

City of North Royalton

Mayor Larry Antoskiewicz

Planning Commission

David Smerek, Building Commissioner

Ian Russell PC Secretary

PUBLIC HEARING LEGAL NOTICE

Pursuant to North Royalton Codified Ordinance 1220.06, notice is given that the Planning Commission of the of the City of North Royalton, Ohio, will hold a meeting on **March 8, 2023** at 7:00 p.m. local time in the Council Chambers at City Hall, 14600 State Road, upon the following subject:

Frontier Land Group, on behalf of Michael Kinsey, is seeking preliminary site plan approval for a proposed detached single-family cluster development consisting of 20 sublots located at 8217 Ridgedale Drive, also known as PPN: 489-02-005, in Residential (R1-A) District zoning.

Plans, specifications, and other documentation are on file at the Building Division, City of North Royalton Service Center, 11545 Royalton Road, and on the City's website for review by interested parties.

You can view the meeting live by entering the following link on your phone or computer or you may attend the meeting in person at North Royalton City Hall.

Link: www.northroyalton.org/PlanningCommission

If you would like to be heard on the subject of this application but are not able to attend the meeting in person, please fill out and submit the Public Comment Form with any documents or photographs and return it to the Building Department no later than March 7th at 12:00 p.m. local time. The form is available on the Planning Commission page of the city website which can be found at the above link. PLEASE NOTE: THE PUBLIC COMMENT FORM MUST BE NOTARIZED IN ORDER TO BE READ INTO THE RECORD.

PLANNING COMMISSION NORTH ROYALTON, OHIO

Ian Russell Planning Commission Secretary 11545 Royalton Road North Royalton, Ohio 44133



City of North Royalton

Mayor Larry Antoskiewicz

Community Development, Building Division Dan Kulchytsky, Building Commissioner

11545 Royalton Road, North Royalton, OH 44133



Phone: 440-582-3000

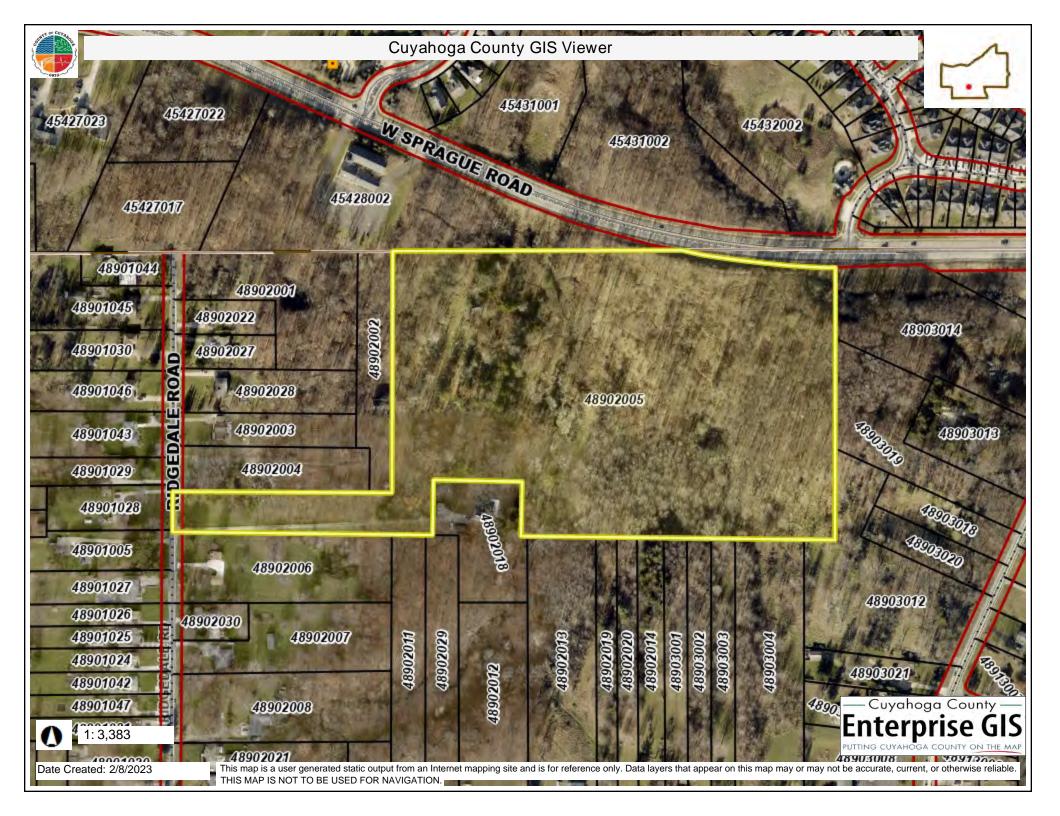
Address	Name of Occupant, Business or Tenant (if applicable)
489-02-005	R1-A, Ward 1
Permanent Parcel Number	Zoning District and Ward
2. Property Owner of Parcel:	
Michael B. Kinsey	
Name	Name of Business (if appRcable)
21111 W. Cameron Ridge Drive	281-758-5413
Address	Phone
Cypress, TX 77433	mbkinsey@emelp.com
3. This request is being made by the	Email (electronic mail) Following responsible party (Owner / Authorized
3. This request is being made by the Representative): Frontier Land Group	e following responsible party (Owner / Authorized
3. This request is being made by the Representative): Frontier Land Group Name	Property (Owner / Authorized Name of Business (if applicable)
3. This request is being made by the Representative): Frontier Land Group Name 25700 Science Park Drive, Suite 360	Name of Business (If applicable) 216-342-4348 x 102
3. This request is being made by the Representative): Frontier Land Group Name 25700 Science Park Drive, Suite 360 Address	Name of Business (if applicable) 216-342-4348 x 102 Phone
Representative): Frontier Land Group Name 25700 Science Park Drive, Suite 360 Address Cleveland, OH 44122	Name of Business (If applicable) 216-342-4348 x 102 Phone jrosen@frontierlg.com
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3. This request is being made by the Representative): Frontier Land Group Name 25700 Science Park Drive, Suite 360 Address Cleveland, OH 44122 City, State and Postal Code	Name of Business (if applicable) 216-342-4348 x 102 Phone jrosen@frontierlg.com

CITY OF NORTH ROYALTON PLANNING COMMISSION APPLICATION

Our	goal is to develop a fee-simple single-family detached cluster development consisting of
20 sublots	. This will be a for-sale community. Our intention is to situate the development in the Northeast
portion of the	e property as to preserve as much of the natural environmental factors exisiting on-site as possib
The balance o	of the site will be conserved as open-space. It is early on in our analysis; however, we believe that
this will be m	ore of a step-down/empty nester/lifestyle community.
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. Applicant	's Plan Request: (please mark appropriate box)
	's Plan Request: (please mark appropriate box)
	al / Industrial / Residential:
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Commerci Subdivisio	Preliminary Site Plan Approval Final Site Plan Approval Sketch Plan Approval Preliminary Site Plan Approval Preliminary Site Plan Approval Final Site / Preliminary Plat Approval Final Plat / Dedication Approval Commission or its agent(s) is hereby authorized to enter upon the property for which lought, without further notification, to inspect said property. Any such inspection shall tween the hours of 9 a.m. and 5 p.m. on any day of the week, including weekends. Instand that any misrepresentation of data or facts or violations of the Ordinances of the Royalton are cause for refusal, suspension or revocation of this license if issued.
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CITY OF NORTH ROYALTON PLANNING COMMISSION APPLICATION

	6. Written Authority Form (complete this form if you are <u>unable</u> to be present at meeting (submit original – do not fax or email)	i»
	I, MICHAEL B. KINSEY (name) of	
	(company, if applicable), hereby certify that I/we are the OWNER	······································
	(owner(s), executor(s), etc.) of 8217 RIDGEDALE ROAD (property addr	
	permanent parcer number) and function verify that Transaction	(name
	of representative) is authorized to represent my/our interests and make decisions on my/our	behali
	when appearing before the North Royalton Planning Commission.	,
•	178.9L: MARCH 22, 2022	
	Signature Date	
	who acknowledged that he or she did sign the foregoing instrument and the same is his or hact and deed.	
	In testimony where of I have hereunto set my hand and official seal at Amegy Four	<u> </u>
፲ ፫ኦኢ	ASONIO ON this day of, 2000-	
	_ Chefiell	
	Notary Signature	
	Seal: AMY WILKINSON NOTARY PUBLIC STATE OF TEXAS MY COMM. EXP. 01/14/24 NOTARY ID 12537466-2	
	State of Ohio, TEXAS	
	County of Coyaltega HARRIS	



IMPROVEMENT PLANS FOR WOODLAND BEND SUBDIVISION

CITY OF NORTH ROYALTON - CUYAHOGA COUNTY - OHIO

FEBRUARY 6, 2023

DESIGNED BY:



POLARIS ENGINEERING & SURVEYING, INC.

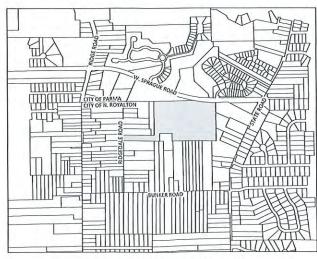
34600 CHARDON ROAD - SUITE D WILLOUGHBY HILLS, OHIO 44094 (440) 944-4433 (440) 944-3722 (Fax)

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VICINITY MAP



FRONTIER LAND GROUP
25700 SCIENCE PARK DRIVE, SUITE 360
BEACHWOOD, OHIO 44122
CONTACT: MARK HOLZ
PHONE: (216) 214-2329

DEVELOPED BY:

E-MAIL: MARK@FRONTIERLG.COM

APPROVALS

SE	EWER APPROVED BY O.E.P.A. BY LETTER D	ATED:	, 20_
W	ATER APPROVED BY O.E.P.A. BY LETTER D	ATED:	, 20_
APPI	ROVED BY THE CITY OF NORTH ROYALTON	, оню:	
BY		DATE:	

TITLE SHEET

22057

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Ze T. Hoffman P.E. #74831

GENERAL NOTES

A PRE-CONSTRUCTION CONFERENCE SCHEDULED BY THE WESTLAKE CITY ENGINEER SHALL BE HELD PRIOR TO THE START OF ANY WORK. IN ADDITION, THE CONTRACTOR SHALL PROVIDE 48 HOUR NOTICE TO THE WESTLAKE CITY ENGINEER PRIOR TO BEGINNING WORK TO ARRANGE FOR

THE LATEST EDITION OF STANDARD SPECIFICATIONS OF THE CITY OF WESTLAKE CONSTRUCTION STANDARDS, INCLUDING ALL SUPPLEMENTAL SPECIFICATIONS AND STANDARD DRAWINGS, SHALL GOVERN THIS PROJECT.

ALL WORK CONTEMPLATED SHALL BE GOVERNED BY THE RULES. REGULATIONS AND SPECIFICATIONS OF THE CITY OF WESTLAKE ENGINEER AND AT ALL TIMES BE SUBJECT TO HIS DIRECT INSPECTION

ALL CITY OF WESTLAKE STANDARD CONSTRUCTION DRAWINGS AND METHODS SHALL APPLY TO THIS PROJECT, TO INCLUDE ANY AMENDMENTS THERETO.

ALL WORK CONTEMPLATED UNDER THIS CONTRACT SHALL COMPLY WITH THE U.S. DEPARTMENT

STATIONING SHOWN HEREON IS ALONG THE CENTERLINE OF THE RIGHT OF WAY FOR STORM SEWERS, SANITARY SEWERS, WATER MAINS, AND PAVING WORK.

UTILITY CONTACTS

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITY FACILITIES ARE SHOWN ON THE PLANS FROM DATA AVAILABLE AT THE TIME OF THE FIELD SURVEY IN ACCORDANCE WITH SECTION 153.64 OF THE OFFICE OFFICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATIONS OF THE EXISTING UTILITY OWNERS AND UTILITY PROTECTION SERVICE LISTED BELOW IN ACCORDANCE WITH SECTION 153.64 OF THE OHIO REVISED CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF THE EXISTING UTILITY OWNERS AND UTILITY PROTECTION SERVICE LISTED BELOW IN ACCORDANCE WITH SECTION 153.64 OF THE OHIO READ UTILITY PROTECTION SERVICE LISTED BELOW AND ACCORDANCE WITH SECTIONS 153.64 OF THE ORIC RAND AS CULTIMED IN SERVICE LISTED BELOW IN ACCORDANCE WITH SECTION 154.64 OF THE O.R.C. AND AS OUTLINED IN PROJECT SPECIFICATIONS. THE UTILITY OWNERSHIPS ARE AS FOLLOWS:

OHIO UTILITIES PROTECTION SERVICE 106 WEST RYEN ROOM 427 YOUNGSTOWN OHIO 44051

CITY OF NORTH ROYALTON ENGINEERING DEPT. 11545 ROYALTON ROAD NORTH ROYALTON, OHIO 44133 PHONE: (440) 582-3001 FAX: (440) 582-3089 CONTACT: JUSTIN HASELTON, P.E.

THE ILLUMINATING COMPANY 6896 MILLER ROAD, SUITE 101 BRECKSVILLE OHIO 44141 PHONE: (440) 546-8677

630 I ORAIN AVE -3rd FLOOR 13630 LORAIN AVE.-3:d F CLEVELAND, OHIO 44111 PHONE: (216) 476-6037 (SCOTT SALA)

COLUMBIA GAS OF OHIO 3101 NORTH RIDGE ROAD, EAST LORAIN, OH 44055 MIDDLEBURG HEIGHTS, OHIO 44130 PHONE: (440) 752-2649

CITY OF CLEVELAND DIVISION OF WATER 1201 LAKESIDE AVE.-2ND FLOOR CLEVELAND, OHIO 44114

O.U.P.S. REFERENCE

2 WORKING DAYS BEFORE YOU DIG CALL 8-1-1

OHIO UTILITIES PROTECTION SERVICE NON-MEMBERS

EXISTING UNDERGROUND UTILITIES NOTE:
THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE
UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY
A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF
UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY,
AND RELIABLY DEPICTED HEREON, VERIFICATION BY FIELD
APPENDATION LAKES DEEM CONSULVETED INVESTED BADGETISM.

BSERVATION HAS BEEN CONDUCTED, WHERE PRACTICAL IOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT

NOTE: THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY

MUST BE CALLED DIRECT

(SPECTRUM CARLE) 1200 BROWNSTONE AVE

BREEZLINE BEREA OH 44017 PHONE: (440)-625-0305 MOBILE: (440) 915-8254

CHARTER COMMUNICATIONS

AKRON, OHIO 44310 PHONE: (330) 572-4129 (JIM NICHOLAS)

105 BLAZE INDUSTRIAL PARKWAY

OHIO OIL & GAS PRODUCERS UNDERGROUND PROTECTION SERVICE (OGPUPS) (800) 925-0988

STORM SEWER SPECIFICATIONS

- STORM SEWER
 PIPE ACCEPTABLE BY EASTLAKE CITY ORDINANCES INCLUDE

 IN RIGHT OF WAY: ADS SANTITE HP STORM AND ADS HP STORM DUAL WALL POLYPROPYLENE, AND REINFORCED CONCRETE
 PIPE (CLIV FOR 12: TO 15' AND CLIII FOR 15' AND ABOVE).

 OUTSIDE RIGHT OF WAY: ADS N-12 HDPE STORM SEWER WITH SOIL-TIGHT JOINTS.

THE CONTRACTOR SHALL TEST ALL STORM SEY/ER PIPE PER ODOT SUPPLEMENTAL SPECIFICATIONS 942 AND 944 FOR DEFLECTION WITH A NINE (9) ARM MANDREL MAXIMUM ALLOWABLE DEFLECTION SHALL BE 7.5% OF ITS BASE INSIDE DIAMETER VIHEN MEASURED NOT LESS THAN 30 DAYS AFTER COMPLETION OF INSTALLATION.

DIRECT GRAVITY CONNECTION OF FOOTER DRAINS TO STORM SEWER IS NOT PERMITTED. REFER TO SUMP PUMP DETAIL SHEET 17. SANITARY SEWER SPECIFICATIONS

SANITARY SEWER SPECIFICATIONS

- LESS THAN 5' OF COVER CL 52 DIP - 4' TO 16' OF COVER PVC SDR 35 - OVER 16' OF COVER PVC SDR 26

PVC PLASTIC PIPE AND FITTINGS SHALL HAVE A MINIMUM PIPE STIFFNESS OF 45 PSI AT 5% VERTICAL RING DEFLECTION PER ASTM D2412, AND SHALL CONFORM TO ASTM D3034; JOINTS SHALL CONFORM TO ASTM D3212 AND SHALL BE DESIGNED TO RETAIN THE GASKET TO PREVENT PULL OUT DURING THE MAKING OF THE JOINT.

PREVIUM OR RECULAR

PIFE COVER

PIPE COVER SHALL CONSIST OF COURSE INTERLOOKING AGGREGATE NO. 57, 6, 67,

68, 7, 78 OR 8. BEDDING SHUL CONSIST OF COARSE INTERLOCKING ACCRECATE NO. 57, 8, 67, 68, 7, 78 OR 8 FOR 60° OR SMULER DIMETER PIPE, FOR 66° OR LARGER DWILETER PIPE, NO.4 ACCRECATE MAY BE USED.

17" ME 10" DA & USS

TYPICAL TRENCH DETAIL

EPA UTILITY NOTES:

- 1, TEN FEET MINIMUM HORIZONTAL SEPARATION (OUT-TO-OUT, CLEAR) WILL BE MAINTAINED BETWEEN WATER LINE AND SAINTARY & STORM SEWERS.
- AN 18" MINIMUM VERTICAL SEPARATION (OUT-TO-OUT, CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND SANITARY & STORM SEWERS AT ALL CROSSINGS.
- 3. THE PROPOSED WATERLINE IMPROVEMENTS WILL PROVIDE A MINIMUM 35 PSI PRESSURE AT THE CURB STOP DURING NORMAL OPERATING CONDITIONS. A MINIMUM 20 PSI AT GROUND LEVEL SHALL BE MAINTAINED AT ALL POINTS IN THE DISTRIBUTION UNDER ALL CONDITIONS OF FLOW.
- 4 BOOSTER PUMPS ARE NOT PERMITTED ON SERVICE CONNECTIONS.
- 5. ALL WATER MAIN SHALL BE DISINFECTED IN ACCORDANCE WITH AWAYA C651.
- 6. WATERWAIN INSTALLATION AND TESTING SHALL BE IN ACCORDANCE WITH AWWA C600.
- PRECAST CONCRETE MANHOLES SHALL CONFORM TO ASTM C-478 WITH JOINTS PER ASTM C-443. PIPE CONNECTION TO MANHOLE SHALL BE MADE USING FLEXIBLE GASKET JOINTS PER ASTM C-923.
- 8. SANITARY SEWER MANHOLE VACUUM TESTING SHALL CONFORM TO ASTM C-1244 SPECIFICATIONS.
- 9. ALL SOLID WALL PLASTIC PIPE SHALL BE SUBJECTED TO A MINIMUM 5% DEFLECTION TESTING. DEFLECTION TESTING SHALL CONFORM TO ASTITUD 2-122 SPECIFICATIONS. DEFLECTION TESTING SHALL BE PERFORMED AT LEAST 30 DAYS AFTER INSTALLATION.
- 10. ALL SANITARY SEVER MUST HAVE PREMIUM JOINTS, AND THE ENTIRE SYSTEM MUST PASS AN INFILTRATION TEST AND EXPLITATION TEST AFTER CONSTRUCTED HAS BEEN COMPLETED. THE MAXIMUM ALLOWABLE RATE OF INFILTRATION AND EXPILTRATION SHALL BE 100 GALLONS PER INCH DIAMETER OF THE SEWER PER MILE PER DAY.
- 11. SANITARY SEWER BEDDING SHALL BE AS PER ASTM D-2321.
- 12 ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEVER SYSTEM ARE PROHIBITED.

PREVIOU OR PEGULAR BACKFILL

1/4 PIPE DIA

DEVELOPERS, ENGINEERS, AND CONTRACTORS
ARE TO ABIDE BY THE MOST CURRENT VERSION
OF THE CLEVELAND WATER NOTES AND DETAILS.
THE MOST UP-TO-DATE VERSION CAN BE FOUND
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GENTRAL: L. ALL WATER WORK REQUIRED, WHETHER SHOWN ON THE PLANS OR AS DERICTIO BY CLYTLAND WATER, SHALL BE AT THE EDPICE OF THE PROJECT UNLESS OFFICEWISE ASSESS TO BY THE COMMISSIONER OF THE CLEVELAND DIVISION OF WATER.

2. THE INFORMATION SHOWN ON THE CIPTURAD CONSISTING WATERS SUMMARY OF WORK/OLAUSE LETTER, STEP MAPS, AS BUILT PRAWNISS, AND OS AFE TALEN FROM EXISTING AVAILABLE RECORDS, AND THEIR ACCURACY IS NOT GUARANTEED.

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2. CALL THE ROSECTION AND DISORCEMENT UNIT AT 216-68-2142 TO 50-600-LE AVERTON PROCESSION METRICA AT LEAST IN TEXT FROM TO 51-74-74 TO

CLEVELAND WATER NOTES FOR WATER MAIN INSTALLATION AND/OR REPLACEMENT

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B. AL MATERIAS, RECORDS BUT MOTION IN UMITED 10 WATER MANS, FRE HYDRANTS, VALVES, CONNECTION MATERIAS AND OTHER WATER APPLIETUNCES, SHALL BE NEW AND UNUSED AND SHALL CONFORM TO THE MOST CURRENT CLEVELAND WATER SPECIFICATIONS.

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11. ALL BURED WAIER MAINS, RITINGS, WAINS, FRE RIDBART BRANCH PRING AND APPURIDANCES SHALL BE ENCASED WITH VEOLUTION OF THE PROPERTY OF THE PR

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POLARIS ENGINEERING & SURVEYING, IN 34600 CHARDON ROAD - SUITE D WILLOUGHBY HILLS, OHIO 44094 (440) 944-4722 (Fax) www.polariess.com

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14. ALL FITTINGS, UNLESS OTHERWISE CALLED

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CLEVELAND WATER NOTES FOR WATER MAIN INSTALLATION AND/OR REPLACEMENT

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15. ALL BOLIS AND NUTS ON ALL "PETAINED" MECHANICAL JOINTS SHALL HAVE FREID APPLIED ONE (1) COAT OF BITUMASTIC PAINTING.

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AVAILABLE, CALL FAYTON INUL AT (216) 664-2444, D.T. 73000 OR (216) 971-2721. CUSTOMERS WITH A CUSTOMER OWNDE LEAD SERVICE LINE SPAUL NOT BE RECONNECTED TO THE KEW WATTER MEMO WITHOUT DOPESS. WASTERN APPROVAL FROM RATION INUL, OR HIS AFPROVED REPRESENTATIVE AT CWO.

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CLEVELAND WATER NOTES FOR WATER MAIN INSTALLATION AND/OR REPLACEMENT

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ON ALL ACCESSES FORTS OF INTET TO THE MOVEMAN OF A PROMISSIN IDOCATION AT ALL APPROPRIATE COOK MOTIFICATION WILL BE ESTEMBAND BY IT (I) WOTHER A COTTOMAD OF A CONTINUED OF THE PROPERTY OF A CONTINUED OF THE PROVIDED OF THE PROVI

21. DIFLECTRIC COUPLINGS: IN THE EVENT THAT 21. DELECTRIC COUPLINSS IN THE EVENT THAT A C VOD WAVER IS GRANTED SUCH THAT A COSTOMER OWNED LEAD SERVICE LINE IS NOT ETHALED, AND A NEW SERVICE LINE IS HOTHER TO A CUSTOMER OWNED LEAD SERVICE LINE, A DELECTRIC COUPLINGS SHALL IS EPHONOCED TO TRANSTION FROM THE NEW MATERIALS TO THE LEAD FIRST THE MOOCH COUNTING SUSPENS SUBJECT TO APPROXIMATE FROM COUNTY, NASCOPPLIANCE OF COUNTY APPROXIMATE OF COUNTY APPROXIMATE OF THE MOOCH COUNTY, SUSPENSIONAL TO APPROXIMATE OF THE MOOCH COUNTY, SUSPENSIONAL TO APPROXIMATE OF THE MOOCH COUNTY, SUSPENSIONAL TO APPROXIMATE OF THE MOOCH COUNTY, SUSPENSIONAL THE MOOCH COUNTY, SUSPENSIONAL THE MOOCH COUNTY, SUSPENSIONAL TO APPROXIMATE OF THE MOOCH COUNTY, SUSPENSIONAL THE APPROXIMATE OF THE MOOCH COUNTY, SUSPENSIONAL THE MOOCH COUNTY,

GENERAL SERVICE CONNECTIONS: 22. AS PART OF THE AS BULT SUBMISSION IN

22. AS PART OF THE AS BULL SUMMSSION IN MOTE ID, THE COMMISSION SHALL PROVIDE A TRACE SHOWING ALL DISTING CONSECTIONS, WITH A DESTRUCTION OF THE ASSESSMENT OF THE SUMMSSION OF THE SUMSSION OF

ACCUATS SMALL BE INITIATIO IN THE LAND OWNERS NAME AS PART OF THE FEMALTING PROCESS. AT RESPONDING THE ASSOCIATION WITH LOCH WATER SERVICE, INCLUDING, THE OWNERS SOCIATION, MITTER SERVICES AND THE MITTER PARK INSTITUTION AND THE MITTER PROGRAMMER. WITTER INSTITUTIONS WILL NOT BE AUTHORIZED TO BE INSTITUTION OWNER. WITTEN INSTITUTION WITTER STATUTION BILL MATE FAIR CONFIDENCE STRAITED BILLS MATE FAIRS IN FAIR FOR SECRITION OF THE PROCESSION INCLUSIVE OF ALL USAGE (DOMESTIC AND/OR BRIGATION).

24. ONE INCH SERVICE CONNECTIONS SHALL BE PETIMITED TO SERVICE NEW HOMES (AS SHOWN ON APPROVED WATER MAIN EXTENSION PLANS) BASED ON THE POLLOWING CRITERAE.

PEAK FLOW DEMANDS DO NOT EXCEED
25 GPM FOR AN INCOMPULA HOMEANIT.

ANY SERVICE REQUESTS EINTERING FROM THE STATED CRITERA SHALL REQUIRE THE SUBMITTAL OF A COMPATTE WATER SERVICE APPLICATION FOR EACH WATER SERVICE REQUESTED. DENTIFED AS HAVING WATER SERVICE BUT NO METER MS BEN INSTALLED, IF NEW OWNERS, ONCE FARCES AND SOLD OFF AND TRANSFER TITLE, DO NOT CONTACT CENTRAL MATERIAL STARLES IN THEIR NAME, ACCOUNTS AND THEIR ASSOCIATED BILLS WILL

ACCOUNTS AND THER ASSOCIATED BILLS WILL FEMALEN IN THE ANAGE OF ONE ANT OWNER OF FECOED WHICH DAY BE THE DEPLOYER OR BUILDER, IT IS THE REPORTED INTO THE REW OWNER TO TRANSFER ACCOUNTS INTO THEM NAME WHEN THE PROPERTIES LEGALLY TRANSFER. LEVEN TRANSFER OF PROPERTY, SHEER OF PROPERTY MAJE COMMUNICATE ALL

25. IF A WATER MAIN OR SERVICE CONNECTION BREAK OCCURS DURING CONSTRUCTION AND EMERGENCY ASSISTANCE IS REQUIRED, PLEASE NOTIFY CLEVELAND WATER AT 215-564 3050.

CONTRACT No.

22057

OF SHEET 02 17

DATE: 2/6/23 DRAWN: NMO REV No DATE RY

SCALE: HOR. N/A VERT. N/A FOLDER: DWG/Proj. Engineering FILENAME: 22057 T.N.D. TAB: 02-General Notes BNDY. CHK: MPS BASE, CHK: KTH

SAFACE AT EDOC OF PARTIES OR BACK OF EXSTAG

STORE SALE OF THE SALE

SECTION: CROSSING PAVENENT

THENDY HOTH AT-TITICAL TRENCH PIENLA BOUTLL

BEDDING AND COVER

TYPICAL TRENCH DETAILS

TRENCH BEDDING SHALL CONFORM TO ASTM D 2321, CLASS IA, IB, II OR III.

0.0.

TYPICAL TRENCH DETAIL FOR CONCRETE OR DUCTILE IRON PIPE

TRENCH WOTH AT-STIFCE TROOP CHASED ON POT SZT) Z

SECTION: ACROSS OR INSIDE PAVEMENT

17' MR 24' DA & UESS

TYPICAL TRENCH DETAIL

WITH CONCRETE CRADLE

PREMIUM BACKELL SHALL CONSIST OF COURSE INTERLOCKING ACCRECATE
NO. 57, 6, 67, 68, 7, 78, 8 AND LIMESTONE SCREENINGS. NO SUIG PERMITTED.

THE I BEDDING, CRACLE WOTH TO BE O.D. + 9" ON EACH SOE OF PPE.

PREMIUM OR REGULAR

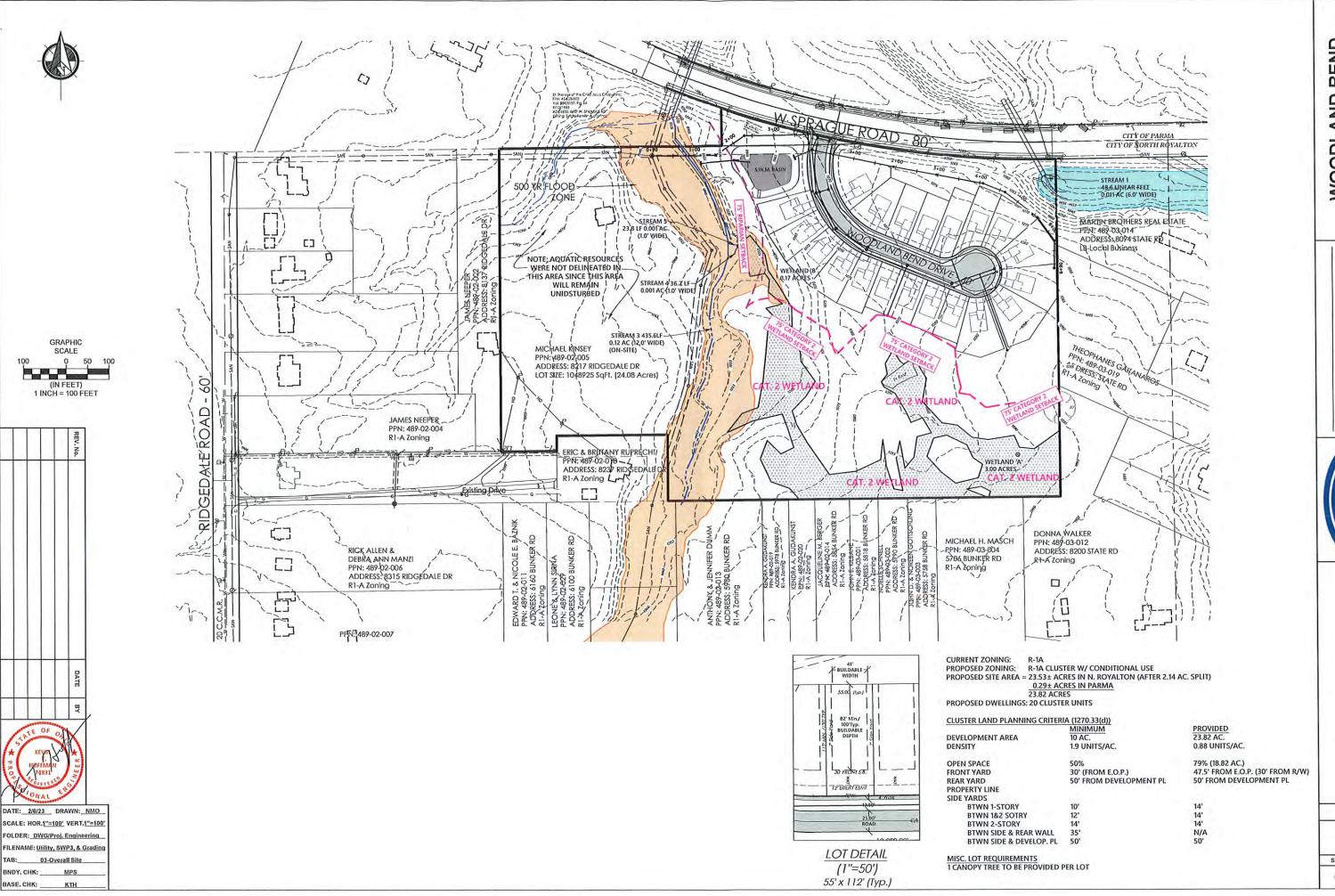
FOR CONCRETE AND DUCTLE IRON PIPE, PIPE COVER IS TO THE TOP

IN PAYED AREAS, COARSE INTERLOCKING ACGREGATE TO THE TOP OF THE TRENCH ON ALL TIPES OF PIPE.

PIFE COVER

TYPICAL TRENCH SECTIONS

SECTION: OUTSIDE PAVENENT



WOODLAND BEND SUBDIVISION

THEORY BOXAGO

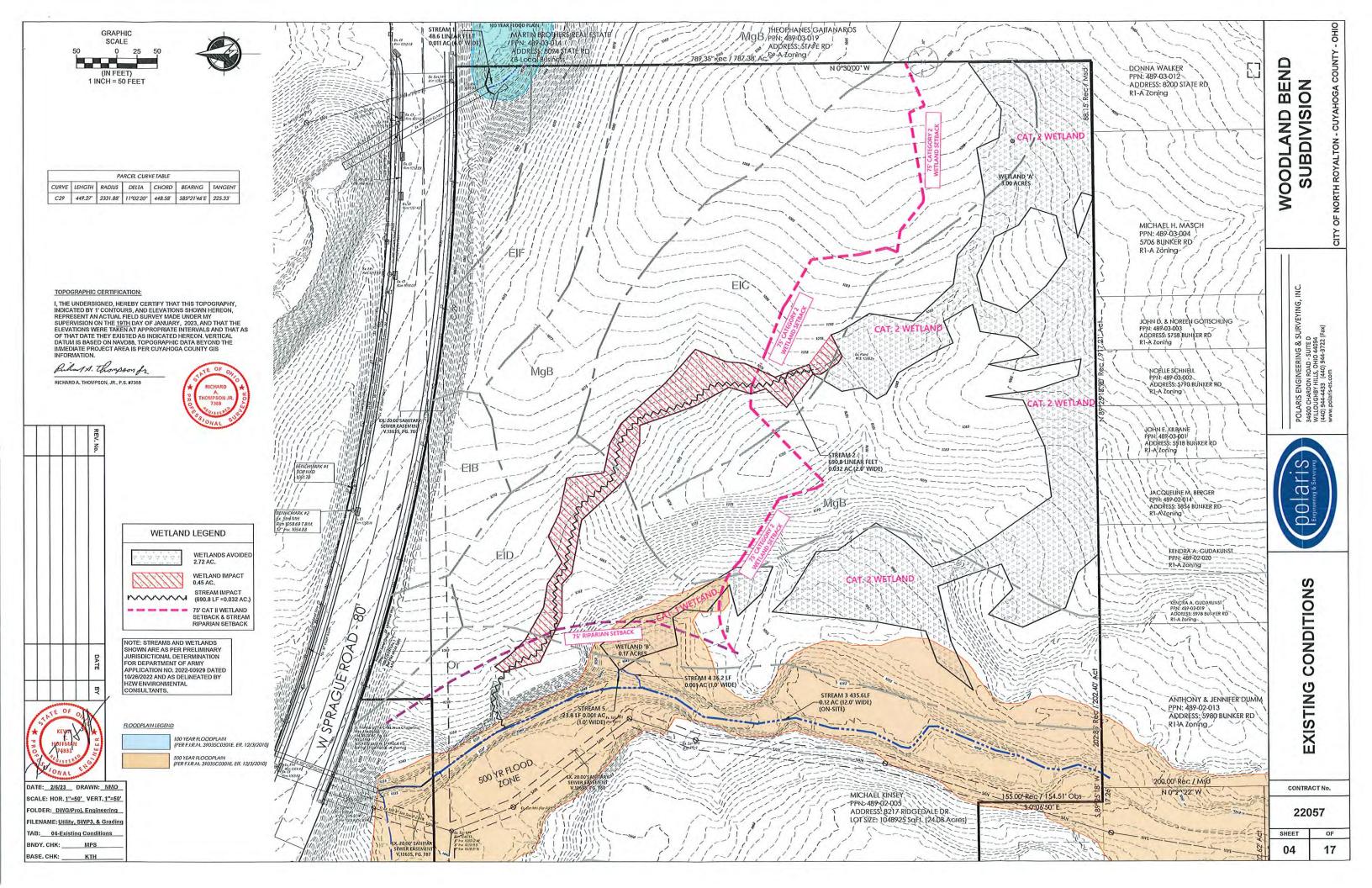
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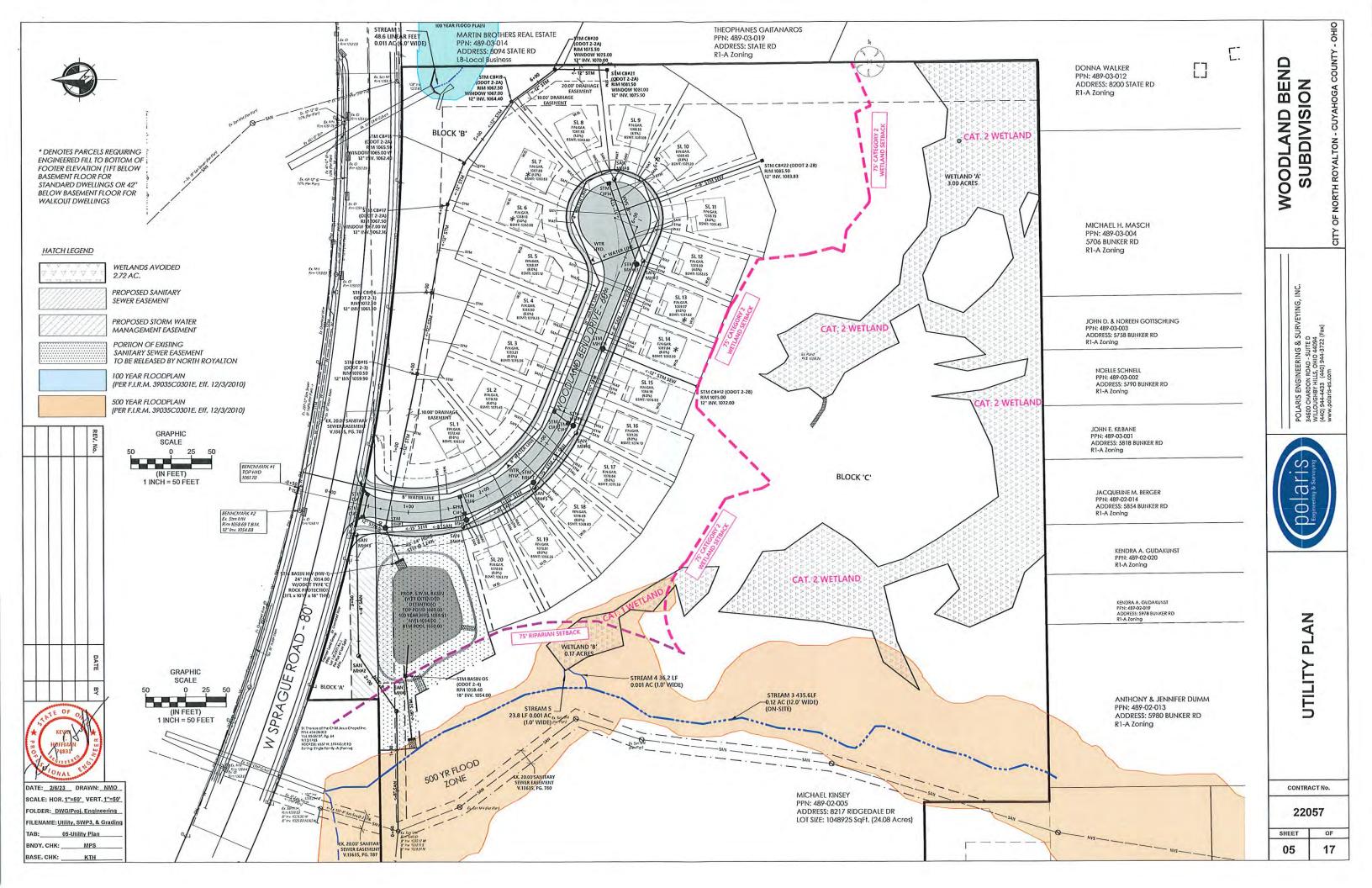


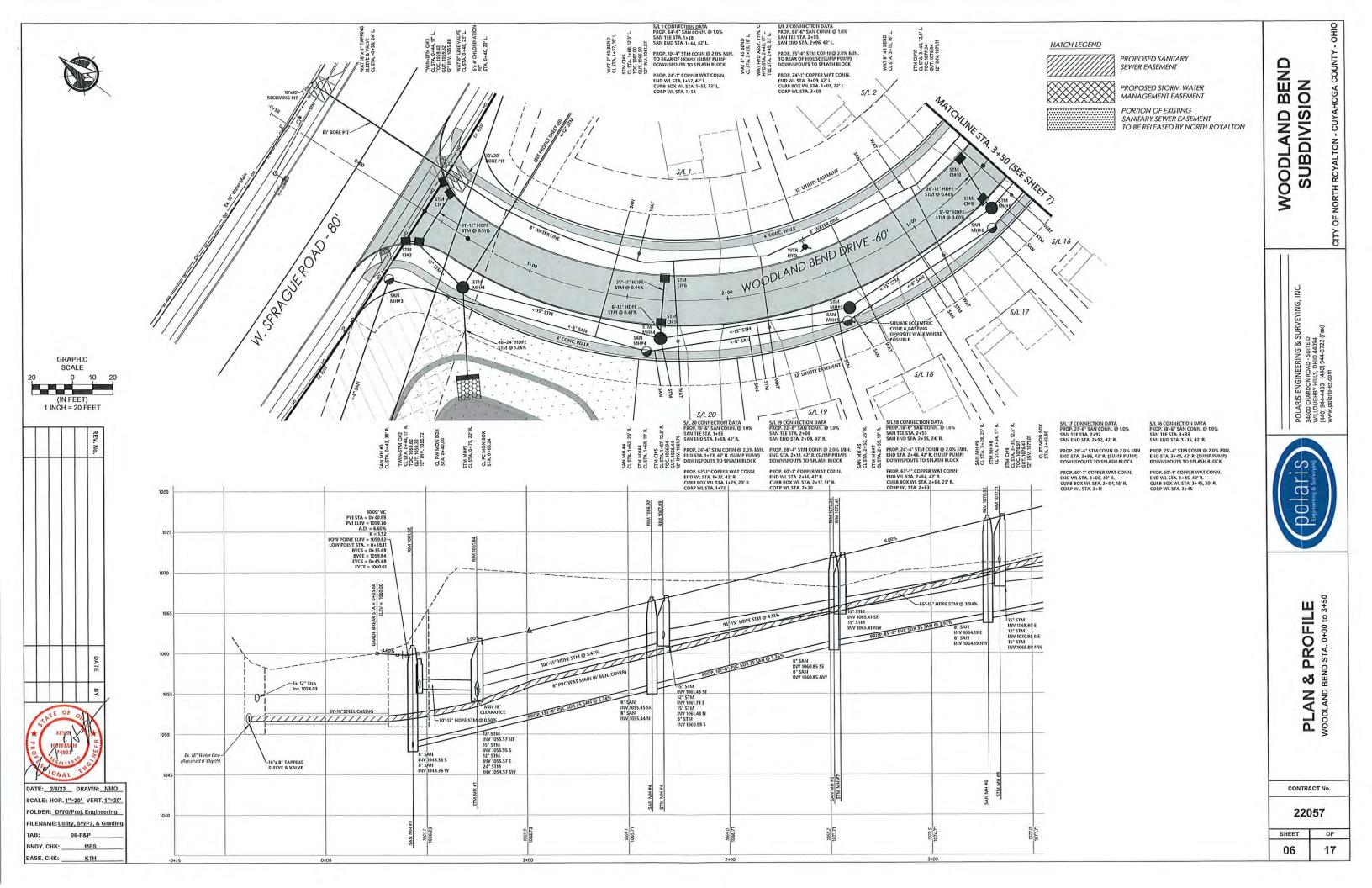
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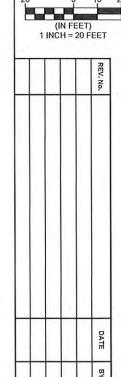
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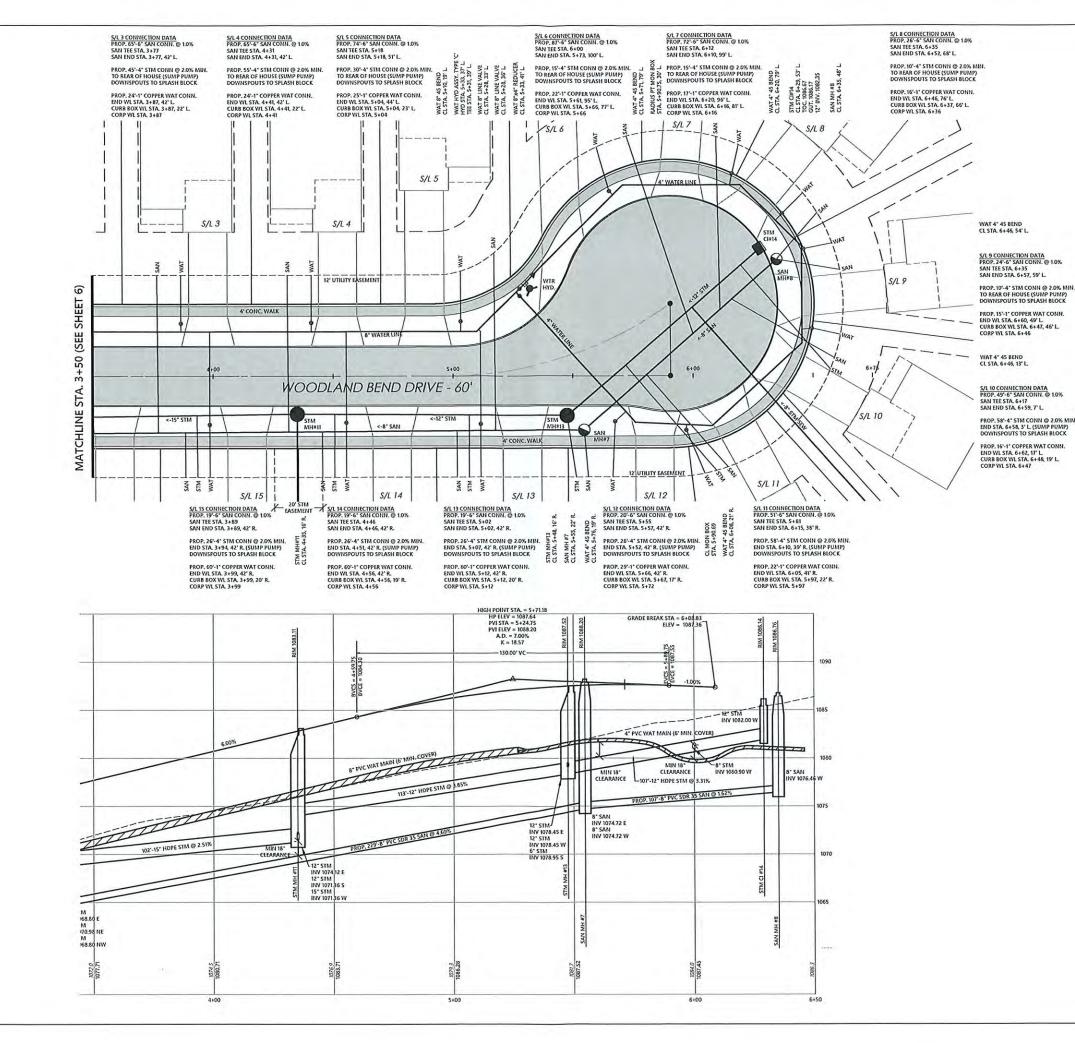






GRAPHIC SCALE

DATE: 2/6/23 DRAWN: NMO SCALE: HOR, 1"=20' VERT, 1"=20' FOLDER: DWG/Proj. Engineering FILENAME: Utility, SWP3, & Gradin TAB: 07-P&P BNDY. CHK: MPS BASE, CHK: KTH



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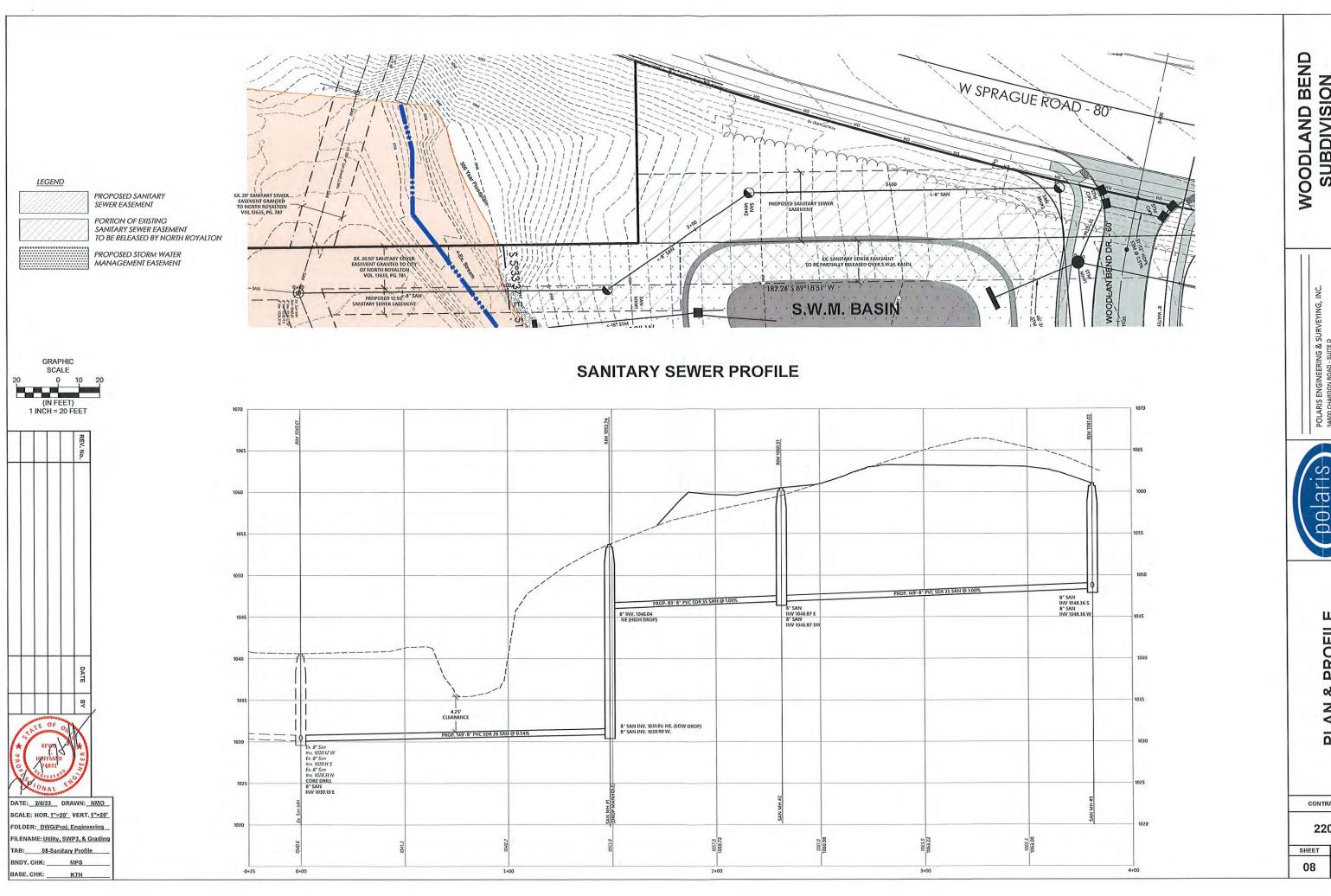
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CONTRACT No.

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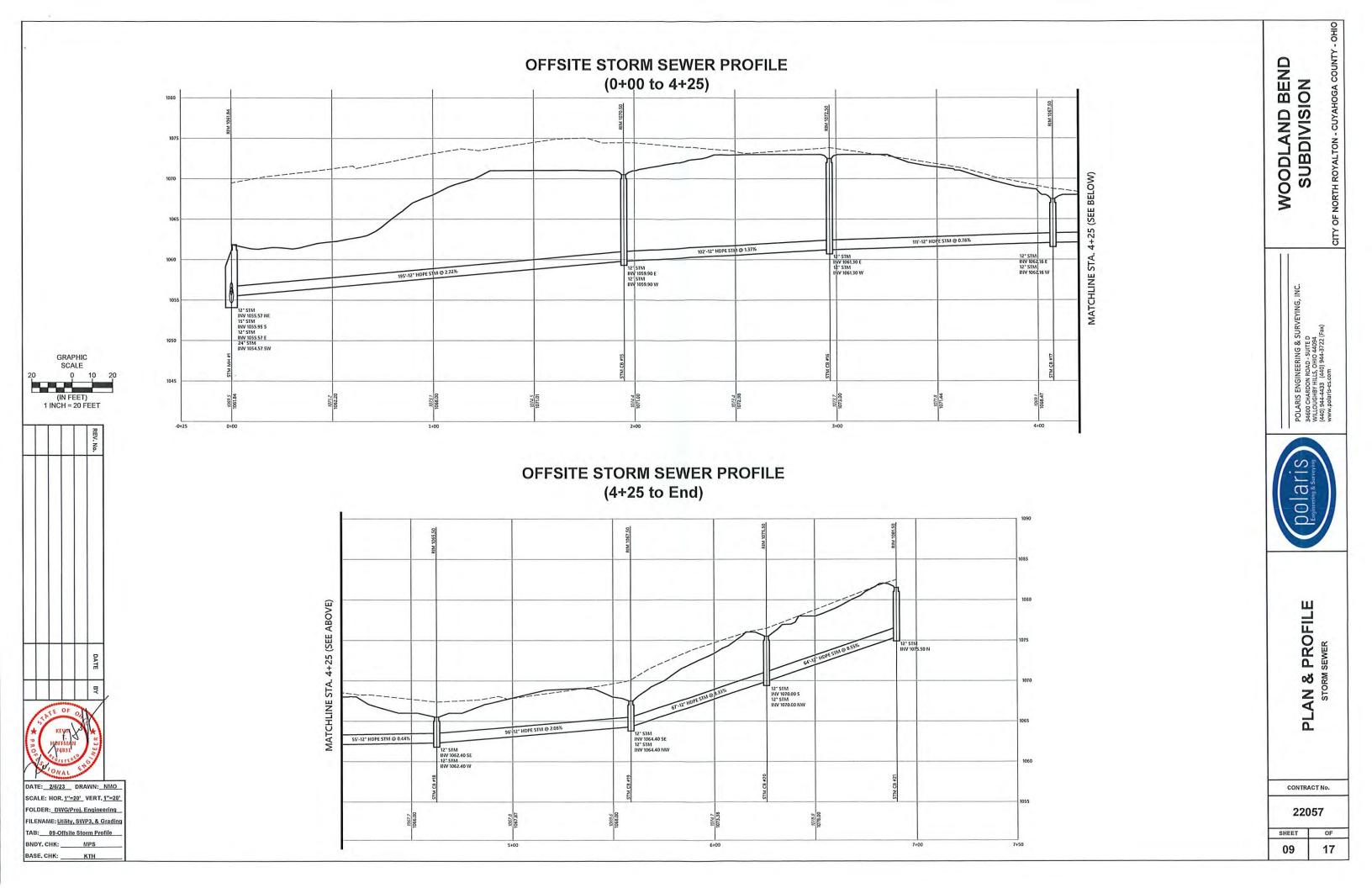
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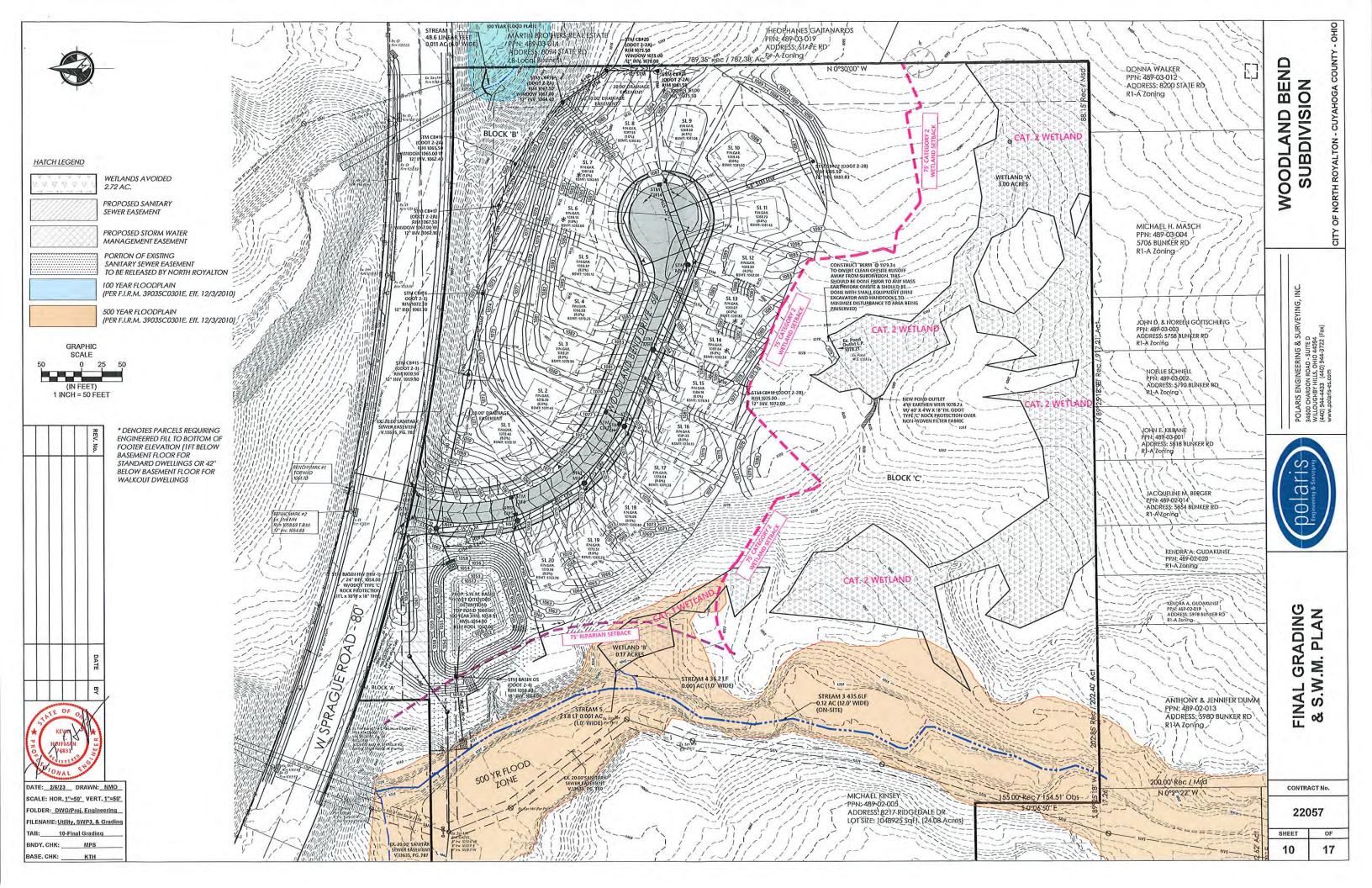
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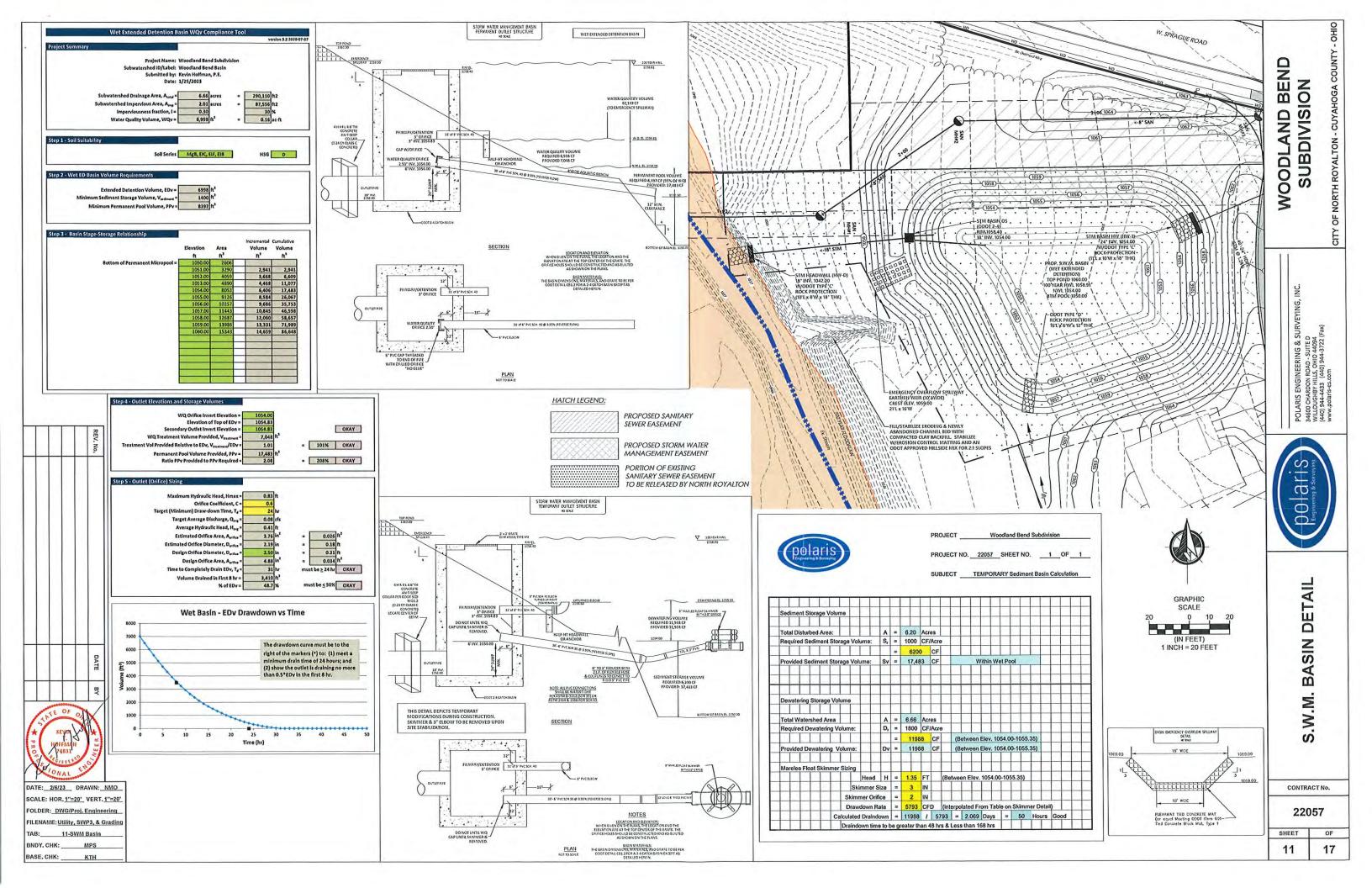
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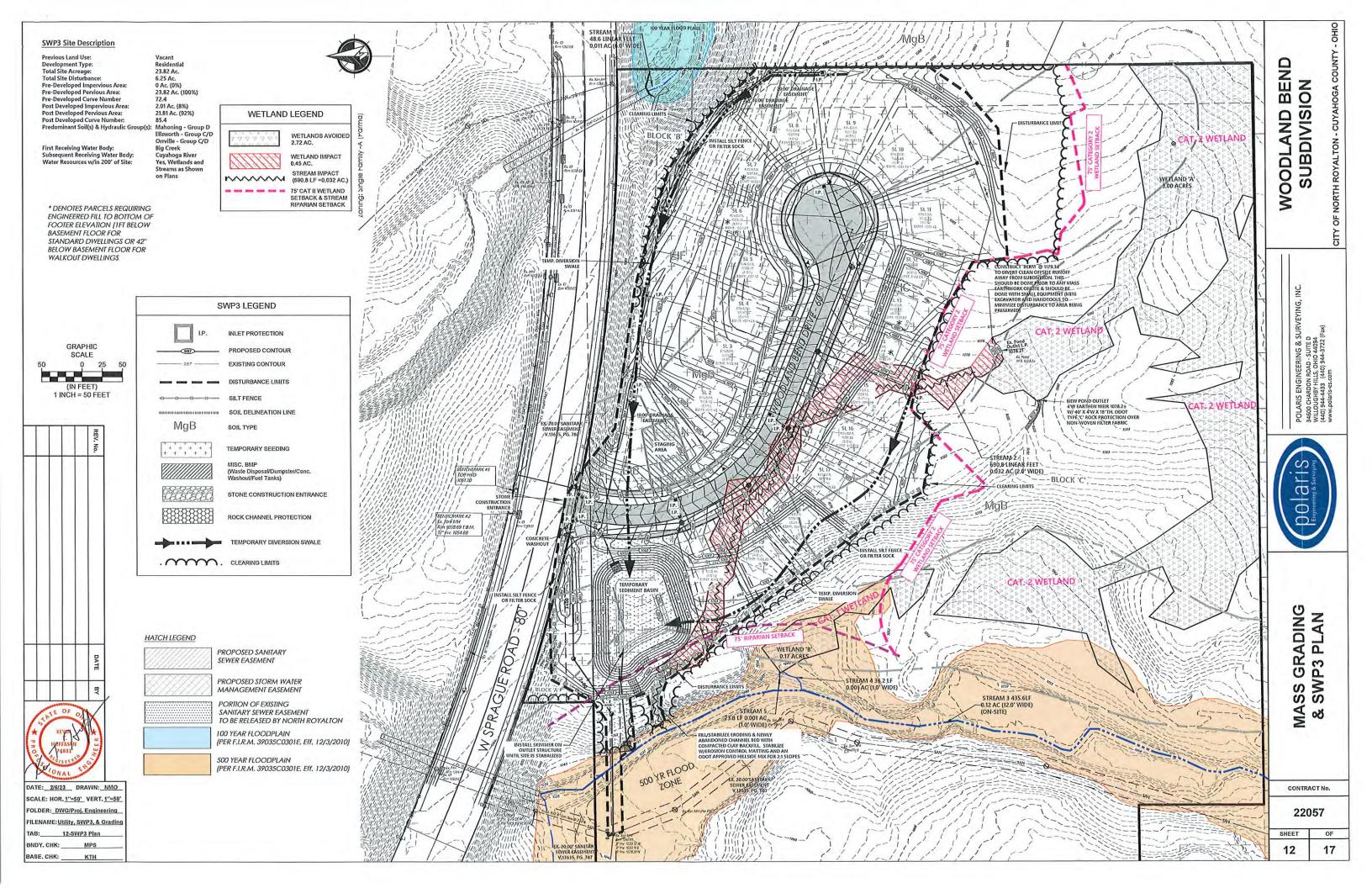
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EROSION CONTROL SHALL CONSIST OF TEMPORARY CONTROL MEASURES AS DETAILED ON THE PLANS OR ORDERED BY THE GOVERNING AGENCY DURING THE LIFE OF THE CONTRACT TO CONTROL SOIL EROSION AND SECIMENTATION THROUGH USE OF EROSION CONTROL PERWANENT BEST MANAGEMENT PRACTICES (BMPS).

ADDITIONAL EROSION CONTROL BMP'S MAY BE MANDATED BY THE GOVERNING AGENCY AT ANY TIME DURING THIS PROJECT

TEMPORARY EROSION AND SEDIMENT CONTROL ITEMS, THE LOCATION AND SIZE OF WHICH ARE DETAILED ON THE PLANS, SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO COMPENCEMENT OF ANY CLEARING OR EARTHWORK OPERATIONS CONDITIONS THAT REQUIRE ADDITIONAL OR MODIFIED TEMPORARY OR PERMINENT BMP S SHALL BE APPROVED BY THE DESIGN ENGINEER AND REPLECTED ON THE REVISED STORM WATER POLLUTION PREVENTION PLAY (SWP)

SEDIVENT BASINS, SEDIVENT TRAPS, AND PERIMETER SEDIVENT CONTROLS, SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN TO ANS FROM THE START OF GRUBBING, THEY SHALL COMINUE TO PUNCTION UNTIL DISTURBED AREAS ARE RE-ESTABUSHED WITH TEMPORARY VEGETATION. NO SEDIMENT CONTROLS SHALL BE PLACED IN A STREAM,

TRENCH DEWATERING OR GROUND WATER, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING BASIN OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEVIATERING INTO SUMP PIT, FILTER BAG OR EXISITING VEGETATED UPSLOPE AREA. <u>SEDIMENT LADEN WATER SHALL NOT BE DISCHARGED TO STREAMS OR THE STORM</u>

THE SWP3, NOTES, DETAILED DRAWINGS AND ANY ADDENDUMS ARE INTENDED TO SERVE AS BASIC GUIDELINES. ALL EROSION CONTROL PRACTICES SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE OHIO DEPARTMENT OF NATURAL RESOURCES (ODNR) RAINWATER AND LAND DEVELOPMENT MANUAL AND THE NOPES STORM WATER DISCHARGE PERMIT.

ALL CAST IRON CATCH BASINS, GRATES AND INLET COVERS SHALL HAVE THE MESSAGE DUMP NO WASTE, DRAINS TO

SWP3 INSPECTION & MAINTENANCE NOTES

INSPECTION REQUIREMENTS (DURING CONSTRUCTION)
ALL STORKWATER CONTROLS ON THE SITE ARE INSPECTED BY A QUALIFIED PROFESSIONAL AT LEAST ONCE EVERY SEVEN CALENDAR
ALL STORKWATER CONTROLS ON THE SITE ARE INSPECTED BY A QUALIFIED PROFESSIONAL AT LEAST ONCE EVERY SEVEN CALENDAR
RECORD DOCUMENTING THE RESULTS OF THESE INSPECTIONS MUST BE CREATED AND MAINTAINED WITH THE SWPS. THE INSPECTION
CHECKLIST SHALL BE COMPLETED AND SIGNED BY THE INSPECTOR AFTER EVERY INSPECTION, IF THE SITE WILL BE DORIGNATH FOR A
DIVIS PERIOD AND THE SITE HAS BEEN STRAILED, A WAYER REQUEST MAY BE SUBMITTED TO THE OPEN TO REDUCE THE INSPECTION
FREQUENCY TO EVERY MONTH, RECORDS SHALL BE MAINTAINED FOR 3 YEARS AFTER TERMINATION OF CONSTRUCTION ACTIVITIES.
SYPS AREAS TO BE INSPECTED INCLUDE DISTURBED AREAS, MATERIAL STORAGE AREAS, EROSION AND SEDIMENT CONTROLS,
DISCHARGE LOCATIONS, AND VEHICLE ENTRANCE/EXIT LOCATIONS.

SWP3 INSPECTION CHECKLIST

- INSPECTION CHECKLIST

 ES WYPA INSPECTION CHECKLIST (TO BE COMPLETED AND SIGNED AFTER EVERY INSPECTION), THAT INCLUDES:

 THE INSPECTION DATE, NAMES, TITLES, AND QUALIFICATIONS OF INSPECTORS

 WEATHER FOR THE PERIOD SINCE THE LAST INSPECTION (E.G., BEGINNING, DURATION, & RAINFALL MOUNT OF EACH STORM
 EVENT AND WHETHER A DISCHARGE OCCURRED)

 WEATHER AND A DESCRIPTION OF ANY DISCHARGES OCCURING AT THE TIME OF THE INSPECTION

 LOAD LONG OF THE PROPERTY OF THE PROPER

- LOCATION(S) OF DISCHARGES OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE
- LOCATION(S) OF BYPS THAT NEED TO BE MAINTAINED LOCATION(S) OF BYPS THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION LOCATION(S) WHERE ADDITIONAL BMPS ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION
- CORRECTIVE ACTION REQUIRED INCLUDING ANY CHANGES TO THE SWP3 NECESSARY AND IMPLEMENTATION DATES

I, WHEN PRACTICES REQUIRE REPAIR OR MAINTENANCE.

IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE IS IN NEED OF REPAIR OR MAINTENANCE, WITH EXCEPTION OF A SECTIMENT SETTLING POND, IT MUST BE REPAIRED OR MAINTAINED WITHIN THREE DAYS OF INSPECTION. SEDIMENT SETTLING PONDS MUST BE REPAIRED OR MAINTAINED WITHIN 10 DAYS OF THE OF INSPECTION. SEDIMENT SETTLING PONDS MUST BE REPAIRED OR MAINTAINED WITHIN 10 DAYS OF THE INSPECTION.

II. WHEN PRACTICES FAIL TO PROVIDE THEIR INTENDED FUNCTION.

IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE FAILS TO PERFORM ITS INTENDED FUNCTION AND THAT ANOTHER, MORE APPROPRIATE CONTROL PRACTICE IS REQUIRED, THE SWP3, MUST BE AMENDED AND THE NEW CONTROL PRACTICE MUST BE INSTALLED WITHIN 10 DAYS OF INSPECTION.

III. WHEN PRACTICES DEPICTED ON THE SWP3 ARE NOT INSTALLED.

IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE HAS NOT BEEN IMPLEMENTED IN ACCORDANCE WITH THE SWP3. THE SVIP3 MUST BE AMENDED AND THE NEW CONTROL PRACTICE MUST BE INSTALLED WITHIN 10 DAYS OF THE INSPECTION. IF THE INSPECTION REVEALS THAT THE PLANNED CONTROL PRACTICE IS NOT NEEDED. THE RECORD MUST CONTAIN A STATEMENT OF EXPLANATION AS TO WHY THE CONTROL PRACTICE IS NOT NEEDED

INSPECTION REQUIREMENTS (AFTER CONSTRUCTION)

UPON COMPLETION. THE POST CONSTRUCTION STORM WATER MANAGEMENT CONTROLS SHALL BE INSPECTED AT LEAST ANNUALLY BY A QUALIFIED INSPECTOR. REFER TO THE COMMUNITY REQUIREMENTS ANDORAN SIGNED AGREEME
AND THE COMMUNITY AS TO THE FREQUENCY OF INSPECTIONS AND MAINTENANCE REQUIREMENTS.

ADDITIONAL CONSTRUCTION SITE POLLUTION CONTROLS

1. CONSTRUCTION PERSONNEL, INCLUDING SUBCONTRACTORS WHO MAY USE OR HANDLE HAZARDOUS OR TOXIC MATERIALS, SHALL BE MADE AVARE OF THE FOLLOWING GENERAL GUIDELINES REGARDING DISPOSAL AND HAYOUNG OF HAZARDOUS AND CONSTRUCTION WASTES:

- PREVENT SPILLS USE PRODUCTS UP
- FOLLOW LABEL DIRECTIONS FOR DISPOSAL
- REMOVE LIDS FROM EMPTY BOTTLESAND CANS WHEN DISPOSING IN TRASH
- RECYCLE WASTES WHENEVER POSSIBLE
 DON'T POUR INTO WATERWAYS, STORM DRAINS OR ONTO THE GROUND DON'T POUR DOWN THE SINK, FLOOR DRAIN OR SEPTIC TANKS
- DON'T BURY CHEMICALS OR CONTAINERS DON'T BURN CHEMICALS OR CONTAINERS
- DON'T MIX CHEMICALS TOGETHER

2. WASTE CONTAINERS SHALL BE PROVIDED FOR THE PROPER COLLECTION OF ALL WASTE MATERIAL INCLUDING CONSTRUCTION DEBRIS, TRASH, PETROLEUM PRODUCTS AND ANY HAZARDOUS MATERIALS USED ON-SITE. CONTAINERS SHALL BE COVERED AND NOT LEAKING. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THAT MATERIAL SHALL BE DISPOSED O AT FACILITIES APPROVED FOR THAT MATERIAL. CONSTRUCTION DEMOLITION AND DEBRIS (CDSD) WASTE MUST BE DISPOSED OF A

3. NO CONSTRUCTION RELATED WASTED MATERIALS ARE TO BE BURIED ON-SITE. BY EXCEPTION CLEAN FILL (BRICK HARDENED CONCRETE, SOIL) MAY BE UTILIZED IN A WAY WHICH DOES NOT ENCROACH UPON NATURAL WETLANDS, STREAMS OR FLOODPLAINS OR RESULT IN THE CONTAMINATION OF WATERS OF THE STATE

4. HANDLING CONSTRUCTION CHEMICALS. MIXING, PUMPING, TRANSFERRING OR OTHER HANDLING OF CONSTRUCTION CHEMICALS ING COMPOUNDS, AND ALL OTHER POTENTIALLY HAZAI N AN ARFA AWAY FROM ANY WATERCOURSE, DITO

5. EQUIPMENT FUELING AND MAINTENANCE, OIL CHANGING, ETC., SHALL BE PERFORMED AWAY FROM WATERCOURSES, DITCHES OR STORM DRAINS, IN AN AREA DESIGNATED FOR THAT PURPOSE. THE DESIGNATED AREA SHALL BE EQUIPPED FOR RECYCLING OIL AND CATCHING SPELLS. SECONDARY CONTAINWENT SHALL BE PROVIDED FOR ALL FUEL OIL STORAGE TANNS. THESE AREAS MUST BE INSPECTED EVERY SEVEN DAYS AND WITHIN 24 HRS, OF AD SINCH OR GREATER RAIN EVENT TO ENSURE THERE ARE NO EXPOSED MATERIAL SWINGH WOULD CONTAINWANTE STORM WATER. SITE DEPENDED SRIPS BUST BE ANYABE THAT SPILL PREVENTION CONTROL AND COUNTERWEASURES (SPCC) REQUIREMENTS MAY APPLY. AN SPCC PLAN IS REQUIRED FOR SITES WITH ONE SINGLE ABOVE GROUND TANNS OF 669 CALLONS OR MORE, ACCUMULATIVE ABOVE GROUND STORAGE OF 1339 CALLONS OR MORE, OR 42,000 CALLONS OR MORE, ON TRANSMICTORS OILS MUST BE DISPOSED OF IN ACCORDANCE WITH ITEM 8.

6, CONCRETE WASH WATER SHALL NOT BE ALLOWED TO FLOW TO STREAMS, DITCHES, STORM DRAINS, OR ANY OTHER WATER CONVEYANCE. A SUMP OR PIT WITH NO POTENTIAL FOR DISCHARGE SHALL BE CONSTRUCTED IF NEEDED TO CONTRIN CONCRETE WASH WATER. FIRED TILE OR OTHER USBUSHRACE DEPAILINGS STRUCTURES WITHIN FOR JOH TO FIT HE SUMP SHALL BE CUT AND PLUGGED, FOR SMALL PROJECTS, TRUCK CHUTES MAY BE RINSED AWAY FROM ANY WATER CONVEYANCE.

7. SPILLS ON PAVEMENT SHALL BE ABSORBED WITH SAWDUST OR KITTY LITTER AND DISPOSED OF WITH THE TRASHAT A LICENSED SAWITARY LANDFILL. HAZARDOUS OR INDUSTRIAL WASTES SUCH AS SOLVENTS, GASOLINE, OIL-BASED PAINTS, AND CEMENT CURING COMPOUNDS REQUIRE SPECIAL HAVIOLING, SPILLS SHALL BE REPORTED TO OND EPA, THE (1-500-282-9378), SPILLS OF 25 GALLONS OR WORE OF PETROLEUM PRODUCTS SHALL BE REPORTED TO OHIO EPA, THE LOCAL, FIRE DEPARTMENT, AND THE LOCAL SHEED DEPARTMENT THE RELEASE. ALL SPILLS WHICH CONTACT WATERS OF THE STATE MUST BE REPORTED TO OHIO EPA

8. CONTAMINATED SOILS, IF SUBSTANCES SUCH AS OIL, DIESEL FUEL, HYDRAULIC FLUID, ANTIFREEZE, ETC. ARE SPILLED, LEAKED, OR RELEASED ONTO THE SOIL, THE SOIL SHOULD BE DUG UP AND SPOSED OF AT LICENSED SANTRAY LANDFUL OR OTHER APPROVED PETROLEUM CONTAMINATED SOIL REVENDATION FACILITY, (NOT A CONSTRUCTION DEMONSTRUCTION MOREMOLITION) DEBRIS LANDFILL). NOTE THAT STORM WATER RUN OF ASSOCIATED WITH CONTAMINATED SOILS ARE NOT TO BE AUTHORIZED UNDER ONDER ONDER SUPERIOR SOILS ARE NOT TO BE

9. OPEN BURIANG. NO MATERIALS CONTRINNING RUBBER, GREASE, ASPHALT, OR PETROLEUM PRODUCTS, SUCH AS TIRES, AUTOPARTS, PLASTICS OR PLASTIC COATED WIRE MAY BE BURNED (OAC 3745-19). OPEN BURIANG IS NOT ALLOWED IN RESTRICTED AREAS, VHICH ARE DEFINED AS: 1) WITHIN CORPORATION LIVITS; 2) WITHIN 1,000 FEET OUTSIDE A MUSICIPAL CORPORATION ANNING A POPULATION OF FEED OF 1,000 AND 3,00 NE MILE 2016 OUTSIDE OF A CORPORATION OF 1,000 TO 1,000 AND 3,00 NE MILE 2016 OUTSIDE OF A CORPORATION OF 1,000 AND 3,00 NE MILE 2016 OUTSIDE OF AREAS (NO OPEN BURNING IS ALLOWED WITHIN 1,000 FEET OF AN INAMEDIED BUILDING ON INNOTHER PROPERTY. OPEN BURNING IS PERMISSIBLE IN A RESTRICTED AREA FOR HEATING TAR, WELDING, SWUDGE POTS AND SWILLAR OCCUPATIONAL NEEDS, AND HEATING FOR WARMITH OR OUTDOOR BARBEQUES, OUTSIDE OF RESTRICTED AREAS, O'PEN BURNING IS PERMISSIBLE FOR ALMOSCAPE OR LAND CLEARING WASTES, PLANT MATERIAL, WITH PRIOR WRITTEN PERMISSISION FROM 0490 EPA), AND AGRICULTURAL WASTES, SECLUDING BULDINGS.

10. DUST CONTROL OR DUST SUPPRESSANTS SHALL BE USED TO PREVENT NUISANCE CONDITIONS, IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND IN A MANNER, WHICH PREVENT A DISCHARGE TO WATERS OF THE STATE. SUFFICIENT DISTANCE MUST BE PROVIDED BETWEEN APPLICATIONS AND NEARBY BRIDGES, CATCH BASINS, OTHER WATERWAYS. APPLICATION (EXCLUDING WATER) MAY NOT OCCUR WHEN RAIN IS IMMINENT AS NOTED IN THE SHORT TERM FORECAST. USED OIL MAY NOT BE APPLIED FOR DUST CONTROL.

11, OTHER AIR PERMITTING REQUIREMENTS: CERTAIN ACTIVITIES ASSOCIATED WITH CONSTRUCTION WILL REQUIRE AIR PERMITS INCLUDING BUT NOT LIMITED TO: MOBILE CONCRETE BATCH PLANTS, MOBILE ASPHALT PLANTS, CONCRETE CRUSHERS, LARGE GENERATORS, ETC. THESE ACTIVITIES WILL REQUIRE SPECIFIC OHIO EPAR PERMITS FOR INSTALLATION AND OPERATION, OPERATORS MUST SEEK AUTHORIZATION FOR THE CORRESPONDING DISTRICT OF OHIO EPA. FOR DEVICTION OF ALL CONVERCIAL, SITES, A NOTIFICATION FOR RESTORATION AND DEMOLITION MUST BE SUBUTITED TO HOME PART OF DETERMINE IF ASBESTORS CORRECTIVE ACTIONS ARE REQUIRED.

12. PROCESS WASTE WATER/LEACHATE MANAGEMENT. OHIO EPA'S CONSTRUCTION GENERAL PERMIT ONLY ALLOWS THE DISCHARGE OF STORM WATER AND DOES NOT INCLUDE OTHER WASTE STREAMS/DISCHARGES SUCH AS VEHICLE ANDOR EQUIPMENT WASHING, ON-SITE SEPTIC LEACHATE, CONCRETE WASH OUTS, WHICH ARE CONSIDERED PROCES! WASTEWATERS, ALL PROCESS WASTEWATERS MUST BE COLLECTED AND PROPERLY DISPOSED AT AN APPROVED DISPOSAL FACILITY. IN THE EVENT, LEACHATE OR SEPTAGE IS DISCHARGED' IT MUST BE ISOLATED FOR COLLECTION DSAL AND CORRECTIVE ACTIONS TAKEN TO ELIMINATE THE SOURCE OF WASTE WATER

13. A PERMIT TO INSTALL (PTI) IS REQUIRED PRIOR TO THE CONSTRUCTION OF ALL CENTRALIZED SANITARY SYSTEMS, INCLUDING SEWER EXTENSIONS, AND SEWERAGE SYSTEMS (EXCEPT THOSE SERVING ONE, TWO, AND THREE FAMILY DIVELLINGS) AND POTABLE WATER LINES. PLAIS MUST BE SUBMITTED AND APPROVED BY OHIO FEA. ISSURGE OF AN OHIO EPA CONSTRUCTION GENERAL STORM WATER PERMIT DOES NOT AUTHORIZE THE INSTALLATION OF ANY SEWERAGE SYSTEM WHERE OHIO EPA HAS NOT APPROVED BY A PTI.

SOIL STABILIZATION CONTROLS

<u>CLEARING & GRUBBING</u>
LIMITS OF CLEARING AND GRADING SHALL BE CLEARLY MARKED ON THE SITE WITH SIGNAGE, FLAGGING AND/OR CONSTRUCTION FENCING.

THE CONTRACTOR SHALL LIMIT THE SURFACE AREA OF ERODABLE EARTH MATERIAL EXPOSED BY EXCAVATION, BORROW, AND FILL OPERATIONS AND PROVIDE INVEDIGTE PERMANENT OR TEMPORARY CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT STREAMS OR OTHER WATER COURSES, LAKES, PONDS, WETLANDS OR OTHER AREAS OF WATER IMPOUNDMENT.

CONSTRUCTION ENTRANCE A STONED CONSTRUCTION ENTRANCE SHALL BE INSTALLED FOR ALL INGRESS & EGRESS TO THE SITE. THE

MINIMUM DIVENSIONS OF THE DRIVE SHALL BE 20 FT, WIDE AND 50 FT, LONG, THE STONE SHALL BE 12 INCHES DEEP WITH AN UNDERLAIN GEOTEXTILE FABRIC. THE DRIVE SHALL BE INSTALLED PRIOR TO ANY CLEARING AND GRUBBING. SEDIVENTS SHALL BE REMOVED FROM ROADWAYS DAILY.

STABILIZATION
PERMANENT AND TEMPORARY STABILIZATION ARE DEFINED IN PART VII OF THE DEPA AUTHORIZATION FOR STORM
WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE
ELIMINATION SYSTEM ONTO EPA PERMIT NO. OHOCCOS EFFECTIVE DATE 42/1/18 - EXPIRATION DATE 4/20/23
DISTURBED AREAS MUST BE STABILIZED AS SPECIFIED IN THE FOLLOWING TABLES BELOW:

TEMPORARY SEEDING
SEEDING AREAS SHALL BE INSPECTED AND WHERE THE SEED HAS NOT PRODUCED 50% COVER SHALL BE
RESEEDED AS NECESSARY BY THE CONTRACTOR, AREAS SHALL BE STABILIZED WITH MULCH WHEN CONDI

STRAW MULCHING SHALL BE APPUED AT A RATE 2-3 STANDARD 45 LB. BALES PER 1000 SQ.FT. OF DISTURBED AREA OR 2 TONS PER ACRE, ALL HYDROSEEDING MUST BE STRAW MULCHED ACCORDING TO THE ABOVE

ALL DETENTION PONDS, RETENTION PONDS, WATER QUALITY STRUCTURES, SEDIMENT PONDS, SEDIMENT TRAPS, EARTHEN DIVERSIONS OR EMBANKWENTS SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF COMPLETED CONSTRUCTION.

TEMPORARY STABILIZATION

I TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE JUL REMAIN IDLE FOR MORE THAN 14 DAYS
I SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN EA FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS EE STABILIZED AT LEAST SEVEN DAYS PRIOR TO TRANSFER MIT COVERAGE FOR THE INDIVIDUAL LOT(S)
O ONSET OF WINTER WEATHER (NOV.1) STRAW MULCH 2 LIES PER 1000 SQ.FT. AND OR 2 TONS PER ACRE.

TEMPORARY RUN-OFF CONTROLS

OMERSION SYMLES
STORMMATER DIVERSION PRACTICES SHALL BE USED TO KEEP RUNOFF AWAY FROM DISTURBED AREAS AND
STEEP SLOPES WHERE PRACTICAL. DIVERSIONS SHOULD BE USED IN LOCATIONS WHERE THE DRAWLAGE AREA
EXCEEDS THE CAPACITY OF THE SILT FENCE. IN SUCH CASES, THE RUNOFF SHOULD BE DIVERTED INTO A
SEDIMENT BASIN OR SEDIMENT TRAP, DIVERSION SYMLES, DIXES OR BERMS, MAY RECEIVE FROM AREAS UP TO 10

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			To Court of	BNDY, CHK: MPS
			WONAL S	BASE, CHK: KTH

PORARY SEEDING SPECIFICATIONS

SEEDING DATES	SPECIES	LB. / 1000SQFT	PER ACRE
MARCH 1 TO AUGUST 15	OATS	3	4 BUSHE
	TALL FESCUE	1	40 LB.
	ANNUAL RYEGRASS	1	40 LB.
	PERENNIAL RYEGRASS	1	40 LB.
	TALL FESCUE	1	40 1B.
	ANNUAL RYEGRASS	1	40 LB.
AUGUST 16 TO NOVEMBER 1	RYE	1	2 BUSHE
	TALL FESCUE	1.1	40 LB.
	ANNUAL RYEGRASS	1	40 LB.
	WHEAT	11	40 LB.
	TALL FESCUE	1	40 LB.
	ANNUAL RYEGRASS	1	40 LB.
	PERENNIAL RYEGRASS	1	40 LB.
	TALL FESCUE	1	40 LB.
	ANNUAL RYEGRASS	1.1	40 LB.

NOTE OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED. PERMANENT STABILIZATION

AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROL
ANY AREA THAT WILL LIE DORMANT FOR ONE YEAR OR MORE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE
ANY AREA WITHIN 50 FT. OF A STREAM AND AT FINAL GRADE	WITHIN TWO DAYS OF REACHING FINAL GRADE
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREA
	GRADE WITHIN THAT AREA

PERMANENT SEEDING SPECIFICATIONS

Seed Mix	lb./ac.	lb. / 1000sqft	Notes:
E-10	Gene	al Use	
Creeping Red Fescue	20-40	1/2-1	1
Domestic Ryegrass	10-20	1/4-1/2	
Kentucky Bluegrass	10-20	1/4-1/2	
Tall Fescue	40	1	
Dwarf Fescue	40	1	
f .	Steep	Banks or Cut Slopes	
Tall Fescue	40	1	
Crown Vetch	10	1/4	Do not seed later than August
Tall Fescue	20	1/2	the same of the same of the same of
Flat Pea	20	1/2	Do not seed later than August
Tall Fescue	20	1/2	1 Total - 190 - 1700 -
E -	Road	Ditches and Swales	
Tall Fescue	40	1	
Dwarf Fescue	90	2 1/4	
Kentucky Bluegrass	5		
	Lawn	0.7	
Kentucky Bluegrass	60	11/2	
Perennial Ryegrass	60	11/2	
Kentucky Bluegrass	60	11/2	For Shaded areas.
Creeping Red Fescue	60	11/2	The standard and

PERMANENT STABILIZATION OF CONVEYANCE CHANNELS
OPERATORS SHALL UNDERTAKE SPECIAL MEASURES TO STABILIZE CHANNELS AND OUTFALLS AND PREVENT

OPERATORS SHALL OWDER THAS ESPECIAL INSIGNED TO STRAILED FUNDAMENT AND OUTPAILS AND PREVENT EROSINE FLOWS. MEASURES MY INCLUDE SECTION, DO RIVAL'IS SEDING (AS DEFINED IN THE LATEST EDITION OF DON'R RAINWATER AND LAKO DEVENT HONOR THAN AND ALL HOMES FOR SIGNED FOR CONTROL MATTING, SODDING, RIPRAP NATURAL CHANNEL DESIGN HAT BIO ENGINEERING TECHNOLOGIS OR ROCK CHECK DAMS.

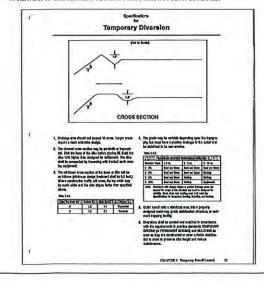
TEMPORARY SEDIMENT CONTROLS

SLT FENCE
SHEET FLOW RUNOFF FROM DENUDED AREAS SHALL BE INTERCEPTED BY SILT FENCE OR DIVERSIONS TO PROTECT
SHEET FLOW RUNOFF FROM DENUDED AREAS SHALL BE INTERCEPTED BY SILT FENCE OR DIVERSIONS TO PROTECT SHEET FLOW RUNDEF FROM DERIVOED AREAS SHALL BE INTERCEPTED BY SILT FEINCE OR DIVERSIONS TO RED ADJACENTE PROPERTIES AND WATER RESOURCES FROM SEDUMENT TRANSPORTED UN SHEET FLOW. HERE INTENDED TO PROVIDE SEDIMENT CONTROL, SILT HE USE OF OTHER SEDIMENT ALEVEL CONTOUR. THE EPA PERMIT NO, OFFICOMOSO SO DES NOT PRECLUDE OF OTHER SEDIMENT BARRIERS DESIGNED TO CONTROL. SHEET FLOW RUNDEF, SILT FEINCE IS NOT PERMITTED TO BE USED FOR CONTROLLING CONCENTRATED SURFACEWATER FLOW (DNLY SHEET FLOW).

THE SIZE OF THE DRAINAGE AREA THAT CAN BE TREATED BY SILT FENCE VARIES WITH TOPOGRAPHY. THE FOLLOWING TABLE IS TO BE USED TO DETERMINE THE MAXIMIUM UPSTREAM DISTANCE THAT IS ALLOWABLE TO BE TREATED BY THE SILT FENCE IN ORDER TO FUNCTION PROPERLY:

	SLOPE	SLOPE LENGTH (FT) 250	
0-2% FLATTER THAN 50:1	FLATTER THAN 50:1		
2-10%	50:1-10:1	125	
10%-20%	10:1-5:1	100	
20%-33%	5:1-3:1	75	
33%-50%	3:1-2:1	50	
> 50%	>2:1	25	

INLET PROTECTION
OTHER EROSION AND SEDIMENT CONTROL PRACTICES SHALL MINIMIZE SEDIMENT LADEN WATER ENTERING ACTIVE
STORM DRAIN SYSTEMS, UNLESS THE STORM DRAIN SYSTEM DRAINS TO A SEDIMENT POND, INLET PROTECTION IS
MANDATORY WHERE SEDIMENT SETTLING PONDS WILL NOT BE IMPLEMENTED.



CONSTRUCTION SEQUENCE NARRATIVE

- 1. PROVIDE SAFE AND SECURE PEDESTRIAN AND VEHICULAR TRAFFIC CIRCULATION THROUGHOUT THE ENTIRETY OF THE CONSTRUCTION SEQUENCE WITH WELL DEFINED CONSTRUCTION BOUNDAMIES TO BE ACCESSED BY THE CONSTRUCTION PERSONNEL ONLY, ALL EROSION CONTROLS ARE TO BE THOROUGHLY INSPECTED BY THE CONTRACTOR UPON THE CONVELETION OF EACH WORK DAY AND MAINTAINED THROUGHOUTH THE REQUIRED THE CONTRACTOR AS SPECIFIED BY THE APPROVED SWP3 PLANS AND NARRATIVE. CONTRACTOR MUST REVIEW
- CONTRACTOR SHALL COMPLETE AND SUBMIT THE OEPA CO-PERMITEE NOTICE OF INTENT (N.O.I.) APPLICATION. ALL
 OPERATORS AT THE CONSTRUCTION SITE ARE REQUIRED TO BECOME CO-PERMITTEES, WISIT THE OHIO EPA
 eBUSINESS CETIMER FOR MORE INFORMATION.
- 3. INSTALL STONE CONSTRUCTION ENTRANCE FOR ACCESS TO CONSTRUCTION AREAS OF SITE.
- 4. AS NECESSARY, DELIVER CONSTRUCTION TRAILER TO SITE AND ESTABLISH TEMPORARY POWER & UTILITIES,
- STAXEOUT LIMITS OF DISTURBANCE AND INSTALL ORANGE CONSTRUCTION FENCE TO CLEARLY DEMONSTRATE THE BOUNDARY OF PRESERVED WETLANDS AND RIPARIAN SETBACKS AS REQUIRED.
- 6. INSTALL TEMPORARY INLET PROTECTION ON ALL EXISTING CATCH BASINS. INLET PROTECTION SHALL BE INSTALLED
- IF POSSIBLE PRIOR TO CLEARING, INSTALL FILTER FABRIC FENCE OR 12" FILTER SOCK WHERE SHOWN ON PLANS. FILTER FABRIC FENCE SHALL BE INSTALLED AS PER PLAN DESIGNATION. IF SILT FENCEFILTER SOCK CANNOT BE INSALLED PRIOR TO CLEARING IQUE TO ACCESSIBLITY CONSTRAINTS) IF SHOULD BE INSTALLED WITHIN 7 DAYS OF INSALLED PRIOR TO CLEARING (DUE T CLEARING AND PRIOR TO GRUBBING.
- WITHIN 7 DAYS OF THE START OF CLEARING & GRUBBING, THE TEMPORARY SEDIMENT BASIN SHALL EXCAVATED/CONSTRUCTED. THE TEMPORARY SEDIMENT BASIN OUTLET STRUCTURE AND RELATING OUTLET PIPE AND EMERGENCY OVERFLOW SPILLWAY INCLUDING ALL OUTLET PROTECTION SHALL BE INSTALLED ONCE GRADES ARE ESTABLISHED. TEMPORARY BASIN SHALL BE INSTALLED WITHIN SEVEN DAYS FROM THE START OF GRUBBING
- REMOVE TOPSOIL FROM AREAS AS NECESSARY, REMOVE FROM SITE PER OHIO ENVIRONMENTAL PROTECTION AGENCY (OHIO EPA) STANDARDS OR TEMPORARILY STOCKPILE MATERIAL IN DESIGNATED AREAS.
- NISTALL TEMPORARY DIVERSION SWALES, DIRECTING RUN-OFF TO THE SEDIMENT BASIN. THE BASIN AREA AND TEMPORARY SWALE SHALL BE SEEDED AND MULCHED UPON COMPLETION AS PER THE TEMPORARY SEEDING SPECIFATIONS.
- 12 AT A MINIMUM ALL CONTROLS ARE INSPECTED AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER ANY AT A MANAMAL COTTROLS ARE INSPECTED IT LESS TORCE EYEM? TOMES AND ITTIME VARIOUS AFTER AND STORM EYEM, GREATER THAN O, SINCH PER 24 HOUR PERIOD, IF THE INSPECTION REVEALS THAN A CONTROL PRACTICE IS IN NEED OF REPAIR OR MUNITENANCE, WITH THE EXCEPTION OF A SEDIMENT SETTLING POND, IT MUST BE REPAIRED WITHIN 3 DAYS OF THE INSPECTION, SEDIMENT SETTLING PONDS MUST BE REPAIRED WITHIN 10 DAYS OF THE INSPECTION.
- 13. TEMPORARILY STORE MATERIAL EXCAVATED FOR CONSTRUCTION AT DESIGNATED AREAS, MATERIAL TO BE WAINTAINED FOR DUST CONTROL BY USE OF A COVER OR OTHER METHODS APPROVED BY OHIO EPA
- IN THE EVENT OF RAIN, ALLOW STANDING WATER TO SETTLE PRIOR TO PUMPING, UTILIZE THE PUMPING SYSTEMS TO PUMP POLLUTED WATER PER REQUIREMENTS, ALLOW ONLY CLEAN WATER TO BE DISCHARGED TO THE EXISTIN DRAINAGE SWALE REMOVE SILT FROM BASIN AS NECESSARY PRIOR TO CONTINUING EARTHWORK MATERIAL SHOULD BE MECHASICALLY SPREAD AND DRIED PRIOR TO INCORPORATION INTO THE EARTHWORK PROCEDURES. SHOULD BE MECHANICALLY SPREAD AND DRIED PRIOR TO INCORPORATION INTO THE EARTHWORK PROCEDURES, ADEQUACY OF THE DRIED MATERIAL IS TO BE DETERMINED BY THE ONSITE REGETECHMENT, ERIONEER, THE CONTRACTOR SHALL BE RESPONSIBLE AND ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS, CONTRICTION WASTES INCLUDE BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUBLIONS MATERIALS, CONCRETE WASHWATER, SAMTARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER OUALITY, MEASURES SHALL BE PLAYINED AND IMPLEMENTED FOR HOUSEKEPPINS, MATERIALS MANAGEWENT, AND LITTER CONTROL WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN INFORMATION OF THE PROVIDER OF THE PROVIDER SHALL SERVING PROMITHE PROVIDENT SHET DIE CONTRACTOR MUST PROVIDE AND EROSION AND SEDIMENTATION CONTROL PLAN TO THE REGULATORY COUNTY CONSERVATION DISTRICT MAINTAINING JURISDICTION OF THE PROJECT SITE AS WELL AS THE COUNTY CONSERVATION DISTRICT MAINTAINING JURISDICTION OF THE DISPOSAL AREA.
- BEGIN EARTHWOYING AND SITE GRADING OPERATIONS, CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE COUNTY CONSERVATION DISTRICT OF LOCATION AND EROSION SEDIMENTATION CONTROL MEASURES MPLEMENTED AT BORROW OR SPOIL SITE OF IMPORT/EXPORT MATERIAL
- 16. TEMPORARY STABILIZATION PROVIDES EROSION CONTROL ON AREAS IN BETWEEN CONSTRUCTION OPERATIONS, GRASSES WHICH ARE QUICK GROWING ARE SEEDED AND USUALLY STRAW MULCHED TO PROVIDE PROMPT, TEMPORARY SOIL STABILIZATION, TEMPORARY STABILIZATION IS REQUIRED BY OHIO EPAS GENERAL CONSTRUCTION PERMIT TO BE APPLIED ON DISTURBED SOIL AREAS WITHIN TOMYS IF THE AREA IS INTIENDED TO BE ANT FOR GREATER THAN 14 DAYS, OR WITHIN 2 DAYS IF THE AREA IS WITHIN 50 FEET OF JURISDICTIONAL
- BEGIN STORM SEWER AND OTHER UTILITY INSTALLATION. STABILIZE ALL UTILITY TRENCHES AT THE END OF EACH WORKDAY, INJET PROTECTION SHALL BE INSTALLED ON EACH STORM STRUCTURE UPON INDIVIDUAL COMPLETION
- 18. REPAIRISTABILIZE ALL AREAS DESIGNATED FOR TEMPORARY SEEDING AND MULCHING, INCLUDING AREAS WHERE SLOPE IS 3.1 OR GREATER, WHICH REQUIRE A MULCH NETTING, ANY AREAS AT FINAL GRADE OR THAT WILL UE DORWANT FOR ONE YEAR OR MORE REQUIRE PERMANENT SEEDING WITHIN 17 DAYS OF THE MOST RECENT DISTURBANCE (REFER TO OHIOS "RAINWATER AND LAND DEVELOPMENT MARIALL). IN ADDITION, ANY AREAS WITHIN 50 FEET OF A STREAM AND AT FINAL GRADE REQUIRE EROSION CONTROLS WITHIN 2 DAYS OF REACHING FINAL GRADE. NOTE THAT A 70% VEGETATIVE DENSITY IS REQUIRED ON ALL DISTURBED SOIL AREAS FOR STABILIZATION.
- MAINTAIN TEMPORARY CONTROLS UNTIL REMOVAL IS WARRANTED DUE TO PROGRESSION OF WORK. SEDIMENT BASINS & TRAPS SHOULD BE CLEANED OUT WHEN SILT OCCUPIES 40 PERCENT OF THE POND DEPTH.
- 20. THE TEMPORARY DRAINAGE SWALE SHALL BE REMOVED AND BROUGHT TO FINAL GRADE UPON COMPLETION OF
- 21. INSTALL CONCRETE CURBS(WHERE APPLICABLE) AND PAYEMENT SUBBASE, BEGIN BITUMINOUS OR CONCRETE PAYING, REMOVING STONE CONSTRUCTION ENTRANCE ONLY WHEN NECESSARY. 22. STABILIZE ALL DISTURBED AREAS WITH PERMANENT SEED AND MULCHING IMMEDIATELY UPON REACHING FINAL
- 23, ALL REMAINING TEMPORARY SEDIMENT CONTROL PRACTICES (INLET PROTECT, SILT FENCE, ETC.) SHALL BE REMOVED DON'S ITE STABILIZATION, NOTE TO WEGETATIVE DENSITY IS REQUIRED ON ALL DISTURBED SOOL AREAS FOR STABILIZATION, ORANGE CONSTRUCTION FENCE SHALL REMAIN ALONG THE RIPARIAN SETBACK LIMITS UNTIL THE CONSTRUCTION AND SITE LANDSCAPING ACTIVITIES ARE COMPLETE. THE DRANGE FENCE SHALL BE REMOVED FROM THE SITE WITHOUT USING ANY EARTH DISTURBING PRACTICES.
- 24. PRIOR TO CONVERSION, PUMP ALL STANDING WATER FROM WITHIN THE TEMPORARY SEDIVENT BASIN TO A FILTERING SYSTEM IN A WELL-VEGETATED AREA OR WITHIN THE CHANNEL OF THE EMERGENCY SPILLWAY, REMOVE AND DISPOSE OF ALL UNSUITABLE SEDIVENT MATERIALS ACCUMULATED WITHIN THE BASIN MEPROR TO FINAL GRADING OF THE PERMANENT STORM WATER MAY AGREEMENT BASIN. IF THE BASIN WILL SERVE AS A DAY EXTENDED DETERTION BASIN, A FOREBAY AND MICROPOOL SHALL BE REESTABLISHED AND THE BOTTOM OF BASIN SHALL BE RESTABLED TO PROVIDE A MEANDERING SWALE BETWEEN THE TWO POOLS. IF THE BASIN MILL SERVE AS A WET EXTENDED DETENTION BASIN THE BASIN SHOLLD BE EXCANATED TO THE PROPOSED DEPTH SHOWN ON THE FINAL GRADING PLAN. THE TEMPORARY SEDIVENT BASIN OUTLET STRUCTURE SHOULD BE REMOVED (OR RETROFITTED) AND REPLACED WITH THE PERMANENT OUTLET STRUCTURE.
- 25. PERMANENT SEEDING AND LANDSCAPING SHOULD BE APPLIED WITHIN THE WATER QUALITY AND DETENTION BASIN
- 26. COMPLETE SITEWORK, PAVEMENT MARKINGS, FINAL LANDSCAPING, SIGN INSTALLATION(S), AND CLEAN-UP.
- 27. RESEED AND REDRESS ANY AREAS THAT MAY REQUIRE ATTENTION IMMEDIATELY, NOTE THAT LAWN AREAS WILL NOT BE DEEMED STABLE UNTIL A UNIFORM 70% VEGETATIVE DENSITY IS ACHIEVED.
- 28. IF, FOR ANY REASON, THE PROJECT IS SUSPENDED, THE CONTRACTOR SHALL INSURE THAT ALL INSTALLED EROSION MEASURES ARE FUNCTIONING AND PROPERLY MAINTAINED DURING THIS PERIOD, AND THA' SOILS ARE SEEDED AND MULCHED WITH TEMPORARY SEED MIXTURE.
- ONCE FINAL STABILIZATION HAS BEEN ACHIEVED THE CONTRACTOR SHALL COMPLETE AND SUBMIT THE DEPA NOTICE OF TERMINATION (N.O.T) APPLICATION, INSTRUCTIONS AND APPLICATIONS ARE ALSO LOCATED ON THE EPA WEBSITE (SEE STEP #1). CONTRACTOR SHOULD VERIFY WITH THE OWNER THAT THE TERMS OF THE CONTRACT HAVE BEEN FINALIZED PRIOR TO SUBMITTING THE N.O.T.
- 30. ALL QUESTIONS REGARDING EROSION CONTROL ARE TO BE DIRECTED TO POLARIS ENGINEERING AND SURVEYING AT (440) 944-4433 OR TO THE APPROPRIATE COUNTY CONSERVATION DISTRICT FOR REVIEW PRIOR TO THE COMMENCEMENT OF SUCH CHANGES AT THE CONSTRUCTION SITE.

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CONTRACT No.

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CONTRACT No. 22057

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Concrete Washout Areas

Concrete wash water shall not be allowed to flow to streams, dishes, storm drains, or any other water conveyance and washout pits shall be altuated a minimum of fity (50) feet from them.

- . Field lie or other subsurface drainage structures within 10 ft. of the sump shall be cut and plugged.

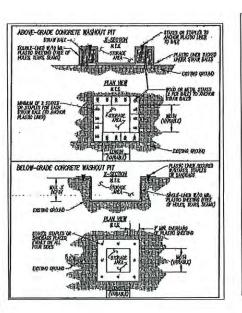
 Ensure a stable path is provided for concrete trucks to reach the weshout area.
- Surface runoff generated from upslope areas shall be diverted away from below-grad not to flow into them.
- 6. A single centralized washout area may be utilized for multiple auticia.

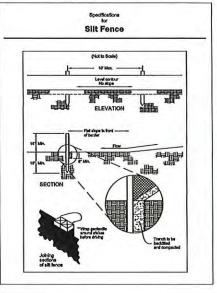
- 7. The weshout oil must be inspected frequently to ensure the liner is intact.
- 1. The Manacoupe manages or Expection Requiring is service in an instruction and instruction of the washout pile if littled on if the spice is form, the material must be removed and properly disposed of once it is completely hardward. Once the hardward concrete is removed, the liner must be replaced (if long). A new pit must be constructed if the original structure is not longer statistics.

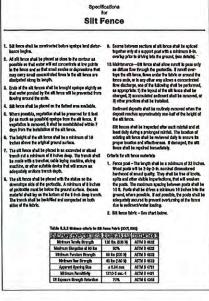
shout pit is no longer readed, ensure all washout material has completely hardened, then properly dispose of all materials. If strew bales were used, they can be apread as mulch. containers specifically designed for concrete weahout collection may be used subject to prior he Community Engineer, Follow the manufacturer's suppositions for installation, maintenance

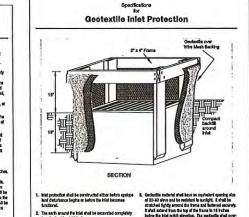
Below-grade (8-ft depth)			Above-g	rade (241 de	eth)
# of coccrete trucks expected to be washed out on alta"	Mater (II)	Length (N)	# of concrets trucks expected to be washed out on site*	Width (N)	Lingth (R)
2-3	3		2	3	3
45	4	4	34	4	4
	-	-	6-8	8	. 8
6-7	5		7-9		
8-10			9-11	7	7
11-14	7	7	12-15	8	

For small projects using a maximum of only one trudiced of concrete or utilizing on-the mixtry, frieling of equipment may take piece on the lot without a pill, provided it can be done a minimum of fifty (60) feet every from any water conveyances.





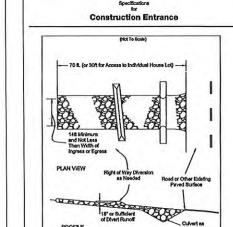


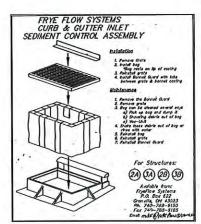


A compacted earth dits or check dam shall be con structed in the ditch line below the hirst if the lotted in a depression. The lop of the dits shall be at less lockes higher from the lop of the forms.

BackEl shall be placed around the Initial in compacted 6-high layers will the earth in even with notals alreading or ends and top alreading on pides.

CHAPTER & Saffers Coresion



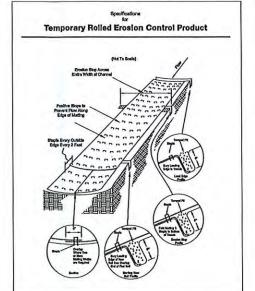


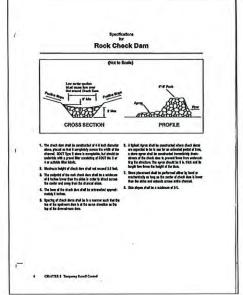


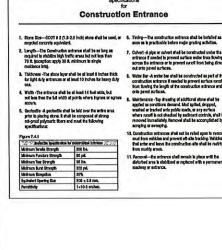
- Inelal REOF in bottom endor brech (12"x6"), sechor every 12". Place all other shaples throughout slope at 1 to 2.5 per agains yest dependent on slope. Refer to manufacturer's sechor guide.

- 13. Rail set PECP beginning in the center of the channel lowers the intermittent check slot, the not pull laught. Useful adjacent rule apprisons with a 5" minimum overlap (section every 16") and up seath channel side slope.

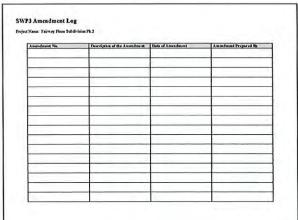
- 17. habil opstream and is a ferminal anchor branch (12"x5") anchor every 12", backfill and compact.







O		haldiolim
		1. Human Data 2 haled bog Way rests on the of conting 3. Roboted grate
		Mahlenance
	10	L Amore pole 2 Boy can be aband sound soon
1	WIT .	a) flat up toy and darp it b) Streety dates cut of toy c) the Unit
		1 State hore debris out of bog or thes with value 4. February bog
\mathcal{A}	1.11	2. Palatisk greta
	1	For Structures:
		< @@@@@
		Arolotile from:
1		P.O. Box 622 Grandle, OH 43023
	1	Ph. 740-788-9150 Fax 740-788-9185 Emak mb+04ysferysferiscom



Date Grading Activity Labbled	Description of Grading Arthity	Date Grading Activity Central Indiana temporary or permunal	Data When Stabilization Measures are Initiated	Description of Stabilitation Measure and Location
		-		
_				
				-
	-			

SWP3 Grading and Stabilization Activities Log

Inspection Date	Inspector Name	Description of Corrective Action Needed (From Inspection Report)	Currective Action Taken	Date Ardes Tales	Inspection #	Name of Inspector
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05	DATE:2/6/23 DRAWN:
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KEYN S	FOLDER: DWG/Proj. Engin
HOFFINAN C	FILENAME: 22057 T.N.D
74831	TAB: 14-SWP3 Details
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TONAL	BASE, CHK; KTH

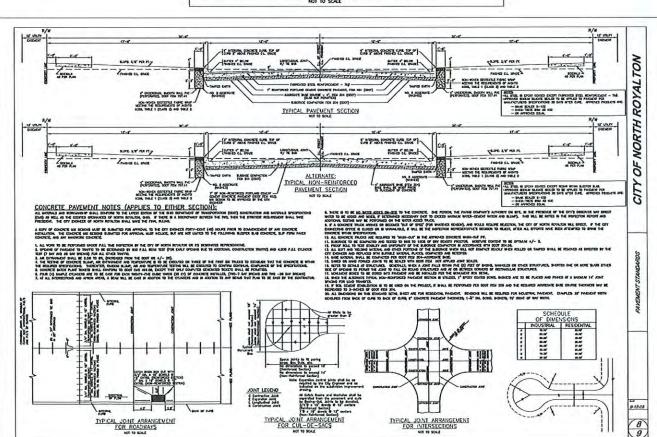
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*	FOLDER: DWG/	Proj. Engineering
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N N	TAB: 14-SWP3	Details
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CITY OF NORTH ROYALTON – STANDARD CONCRETE NOTES

All materials and workmanship shall conform to the latest State of Ohio Department of Transportation (ODOT)
Construction and Materials Specifications as well as the Codified Ordinances of North Royalton, Ohio. If there is a discrepancy between the two, the City Engineer of North Royalton shall make a final ruling.

A copy of concrete mix designs must be submitted for approval to the City Engineer forty-eight (48) hours prior to commencement of ANY concrete installation. The concrete mix designs submitted for approval must include, but are not limited to the following: sleeper slab concrete, slip form payer concrete, and any handwork concrete.

- All work to be performed under FULL TIME inspection by the City of North Royalton or its designated representative.
- Opening of pavement to traffic to be determined by 600 P.S.I. beam test (for early opening due to additional construction traffic) and 4,000 P.S.I. cylinder test (7 days and 28 days breaks) for all other traffic.
- 3. All concrete delivery tickets must identify the batch weights and contents and must conform to the specifications as outlined in ODOT 499.08, EXCEPT; the City of North Royalton will only accept concrete delivery batch tickets which have been generated from an automated and computerized concrete batching system. Hand written, computer typed or computer printed delivery tickets will not be accepted.
- 4. Air entrainment shall be 5.5% to 8% (Increased from the ODOT 6% +/- 2%).
- 5. The testing of concrete slump, air entrainment and temperature is to be executed on three of the first six trucks to establish that the concrete is within the required specifications. Thereafter, in addition to the required testing increments, random slump, entrained air content and temperature testing will be executed to confirm continual compliance of the specifications.
- Four (4) sample cylinders are to be cast for each twenty-five cubic yards (25 CY) of concrete installed, (two-7 day breaks and two-28 day breaks).
- At all intersections and apron areas, a beam will be cast in addition to the cylinders every twenty-five cubic yards (25 CY) installed in addition to any beams that plan to be cast by the contractor.
- 8. There is to be NO WATER ADDED ON-SITE to the concrete. One person, the Paving Company's authority on site, in the presence of the City's observer may direct water to be added and mixed, if determined necessary (not to exceed maximum water-cement ratio, air entrainment and slump). This will be noted in the inspection report and additional testing may be performed on the water added truck.
- If a concrete truck arrives or becomes "out-of-spec", (for whatever reason), and would require rejection, the
 City of North Royalton Engineer will direct. If the City Engineering Office is closed or in unavailable, it will be
 the inspection representative's decision to reject, after all efforts have been attempted to bring the
 concrete within specifications.
- All concrete trucks are required to "wash-out" in the approved concrete wash-out pit or suitable selfcontained container.
- Sub grade to be compacted and tested to 98% to 100% of Dry Density Proctor. Moisture content to be optimum +/- 2.
- 12. When a joint fails within five (5) feet or, or contacts basins, manholes or other structures, shorten one or more slabs either side of opening to permit the joint to fall on round structures and at or between corners of rectangular structures, NOTE: All steels is epoxy coated.
- 13. All soft and yielding material and other portions of the subgrade which will not compact readily when rolled or tamped shall be removed as directed by the City Engineer and replaced with suitable material placed and compacted.
- 14. Sawed or hand formed joints to be sealed with ODOT Item 705.04, hot applied joint sealer.
- 15. If an existing underdrain (curb drain) is removed or disturbed, replacement shall conform to the following: 4" underdrain, solid wall PVC (perforated), ASTM F-758. Non-woven geotextile fabric wrap meeting the requirements of AASHTO M288, Table 1 (class 3) and Table 2. 8" aggregate washed.



DATE: 2/6/23 DRAWN: NMO

SCALE: HOR. 1"=20' VERT. 1"=20'

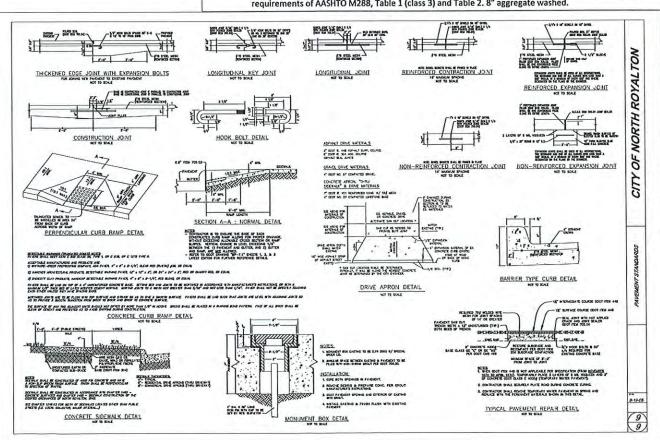
FOLDER: DWG/Proj. Engineering

FILENAME: Utility, SWP3, & Grading

BNDY, CHK:

BASE, CHK:

15-Pvmt & Int Detail



WOODLAND BEND SUBDIVISION

CUYAHOGA

ROYALTON -

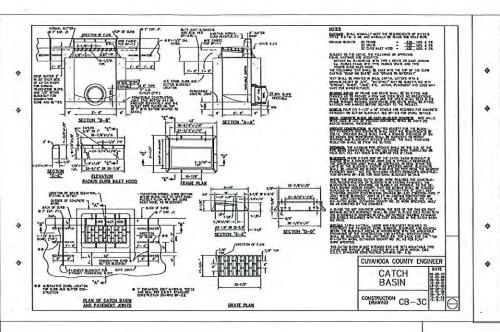
POLARIS ENGINEERING & SURVEYI 34600 CHARDON ROAD - SUITE D WILLOUGHBY HILLS, OHIO 44094 (440) 944-43722 (Fax)

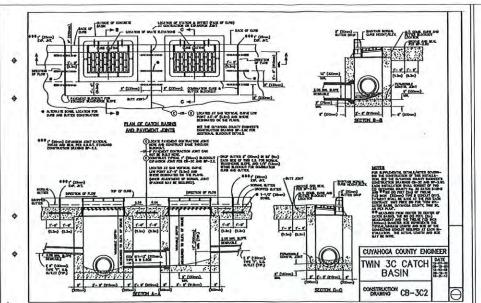
DO BIS Surveying

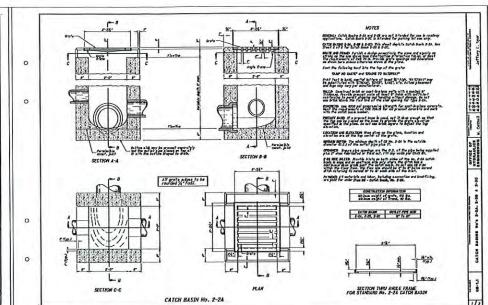
PAVEMENT & ITERSECTION DETAIL

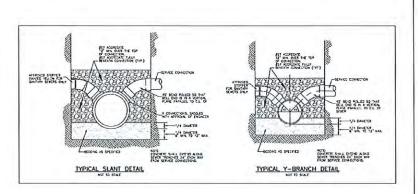
CONTRACT No.

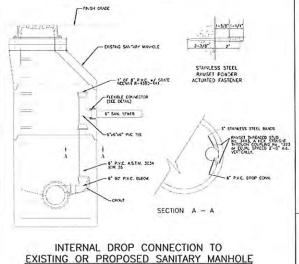
22057

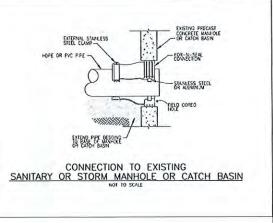


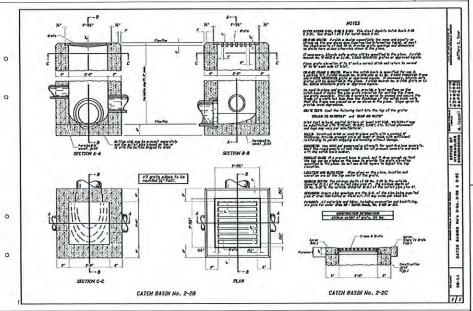


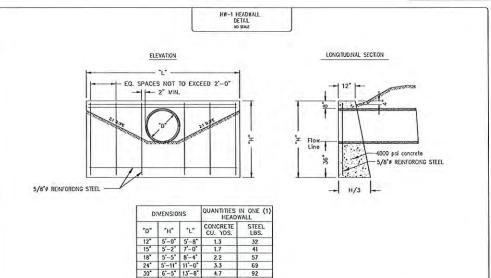




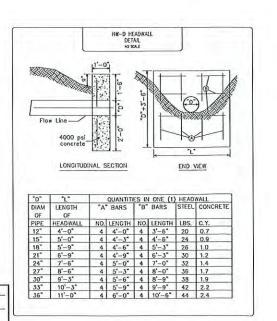


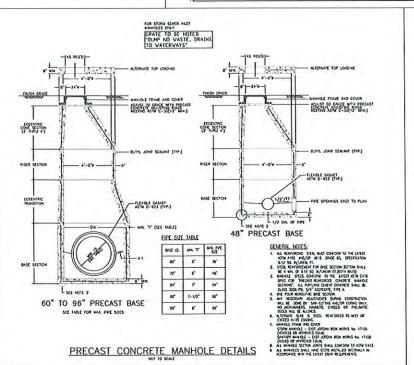


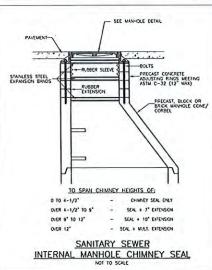




	18° 24° 30° 35°	5'-5' 8'-4' 5'-11' 11'-0' 6'-5' 13'-8' 7'-0' 16'-4'	3.3 4.7 6.5	57 69 92 105			
REV. No.				DATE	ВУ	KEYALAM A MOFINAL A MARKET AND	DATE: _2/6/23 DRAWN: _NMO SCALE: HOR, _N/A VERTN/A FOLDER: _DWG/Proj. Engineering FILENAME:2257 T.N.D. TAB:16-Sewer Details
						VIONAL EM	BNDY, CHK: MPS BASE, CHK: KTH









OHIO

ROYALTON - CUYAHOGA

P

CITY

BEND

WOODLAND

SUBDIVISION

POLARIS ENGINEERING & SURVEYING, IN 34600 CHARDON ROAD - SUITE D WILLOUGHBY HILLS, OHIO 44094 (440) 944-3722 (Fax) www.polaris-es.com

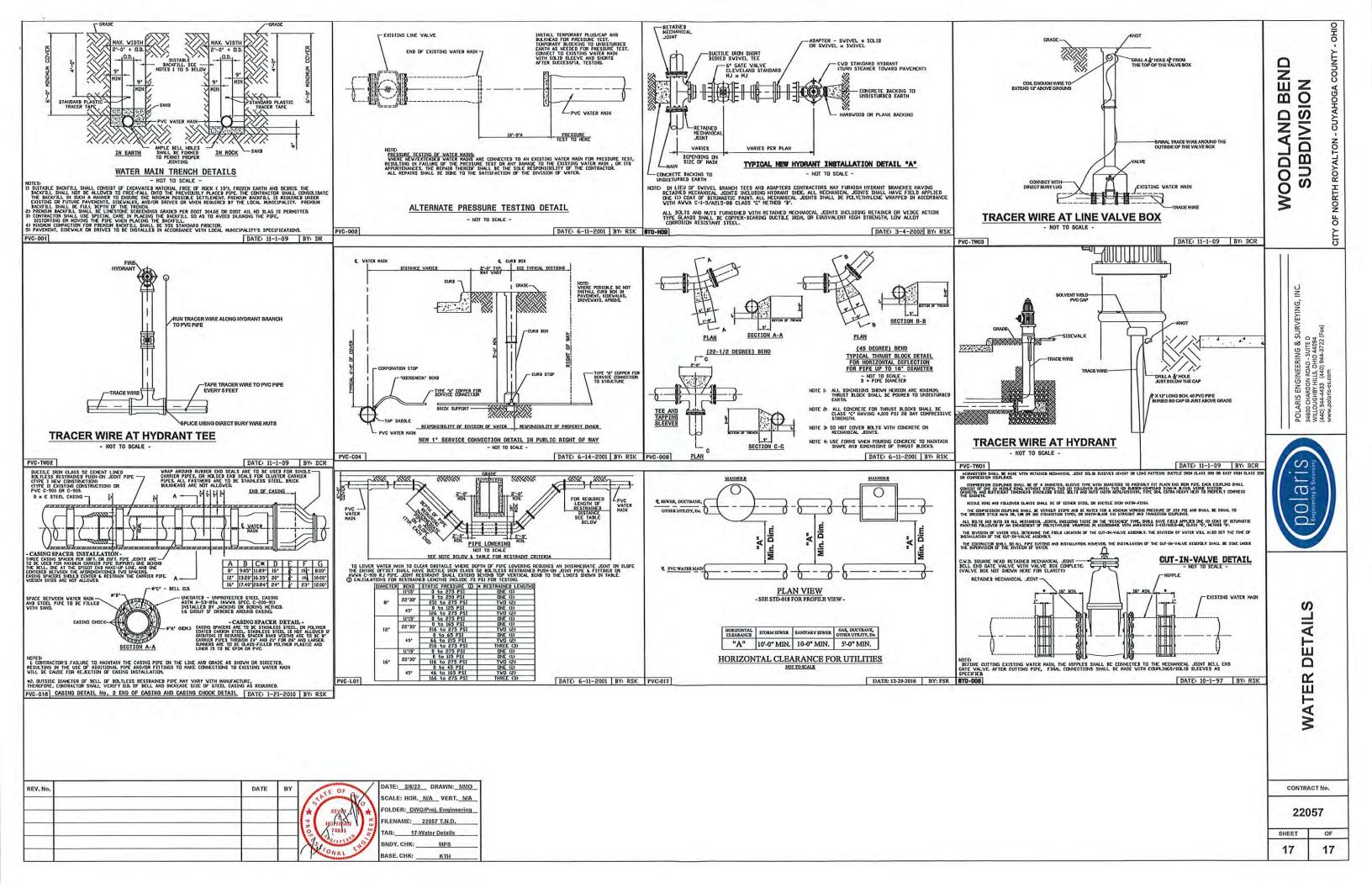
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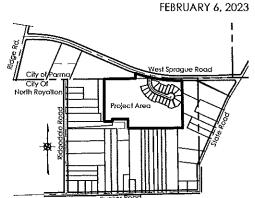
22057



WOODLAND BEND SUBDIVISION

Being a Subdivision of:

Part of P.P.N. 489-02-005 - In Original Royalton Township Lot 11, and part of PPN 454-28-002 In Original Parma Township Lot 42 - Ely Tract



AREA TABULATION - RIGHT OF WAY
AREA IN RIGHT OF WAY (PARMA)..... 0.0391 ACRES
AREA IN RIGHT OF WAY
(NORTH ROYALTON)...... 0.9345 ACRES
AREA IN RIGHT OF WAY (TOTAL)...... 0.9736 ACRES

AND SHOWN WOODLAND

Vicinity Map Scale 1" = 800' ACCEPTANCE AND DEDICATION:

BE IT KNOWN THAT THE UNDERSIGNED, MARK HOLZ, AGENT FOR FRONTIER LAND GROUP, HEREBY CERTIFIES THAT THIS PLAT CORRECTLY REPRESENTS ITS WOODLAND BEND SUBDIVISION, A SUBDIVISION OF SUBLICTS 1 THROUGH 20 INCLUSIVE, AND BLOCKS A & B & C, AND DOES HEREBY ACCEPT PLAT OF SAME AND DEDICATE TO PUBLIC USE, AS SUCH, ALL STREETS SHOWN HEREON AND DESIGNATED AS WOODLAND BEND DIRVE - SIXTY (40) FEET WIDE, AND DOES HEREBY GRANT UNTO THE HOMEOWNERS ASSOCIATION WITHIN THE WOODLAND BEND SUBDIVISION BLOCKS A & B & C. AND THE EASEMENTS SHOWN HEREON, SAID AREAS ARE NOT GRANTED FOR USE BY THE GENERAL PUBLIC, BUT ARE GRANTED FOR THE COMMON USE AND ENJOYMENT OF THE HOMEOWNERS WITHIN THE WOODLAND BEND SUBDIVISION, AS MORE FULLY PROVIDED IN "THE WOODLAND BEND SUBDIVISION DECLARATION OF COVENANTS AND RESTRICTIONS", AS RECORDED AS AFN _______OF THE CUYAHOGA COUNTY RECORDS. THE TERMS AND CONDITIONS SET FORTH ARE HEREBY INCORPORATED BY REFERENCE AS THOUGH FULLY WRITTEN HEREIN AND EACH SUBLOT OWNER SHALL BE ENTITLED TO THE BENEFITS AND SUBJECT TO THE OBLIGATIONS THEREOF.

THE UNDERSIGNED FURTHER AGREES THAT ANY USE OF IMPROVEMENTS MADE ON THIS LAND SHALL BE IN CONFORMITY WITH ALL EXISTING VALID ZONING, PLATTING, HEALTH OR OTHER LAWFUL RULES AND REGULATIONS INCLUDING THE APPLICABLE OFF-STREET PARKING AND LOADING REQUIREMENTS OF THE CITY OF NORTH ROYALTON, OHIO AND THE CITY OF PARMA, OHIO [FOR BLOCK 'A' ONLY] AND FOR THE BENEFIT OF THEMSELVES AND ALL OTHER SUBSEQUENT OWNERS OR ASSIGNS TAKING TITLE FROM OR UNDER OR THROUGH THE UNDERSIGNED.

WITNESS WHEREOF	. MARK HOLZ AG	SENT FOR FRONTIL	ER LAND GROUP.	. HAS HERETO SET ITS HAND

	HEREOF, MAKK HOLZ AGI				IANU	
ΛΤ	, OHIO, THIS	DAY OF	20			
ВҮ;						
SIGNED AND A	ACKNOWLEDGED IN THE	PRESENCE OF:				
STATE OF OHIO	O)					
COUNTY OF)					
BEFORE ME. A	NOTARY PUBLIC IN AND					
	HO ACKNOWLEDGED TH					
	D, IN TESTIMONY WHERE OF		O SELW I HAND A	AND OFFICIAL SE	AL AI	, OHIO,
20	VI					
NOTARY PUBLI	IC	_				
THIS IS AN ACI	KNOWLEDGEMENT CLAU	SE.				
NO OATH OR	AFFIRMATION WAS ADM	INISTERED				
TO THE SIGNER	R.					
MORTGA	GE RELEASE:					
BE IT KNOWN T	TAH	, MORTGAC	GEE OF THE LAND	INDICATED ON	THIS PLAT DOES	
HEREBY JOIN IN	'HAT N THE ABOVE DEDICATIO	N AND RELEASE FRO	M THE OPERATION	N AND LIEN OF I	HE MORTGAGE	HELD

MY COMMISSION EXPIRES

Sanitary sewer easements

THE OWNERS OF THE WITHIN PLATTED LAND, DOES HEREBY GRANT UNTO THE CITY OF NORTH ROYALTON, SANITARY SEWER EASEMENTS, AS SHOWN ON THE PLAT, TO CONSTRUCT, PLACE, OPERATE, MAINTAIN, REPAIR, RECONSTRUCT, AND RELOCATE SUCH SANITARY SEWER CONDUITS AND APPURTENANCES. SAID EASEMENT RIGHTS SHALL INCLUDE THE RIGHT, WITHOUT LIABILITY THEREFORE, TO REMOVE ANY AND ALL FACILITIES NOT CONTEMPLATED IN THE RIGHTS CONVEYED TO GRANTEES BY THIS EASEMENT GRANT WITHIN SAID EASEMENT PREMISES, INCLUDING, BUT NOT LIMITED TO, IRRIGATION SYSTEMS. ELECTRICAL ANIMAL FENCES, TREES, AND LANDSCAPING INCLUDING LAWNS, FLOWERS OR SHRUBBERY AND LANDSCAPE LIGHTING WITHIN AND WITHOUT SAID EASEMENT PREMISES WHICH MAY INTERFERE WITH THE INSTALLATION, MAINTENANCE, REPAIR OR OPERATION OF SAID SANITARY SEWER FACILITIES, THE RIGHT TO OPERATE, INSTALL, REPAIR, AUGMENT, AND MAINTAIN SANITARY SEWERS WITHIN THE ABOVE DESCRIBED ESEMENT PREMISES, AND WITH THE RIGHT OF ACCESS, INGRESS AND EGRESS TO AND FROM ANY OF THE WITHIN DESCRIBED PREMISES, FOR EXERCISING ANY OF THE PURPOSES OF THE RIGHT OF WAY AND EASEMENT GRANT.

FURTHERMORE, THE CITY OF NORTH ROYALTON, THRU ACCEPTANCE AND ADOPTION OF THIS PLAT, DOSE HEREBY PARTIALLY RELEASE A PORTION OF THE SANITARY SEWER EASEMENT THAT WAS GRANTED TO THE CITY IN YOLUME 13635, Pg. 781 OF THE CUYAHOGA COUNTY RECORDS. AREAS BEING RELEASED ARE AS DESCRIBED AND DELINEATED ON SHEET 2 OF THIS PLAT.

DRAINAGE AND STORM WATER MANAGEMENT EASEMENTS:

THE OWNERS OF THE WITHIN PLATTED LAND, DOES HERBY GRANT UNTO THE WOODLAND BEND HOMEOWNERS ASSOCIATION, DRAINAGE & STORM WATER MANAGEMENT FASEMENTS, AS SHOWN ON THE PLAT. TO CONSTRUCT, PLACE, OPERATE, MAINTAIN, REPAIR, RECONSTRUCT, AND RELOCATE SUCH DRAINAGE CONDUITS, SWALES, WATER QUALITY FEATURES, AND PONDS. SAID EASEMENT RIGHTS SHALL INCLUDE THE RIGHT, WITHOUT LUBILITY THEREFORE, TO REMOVE ANY AND ALL FACILITIES NOT CONTEMPLATED IN THE RIGHTS CONVEYED TO GRANTEES BY THIS EASEMENT GRANT WITHIN SAID EASEMENT PREMISES. INCLUDING, BUT NOT LIMITED TO, IRRIGATION SYSTEMS, ELECTRICAL ANIMAL FENCES, TREES, AND LANDSCAPING INCLUDING LAWNS, FLOWERS OR SHRUBBERY AND LANDSCAPING WITHIN AND WITHOUT SAID EASEMENT PREMISES WHICH MAY INTERFERE WITH THE INSTALLATION, MAINTENANCE, REPAIR OR OPERATION OF SAID DRAINAGE, THE RIGHT TO OPERATE, INSTALL, REPAIR, AUGMENT, AND MAINTAIN DRAINAGE WITHIN THE ABOVE DESCRIBED EASEMENT PREMISES. AND WITH THE RIGHT OF ACCESS, INGRESS AND EGRESS TO AND FROM ANY OF THE WITHIN DESCRIBED PREMISES FOR EXERCISING ANY OF THE PURPOSES OF THE RICHT OF WAY AND EASEMENT GRANT. THE CITY OF NORTH ROYALTON MAY ASSESS THE HOMEOWNERS FOR ANY WORK OR MAINTENANCE TO THE DRAIN SYSTEM, SWALES, OR POND NOT PERFORMED BY THE HOMEOWNERS ASSOCIATION.

UTILITY EASEMENT:

THE OWNERS OF THE WITHIN PLATTED LAND, DO HERBY GRANT UNTO THE CITY OF NORTH ROYALTON AND TO UTILITIES INCLUDING BUT NOT LIMITED TO, FIRST ENERGY, AT&T, CHARTER COMMUNICATIONS, BREEZELINE, COLUMBIA GAS OF OHIO, THEIR SUCCESSORS AND ASSIGNS (HEREINAFTER REFERRED TO AS GRANTEES) A PERMANENT UNDERGROUND UTILITY EASEMENT TWELVE (12) FEET IN WIDTH UNDER, OVER AND THROUGH ALL SUBLOTS AS SHOWN HERFIN, PARALLEL WITH AND CONTIGUOUS TO ALL STREET LINES TO CONSTRUCT, PLACE OPERATE, MAINTAIN, REPAIR RECONSTRUCT AND RELOCATE SUCH UNDERGROUND ELECTRIC AND COMMUNICATIONS CABLES, DUCTS, CONDUITS; AND SURFACE OR BELOW GROUND MOUNTED TRANSFORMERS AND PEDESTALS, CONCRETE PADS AND OTHER FACILITIES AS ARE DEEMED NECESSARY OR CONVENIENT BY THE GRANTEES FOR DISTRIBUTING ELECTRICITY, NATURAL GAS, AND COMMUNICATION SIGNALS FOR PUBLIC OR PRIVATE USE AT SUCH LOCATIONS AS GRANTEES MAY DETERMINE UPON, WITHIN, AND ACROSS THE EASEMENT PREMISES. SAID EASEMENT RIGHTS SHALL INCLUDE THE RIGHT TO REMOVE TREES AND LANDSCAPING INCLUDING LAWNS WITHIN AND WITHOUT SAID EASEMENT PREMISES, WHICH MAY INTERFERE WITH THE INSTALLATION, REPAIR, MAINTENANCE OR OPERATION OF SAID ELECTRIC AND COMMUNICATION FACILITIES, THE RIGHT TO INSTALL, REPAIR, AUGMENT AND MAINTAIN SERVICE CABLES OUTSIDE OF THE ABOVE DESCRIBED EASEMENT PREMISES AND THE RIGHT OF ACCESS, INGRESS AND EGRESS TO AND FROM ANY OF THE WITHIN DESCRIBED PREMISES FOR EXERCISING ANY OF THE PURPOSES OF RIGHT OF WAY AND EASEMENT GRANT. ALL SUBLOTS SHALL BE RESTRICTED TO UNDERGROUND UTILITY SERVICE.

GRANIED BI: [OWNER]	
THISDAY OF, 20	
BY:ACCEPTED BY FIRST ENERGY THISDAY OF 20:	
BY: RIGHT - OF - WAY DIVISION	
ACCEPTED BY COLUMBIA GAS THISDAY OF 20	
BY:	
ACCEPTED BY AT&T THISDAY OF	,
8Y:	
ACCEPTED BY WIDE OPEN WEST THISDAY OF	
BY: RIGHT - OF - WAY DIVISION	

CITY OF NORTH ROYALTON APPROVALS:

THIS PLAT HAS BEEN ACCEPTED BY THE COUNCIL OF DEDICATION BY ORDINANCE NO.		
, 20		
LEGISLATIVE DIRECTOR		
PLANNING COMMISSION THIS PLAT HAS BEEN APPROVED BY THE PLANNING OHIO, ADOPTED THIS DAY OF		royalton,
SECRETARY		
CITY ENGINEER THIS PLAT HAS BEEN APPROVED BY THE ENGINEER THIS DAY OF 20	OF THE CITY OF NORTH ROYALTON, O	DHIO, ADOPTED
JUSTIN HASELTON, CITY ENGINEER	alana.	

CITY OF PARMA APPROVALS:

THE CITY OF PARMA HEREBY ACCEPTS THE DEDICATION OF WOODLAND BEND DRIVE WITHIN THE CITY OF PARMA FOR PLATTING PURPOSES ONLY. PERPETUAL MAINTENANCE & REPAIR OF ALL INFRASTRUCTURE LOCATED WITHIN THE WOODLAND BEND DRIVE RIGHT OF WAY LIMITS AND WITHIN THE CITY OF PARMA SHALL BE BY THE CITY OF NORTH ROYALTON. THIS INCLUDES BUT IS NOT LIMITED TO ALL PAVEMENT, SANITARY AND STORM SEWER SYSTEMS, WATER MAINS, AND RELATED APPURITENANCES TO THESE SYSTEMS.

THIS PLAT HAS BEEN ACCEPTED BY THE COUNCIL OF THE CITY OF PARMA, OHIO, FOR DEDICATION	
ORDINANCE NOADOPTED THISDAY OF,	20
LEGISLATIVE DIRECTOR	
PLANNING COMMISSION THIS PLAT HAS BEEN APPROVED BY THE PLANNING COMMISSION OF THE CITY OF PARMA, OHIO, ADAY OF20	dopted th
SECRETARY	
CITY ENGINEER THIS PLAT HAS BEEN APPROVED BY THE ENGINEER OF THE CITY OF PARMA, OHIO, ADOPTED THIS OF	DAY
CITY ENGINEER	

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PREMISES AND PREPARED THE ATTACHED PLAT IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 4733-37 OF THE OHIO ADMINISTRATIVE CODE AND THE DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF, ALL OF WHICH ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. IRON MONUMENTS OR PINS AS INDICATED WERE FOUND OR SET AS SHOWN HEREON. THE TERM CERTIFY AS USED IN THIS STATEMENT IS UNDERSTOOD TO BE THE PROFESSIONAL OPINION OF THE SURVEYOR WHICH IS FORMULATED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AND AS SUCH, IT DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS REVEALED BY A EXAMINATION OF THE SAME. ALL IRON PINS SET ARE 5/8" X 30" LONG REBAR WITH A PLASTIC CAP STAMPED "POLARIS". BEARINGS REFER TO THE OHIO COORDINATE SYSTEM OF 1983 - NORTH ZONE 1986.

Michael P. Spellacy 2/6/2023

MICHAEL P. SPELLACY P.S. #8169

DATE



DATE: 2/6/23 DRAWN: MPS

SCALE: HORYARIES VERT. 1"=00'

FOLDER: DWG/Prof. Surveying

FILENAME: Survey Base Record Pla

TAB: 01-RECORD PLAT

BNDY, CHK: MPS

BASE, CHK:



POLARIS ENGINEERING & SURVEYING, INC 34600 CHARDON ROAD - SUITE D WILLOUGHBY HILLS, OHIO 44094 (440) 944-4433 (440) 944-3722 (Fax)

WOODLAND BEND SUBDIVISION

CITY OF NORTH ROYALTON - CITY OF PARMA
CUYAHOGA COUNTY - OHIO

22057

OF

1 1

THIS IS AN ACKNOWLEDGEMENT CLAUSE. NO OATH OR AFFIRMATION WAS ADMINIS TO THE SIGNER.

DAY OF

STATE OF OHIO

NOTARY PUBLIC

BY IT, ON SAID PREMISES AS RECORDED IN DOCUMENT NO.

BEND DRIVE - SIXTY (60) FEET WIDE, AND THE EASEMENTS HEREIN GRANTED AND RESERVED.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL AT ____

