF OF EXISTING WATER SERVICE, IF NECESSARY, TO MAKE NEW CONNECTIONS TO THE EXISTING WATER LINE. AT THE POINT OF CONNECTION, THE CONTRACTOR SHALL INSTALL ISOLATION GATE VALVES AS NECESSARY TO COORDINATE EXISTING WATER SERVICE.. PROVIDE MIN. 48 HOURS NOTICE TO OWNER PRIOR TO SHUT OFF.
13. ALL DOMESTIC METERING AND BACKFLOW DEVICES SHALL MEET CURRENT CITY OF CLEVELAND WATER DEPT AND CURRENT PLUMBING CODE REQUIREMENTS.
14. THE FIRE DEPATEMENT CONNECTION IS TO BE INSTALLED PER THE REQUIREMENTS OF THE LOCAL FIRE DEPARTMENT.
15. PER CLEVELAND WATER DEPARTMENT REQUIREMENTS, THE MINIMUM ALLOWABLE BURY DEPTHS FOR NEW WATER LINES ARE:
    (A) FROM THE WATER MAIN TO THE CURB VALVE/METER VAULT SHALL NOT BE LESS THAN 6 FEET FROM THE ESTABLISHED GRADE
    (B) FROM THE CURB VALVE/METER VAULT TO THE BUILDING SHALL NOT BE LESS THAN 5.5 FEET FROM THE ESTABLISHED GRADE

STORM

16. REFERENCE ARCHITECTURAL PLANS FOR EXACT DOWNSPOUT LOCATIONS.
17. ALL NEW STRUCTURES ARE TO HAVE OPEN GRATE TOPS UNLESS NOTED AS "SOLID".
18. CONNECTIONS TO EXISTING STRUCTURES OR PIPES SHALL BE CORE DRILLED AND SHALL BE WATERTIGHT. CONTRACTOR SHALL CONFIRM INVERT ELEVATION, CONDITION, EXISTING PIPE SIZES, ETC... OF EX STRUCTURE OR PIPE PRIOR TO CORE DRILLING / MAKING CONNECTION.
19. ALL EXISTING STORM SEWERS BEING REUSED OR CONNECTED TO SHALL BE JETTED, CLEANED, AND HAVE CCTV INSPECTION PERFORMED PRIOR TO REUSE. ALL VIDEOS FROM INSPECTION SHALL BE PROVIDED TO THE ENGINEER.
20. CLEANOUTS SHALL BE INSTALLED AT THE UPSTREAM END OF ALL BLDG STORM CONNECTIONS 5' OUTSIDE THE FACE OF THE BLDG OR AS SHOWN. PROVIDE TRAFFIC BEARING CAPS WHEN IN PAVED AREAS INTENDED FOR VEHICULAR USE.

TRENCH EXCAVATION, BOTTOM PREPARATION AND BACKFILLING

GENERAL REQUIREMENTS:
ALL REQUIREMENTS FOR TRENCH EXCAVATION, BOTTOM PREPARATION AND BACKFILLING SHALL BE IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND DETAILS. NO BACKFILL MATERIAL SHALL BE FROZEN.

1. IF MATERIAL OTHER THAN ODOT ITEM 304 MATERIAL IS PROPOSED FOR USE AS TRENCH FILL WITHIN THE RIGHT–OF–WAY, A WRITTEN REQUEST MUST BE SUBMITTED TO THE MUNICIPAL ENGINEER. THE MATERIAL IS SUBJECT TO THE FOLLOWING REQUIREMENTS:
    (A) PROCTORS MUST BE CONDUCTED ON ALL FILL MATERIALS AND PLANNED COMPACTION METHODS SUBMITTED TO THIS OFFICE PRIOR TO ANY FILLING OPERATIONS BEING PERMITTED.
    (B) NEW PROCTORS MUST BE OBTAINED AS OFTEN AS THE SOIL MATERIAL CHANGES.
    (C) NO PROCTOR'S FROM PREVIOUS YEAR'S CONSTRUCTION WILL BE ACCEPTED.
    (D) SLAG IS NOT PERMITTED.
2. ALL CONDUITS SHALL BE INSTALLED ON A FIRM BED FOR ITS FULL LENGTH UNLESS OTHERWISE SPECIFIED.

TRENCH BACKFILLING:

3. WHERE BACKFILLING IS BEING PERFORMED, THE FOLLOWING SHALL CONFORM TO THE FOLLOWING LIMITS:
    (A) INSTALLATION UNDER PAVEMENT AND/OR WITHIN 45' ZONE OF INFLUENCE LINE OF PAVEMENT EDGE SHALL BE INSTALLED IN ACCORDANCE WITH ODOT ITEM 304 BACKFILL. THE ENTIRE TRENCH SHALL BE FILLED IN LAYERS NOT TO EXCEED EIGHT (8) INCHES IN THICKNESS AND COMPACTED WITH MECHANICAL TAMPERS AT THE SPECIFIED MOISTURE CONTENT UNTIL DRY DENSITY IS NOT LESS THAN 98% OF THE STANDARD PROCTOR. SLAG MATERIAL IS NOT ACCEPTABLE.
    (B) WITHIN THE RIGHT–OF–WAY (R/W) BUT NOT UNDER PAVEMENT OR NOT WITHIN 45' ZONE OF INFLUENCE LINE OF PAVEMENT EDGE, SUITABLE BACKFILL MATERIAL SHALL BE COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR, AT THE SPECIFIED MOISTURE CONTENT. THE ENTIRE TRENCH SHALL BE FILLED IN LAYERS NOT TO EXCEED EIGHT (8) INCHES WITH A MECHANICAL TAMPER.

TRENCH WIDTH:

4. WIDTHS OF TRENCHES SHALL BE HELD TO A MINIMUM TO ACCOMMODATE THE PIPE AND APPURTENANCES. NO SLAG IS ACCEPTABLE. THE TRENCH WIDTH SHALL BE MEASURED AT THE TOP OF THE PIPE BARREL AND SHALL CONFORM TO THE FOLLOWING LIMITS:
    (A) ALL PIPE HAVING A DIAMETER LESS THAN TWENTY–FOUR (24) INCHES SHALL HAVE A MINIMUM WIDTH OF NINE (9) INCHES MEASURED FROM OUTSIDE OF PIPE BARREL TO TRENCH WALL.
    (B) ALL PIPE HAVING A DIAMETER GREATER THAN TWENTY–FOUR (24) INCHES BUT LESS THAN SIXTY–SIX (66) INCHES SHALL HAVE A MINIMUM WIDTH OF TWELVE (12) INCHES MEASURED FROM OUTSIDE OF PIPE BARREL TO TRENCH WALL.
    (C) ALL PIPE HAVING A DIAMETER GREATER THAN SIXTY–SIX (66) INCHES SHALL HAVE A MINIMUM WIDTH OF FIFTEEN (15) INCHES MEASURED FROM OUTSIDE OF PIPE BARREL TO TRENCH WALL.

TRENCH PROTECTION:

5. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PREVENT ANY CAVING OR SETTLING OF EXCAVATION OR TRENCH WALLS WHICH COULD ENDANGER THE SAFETY OF ANY PERSON ENGAGED IN THE WORK OR IN ANY WAY DAMAGE THE UNDERGROUND INSTALLATIONS OF ADJACENT UTILITIES OR PROPERTY; OR DIMINISH THE TRENCH WIDTH NECESSARY FOR THE PROPER CONSTRUCTION OF THE UNDERGROUND INSTALLATION OR OTHERWISE INJURE OR DELAY THE WORK. THE TYPE AND AMOUNT OF SUCH PROTECTION, SUCH AS TRENCH BOXES, SHEETING, SHORING, OR BRACING SHALL BE CONSISTENT WITH THE DEPTH AND WIDTH OF EXCAVATION, THE COMPOSITION AND WATER CONTENT OF THE SOIL, THE PROXIMITY OF STRUCTURES OR OTHER UTILITIES, THE VIBRATION FROM EQUIPMENT AND THE SPOIL PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.

DEWATERING:

6. IN ORDER TO REDUCE GROUND WATER SEEPAGE AND PROVIDE A STABLE TRENCH BOTTOM IT MAY BE NECESSARY TO DEWATER PRIOR TO EXCAVATION OF THE SEWER TRENCH AND/OR PROVIDE TEMPORARY SUMPS.

FOUNDATION BOTTOM:

7. FOUNDATION MATERIAL BELOW THE PIPE AND SIX (6) INCHES OF SUBBEDDING SHALL BE SUITABLE MATERIAL THAT PREVENTS PIPE FROM DEFLECTION DUE TO SETTLEMENT. IF, IN THE ENGINEER'S OPINION, THE MATERIAL FORMING THE TRENCH BOTTOM IS NOT SUITABLE FOR A SOLID FOUNDATION, FURTHER DEPTH SHALL BE EXCAVATED AND THE SAME FILLED WITH MATERIAL AND THICKNESS SPECIFIED BY THE ENGINEER.

SUBBEDDING MATERIAL:

8. AFTER PREPARATION OF THE TRENCH BOTTOM, BEDDING MATERIAL SHALL BE PLACED BELOW PIPE. BEDDING MATERIAL SHALL BE #57 LIMESTONE WITH A MINIMUM THICKNESS OF SIX (6) INCHES AND SPREAD THE FULL WIDTH OF THE TRENCH BOTTOM. BEDDING MATERIAL SHALL NOT HAVE STANDING WATER AND BE FREE OF DEBRIS. ALL CONDUITS SHALL BE INSTALLED ON A FIRM BED FOR ITS FULL LENGTH.

PIPE PROTECTION:

9. ALL TRENCH EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER PIPE IS PLACED. AGGREGATE MATERIAL, #57 LIMESTONE, THOROUGHLY COMPACTED AND INSTALLED AS PER ASTM D–2321 SHALL PROTECT PIPE ACCORDING TO SPECIFICATIONS HEREIN. FLEXIBLE PIPE SHALL HAVE A MINIMUM COVERAGE OF TWELVE (12) INCHES OVER OUTSIDE PIPE BARREL. RIGID PIPE SHALL HAVE A MINIMUM COVERAGE OF SIX (6) INCHES OVER OUTSIDE PIPE BARREL.

STATE OF OHIO JOHN URBANICK E-66506 REGISTERED PROFESSIONAL ENGINEER

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Islander Grille Additions and Alterations

6031 Royalton Road
North Royalton, Ohio

Project Name

Sheet Revision

2	Permit	09-21-2021
1	Planning	02-25-2021

Project Issue

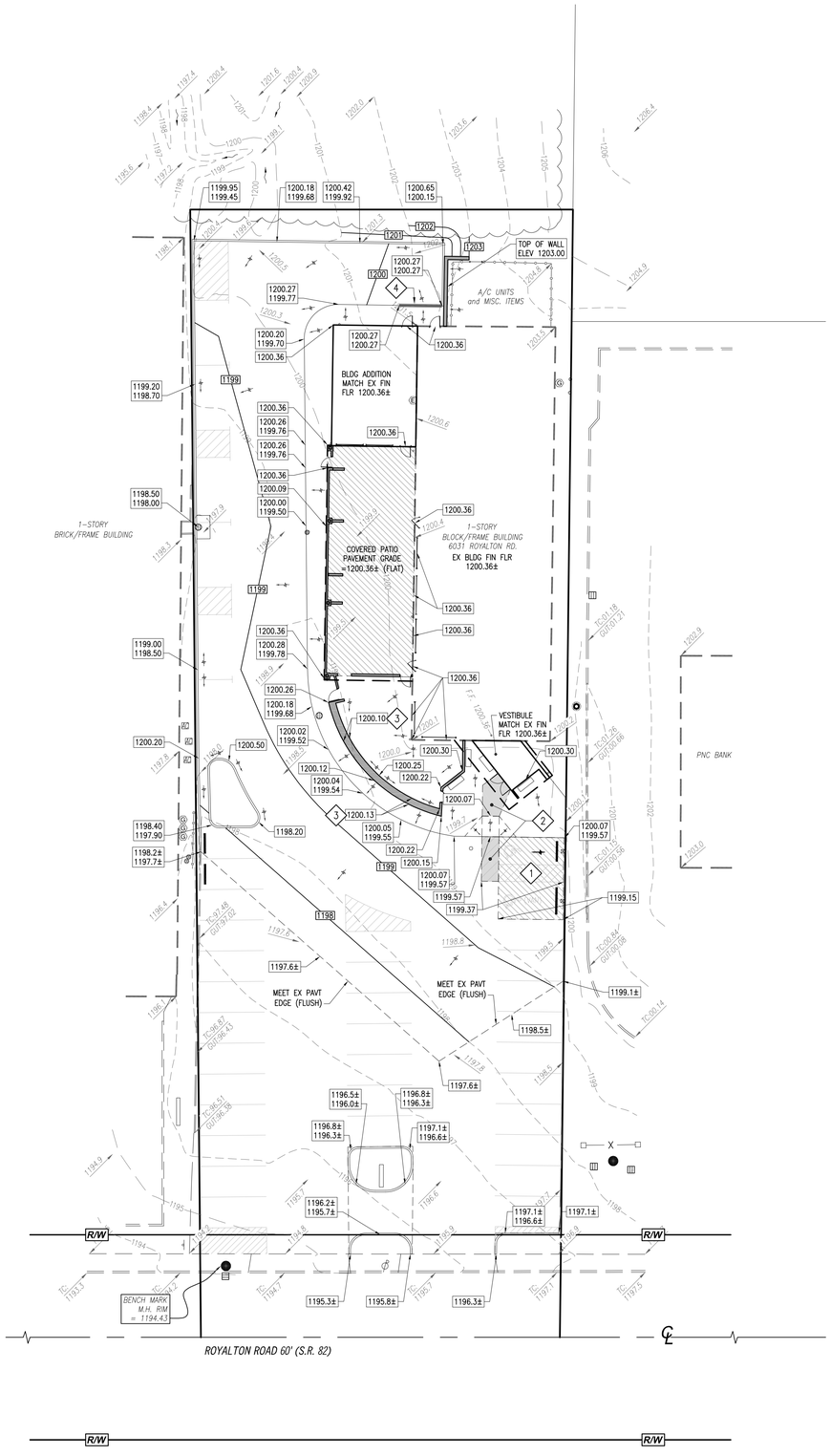
UTILITY PLAN

Sheet Name

C102

Sheet #

RC Project # 20-035



GRADING PLAN KEY NOTE LEGEND

1. 50:1 MAX SURFACE SLOPE PERMITTED IN ADA PARKING SPACE AND LOADING ZONES
2. 20:1 MAX SURFACE SLOPE PERMITTED IN DELINEATED ADA ACCESS WALKWAYS
3. DRAINAGE SLEEVE IN PATIO WALL AT PATIO LOW POINT – SEE ARCH PLANS
4. CURB & ASPH FLUSH IN THIS AREA

GRADING PLAN NOTES

1. IF THE CONTRACTOR BELIEVES THAT SOME OR ALL OF THE EXISTING INFORMATION SHOWN ON THE PROJECT SURVEY IS INACCURATE, THEN THEY ARE REQUIRED TO HAVE A CERTIFIED SURVEY PERFORMED OF THE PROJECT AREA IN QUESTION. THIS CERTIFIED SURVEY MUST BE PERFORMED PRIOR TO ANY DEMOLITION OR EARTHWORK. THIS CERTIFIED SURVEY WILL BE USED AS THE BASIS FOR CONFIRMING ACCURACY OF THE INFORMATION PROVIDED AS PART OF THE CONTRACT DOCUMENTS.
2. ALL NEW EARTHWORK SHALL BE BLENDED TO MEET EXISTING SITE CONDITIONS WHICH ARE TO REMAIN. GRADED SLOPES ARE SHOWN AT 3:1 MAXIMUM.
3. ALL PROPOSED LAWN AND HARD SURFACE GRADED AREAS SHALL HAVE POSITIVE SURFACE DRAINAGE TOWARDS STORM DRAINAGE STRUCTURES AND AWAY FROM ALL STRUCTURES WHERE APPLICABLE. CONTRACTOR SHALL CONTACT ENGINEER IF DRAINAGE CONFLICTS ARISE IN FIELD DURING CONSTRUCTION.
4. PROPOSED GRADING SHALL NOT INHIBIT THE SURFACE DRAINAGE FOR ADJOINING PARCELS.
5. ALL PROPOSED PAVEMENT SHALL HAVE A MINIMUM SURFACE SLOPE OF 1.20% AND A MAXIMUM SURFACE SLOPE OF 5.00% UNLESS OTHERWISE NOTED.
6. CONTRACTOR SHALL CONSTRUCT ALL IMPROVEMENTS SO AS TO MINIMIZE DAMAGE TO PAVED AREAS CALLED TO REMAIN OR PAVED AREAS TO BE MILLED AND RESURFACED..
7. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE LATEST EDITION OF OHIO'S STANDARDS FOR STORMWATER MANAGEMENT LAND DEVELOPMENT AND URBAN STREAM PROTECTION ENTITLED "RAINWATER AND LAND DEVELOPMENT" (LATEST EDITION).
8. ALL GRADED SLOPES GREATER THAN OR EQUAL TO 6:1 SHALL HAVE EROSION CONTROL BLANKETS INSTALLED AS PER PROJECT SPECIFICATIONS.
9. ALL NEW DRIVEWAY APRONS WITHIN THE PUBLIC RIGHT OF WAY(S) SHALL MAINTAIN ADA ACCESSIBLE ACCESS WHERE THE PUBLIC SIDEWALK CROSSES THE NEW DRIVEWAY APRON.
10. ALL LAWN AREAS REMOVED OR DISTURBED SHALL BE REPLACED BY SEEDING AND MULCHING IN ACCORDANCE WITH ITEM 659 OF ODOT SPECIFICATIONS AND SHALL BE RESEEDED AND MULCHED WHEN REQUESTED IF SATISFACTORY RE-ESTABLISHMENT OF LAWN DOES NOT OCCUR.

SITE PREPARATION AND EARTHWORK NOTES

EARTHWORK NOTES

1. THE RECOMMENDATIONS INCLUDED IN THIS REPORT ARE NOT BASED ON TEST BORINGS, OR ANY KNOWN KNOWLEDGE OF SUBSURFACE CONDITIONS AT THE SITE. ANY FUTURE PROJECT DEVELOPMENT'S EXTENT AND DESIGN ARE UNKNOWN. THE INCLUDED RECOMMENDATIONS MUST BE CONSIDERED PRELIMINARY IN NATURE. ALL RECOMMENDATIONS HAVE BEEN MAINTAINED ON A HIGHLY GENERALIZED PLAN AND ARE NOT TO BE CONSTRUED AS SPECIFIC AND/OR FINALIZED. A DETAILED SITE INVESTIGATION INCLUDING TEST BORINGS, LABORATORY TESTS AND ANALYSIS WILL BE REQUIRED PRIOR TO ANY FINAL DESIGN FOR FUTURE IMPROVEMENTS.

SITE PREPARATION

2. PRECAUTIONS SHOULD BE EXERCISED DURING THE REMOVAL OF THE EXISTING BUILDING STRUCTURES AT THE PROPOSED SITE. ALL EXISTING FOUNDATIONS, FLOOR SLABS, BASEMENTS, ETC., SHOULD BE COMPLETELY REMOVED FROM THE SITE. THE EXCAVATIONS SHOULD BE CLEANED OF ALL FOREIGN DEBRIS AND THEN BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIALS TO LESSEN POTENTIAL SETTLEMENT THAT MAY OCCUR.
3. FOLLOWING THE SITE CLEARING, STRIPPING AND UNDERCUTTING, AND PRIOR TO PLACING SUITABLE FILL, THE EXPOSED SUBGRADES SHOULD BE PROOFROLLED WITH A LOADED 20-TON TO 30-TON TANDEM-AXLE DUMP TRUCK UNTIL THE GRADE OFFERS A RELATIVELY UNYIELDING SURFACE. AREAS OF EXCESSIVE YIELDING SHOULD BE EXCAVATED AND BACKFILLED WITH COMPACTED SUITABLE FILL AND/OR THE UNSTABLE SOILS CAN BE STABILIZED BY CHOKING THE EXPOSED BEARING SURFACE WITH CRUSHED LIMESTONE OR SIMILAR COARSE AGGREGATE. AFTER THE EXISTING SUBGRADE MATERIALS ARE EXCAVATED PROPER CONTROL OF SUBGRADE COMPACTION AND THE PLACEMENT AND COMPACTION OF NEW FILL MATERIALS SHOULD BE PERFORMED.
4. IT IS RECOMMENDED THAT THE SITE PREPARATION, PROOFROLLING AND EARTHWORK ACTIVITIES SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER, WHICH CAN SIGNIFICANTLY REDUCE THE REQUIRED EXTENT OF SOIL STABILIZATION, DRAINAGE AND SURFACE REPAIRS.
5. DURING SITE PREPARATION, BURN PITS, TRASH PITS OR OTHER ISOLATED DISPOSAL AREAS MAYBE ENCOUNTERED. ANY SUCH MATERIALS ENCOUNTERED DURING SITE WORK ON CONSTRUCTION SHOULD BE COMPLETELY EXCAVATED AND REMOVED FROM THE SITE.

SUITABLE FILL

6. SUITABLE FILL MATERIALS SHOULD CONSIST OF NON-EXPANSIVE MATERIALS, POTENTIALLY EXPANSIVE MATERIALS SHOULD NOT BE USED AS SUITABLE FILL MATERIAL. MATERIALS SELECTED FOR USE AS SUITABLE FILL SHOULD NOT CONTAIN ORGANIC MATTER, WASTE CONSTRUCTION DEBRIS, OR OTHER DELETERIOUS MATERIALS, FILL MATERIALS SHOULD GENERALLY HAVE A STANDARD PROCTOR MAXIMUM DRY DENSITY GREATER THAN 110 POUNDS PER CUBIC FOOT (PCF), AN ATTERBERG LIQUID LIMIT LESS THAN 40, A PLASTICITY INDEX OF LESS THAN 20, AND A MAXIMUM PARTICLE SIZE OF 2 INCHES OR LESS.
7. REPRESENTATIVE SAMPLES OF THE PROPOSED FILL MATERIAL SHOULD BE COLLECTED AT LEAST ONE WEEK PRIOR TO THE START OF THE FILLING OPERATIONS. THE SAMPLES SHOULD BE TESTED TO DETERMINE THE MAXIMUM DRY DENSITY, OPTIMUM MOISTURE CONTENT, PARTICLE SIZE DISTRIBUTION AND PLASTICITY CHARACTERISTICS. THESE TESTS ARE NEEDED TO DETERMINE IF THE MATERIAL IS ACCEPTABLE AS SUITABLE FILL AND FOR QUALITY CONTROL DURING THE COMPACTION PROCESS.
8. THE FILL SHOULD BE PLACED IN LAYERS OF NOT MORE THAN 8 INCHES IN THICKNESS, WITH EACH LAYER BEING COMPACTED TO A MINIMUM DENSITY OF 98 PERCENT OF THE MAXIMUM DRY DENSITY AND WITH +/– 2% OF THE OPTIMUM MOISTURE CONTENT, AS DETERMINED BY THE STANDARD PROCTOR METHOD ASTM D-698. MOISTURE CONTROL OF THE SUITABLE FILL MATERIALS MAY BE NECESSARY FOR COMPACTION.
9. SUITABLE FILL OPERATIONS WILL REQUIRE MONITORING/TESTING BY A GEOTECHNICAL CONSULTANT TO ENSURE PROPER COMPACTION REQUIREMENTS ARE MET.

GROUNDWATER CONTROL AND DRAINAGE

10. WATER SEEPING MAY BE ENCOUNTERED DURING FOUNDATION EXCAVATION AND DEMOLITION. ACCORDINGLY, A GRAVITY DRAINAGE SYSTEM, SUMP PUMP OR OTHER CONVENTIONAL DEWATERING PROCEDURE AS DEEMED NECESSARY BY THE FIELD CONDITIONS MAY BE NECESSARY. EVERY EFFORT SHOULD BE MADE TO KEEP THE EXCAVATIONS DRY IF WATER IS ENCOUNTERED.
11. POSITIVE SITE DRAINAGE SHOULD BE PROVIDED TO REDUCE INFILTRATION OF SURFACE WATER AROUND THE PERIMETER OF THE FILL AREA. OVERALL SITE AREA DRAINAGE IS TO BE ARRANGED IN A MANNER SUCH THAT THE POSSIBILITY OF WATER IMPOUNDING OVER THE STRUCTURAL FILL IS PREVENTED.

EXCAVATIONS

12. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DESIGNING AND CONSTRUCTING STABLE, TEMPORARY EXCAVATIONS AND SHOULD SHORE, SLOPE, OR BENCH THE SIDES OF THE EXCAVATIONS AS REQUIRED TO MAINTAIN STABILITY OF BOTH THE EXCAVATION SIDES AND BOTTOM. THE CONTRACTOR SHOULD EVALUATE THE SOIL EXPOSED IN THE EXCAVATIONS AS PART OF THE CONTRACTOR'S SAFETY PROCEDURES. IN NO CASE SHOULD SLOPE HEIGHT, SLOPE INCLINATION, OR EXCAVATION DEPTH INCLUDING UTILITY TRENCH EXCAVATION DEPTH, EXCEED THOSE SPECIFIED IN LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
13. MATERIALS REMOVED FROM THE EXCAVATION SHOULD NOT BE STOCKPILED IMMEDIATELY ADJACENT TO THE EXCAVATION, INASMUCH AS THIS LOAD MAY CAUSE A SUDDEN COLLAPSE OF THE EMBANKMENT.

WEATHER CONSIDERATIONS

14. THE SOILS COULD BE SENSITIVE TO DISTURBANCES CAUSED BY CONSTRUCTION TRAFFIC AND TO CHANGES IN MOISTURE CONTENT. DURING WET WEATHER PERIODS, INCREASES IN THE MOISTURE CONTENT OF THE SOIL CAN CAUSE SIGNIFICANT REDUCTION IN THE SOIL STRENGTH AND SUPPORT CAPABILITIES. CARE SHOULD BE EXERCISED DURING THE GRADING OPERATIONS AT THE SITE. TRAFFIC OF HEAVY EQUIPMENT, INCLUDING HEAVY COMPACTION EQUIPMENT, MAY VERY WELL CREATE PUMPING AND A GENERAL DETERIORATION OF THE SOILS IN THE PRESENCE OF WATER. THEREFORE, THE GRADING SHOULD, IF AT ALL POSSIBLE, BE PERFORMED DURING A DRY SEASON. A LAYER OF CRUSHED STONE MAY BE REQUIRED TO ALLOW THE MOVEMENT OF CONSTRUCTION TRAFFIC OVER THE SITE DURING THE RAINY SEASON. THE CONTRACTOR SHOULD MAINTAIN POSITIVE SITE DRAINAGE AND IF WET/PUMPING CONDITIONS OCCUR, THE CONTRACTOR WILL BE RESPONSIBLE TO OVER EXCAVATE THE WET SOILS AND REPLACE THEM WITH A PROPERLY COMPACTED ENGINEERED FILL.

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REGISTERED
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6031 Royalton Road
North Royalton, Ohio

Project Name

Sheet Revision

2	Permit	09-21-2021
1	Planning	02-25-2021

Project Issue

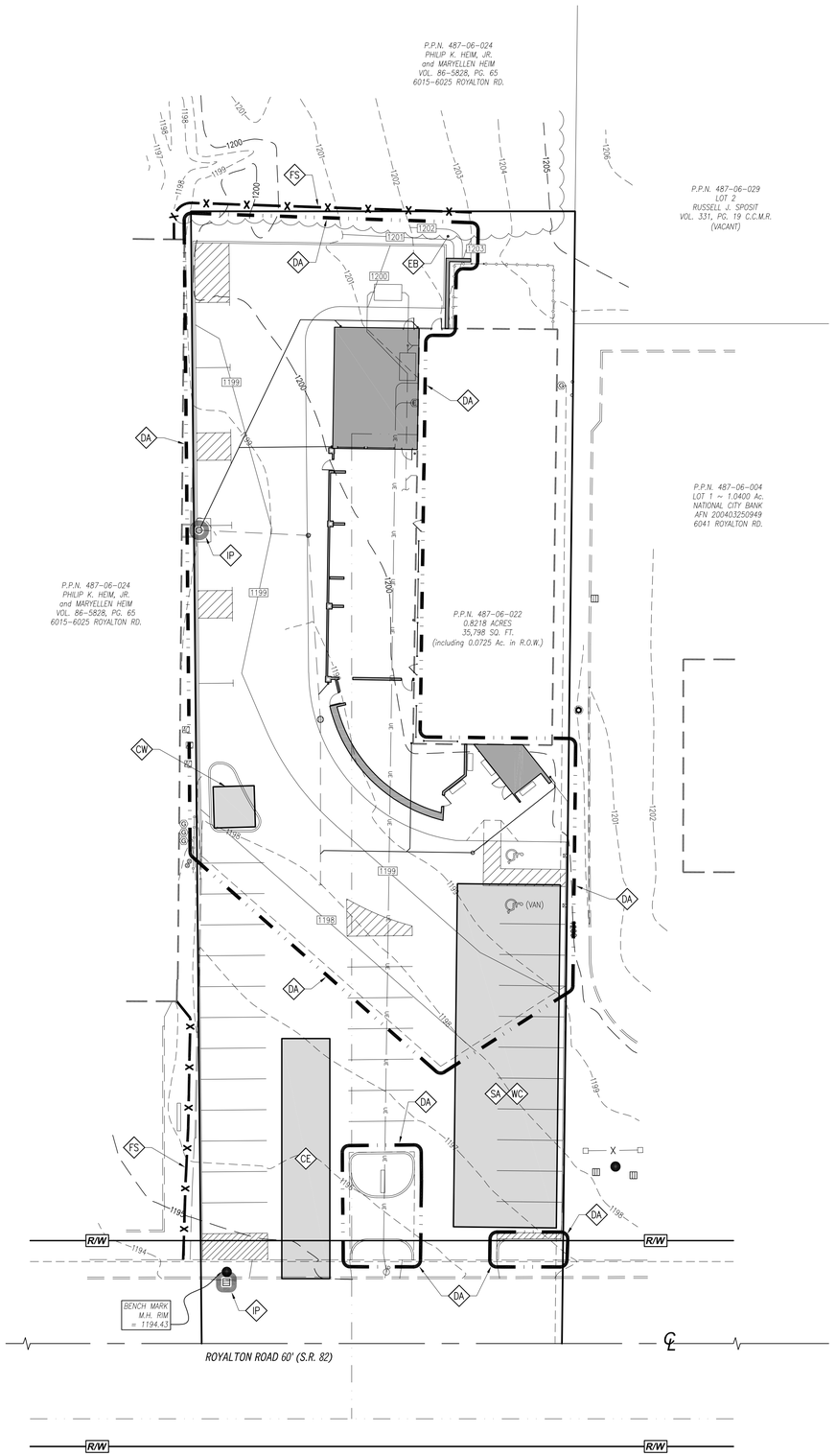
GRADING PLAN

Sheet Name

C103

Sheet #

RC Project # 20-035



ABBREVIATED SWP3-1 LEGEND

DA = DISTURBANCE AREA
CE = CONSTRUCTION ENTRANCE, PER DETAIL
SA = STAGING AREA
WC = WASTE CONTAINER AREA
CW = CONCRETE WASHOUT AREA, PER DETAIL
FS = FILTER SOCK, PER DETAIL
IP = INLET PROTECTION, PER DETAIL
EB = EROSION CONTROL BLANKETS

PROJECT PARCEL DATA

ADDRESS	6031 ROYALTON ROAD NORTH ROYALTON, OHIO	
PARCEL #	487-06-022	
PROJECT PARCEL AREA =	35,798 SF	= 0.822 ACRES
PROJECT DISTURBANCE AREA =	20,070 SF	= 0.461 ACRES
EXISTING IMPERVIOUS AREA =	32,596 SF	= 0.748 ACRES
PROPOSED IMPERVIOUS AREA =	32,450 SF	= 0.745 ACRES
NET IMPERVIOUS AREA =	-146 SF	= -0.003 ACRES

ABBREVIATED SWP3-1 NOTES

OHIO EPA FACILITY PERMIT NUMBER-NOT APPLICABLE
PROJECT DISTURBANCE IS LESS THAN 1.00 ACRE

SITE DESCRIPTION:

1. THIS PROJECT WILL CONSIST OF DEMOLITION OF THE EXISTING BLOCK BUILDING ON THE EAST SIDE OF THE SITE & THE EXISTING COVERED FRAME PATIO. THE BUILDING ON THE WEST SIDE OF THE SITE IS TO REMAIN. CONSTRUCTION WILL INCLUDE TWO ADDITIONS TO THE BUILDING THAT IS TO REMAIN & A NEW PAVED PATIO AREA. THE PROJECT WILL ALSO CONSIST OF PAVEMENT REMOVAL/REPLACEMENT & DRAINAGE UTILITY IMPROVEMENTS.
2. AS PER THE USDA SOIL SURVEY, THE SOIL TYPE FOR MOST OF THE SITE IS AN URBAN LAND (Ub) SOIL.
3. THIS SITE HAS BEEN A USE FOR COMMERCIAL SITES. NO OTHER PRIOR LAND USES ARE KNOWN.
4. SEE STORM WATER POLLUTION PREVENTION PLAN IMPLEMENTATION SCHEDULE.
5. IMMEDIATE RECEIVING STREAM OR SURFACE WATER – THE STORM WATER IS COLLECTED AND DRAINS INTO THE MUNICIPAL STORM SEWER SYSTEM OF THE CITY OF NORTH ROYALTON AND OUTLETS ULTIMATELY TO THE HEADWATERS OF THE EAST BRANCH OF THE ROCKY RIVER (HUC12 WAU 04110001020I).
6. THIS PROJECT IS NOT A SUBDIVIDED DEVELOPMENT
7. THERE ARE NOT STORM WATER DISCHARGES ASSOCIATED WITH DEDICATED ASPHALT OR DEDICATED CONCRETE PLANTS ASSOCIATED WITH THIS SITE.
8. SEE COVER SHEET FOR ADDITIONAL PROJECT INFORMATION.

CONTACT INFORMATION:

9. THE OPERATOR RESPONSIBLE FOR IMPLEMENTATION OF STORM WATER POLLUTION PREVENTION PLAN:
   NOT KNOWN AT THIS TIME
10. THE CERTIFIED PROFESSIONAL WHO PREPARED THE COMPREHENSIVE STORM WATER MANAGEMENT PLAN AND IS AUTHORIZED TO AMEND SAID PLAN:
    JOHN URBANICK – ROCKAWAY CIVIL
    10191 SPERRY ROAD
    KIRTLAND, OH 44094
    JURBANICK@ROCKAWAYCIVIL.COM
11. THE SITE OWNER:
    PATIO 82 LLC
    7581 PEARL ROAD
    MIDDLEBURG HEIGHTS, OH 44130
12. SEE APPENDIX 1 – GRADING AND STABILIZATION ACTIVITIES LOG
13. SEE SWP3-2
14. OTHER CONTROLS:
    - IF SUBSTANCES SUCH AS OIL, DIESEL FUEL, HYDRAULIC FLUID, ANTIFREEZE, ETC. ARE SPILLED, LEAKED, OR RELEASE ONTO SOIL, THE SOIL SHOULD BE DUG UP AND DISPOSED OF AT A LICENSED SANITARY LANDFILL OR OTHER APPROVED PETROLEUM CONTAMINATED SOIL REMEDIATION FACILITY (NOT A CONSTRUCTION/DEMOLITION DEBRIS LANDFILL).
    - SPILLS ON PAVEMENT SHALL BE ABSORBED WITH SAWDUST, KITTY LITTER, OR OTHER ABSORBENT MATERIAL & DISPOSED OF WITH THE TRASH AT A LICENSED SANITARY LANDFILL.
    - HAZARDOUS OR INDUSTRIAL WASTES SUCH AS MOST SOLVENTS, GASOLINE, OIL-BASED PAINTS, AND CEMENT CURING COMPOUNDS REQUIRE SPECIAL HANDLING.
    - LARGE PETROLEUM SPILLS (>25 GALLONS) SHALL BE REPORTED TO THE OHIO EPA (1-800-282-9378), LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE WITHIN 30 MINUTES OF THE DISCOVERY OF THE RELEASE.

ABBREVIATED SWP3 INSPECTIONS

1. TEMPORARY BMPS ARE TO BE INSPECTED WEEKLY AND AFTER EVERY RAIN EVENT OF 0.5 INCHES WITHIN A 24 HOUR PERIOD.
2. AN INSPECTION WAIVER REQUEST IS TO BE SUBMITTED TO THE OEPA TO REDUCE THE AMOUNT OF MONTHLY INSPECTION IF THE SITE IS TO LIE DORMANT FOR AN EXTENDED PERIOD OF TIME.
3. INSPECTIONS ARE TO BE PERFORMED BY "QUALIFIED INSPECTION PERSONNEL." INSPECTION RECORDS ARE TO BE KEPT FOR A MINIMUM 3 YEARS AFTER THE TERMINATION OF CONSTRUCTION ACTIVITIES.
4. AN INSPECTION CHECKLIST WILL BE COMPLETED AND SIGNED BY THE INSPECTOR AFTER EVERY INSPECTION.
5. NON-SEDIMENT BMPS ARE TO BE REPAIRED WITHIN 3 DAYS OF INSPECTION AND SEDIMENT PONDS ARE TO BE REPAIRED AND CLEANOUT WITHIN 10 DAYS OF INSPECTION. BMPS THAT ARE NOT MEETING THE INTENDED FUNCTION OR HAVE NOT BEEN INSTALLED ARE TO BE REINSTALLED/INSTALLED WITHIN 10 DAYS OF INSPECTION.

ABBREVIATED SWP3 IMPLEMENTATION SCHEDULE:

ITEMS LISTED IN THIS IMPLEMENTATION SCHEDULE ARE TO BE ADDRESSED CHRONOLOGICALLY IN THE ORDER THEY ARE LISTED. THIS IMPLEMENTATION SCHEDULE IS TO BE USED AS A GENERAL GUIDE FOR STORM WATER POLLUTION PREVENTION ITEMS. AT A MINIMUM, ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSPECTED AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS OF ANY STORM EVENT GREATER THAN 0.5 INCH PER 24 HOUR PERIOD. EROSION AND SEDIMENT CONTROLS THAT ARE FOUND TO BE IN NEED OF REPAIR DURING THE INSPECTION ARE TO BE REPAIRED WITHIN 3 DAYS OF THE INSPECTION.

1. CONTRACTOR IS TO REVIEW THIS PLAN PRIOR TO INITIATING ANY WORK ON SITE. THE CONTRACTOR IS ALSO RESPONSIBLE FOR REVIEWING AND OBTAINING AN NPDES PERMIT FROM THE OHIO EPA PRIOR TO INITIALIZATION OF WORK ON THE SITE.
2. CONSTRUCTION ACCESS DRIVE SHALL BE LIMITED AS SHOWN ON THE PLANS . ALL VEHICLES ENTERING THE SITE DURING CONSTRUCTION ARE TO USE THIS DRIVE FOR INGRESS AND EGRESS. THIS IS THE ONLY POINT OF INGRESS AND EGRESS TO BE USED DURING THE ENTIRE CONSTRUCTION PROCESS IN ORDER TO REDUCE CONSTRUCTION MATERIALS FROM BEING MOVED ONTO PUBLIC ROADWAYS. THE DRIVE IS TO BE INSPECTED FOR INTEGRITY AT THE END OF EACH DAY. REPAIRS ARE TO BE MADE AND THE DRIVE SHALL BE CLEANED AS NECESSARY
3. THE LIMITS OF DISTURBANCE / CLEARING SHALL BE STAKED OUT PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
4. THE STAGING AREA IS TO BE INCLUDED AT THE LOCATION DEPICTED ON THIS SWPPP. ALL VEHICLES THAT ARE NOT IN USE OR ARE TO REMAIN OVERNIGHT ARE TO BE KEPT IN THE STAGING AREA AND SHALL NOT LIE IDLE IN ANY OTHER AREAS ON SITE.
5. INSTALL THE CONCRETE WASHOUT PIT AND BRING WASTE CONTAINERS TO THE SITE IMMEDIATELY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT WASTE CONTROL PROCEDURES ARE BEING PERFORMED TO PREVENT POLLUTION INTO THE STORM WATER SYSTEM DURING CONSTRUCTION.
6. CONTRACTOR IS TO INSTALL ALL SEDIMENT AND EROSION CONTROL DEVICES PRIOR TO THE START OF DEMOLITION. EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED WITHIN 7 DAYS OF GRUBBING. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, FILTER SOCKS, SILT FENCE, DANDY BAGS AND INLET PROTECTION. SILT FENCE POSTS ARE TO BE SET A MAXIMUM OF 6' FROM EACH OTHER AND THE ENDS OF THE GEOTEXTILE FABRIC OF THE SILT FENCE ARE TO BE SLOPED TOWARD THE UP SLOPE OF THE AREA IT IS SERVING TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE. SILT FENCE IS TO BE INSPECTED AT THE BEGINNING OF EACH DAY AND REPAIRS ARE TO BE MADE IMMEDIATELY. REPAIRS MAY INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: TEARS IN THE GEOTEXTILE FABRIC, COLLAPSED POSTS FROM TOO MUCH RUNOFF OF SILT / SOIL, MISDIRECTION OF SEDIMENT DUE TO IMPROPER INSTALLATION OF EROSION, VANDALISM, ETC.
7. THE CONTRACTOR MUST INSTALL EROSION CONTROLS AND SEDIMENT CONTROLS INCLUDING, BUT NOT LIMITED TO, FILTER SOCKS, SILT FENCE, DIVERSION BERMS, SEDIMENT TRAPS) AS MORE AREAS BECOME DISTURBED THROUGHOUT CONSTRUCTION. THIS SHALL BE DONE PRIOR TO DISTURBING PREVIOUSLY UNDISTURBED LANDS
8. ALL TRENCH AND GROUND WATER COLLECTED IS TO BE PUMPED INTO THE SEDIMENT TRAP TO BE TREATED FOR WATER QUALITY AND DEWATERING DURING CONSTRUCTION.
9. THE SOIL IS TO BE STRIPPED OF ITS TOP ORGANIC LAYER AS NECESSARY ONLY AFTER ALL SEDIMENT AND EROSION CONTROLS HAVE BEEN INSTALLED AND INSPECTED FOR PROPER OPERATION.
10. CLEARING OF THE SITE AND STRIPPING OF EXISTING TOPSOIL WILL BE PERFORMED IN A MANNER THAT DOES NOT DISTURB NEIGHBORING LAND OR PUBLIC ROADWAYS FROM THEIR NORMAL CONDITION. DURING AND AT THE END OF EACH DAY OF TOPSOIL STRIPPING, THE DISTURBED SOIL IS TO BE TREATED WITH OEPA RECOMMENDED DUST SUPPRESSANTS SO THAT DUST DOES NOT ACCUMULATE NOR HAVE THE ABILITY TO SPREAD ONTO NEIGHBORING PROPERTIES, PUBLIC ROADWAYS, OR INTO STORM SEWER STRUCTURES DURING NORMAL WORKING HOURS.
11. ALL REUSABLE EXCAVATED EARTH IS TO BE PLACED AT A SEPARATE STOCKPILE LOCATION AS SHOWN ON THIS SWPPP, WHICH IS TO BE SURROUNDED BY SILT FENCE OR FILTER SOCK AT THE END OF THE FIRST DAY OF BUILDING OF THE STOCKPILES. IF THE STOCKPILE IS TO REMAIN UNDISTURBED FOR LONGER THAN A PERIOD OF 7 DAYS, THEN TEMPORARY SEEDING MUST BE PERFORMED ON THE STOCKPILE AS PER SPECIFICATIONS OF THE SWPPP. SILT FENCE OR FILTER SOCKS MUST BE PLACED AROUND THE PERIMETER OF THE SOIL STOCKPILE ONCE IT HAS BEEN ESTABLISHED.
12. TEMPORARY SEEDING IS TO TAKE PLACE AS PER THE SPECIFICATIONS DESCRIBED ON THE PLANS. TEMPORARY SEEDING IS TO BE PLACED IN AREAS THAT WILL REMAIN IDLE FOR LONGER THAN 7 DAYS.
13. CONSTRUCTION VEHICLES USED IN CONCRETE RELATED WORK ARE TO BE CLEANED OFF AT THE CONCRETE WASH OUT AREA AS DEPICTED ON THIS SWPPP. THIS IS TO BE PERFORMED AT THE END OF EACH DAY OF CONCRETE DEMOLITION AND AT THE END OF ENTIRE CONCRETE DEMOLITION PORTION OF PROJECT. IF THE PRIMARY CONCRETE WASH OUT AREA BECOMES TOO HARD AND DOES NOT ALLOW THE CONCRETE WASH OFF TO PROPERLY WASH OUT, THEN A NEW WASH OUT AREA SHALL BE CREATED AND USED FOR CLEANING WHILE THE OTHER WASH OUT AREA IS REPAIRED.
14. ALL EXCAVATED UTILITY TRENCHES MUST BE STABILIZED AT THE END OF EACH DAY WITH GRAVEL BACKFILL FROM THE BOTTOM OF THE TRENCH TO THE SURFACE TO PREVENT EROSION OF THE TRENCH OVERNIGHT.
15. ALL SPARE AND WASTE CONSTRUCTION MATERIALS ARE TO BE DISPOSED OF IN WASTE CONTAINERS, WHICH ARE TO BE EMPTIED PRIOR TO REACHING THEIR MAXIMUM CAPACITY. SPARE CONSTRUCTION MATERIALS MAY ALSO BE TRANSPORTED OFFSITE TO AN APPROPRIATE LOCATION DETERMINED BY THE CONTRACTOR (I.E. THE CONTRACTOR'S STORAGE WAREHOUSE), OTHERWISE MATERIALS ARE TO BE DISPOSED OF AT AN OFFSITE CONSTRUCTION AND DEBRIS DEMOLITION LANDFILL AS PER ORC 3714.
16. WHEN TOXIC MATERIALS (I.E. FUEL) ARE USED TO CLEAN THE MACHINERY, THE CLEANING MUST TAKE PLACE ON THE STAGING AREA. THE STAGING AREA MUST BE BARRICADED/BERMED AS TO NOT ALLOW RUNOFF FROM THE STAGING AREA ONTO PERMEABLE AREAS. THE TOXIC RUNOFF FROM CLEANING OF MACHINERY IS TO BE COLLECTED VIA VACUUM AND PLACED INTO BARRELS WHICH ARE TO BE DISPOSED OF OFF SITE AT A CONSTRUCTION AND DEBRIS DEMOLITION LANDFILL AS PER ORC 3714.

ADDITIONAL CONSTRUCTION SITE POLLUTION CONTROLS
(PER ODNR RAINWATER & LAND DEVELOPMENT MANUAL)

DESCRIPTION

ALTHOUGH SEDIMENT IS THE PRIMARY POLLUTANT OF CONCERN RESULTING FROM CONSTRUCTION ACTIVITY, OTHER POLLUTANTS NEED TO BE CONSIDERED AS WELL. THESE INCLUDE PETROCHEMICALS: FUEL, OIL AND ASPHALT; AND CONSTRUCTION CHEMICALS AND MATERIALS: PAINTS, SOLVENTS, FERTILIZER, SOIL ADDITIVES, CONCRETE WASH WATER, ETC. ALSO INCLUDED ARE SOLID WASTES AND CONSTRUCTION DEBRIS. KEEPING THESE SUBSTANCES FROM POLLUTING RUNOFF CAN BE ACCOMPLISHED TO A LARGE EXTENT THROUGH GOOD HOUSEKEEPING AND FOLLOWING THE MANUFACTURER'S RECOMMENDATIONS FOR THEIR USE AND DISPOSAL.

CONDITION WHERE PRACTICE APPLIES

WASTES GENERATED BY CONSTRUCTION ACTIVITIES (I.E. CONSTRUCTION MATERIALS SUCH AS PAINTS, SOLVENTS, FUELS, CONCRETE, WOOD, ETC.) MUST BE DISPOSED OF IN ACCORDANCE WITH ORC 3734 AND ORC 3714. HAZARDOUS AND TOXIC SUBSTANCES ARE USED ON VIRTUALLY ALL CONSTRUCTION-SITES. GOOD MANAGEMENT OF THESE SUBSTANCES IS ALWAYS NEEDED.

PLANNING CONSIDERATIONS

GOOD EROSION AND SEDIMENT CONTROL WILL PREVENT SOME POLLUTANTS IN ADDITION TO SEDIMENT FROM LEAVING THE SITE; HOWEVER, POLLUTANTS CARRIED IN SOLUTION OR AS SURFACE FILMS ON RUNOFF WATER WILL BE CARRIED THROUGH MOST EROSION AND SEDIMENT CONTROL PRACTICES. THESE POLLUTANTS BECOME NEARLY IMPOSSIBLE TO CONTROL ONCE CARRIED OFFSITE IN RUNOFF. ADDING TO THE PROBLEM IS THE FACT THAT CONSTRUCTION WASTES, MANY CONTAINING TOXIC CHEMICALS, ARE ROUTINELY BURIED ON-SITE, DUMPED ON THE GROUND, POURED DOWN A STORM DRAIN, OR DISPOSED OF WITH CONSTRUCTION DEBRIS. SO WHILE TYPICAL EROSION AND SEDIMENT-CONTROL PRACTICES ARE IMPORTANT FOR CONTROLLING OTHER POLLUTANTS, ADDITIONAL PREVENTATIVE MEASURES ARE NEEDED.

REDUCING POLLUTANTS OTHER THAN SEDIMENTS DEPENDS HEAVILY ON CONSTRUCTION PERSONNEL AND HOW THEY CARRY OUT THEIR OPERATIONS. TO HELP FACILITATE THIS, PLANS SHOULD CONTAIN STANDARD NOTES CLEARLY STATING REQUIREMENTS TO CONTRACTORS. IT ALSO MAY BE APPROPRIATE TO INCLUDE REQUIREMENTS FOR SPECIFIC PROVISIONS FOR HAZARDOUS MATERIALS STORAGE, HANDLING AND DISPOSAL.

REQUIREMENTS

1. EDUCATE CONSTRUCTION PERSONNEL, INCLUDING SUBCONTRACTORS WHO MAY USE OR HANDLE HAZARDOUS OR TOXIC MATERIALS, MAKING THEM AWARE OF THE FOLLOWING GENERAL GUIDELINES:

   DISPOSAL AND HANDLING OF HAZARDOUS AND OTHER CONSTRUCTION WASTE

DO:

- PREVENT SPILLS
- USE PRODUCTS UP
- FOLLOW LABEL DIRECTIONS FOR DISPOSAL
- REMOVE LIDS FROM EMPTY BOTTLES AND CANS WHEN DISPOSING IN TRASH
- RECYCLE WASTES WHENEVER POSSIBLE

DON'T:

- DON'T POUR INTO WATERWAYS, STORM DRAINS OR ONTO THE GROUND
- DON'T POUR DOWN THE SINK, FLOOR DRAIN OR SEPTIC TANKS
- DON'T BURY CHEMICALS OR CONTAINERS
- DON'T BURN CHEMICALS OR CONTAINERS
- DON'T MIX CHEMICALS TOGETHER

2. WASTE DISPOSAL CONTAINERS SHALL BE PROVIDED FOR THE PROPER COLLECTION OF ALL WASTE MATERIAL INCLUDING CONSTRUCTION DEBRIS, SANITARY GARBAGE, PETROLEUM PRODUCTS AND ANY HAZARDOUS MATERIALS TO BE USED ON-SITE. CONTAINERS SHALL BE COVERED AND NOT LEAKING. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THAT MATERIAL. CONSTRUCTION DEMOLITION AND DEBRIS (CD&D) WASTE MUST BE DISPOSED OF IN ACCORDANCE WITH ORC 3714 AT AN APPROVED OHIO EPA CD&D LANDFILL.

3. NO CONSTRUCTION RELATED WASTE MATERIALS ARE TO BE BURIED ON-SITE. BY EXCEPTION, CLEAN FILL (BRICKS, HARDENED CONCRETE, SOIL) MAY BE UTILIZED IN A WAY THAT DOES NOT ENCROACH UPON NATURAL WETLANDS, STREAMS OR THEIR FLOODPLAINS. FILLING OF STREAM SIDE AREAS IS FILL MAY NOT RESULT IN THE CONTAMINATION OF WATERS OF THE STATE, UNLESS PROHIBITED BY LOCAL ORDINANCE OR ZONING.

4. CONSTRUCTION AND DEMOLITION DEBRIS (CD&D) DISPOSAL. CD&D WASTE MUST BE DISPOSED OF IN ACCORDANCE WITH ORC 3714 AT AN APPROVED OHIO EPA CD&D LANDFILL. CD&D WASTE IS DEFINED AS ALL MATERIALS ATTACHED TO A STRUCTURE, WHICH IS BEING DEMOLISHED (FOR MATERIALS CONTAINING ASBESTOS SEE ITEM 12).

5. HANDLING CONSTRUCTION CHEMICALS. MIXING, PUMPING, TRANSFERRING OR OTHER HANDLING OF CONSTRUCTION CHEMICALS SUCH AS FERTILIZER, LIME, ASPHALT, CONCRETE DRYING COMPOUNDS, AND ALL OTHER POTENTIALLY HAZARDOUS MATERIALS SHALL BE PERFORMED IN AN AREA AWAY FROM ANY WATERCOURSE, DITCH OR STORM DRAIN.

6. EQUIPMENT FUELING AND MAINTENANCE, OIL CHANGING, ETC., SHALL BE PERFORMED AWAY FROM WATERCOURSES, DITCHES OR STORM DRAINS, IN AN AREA DESIGNATED FOR THAT PURPOSE. THE DESIGNATED AREA SHALL BE EQUIPPED FOR RECYCLING OIL AND CATCHING SPILLS. SECONDARY CONTAINMENT SHALL BE PROVIDED FOR ALL FUEL OIL STORAGE TANKS. THESE AREAS MUST BE INSPECTED EVERY SEVEN DAYS AND WITHIN 24 HRS. OF A 0.5 INCH OR GREATER RAIN EVENT TO ENSURE THERE ARE NO EXPOSED MATERIALS WHICH WOULD CONTAMINATE STORM WATER. SITE OPERATORS MUST BE AWARE THAT SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) REQUIREMENTS MAY APPLY. AN SPCC PLAN IS REQUIRED FOR SITES WITH ONE SINGLE ABOVEGROUND TANK OF 660 GALLONS OR MORE, ACCUMULATIVE ABOVEGROUND STORAGE OF 1330 GALLONS OR MORE, OR 42,000 GALLONS OF UNDERGROUND STORAGE. SOILS THAT HAVE BECOME CONTAMINATED MUST BE DISPOSED OF ACCORDANCE WITH ITEM 8 □CONTAMINATED SOILS.

7. CONCRETE WASH WATER/WASH OUTS. CONCRETE WASH WATER SHALL NOT BE ALLOWED TO FLOW TO STREAMS, DITCHES, STORM DRAINS, OR ANY OTHER WATER CONVEYANCE. A SUMP OR PIT WITH NO POTENTIAL FOR DISCHARGE SHALL BE CONSTRUCTED IF NEEDED TO CONTAIN CONCRETE WASH WATER. FIELD TILE OR OTHER SUBSURFACE DRAINAGE STRUCTURES WITHIN 10 FT. OF THE SUMP SHALL BE CUT AND PLUGGED. FOR SMALL PROJECTS, TRUCK CHUTES MAY BE RINSED ON THE LOT AWAY FROM ANY WATER CONVEYANCES.

8. CONTAMINATED SOILS. IF SUBSTANCES SUCH AS OIL, DIESEL FUEL, HYDRAULIC FLUID, ANTIFREEZE, ETC. ARE SPILLED, LEAKED, OR RELEASED ONTO THE SOIL, THE SOIL SHOULD BE DUG UP AND DISPOSED OF AT LICENSED SANITARY LANDFILL OR OTHER APPROVED PETROLEUM CONTAMINATED SOIL REMEDIATION FACILITY (NOT A CONSTRUCTION/DEMOLITION DEBRIS LANDFILL). PLEASE BE AWARE THAT STORM WATER RUNOFF ASSOCIATED WITH CONTAMINATED SOILS ARE NOT AUTHORIZED UNDER OHIO EPA'S GENERAL STORM WATER PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITIES. IN THE EVENT THERE ARE LARGE EXTENSIVE AREAS OF CONTAMINATED SOILS ADDITIONAL MEASURES ABOVE AND BEYOND THE CONDITIONS OF OHIO EPA'S GENERAL CONSTRUCTION STORM WATER PERMIT WILL BE REQUIRED. DEPENDING ON THE EXTENT OF CONTAMINATION, ADDITIONAL TREATMENT AND/OR COLLECTION AND DISPOSAL MAY BE REQUIRED. ALL STORM WATER DISCHARGES ASSOCIATED WITH THE CONTAMINATED SOILS MUST BE AUTHORIZED UNDER AN ALTERNATE NPDES (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT.

9. SPILL REPORTING REQUIREMENTS: SPILLS ON PAVEMENT SHALL BE ABSORBED WITH SAWDUST, KITTY LITTER OR OTHER ABSORBENT MATERIAL AND DISPOSED OF WITH THE TRASH AT A LICENSED SANITARY LANDFILL. HAZARDOUS OR INDUSTRIAL WASTES SUCH AS MOST SOLVENTS, GASOLINE, OIL-BASED PAINTS, AND CEMENT CURING COMPOUNDS REQUIRE SPECIAL HANDLING. SPILLS SHALL BE REPORTED TO OHIO EPA (1-800-282-9378). SPILLS OF 25 GALLONS OR MORE OF PETROLEUM PRODUCTS SHALL BE REPORTED TO OHIO EPA (1-800-282-9378), THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE WITHIN 30 MIN. OF THE DISCOVERY OF THE RELEASE. ALL SPILLS, WHICH RESULT IN CONTACT WITH WATERS OF THE STATE, MUST BE REPORTED TO OHIO EPA'S HOTLINE.

10. OPEN BURNING. NO MATERIALS MAY BE BURNED WHICH CONTAIN RUBBER, GREASE, ASPHALT, OR PETROLEUM PRODUCTS SUCH AS TIRES, CARS, AUTO PARTS, PLASTICS OR PLASTIC COATED WIRE. (SEE OAC 3745-19) OPEN BURNING IS NOT ALLOWED IN RESTRICTED AREAS. RESTRICTED AREAS ARE DEFINED AS: 1) WITHIN CORPORATION LIMITS; 2) WITHIN 1000 FEET OUTSIDE A MUNICIPAL CORPORATION HAVING A POPULATION OF 1000 TO 10,000; AND 3) A ONE MILE ZONE OUTSIDE OF A CORPORATION OF 10,000 OR MORE. OUTSIDE A RESTRICTED AREA, NO OPEN BURNING CAN TAKE PLACE WITHIN A 1000 FEET OF AN INHABITED BUILDING LOCATED OFF THE PROPERTY WHERE THE FIRE IS SET. OPEN BURNING IS PERMISSIBLE IN A RESTRICTED AREA FOR THE FOLLOWING ACTIVITIES: HEATING TAR, WELDING AND ACETYLENE TORCHES, SMUDGE POTS AND SIMILAR OCCUPATIONAL NEEDS, AND HEATING FOR WARMTH OR OUTDOOR BARBEQUES. OUTSIDE OF RESTRICTED AREAS, OPEN BURNING IS PERMISSIBLE FOR LANDSCAPE WASTES (PLANT MATERIAL), LAND-CLEARING WASTES (PLANT MATERIAL, WITH PRIOR WRITTEN PERMISSION FROM OHIO EPA), AND AGRICULTURAL WASTES (MATERIAL GENERATED BY CROP, HORTICULTURAL, OR LIVESTOCK PRODUCTION PRACTICES. THIS INCLUDES FENCE POSTS AND SCRAP LUMBER, BUT NOT BUILDINGS).

11. DUST CONTROL/SUPPRESSANTS. DUST CONTROL IS REQUIRED TO PREVENT NUISANCE CONDITIONS. DUST CONTROLS MUST BE USED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND NOT BE APPLIED IN A MANNER, WHICH WOULD RESULT IN A DISCHARGE TO WATERS OF THE STATE. ISOLATION DISTANCES FROM BRIDGES, CATCH BASINS, AND OTHER DRAINAGEWAYS MUST BE OBSERVED. APPLICATION (EXCLUDING WATER) MAY NOT OCCUR WHEN PRECIPITATION IS IMMINENT AS NOTED IN THE SHORT TERM FORECAST. USED OIL MAY NOT BE APPLIED FOR DUST CONTROL.

12. OTHER AIR PERMITTING REQUIREMENTS: ALL CONTRACTORS AND SUB CONTRACTORS MUST BE MADE AWARE THAT CERTAIN ACTIVITIES ASSOCIATED WITH CONSTRUCTION WILL REQUIRE AIR PERMITS. ACTIVITIES INCLUDING BUT NOT LIMITED TO MOBILE CONCRETE BATCH PLANTS, MOBILE ASPHALT PLANTS, CONCRETE CRUSHERS, LARGE GENERATORS, ETC., WILL REQUIRE SPECIFIC OHIO EPA AIR PERMITS FOR INSTALLATION AND OPERATION. THESE ACTIVITIES MUST SEEK AUTHORIZATION FROM THE CORRESPONDING DISTRICT OF OHIO EPA. NOTIFICATION FOR RESTORATION AND DEMOLITION MUST BE SUBMITTED TO OHIO EPA FOR ALL COMMERCIAL SITES TO DETERMINE IF ASBESTOS CORRECTIVE ACTIONS ARE REQUIRED.

13. PROCESS WASTE WATER/LEACHATE MANAGEMENT. ALL CONTRACTORS SHALL BE MADE AWARE THAT OHIO EPA'S CONSTRUCTION GENERAL PERMIT ONLY ALLOWS THE DISCHARGE OF STORM WATER. OTHER WASTE STREAMS/DISCHARGES INCLUDING BUT NOT LIMITED TO VEHICLE AND/OR EQUIPMENT WASHING, LEACHATE ASSOCIATED WITH ON-SITE WASTE DISPOSAL, CONCRETE WASH OUTS, ETC. ARE A PROCESS WASTEWATER. THEY ARE NOT AUTHORIZED FOR DISCHARGE UNDER THE GENERAL STORM WATER PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITIES. ALL PROCESS WASTEWATERS MUST BE COLLECTED AND PROPERLY DISPOSED AT AN APPROVED DISPOSAL FACILITY. IN THE EVENT THERE ARE LEACHATE OUTBREAKS ASSOCIATED WITH ONSITE DISPOSAL, MEASURES MUST BE TAKEN TO ISOLATE THIS DISCHARGE FOR COLLECTION AND PROPER DISPOSAL. INVESTIGATIVE MEASURES AND CORRECTIVE ACTIONS MUST BE IMPLEMENTED TO IDENTIFY AND ELIMINATE THE SOURCE OF ALL LEACHATE OUTBREAKS.

14. TRENCH AND GROUND WATER CONTROL – NO SEDIMENT LADEN OR TURBID DISCHARGES FROM ARE PERMITTED TO DISCHARGE TO WATER RESOURCES OR WETLANDS. TRENCH OR GROUND WATER CONTAINING SEDIMENT MUST PASS THROUGH A SEDIMENT SETTLING POND OR OTHER EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE PRIOR TO DISCHARGE. ALTERNATIVELY, SEDIMENT MAY BE REMOVED BY SETTLING IN PLACE OR BY DEWATERING INTO FILTER BAG, SUMP PIT OR EQUALLY EFFECTIVE PRACTICE. GROUND WATER DEWATERING THAT DOES NOT CONTAIN SEDIMENT OR OTHER POLLUTANTS IS NOT REQUIRED TO BE TREATED PRIOR TO DISCHARGE. ENSURE THAT THE NON-SEDIMENT LADEN GROUND WATER DOES NOT BECOME POLLUTANT LADEN BY FLOWING OVER DISTURBED SOIL OR POLLUTANT SOURCES.

15. PERMIT TO INSTALL (PTI) REQUIREMENTS: ALL CONTRACTORS AND SUB CONTRACTORS MUST BE MADE AWARE THAT A PTI MUST BE SUBMITTED AND APPROVED BY OHIO EPA PRIOR TO THE CONSTRUCTION OF ALL CENTRALIZED SANITARY SYSTEMS, INCLUDING SEWER EXTENSIONS, AND SEWERAGE SYSTEMS (EXCEPT THOSE SERVING ONE, TWO, AND THREE FAMILY DWELLINGS) AND POTABLE WATER LINES. THE ISSUANCE OF AN OHIO EPA CONSTRUCTION GENERAL STORM WATER PERMIT DOES NOT AUTHORIZE THE INSTALLATION OF ANY SEWERAGE SYSTEM WHERE OHIO EPA HAS NOT APPROVED A PTI.

STATE OF OHIO
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0 20'
SCALE: 1"=20'

OHIO811.org
Before You Dig

Islander Grille Additions and Alterations

6031 Royalton Road
North Royalton, Ohio

Project Name

Sheet Revision

2	Permit	09-21-2021
1	Planning	02-25-2021

Project Issue

ABBR
SWP3-1

Sheet Name

C200

Sheet #

RC Project # 20-035

SEEDING DATES	SPECIES	LB/1000 FT²	LB/ACRES
MARCH 1 TO AUGUST 15	OATS	3	128 (4 BUSHEL)
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	PERENNIAL RYEGRASS	1	40
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	ANNUAL RYEGRASS	1.25	55
	PERENNIAL RYEGRASS	3.25	142
	CREEPING RED FESCUE	0.4	17
	KENTUCKY BLUEGRASS	0.4	17
	OATS	3	128 (4 BUSHEL)
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
AUGUST 16 TO NOVEMBER 1	RYE	3	112 (2 BUSHEL)
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	WHEAT	3	120 (2 BUSHEL)
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	PERENNIAL RYEGRASS	1	40
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	ANNUAL RYEGRASS	1.25	40
	PERENNIAL RYEGRASS	3.25	40
	CREEPING RED FESCUE	0.4	40
	KENTUCKY BLUEGRASS	0.4	
NOVEMBER 1 TO FEBRUARY 29	USE MULCH ONLY, SODDING PRACTICES OR DORMANT SEEDING.		
NOTE: OTHER APPROVED SEED SPECIES MAY BE APPROVED.			

ADDITIONAL TEMPORARY STABILIZATION NOTES:

1. TEMPORARY SEEDING IS REQUIRED FOR ANY AREAS THAT WILL REMAIN IDLE OVER THE WINTER PRIOR TO THE ONSET OF WINTER WEATHER.
2. TEMPORARY SEEDING IS REQUIRED WITHIN 2 DAYS OF THE MOST RECENT DISTURBANCE FOR AN AREA WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND NOT AT FINAL GRADE THAT WILL REMAIN IDLE FOR 14 DAYS OR MORE.
3. TEMPORARY SEEDING IS REQUIRED ON ANY DISTURBED AREA, INCLUDING SOIL STOCKPILES THAT WILL LIE DORMANT FOR MORE THAN 14 DAYS, BUT LESS THAN ONE YEAR AND NOT WITHIN 50 FEET OF A SURFACE WATER OF THE STATE WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE.

TEMPORARY SEEDING SPECIFICATIONS

SEED MIX	SEEDING RATE LBS/ACRE	SEEDING RATE LBS/1000 FT²	NOTES:
GENERAL USE			
CREEPING RED FESCUE	20–40	1/2–1	FOR CLOSE MOWING AND FOR WATERWAYS WITH <2.0 FT/SEC VELOCITY
DOMESTIC RYEGRASS	10–20 / 20–40	1/4–1/2 / 1/2–1	
KENTUCKY BLUEGRASS TALL FESCUE	40–50	1–1 1/4	
TURF-TYPE (DWARF) FESCUE	90	2 1/4	
STEEP BANKS OR CUT SLOPES			
TALL FESCUE	40–50	1–1 1/4	
CROWN VETCH	10–20	1/4–1/2	DO NOT SEED LATER THAN AUGUST
TALL FESCUE	20–30	1/2–3/4	
FLAT PEA	20–25	1/2–3/4	DO NOT SEED LATER THAN AUGUST
TALL FESCUE	20–30	1/2–3/4	
ROAD DITCHES AND SWALES			
TALL FESCUE	40–50	1–1 1/4	
TURF-TYPE (DWARF) FESCUE	90	2	
KENTUCKY BLUEGRASS	5	1/4	
LAWNS			
KENTUCKY BLUEGRASS	100–120	2	
PERENNIAL RYEGRASS		2	
KENTUCKY BLUEGRASS	100–120	2	FOR SHADED AREAS
CREEPING RED		1–1/2	
RESCUE *NOTE: FOLLOWING SOIL TEST RECOMMENDATIONS IS PREFERRED TO FERTILIZER RATES SHOWN ABOVE			

ADDITIONAL PERMANENT SEEDING REQUIREMENTS:

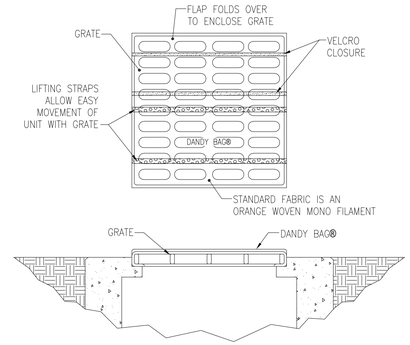
1. PERMANENT SEEDING IS REQUIRED FOR ANY DISTURBED AREA THAT WILL LIE DORMANT FOR ONE YEAR OR MORE WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE.
2. PERMANENT SEEDING IS REQUIRED FOR ANY AREA WITHIN 50 FEET OF A SURFACE WATER BODY OF THE STATE AND AT FINAL GRADE WITHIN 2 DAYS OF REACHING FINAL GRADE.
3. PERMANENT SEEDING IS REQUIRED FOR ANY AREA AT FINAL GRADE WITHIN 7 DAYS OF REACHING FINAL GRADE.

PERMANENT SEEDING SPECIFICATIONS

SPECIFICATIONS FOR
CONSTRUCTION ENTRANCE
(NOT TO SCALE)

1. STONE SIZE–ODOT #2(1.5–2.5 INCH) STONE SHALL BE USED, OR RECYCLED CONCRETE EQUIVALENT. WHEN THE CONSTRUCTION ENTRANCE IS PROPOSED IN AN EXISTING PAVED AREA, THE EXISTING PAVEMENT MAY BE UTILIZED IN LIEU OF STONE.
2. LENGTH–THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 70 FT. (EXCEPTION: APPLY 30 FT. MINIMUM TO SINGLE RESIDENCE LOTS).
3. THICKNESS–THE STONE LAYER SHALL BE AT LEAST 6 INCHES THICK FOR LIGHT DUTY ENTRANCES OR AT LEAST 10 INCHES FOR HEAVY DUTY USE.
4. WIDTH–THE ENTRANCE SHALL BE AT LEAST 14 FEET WIDE, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. GEOTEXTILE–A GEOTEXTILE SHALL BE LAID OVER THE ENTIRE AREA PRIOR TO PLACING STONE. IT SHALL BE COMPOSED OF STRONG ROT–PROOF POLYMERIC FIBERS AND MEET THE FOLLOWING SPECIFICATIONS:
6. TIMING–THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS SOON AS IS PRACTICABLE BEFORE MAJOR GRADING ACTIVITIES.
7. CULVERT–A PIPE OR CULVERT DISCONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FROM FLOWING ACROSS THE ENTRANCE OR TO PREVENT RUNOFF FROM BEING DIRECTED OUT ONTO PAVED SURFACES.
8. WATER BAR–A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.
9. MAINTENANCE–TOP DRESSING OF ADDITIONAL STONE SHALL BE APPLIED AS CONDITIONS DEMAND. MUD SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADS, OR ANY SURFACE WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS, SHALL BE REMOVED IMMEDIATELY. REMOVAL SHALL BE ACCOMPLISHED BY SCRAPING OR SWEEPING.
10. CONSTRUCTION ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF–SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION–SITE SHALL BE RESTRICTED FROM MUDDY AREAS.
11. REMOVAL–THE ENTRANCE SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS STABILIZED OR REPLACED WITH A PERMANENT ROADWAY OR ENTRANCE.

GEOTEXTILE SPECIFICATIONS FOR CONSTRUCTION ENTRANCE	
MINIMUM TENSILE STRENGTH	200 LBS.
MINIMUM PUNCTURE STRENGTH	80 PSI
MINIMUM TEAR STRENGTH	50 LBS.
MINIMUM BURST STRENGTH	320 PSI
MINIMUM ELONGATION	20%
EQUIVALENT OPENING SIZE	EOS<0.6 MM
PERMITTIVITY	1X10–3 CM./SEC.



INSTALLATION AND MAINTENANCE GUIDELINES

INSTALLATION: THE EMPTY DANDY BAG® SHOULD BE PLACED OVER THE GRATE AS THE GRATE STANDS ON END. IF USING OPTIONAL OIL ABSORBENTS; PLACE ABSORBENT PILLOW IN POUCH, ON THE BOTTOM (BELOW–GRADE SIDE) OF THE UNIT. ATTACH ABSORBENT PILLOW TO TETHER LOOP. TUCK THE ENCLOSURE FLAP INSIDE TO COMPLETELY ENCLOSE THE GRATE. HOLDING THE LIFTING DEVICES (DO NOT RELY ON LIFTING DEVICES TO SUPPORT THE ENTIRE WEIGHT OF THE GRATE), PLACE THE GRATE INTO ITS FRAME.

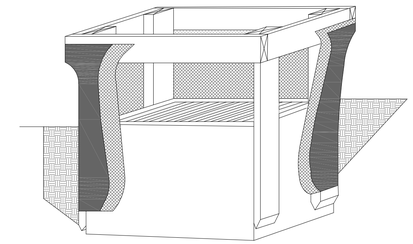
MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH STORM EVENT. REMOVE SEDIMENT THAT HAS ACCUMULATED WITHIN THE CONTAINMENT AREA OF THE DANDY BAG® AS NEEDED. IF USING OPTIONAL OIL ABSORBENTS; REMOVE AND REPLACE ABSORBENT PILLOW WHEN NEAR SATURATION.

ADS FLEX–STORM IS AN ACCEPTABLE INLET PROTECTION ALTERNATIVE.

** DANDY BAGS MAY ONLY BE USED FOR INLET PROTECTION WHEN THE DRAINAGE STRUCTURE IS COMPLETELY SURROUNDED BY PAVEMENT.

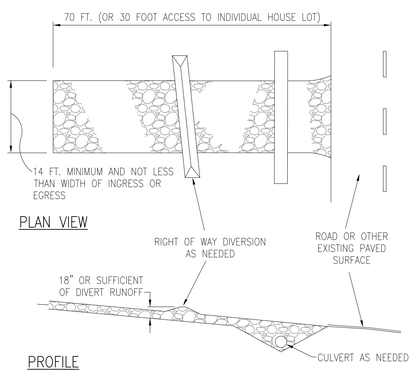
DANDY BAG**®
NOT TO SCALE

SPECIFICATIONS FOR
GEOTEXTILE INLET PROTECTION
(NOT TO SCALE)

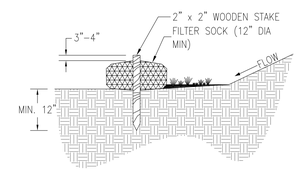


1. INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE INLET BECOMES FUNCTIONAL.
2. THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH OF AT LEAST 18 INCHES.
3. THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2–INCH BY 4–INCH POSTS SHALL BE DRIVEN ONE (1 FT.) INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2–INCH BY 4–INCH FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WILL POSE A SAFETY HAZARD TO TRAFFIC.
4. WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
5. GEOTEXTILE MATERIAL SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20–40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION.
6. BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6–INCH LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
7. A COMPACTED EARTH DIKE OR CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A SDEPRESSION.THE TOP OF THE DIKE SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.
8. STRUCTURES IN NEED ON INLET PROTECTION IN PAVEMENT AREAS ARE TO USE DANDY BAGS OR FILTER SOCK TYPE INLET PROTECTION.

SPECIFICATIONS FOR
CONSTRUCTION ENTRANCE
(NOT TO SCALE)



SPECIFICATIONS FOR
FILTER SOCK
(NOT TO SCALE)



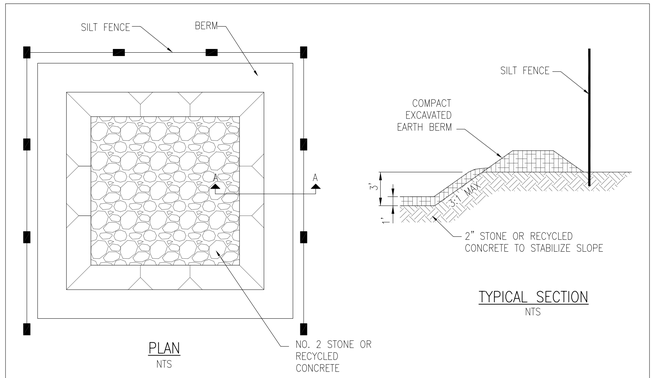
1. MATERIALS – COMPOST USED FOR FILTER SOCKS SHALL BE WEED, PATHOGEN AND INSECT FREE AND FREE OF REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. THEY SHALL BE DERIVED FROM A WELL–DECOMPOSED SOURCE OF ORGANIC MATTER AND CONSIST OF PARTICLES RANGING FROM 3/8" TO 2".
2. FILTER SOCKS SHALL BE 3 OR 5 MILL CONTINUOUS, TUBULAR, HDPE 3/8" KNITTED MESH NETTING MATERIAL, FILLED WITH COMPOST PASSING THE ABOVE SPECIFICATIONS FOR COMPOST PRODUCTS.

INSTALLATION

3. FILTER SOCKS WILL BE PLACED ON A LEVEL LINE ACROSS SLOPES, GENERALLY PARALLEL TO THE BASE OF THE SLOPE OR OTHER AFFECTED AREA. ON SLOPES APPROACHING 2:1, ADDITIONAL SOCKS SHALL BE PROVIDED AT THE TOP AND AS NEEDED MID–SLOPE
4. FILTER SOCKS INTENDED TO BE LEFT AS A PERMANENT FILTER OR PART OF THE NATURAL LANDSCAPE, SHALL BE SEEDED AT THE TIME OF INSTALLATION OF ESTABLISHMENT OF PERMANENT VEGETATION.
5. FILTER SOCKS ARE NOT TO BE USED IN CONCENTRATED FLOW SITUATIONS OR IN RUNOFF CHANNELS.

MAINTENANCE:

6. ROUTINELY INSPECT FILTER SOCKS AFTER EACH SIGNIFICANT RAIN, MAINTAINING FILTER SOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES.
7. REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTER SOCKS WHEN THE REACH 1/3 OF THE EXPOSED HEIGHT OF THE PRACTICE.
8. WHERE THE FILTER SOCK DETERIORATES OR FAILS, IT WILL BE REPAIRED OR REPLACED WITH A MORE EFFECTIVE ALTERNATIVE.
9. REMOVAL – FILTER SOCKS WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED IN SUCH A WAY AS TO FACILITATE AND NOT OBSTRUCT SEEDLINGS.



NOTES:

1. TEMPORARY TRUCK WASHOUT FACILITIES SHOULD BE CONSTRUCTED AS SHOWN ON THIS DETAIL. THE QUANTITY AND VOLUME SHOULD BE SUFFICIENT TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
2. THE WASHOUT AREA SHALL BE LOCATED ADJACENT TO A STABILIZED DRIVE/AREA.
3. CONCRETE WASTE SHALL BE CLEANED OUT PERIODICALLY TO MAINTAIN AN ADEQUATE VOLUME.
4. FOLLOWING CONSTRUCTION, THE WASHOUT SHALL BE REMOVED BY CONTRACTOR.

TEMPORARY CONCRETE WASHOUT DETAIL

APPENDIX G – SWPPP AMENDMENT LOG

SWPPP CONTACT:

AMENDMENT NO.	DESCRIPTION OF THE AMENDMENT	DATE OF AMENDMENT	AMENDMENT PREPARED BY:

APPENDIX I – GRADING AND STABILIZATION ACTIVITIES LOG

SWPPP CONTACT:

DATE GRADING ACTIVITY INITIATED	DESCRIPTION OF GRADING ACTIVITY	DATE GRADING ACTIVITY CEASED (INDICATE TEMPORARY OR PERMANENT)	DATE WHEN STABILIZATION MEASURES ARE INITIATED	DESCRIPTION OF STABILIZATION MEASURE AND LOCATION

STATE OF OHIO JOHN URBANICK E-66506 REGISTERED PROFESSIONAL ENGINEER

ROCKAWAY CIVIL
Rockaway Civil LLC
10191 Sperry Road Kirtland Ohio 44094
440 655 8182 www.rockawayciviil.com

Islander Grille
Additions and Alterations
6031 Royalton Road
North Royalton, Ohio

Project Name

Sheet Revision

2	Permit	09-21-2021
1	Planning	02-25-2021

Project Issue

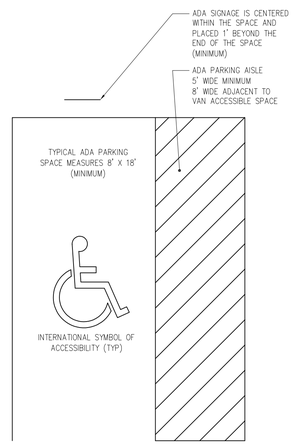
ABBR
SWP3-2

Sheet Name

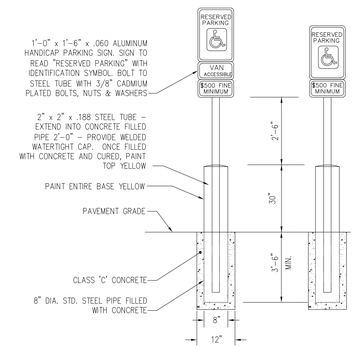
C201

Sheet #

RC Project # 20-035



ADA TYPICAL PARKING DETAIL (90° STALLS)

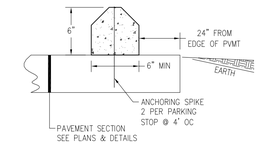


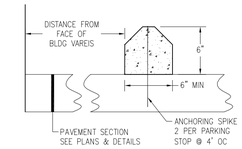
NOTES:

1. HANDICAP PARKING SIGNAGE SHALL CONFORM WITH CURRENT STATE AND LOCAL CODES AND REGULATIONS
2. PER ADA STANDARDS, THE MINIMUM HEIGHT FROM GRADE TO THE BOTTOM OF THE SIGN IS 5 FEET.

HANDICAP PARKING SIGN
(IN PAVEMENT)

NOTE: SIGN POSTS IN LANDSCAPING AREAS ARE NOT REQUIRED TO HAVE A CONCRETE BASE OR CONCRETE FOOTING UNLESS OTHERWISE SPECIFIED. SIGN POSTS IN LANDSCAPING AREAS ARE TO BE DRIVEN 36 INCHES INTO THE GROUND.

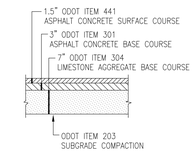




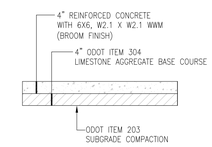
PRECAST CONCRETE PARKING STOP DETAIL
NTS

NOTES:
1. PARKING STOPS ARE TO BE 6' LONG
2. PARKING STOPS ARE TO BE 4,000 PSI PRECAST CONCRETE WITH TWO 3/8" REINFORCING RODS
3. ANCHORING SPIKES ARE TO BE 15" (MIN) LONG REBAR WITH 1/2" (MIN) DIAMETER

NOTE – ODOT ITEM 407 TACK COAT TO BE APPLIED BETWEEN 441 AND 301 AT 0.04 GAL/SY

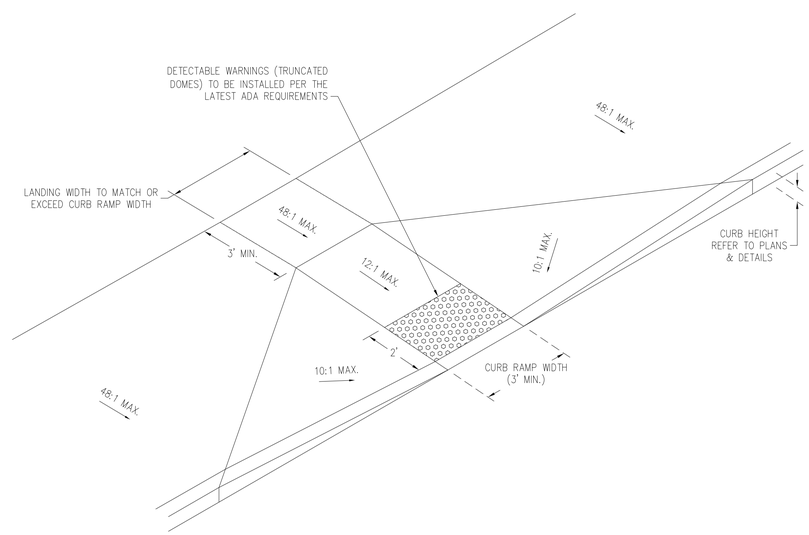


ASPHALT PAVEMENT DETAIL
(STANDARD DUTY)
NTS

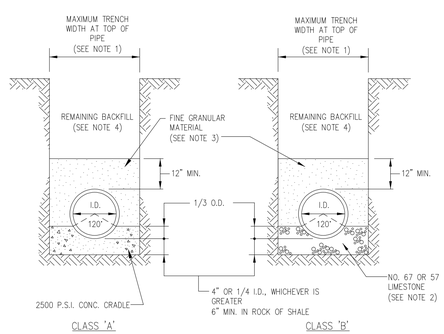


CONCRETE WALK DETAIL
NTS

CONCRETE PAVING NOTES
1. PROVIDE EXPANSION JOINTS AT 25' MAX SPACING
2. PROVIDE CONTRACTION JOINTS TO A DEPTH ¼ THICKNESS AT 8' MAX SPACING
3. CONTRACTION JOINTS AT LIMITS OF CONCRETE SHALL BE PERPENDICULAR TO THE EDGES OF THE CONCRETE SURFACES
4. SUBMIT JOINT SPACING PLAN TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.



FLARED CURB RAMP WITH LANDING AND DETECTABLE WARNINGS DETAIL
NO SCALE



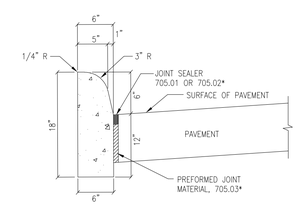
NOTES:

1. MAXIMUM TRENCH AT TOP OF PIPE SHALL BE O.D.+ 24" FOR ALL PIPES UP TO AND INCLUDING 24" I.D.; O.D.+ 30" FOR PIPE LARGER THAN 24" I.D. TO 66" I.D.; AND O.D.+ 48" FOR PIPE SIZES 72" AND OVER.
2. PIPE BEDDING SHALL BE NO. 67 OR NO. 57 LIMESTONE.
3. PIPE BACKFILL SHALL BE NO. 67 OR NO. 57 LIMESTONE TO 12" ABOVE TOP OF PIPE.
4. ALL BACKFILL SHALL BE TAMPED WITH MACHINE MOUNTED TAMPING EQUIPMENT. NO FLOODING, JETTING OR PUDDLING OF BACKFILL WILL BE PERMITTED. BACKFILL SHALL BE COMPLETED TO 100% OF MAXIMUM LABORATORY DRY DENSITY PER ASTM D698. REMAINING TRENCH BACKFILL SHALL BE PREMIUM FILL (LIMESTONE SCREENINGS) TO TOP OF TRENCH UNDER PAVEMENT.
5. ALL BEDDING SHALL BE CLASS 'B' UNLESS OTHERWISE NOTED ON THE PLANS OR AUTHORIZED BY THE ENGINEER.
6. SLAG SHALL NOT BE USED.
7. CLAY DAMS SHALL BE REQUIRED WHEN AND WHERE NECESSARY PER PLAN OR AS DIRECTED BY THE ENGINEER.

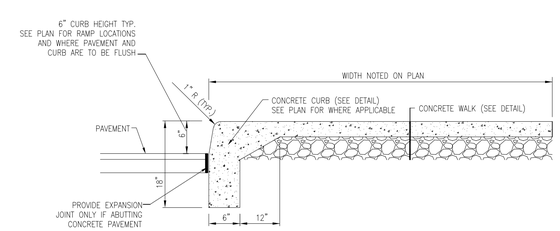
SEWER TRENCH & BEDDING DETAILS

CURB RAMP WITH DETECTABLE WARNINGS NOTES

1. THE ADJACENT SURFACES AR TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS, AND STREETS, SHALL BE AT THE SAME LEVEL.
2. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT BE STEEPER THAN 10:1 & A LANDING SHALL BE PROVIDED AT THE TOP OF THE CURB RAMP. THE LANDING CLEAR LENGTH SHALL BE 36 INCHES MINIMUM.
3. IN AREAS WHERE THERE IS NO LANDING AT THE TOP OF THE CURB RAMP, CURB RAMP FLARES SHALL NOT BE STEEPER THAN 12:1.
4. CURB RAMPS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARES.
5. CURB RAMPS WITH RETURNED CURBS OR OTHER WELL-DEFINED EDGES SHALL HAVE EDGES PARALLEL TO THE DIRECTION OF PEDESTRIAN FLOW.



TYPE 6 CONCRETE CURB DETAIL
NTS



CONCRETE INTEGRAL CURB AND WALK DETAIL
NTS

STATE OF OHIO
JOHN URBANICK
E-66506
REGISTERED
PROFESSIONAL ENGINEER

ROCKAWAY CIVIL
Rockaway Civil LLC
10191 Sperry Road Kirtland Ohio 44094
440 655 8182 www.rockawaycivil.com

Islander Grille Additions and Alterations

6031 Royalton Road
North Royalton, Ohio

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Project Issue

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Sheet #

RC Project # 20-035