



# City of North Royalton

Mayor Larry Antoskiewicz

## Planning Commission

David Smerek, Building Commissioner

Ian Russell  
PC Secretary

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### PUBLIC HEARING LEGAL NOTICE

Pursuant to North Royalton Codified Ordinance 1220.06, notice is given that the Planning Commission of the City of North Royalton, Ohio, will hold a meeting on **April 5, 2023** at 7:00 p.m. local time in the Council Chambers at City Hall, 14600 State Road, upon the following subject:

Adam Therrien, on behalf of Transport Services, Inc., is seeking final site plan approval for a proposed 1,800 square foot storage structure located at 10499 Royalton Road also known as PPN: 483-24-008 in General Industrial (GI) District zoning.

Plans, specifications, and other documentation are on file at the Building Division, City of North Royalton Service Center, 11545 Royalton Road, and on the City's website for review by interested parties.

You can view the meeting live by entering the following link on your phone or computer or you may attend the meeting in person at North Royalton City Hall.

Link: [www.northroyalton.org/PlanningCommission](http://www.northroyalton.org/PlanningCommission)

If you would like to be heard on the subject of this application but are not able to attend the meeting in person, please fill out and submit the Public Comment Form with any documents or photographs and return it to the Building Department no later than April 4<sup>th</sup> at 12:00 p.m. local time. The form is available on the Planning Commission page of the city website which can be found at the above link. PLEASE NOTE: THE PUBLIC COMMENT FORM MUST BE NOTARIZED IN ORDER TO BE READ INTO THE RECORD.

PLANNING COMMISSION  
NORTH ROYALTON, OHIO

Ian Russell  
Planning Commission Secretary  
11545 Royalton Road  
North Royalton, Ohio 44133



# City of North Royalton

Mayor Larry Antoskiewicz

Community Development, Building Division

David Smerek, Building Commissioner

11545 Royalton Road, North Royalton, OH 44133

Phone: 440-582-3000



## CITY OF NORTH ROYALTON PLANNING COMMISSION APPLICATION

### 1. This request is made for the following property:

10499 Royalton Rd

Address

483-24-007

Permanent Parcel Number

Transport Services, Inc

Name of Occupant, Business or Tenant (if applicable)

Gen Business

Zoning District and Ward

### 2. Property Owner of Parcel:

Transport Services, Inc

Name

10499 Royalton Rd

Address

N. Royalton, Oh 44133

City, State and Postal Code

Transport Services, Inc

Name of Business (if applicable)

440-582-4900

Phone

adam@transportservices.com

Email (electronic mail)

### 3. This request is being made by the following responsible party

(Owner / Authorized Representative):

Adam Therrien

Name

10499 Royalton Rd

Address

N. Royalton, Oh 44133

City, State and Postal Code

Transport Services, Inc

Name of Business (if applicable)

440-582-4900

Phone

adam@transportservices.com

Email (electronic mail)

### For Office Use Only

03/03/2023

Date Application Submitted

04/05/2023

Meeting Date Assigned

PC23-09

Identification Number Assigned

\$ 200

Application Fee

Check # 2949

Payment Information (date, check number, cash, etc.)

I.R.

Received By

Other Application Fee Information

## CITY OF NORTH ROYALTON PLANNING COMMISSION APPLICATION

### 4. Narrative statement describing the project and its features:

Replace the existing storage with a taller structure. The new building will set on top of the existing concrete slab with the installation of bolts in the existing slab. The structure will drain onto the existing slab (no new sewer work) and will not encroach on the existing setbacks off the existing fence.

### 5. Applicant's Plan Request: (please mark appropriate box)

#### Commercial / Industrial / Residential:

- ☐ Preliminary Site Plan Approval  
☒ Final Site Plan Approval

#### Subdivision:

- ☐ Sketch Plan Approval  
☐ Preliminary Site Plan Approval  
☐ Final Site / Preliminary Plat Approval  
☐ Final Plat / Dedication Approval

The Planning Commission or its agent(s) is hereby authorized to enter upon the property for which his approval is sought, without further notification, to inspect said property. Any such inspection shall be conducted between the hours of 9 a.m. and 5 p.m. on any day of the week, including weekends.

I further understand that any misrepresentation of data or facts or violations of the Ordinances of the City of North Royalton are cause for refusal, suspension or revocation of this license if issued.

  
Applicant Signature

David Miller, President

Printed Name and Title

3-2-2023

Date

  
Owner Signature

Adam Therrien, President

Printed Name and Title

3-2-2023

Date



CITY OF NORTH ROYALTON PLANNING COMMISSION APPLICATION

6. Written Authority Form (complete this form if you are unable to be present at meeting).  
(submit original – do not fax or email)

I, Adam Therrien (name) of Transport Services Inc  
(company, if applicable), hereby certify that I/we are the owners  
(owner(s), executor(s), etc.) of 10499 Royalton Rd (property address or  
permanent parcel number) and further verify that David Miller (name  
of representative) is authorized to represent my/our interests and make decisions on my/our behalf  
when appearing before the North Royalton Planning Commission.

Signature

Date

3/3/23

Before me, a Notary Public in and for said county, personally appeared Adam Therrien  
who acknowledged that he or she did sign the foregoing instrument and the same is his or her free  
act and deed.

In testimony where of I have hereunto set my hand and official seal at North Royalton,  
Ohio on this 3rd day of March, 20 23.

Notary Signature

Seal:

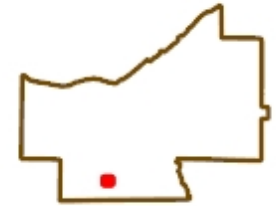


MELANIE FEALKOVICH  
Notary Public, State of Ohio  
My Commission Expires:  
December 11, 2027

State of Ohio  
County of Cuyahoga



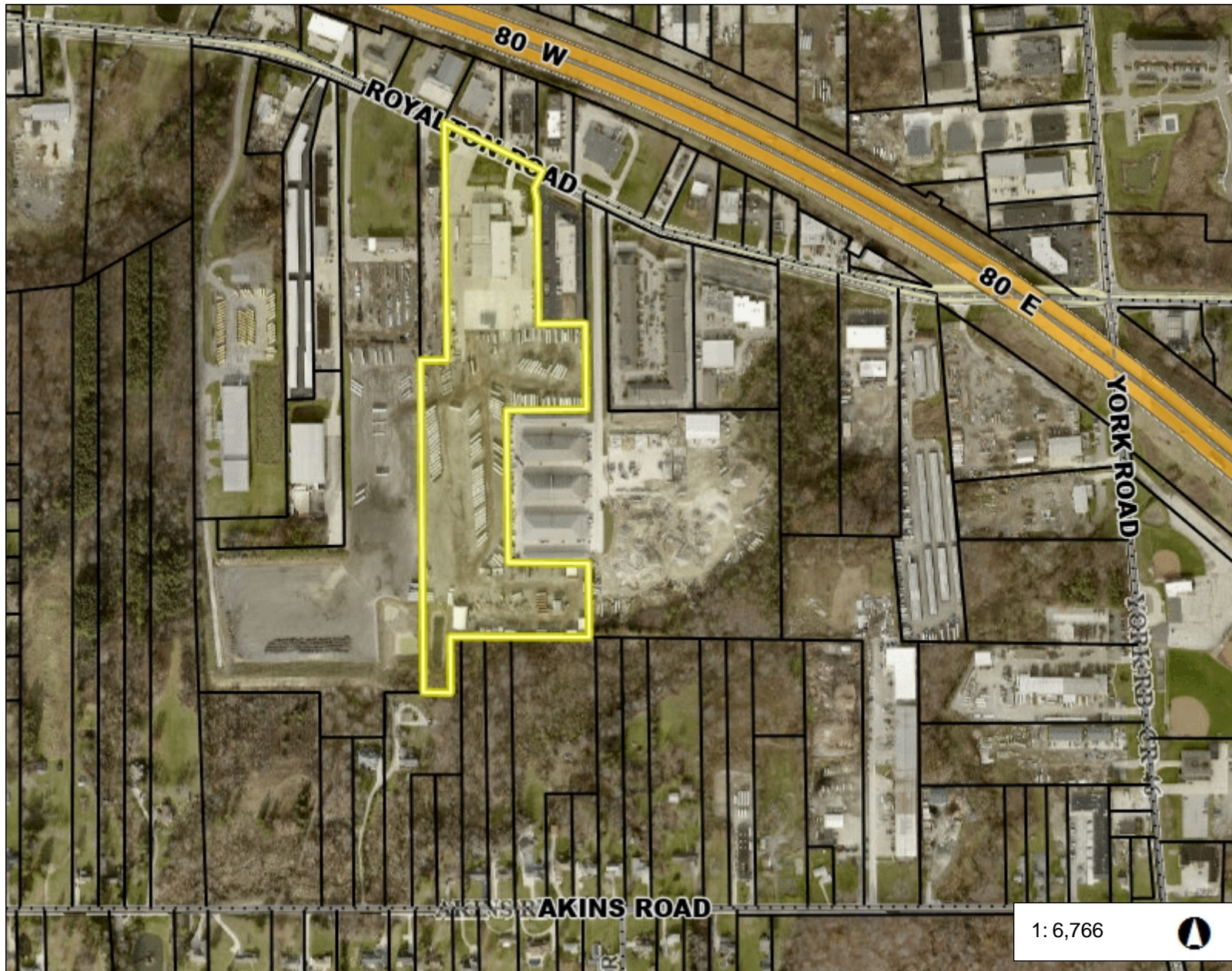
# Cuyahoga County GIS Viewer



Date Created: 3/13/2023

## Legend

- Municipalities
- Platted Centerline
- Parcel



1,128 0 564 1,128 Feet

Projection:  
WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION





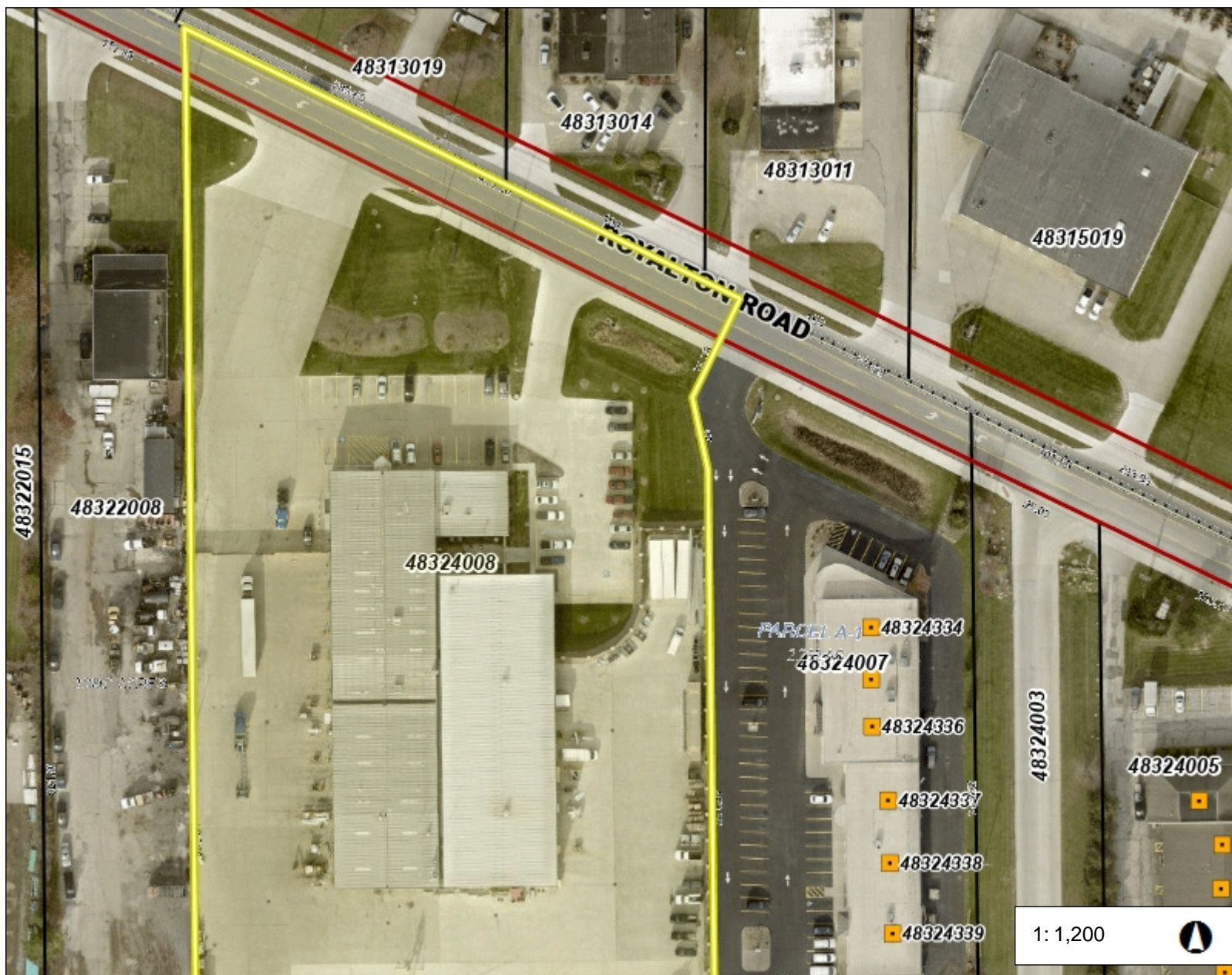
# Cuyahoga County GIS Viewer



Date Created: 3/13/2023

## Legend

- Municipalities
- Right Of Way
- Platted Centerline
- Parcel



1: 1,200



200 0 100 200 Feet

Projection:  
WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

GENERAL CONDITIONS & NOTES :

1. THE DRAWINGS ARE INTENDED TO GRAPHICALLY DEPICT THE GENERAL REQUIREMENTS FOR THE SCOPE OF WORK REQUIRED TO COMPLETE THE PROJECT. THEY DO NOT SHOW OR IDENTIFY EACH AND EVERY COMPONENT, MATERIAL, ITEM OR INSTALLATION METHOD NECESSARY TO MEET MANUFACTURERS OR REGULATORY REQUIREMENTS. SPECIFIC REGULATORY COMPLIANCE ITEMS OR PROVISIONS ARE IDENTIFIED AND/OR REFERRED TO BY INDICATION OF THE APPROPRIATE ASSEMBLY DESIGNATION OR GENERAL TERMINOLOGY. THE CONTRACTOR(S) SHALL BE REQUIRED TO FAMILIARIZE THEMSELVES WITH THE APPLICABLE CODE PROVISIONS, ASSEMBLY DESIGNATION OR MATERIAL IDENTIFIED AND SHALL COMPLETE THE PROJECT IN COMPLIANCE WITH THE APPLICABLE REQUIREMENTS.

2. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, SEQUENCING AND SAFETY REQUIREMENTS FOR THE PROJECT. EACH CONTRACTOR, SUBCONTRACTOR, LABORER OR OTHER PERSONS PERFORMING WORK ON THE PROJECT SITE SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE WORKPLACE & CONSTRUCTION SAFETY REGULATIONS PROMULGATED BY FEDERAL, STATE OR LOCAL AUTHORITIES, INCLUDING BUT NOT LIMITED TO, US DEPT. OF LABOR OCCUPATIONAL SAFETY & HEALTH ACT (OSHA), THE INDUSTRIAL COMMISSION OF THE STATE OF OHIO OR OTHER INDUSTRY REQUIREMENTS APPLICABLE TO CONSTRUCTION SITES AND SAFETY. THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER IS SOLELY RESPONSIBLE FOR ASSURING THAT SITE SPECIFIC SAFETY REQUIREMENTS ARE DOCUMENTED AND DISSEMINATED TO ALL PARTIES AND SHALL MAINTAIN ALL REQUIRED RECORDS, FORMS, MANUALS, RULES OR OTHER DOCUMENTS AT THE SITE.

3. THE CONTRACTOR AND/OR THE APPLICABLE TRADE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION OF ALL UNDERGROUND UTILITIES, PUBLIC OR PRIVATE, IN THE AREAS OF WORK PRIOR TO THE START OF WORK. ALL UTILITIES SHALL BE PROTECTED FROM DAMAGE DURING THE COMPLETION OF THE PROJECT.

4. EACH SHEET CONTAINED IN THIS SET OF DRAWINGS IS AN INTEGRAL COMPONENT OF THE CONSTRUCTION DOCUMENTS FOR THE PROJECT. PORTIONS OF THE WORK DESCRIBED ON ONE SHEET MAY IMPACT, BE IMPACTED BY, OR RELY UPON INFORMATION OR WORK SHOWN ON THE OTHER SHEETS WITHIN DRAWINGS OR WITHIN THE SPECIFICATIONS. EACH CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK REQUIRED FOR THE ENTIRE PROJECT AND SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR RESPECTIVE PORTIONS WITH OTHER TRADES TO ASSURE THAT THE WORK PROGRESSES IN AN ORDERLY AND TIMELY FASHION.

5. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS APPROVED BY THE AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. EACH CONTRACTOR, SUBCONTRACTOR OR OTHER PERSON PERFORMING WORK ON THE PROJECT SHALL REFER TO THE APPROVED DOCUMENTS FOR THE SCOPE OF WORK REQUIRED. USE OF BID SETS, LOOSE SHEETS OR OTHER ITEMS/DOCUMENTS NOT PART OF THE APPROVED DOCUMENTS IS DONE AT THE RESPECTIVE PARTIES SOLE RISK. THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER SHALL BE RESPONSIBLE FOR MAINTENANCE AND SAFEKEEPING OF THE APPROVED DOCUMENTS.

6. DO NOT SCALE DRAWINGS. IF ANY DISCREPANCY IS FOUND OR ANY INFORMATION OR CLARIFICATION IS NEEDED WHICH CANNOT BE REASONABLY DETERMINED BY THE CONSTRUCTION DOCUMENTS, CONTACT THE AUTHOR FOR RESOLUTION. IN CASE OF DISCREPANCY REGARDING THE QUANTITY OR QUALITY, THE HIGHER QUALITY OR GREATER QUANTITY SHALL BE PROVIDED UNLESS DIRECTED OTHERWISE BY THE OWNER OR AUTHOR.

7. UNLESS OTHERWISE NOTED, THE RIGHTS, RESPONSIBILITIES AND DUTIES OF THE CONTRACTOR, AND OWNER, SHALL BE GOVERNED BY THE PROVISIONS OF THE CONSTRUCTION CONTRACT.

8. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL APPLICABLE PERMITS RELATED TO THEIR PORTION OF THE WORK AND SHALL PAY ALL REQUIRED FEES TO SECURE SUCH APPROVALS. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL CERTIFICATES OF COMPLETION, INSPECTION OR OTHERWISE RELATED TO THEIR PORTION OF THE WORK.

9. ALL FINISH ITEMS NOT SPECIFICALLY IDENTIFIED IN THE DRAWINGS OR NOTES, SUCH AS HARDWARE, PLUMBING AND ELECTRICAL FIXTURES, SIGNAGE AND MATERIAL TEXTURES, AND COLORS SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.

10. PRE-FINISHED MATERIALS WHICH ARE DAMAGED EITHER BEFORE OR AFTER INSTALLATION SHALL BE REPLACED WITH NEW MATERIALS. ANY MATERIALS WHICH ARE FINISHED AFTER INSTALLATION WHICH ARE DAMAGED SHALL BE REPLACED OR REFINISHED AS THE OWNER MAY DIRECT.

11. ALL WORK, APPARATUS, FIXTURES AND THE STRUCTURE SHALL BE PROTECTED IN ALL RESPECTS FROM WEATHER, FROM ALL BUILDING HAZARDS, FIRE, UNNECESSARY INTRUSIONS, DUST, DIRT OR DEBRIS. HVAC SYSTEMS SHALL NOT BE OPERATED DURING CONSTRUCTION WITHOUT APPROVAL BY THE OWNER AND SHALL BE THOROUGHLY CLEANED BEFORE BEING PLACED IN FINAL OPERATION.

12. EACH CONTRACTOR SHALL FREQUENTLY CLEAN UP AND LEGALLY DISPOSE OF ALL TRASH AND DEBRIS DURING THE WORK. PRIOR TO OCCUPANCY, EACH CONTRACTOR SHALL PROVIDE FINAL CLEAN UP OF THE PROJECT, INCLUDING BUT NOT LIMITED TO: REMOVAL OF ALL ACCUMULATED TRASH, REMOVAL OF ALL SURPLUS BUILDING MATERIALS NOT OTHERWISE BEING LEFT FOR THE OWNER, CLEAN ALL GLASS SURFACES (INSIDE AND OUT), CLEAN AND POLISH ALL METAL SURFACES (DOOR HARDWARE, ETC.), VACUUM ALL FLOORS, MOP AND SCRUB ALL HARD SURFACE FLOORING, REMOVE ALL STAINS OR DIRT.

13. THIS PROJECT IS UTILIZING A DESIGN-BUILD DELIVERY APPROACH. EACH TRADE SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH OTHER TRADES AND THE DRAWINGS.

14. NOT USED.

15. GENERAL CONTRACTOR TO FURNISH AND INSTALL FIRE EXTINGUISHERS, NUMBER, TYPE AND LOCATION PER LOCAL FIRE DEPARTMENT HAVING JURISDICTION. MAX 75' APART.

16) A sign will be posted at the completion of the project to comply with O.B.B.C. 4101:2-1-28.

17) One set of approved plans shall be kept on the site at all times and shall be made available for reference by the Building Official at all times during working hours while such work is in progress.

18) The Contractor and its Sub Contractors will warrant that all the work on this building shall be performed in accordance with the requirements of all local, state and federal laws and authorities having jurisdiction.

19) Contract is to field verify all existing conditions. Any variations between actual conditions and those shown on the contract documents shall be reported to the G.C. prior to submitting a bid or proceeding with the work. No extra or consideration shall be given for variations between actual conditions and those shown on the drawings.

20) Any substitutions, changes or deletions of materials, techniques or locations shall be presented to the Engineer for approval prior to submitting a bid to the G.C., otherwise work shall be bid and constructed as shown on the Contract documents.

21) All work or materials normally required to complete the work, although not specifically referred to, shall be furnished by the Contractor as if shown on the drawings. Failure to show or mention petty details shall not be warranted for omission of anything necessary for proper completion of the work.

22) The appropriate reinforced foundations will be installed to complete the contract documents. The foundation's layout, verification and installation are the responsibility of the metal building erector.

- End of Section -

CODE COMPLIANCE:

This project has been designed utilizing the provisions of the following Codes and regulations:  
Zoning: N Royalton, Ohio, USA  
Building: Ohio Building Code (2017 Edition)  
NATIONAL ELECTRICAL CODE (2017);  
OHIO MECHANICAL & PLUMBING CODES (2017);  
ANSI 117.1 (2009 AND CURRENT UPDATES)

OCCUPANCY: U/S-2  
USE GROUP: S-2  
MIXED USE: N  
SEPERATION REQUIREMENT (OBC 508.4): NONE

CONSTRUCTION TYPE: IIB

ALLOWABLE AREA: 8,500 SF  
ACTUAL AREA: 1,800 SF (COMPLIES)

ALLOWABLE HEIGHT (OBC T504.3):  
S-2: 55'  
ACTUAL 16'-9" (COMPLIES)

DESIGN LOADS: (OBC CHAPTER 16)  
FLOOR LOADS: (OBC 1607.1)  
AREA LIVE LOAD  
SLAB 100 PSF (EXT'G)

LENGTH OF TRAVEL (TABLE 1017.2): 300' ACTUAL: 69'

OCCUPANCY LOAD ( TABLE 1004.1.2 ): S-2/U (500 GROSS)=3\*  
\*ACTUAL OCCUPANCY, 0 PERMINENTLY POSTED TO BE "UNOCCUPIED"

REQUIRED NUMBER OF EXITS (OBC TABLE 1017.2): 2 NUMBER PROVIDED: 2

ROOF LIVE LOAD: 20 P.S.F.

WIND LOAD:  
BASIC WIND SPEED (MPH): 115 MPH (TABLE 1609)  
WIND IMP. FACTOR (I): 1.0 (TABLE 1604.5)  
WIND EXPOSURE: B (OBC 1609.4.3)  
INTERNAL PRESSURE COEFFICIENT: +/- 0.18

SEISMIC DESIGN CATEGORY: B (TABLES 1616.5.6(1) OR (2))  
Sds: 17.20% (OBC 1613.5.4)  
Sd1 5.70% (OBC 1613.5.4)  
SITE CLASS: D (TABLE 1613.5.2)  
SEISMIC FORCE RESISTING SYSTEM: BEARING WALL SYSTEM

R/6 (TABLE 1613.6.2)  
DESIGN BASE SHEAR: 5.0 KIPS  
ANALYSIS PROCEDURE: SIMPLIFIED PROCEDURE (OBC 1613.6)

OCCUPANT CATEGORY II (TABLE 1604.5)

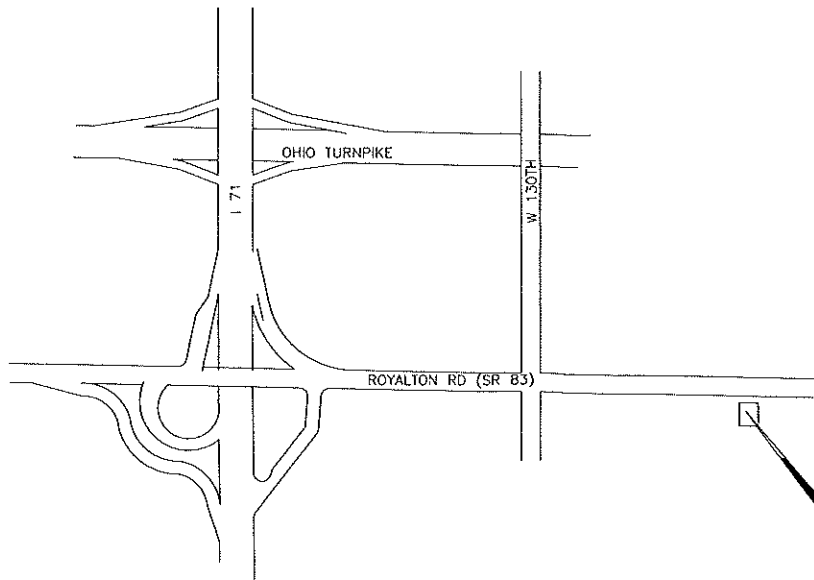
FIRE PROTECTION (TABLE OBC 601):  
INTERIOR BEARING WALLS: 0 hr  
INTERIOR NON BEARING WALLS: 0 hr  
STRUCTURAL FRAMES: 0 hr  
FLOOR CONSTRUCTION: 0 hr  
ROOF CONSTRUCTION: 0 hr

CHAPTER 34 ACCESSIBILITY  
EXISTING SITE ACCESS TO BE MAINTAINED

GENERAL REQUIREMENTS:  
EXISTING EMERGENCY LIGHTING SHALL COMPLY WITH OBC 1006, AND OFC 1301:7-7-10 (K) (B) (1) 1011.1, AND SHALL BE INSTALLED AS NEEDED TO ILLUMINATE THE PATH OF EGRESS (OFC 1301:7-7-10 (F) (B) (1) 1006.1.

BUILDING AND FIRE DEPARTMENT PERSONNEL SHALL WITNESS A TEST OF THE EMERGENCY LIGHTS AND EXIT SIGNS PRIOR TO OCCUPANCY.

FIRE EXTINGUISHERS (MIN RATING OF 3A:40B:C) SHALL BE INSTALLED AS DIRECTED BY THE FIRE MARSHALL, OR AT A MAXIMUM SEPERATION DISTANCE OF 75 FEET ON WALL BRACKETS, NO HIGHER THAN 5'0" ABOVE THE FLOOR. (OFC 1301:7-7-09 (F) 906). OWNER TO SUPPLY-G.C. TO MOUNT. FIRE EXTINGUISHER PLACEMENT TO BE SUPERVISED BY FIRE DEPARTMENT PERSONNEL



SITE LOCATION



PROJECT LOCATION

PAGE	DESCRIPTION
SHT1	COVER, DESIGN NOTES
SHT2	PROPOSED PARTIAL SITE PLAN
SHT3	PROPOSED FLOOR PLAN, ELEVATIONS & DETAILS

JOHN E. PASTIRIK  
LIC #57117  
EXP DATE 12-31-23



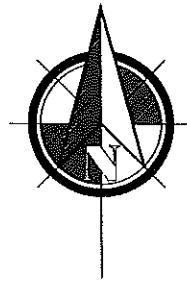
REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION
	1	FEB 13 2023	OWNER REVIEW	
	2	MAR 24 2023	AUD PENCE	

IdConstruction Solutions

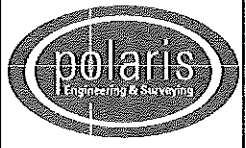
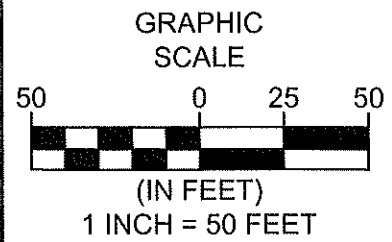
TRANSPORT SERVICES  
COLD STORAGE BUILDING  
10499 Royalton Rd  
N. Royalton, Ohio

DATE:  
3/2/2023  
SCALE:  
AS NOTED  
PROJECT:  
2211151  
SHT1





**NOTE:**  
50' Parking Setback  
100' Front Setback  
10' Side Setback\*  
  
\*or two times the building height, whichever is greater



**POLARIS ENGINEERING & SURVEYING, INC.**  
34600 CHARDON ROAD  
SUITE D  
WILLOUGHBY HILLS, OH 44094  
(440) 944 - 4433  
(440) 944 - 3722 (Fax)  
www.polaris-es.com

DATE: 12/15/22  
SCALE: 1"=50'  
FOLDER: DWG/Concept Plan  
FILENAME: Concept Plan  
TAB: 01-Concept Plan  
DRAWN: NMO

CONCEPT PLAN FOR:  
  
**10499 ROYALTON ROAD**  
  
NORTH ROYALTON - CUYAHOGA COUNTY - OHIO

PREPARED FOR:  
**IDS CONSTRUCTION**  
PO BOX 771596  
LAKEWOOD, OH  
  
PHONE: (216) 536-7322  
CONTACT: DAVID MILLER  
SEAL

CONTRACT NO.	
22244	
SHEET	OF
01	01



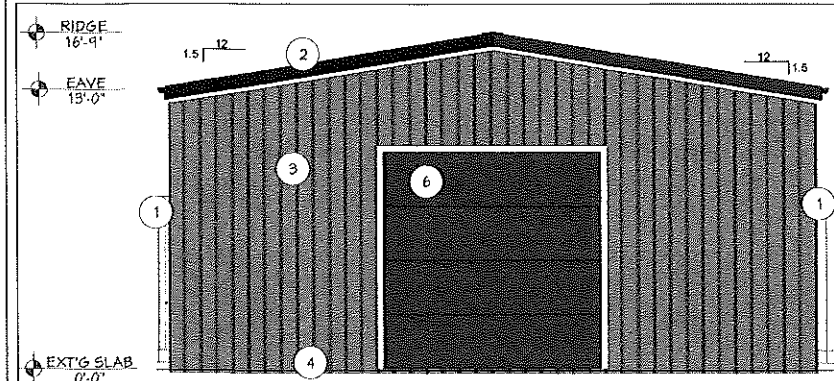
REVISION TABLE	DESCRIPTION	OWNER REVIEW	ADD. FENCE
NUMBER	DATE	DATE	DATE
1	FEB 13, 2023		
2	MAR 24, 2023		

**IDS Construction Solutions**  
17100 711th, Lakewood, Ohio 44127  
www.idsconstruction.com

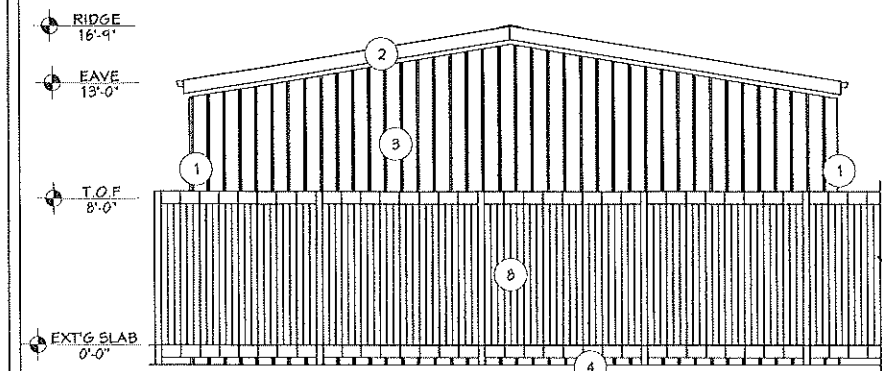
**TRANSPORT SERVICES**  
**COLD STORAGE BUILDING**  
10499 Royalton Rd  
N. Royalton, Ohio

DATE: 3/2/2023  
SCALE: AS NOTED  
PROJECT: 2211151  
SHEET: SHT2

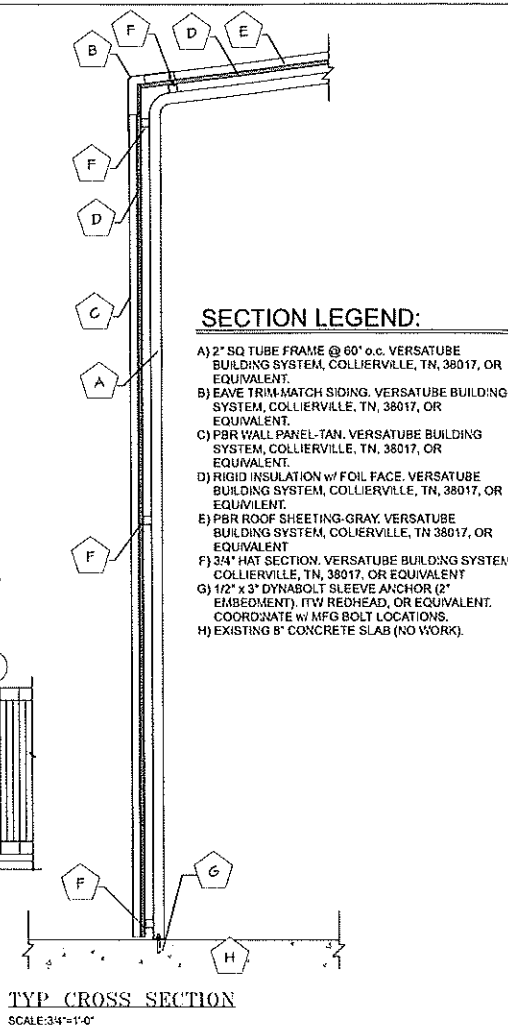




PROPOSED SOUTH ELEVATION  
SCALE: 1/4"=1'-0"



PROPOSED NORTH ELEVATION  
SCALE: 1/4"=1'-0"

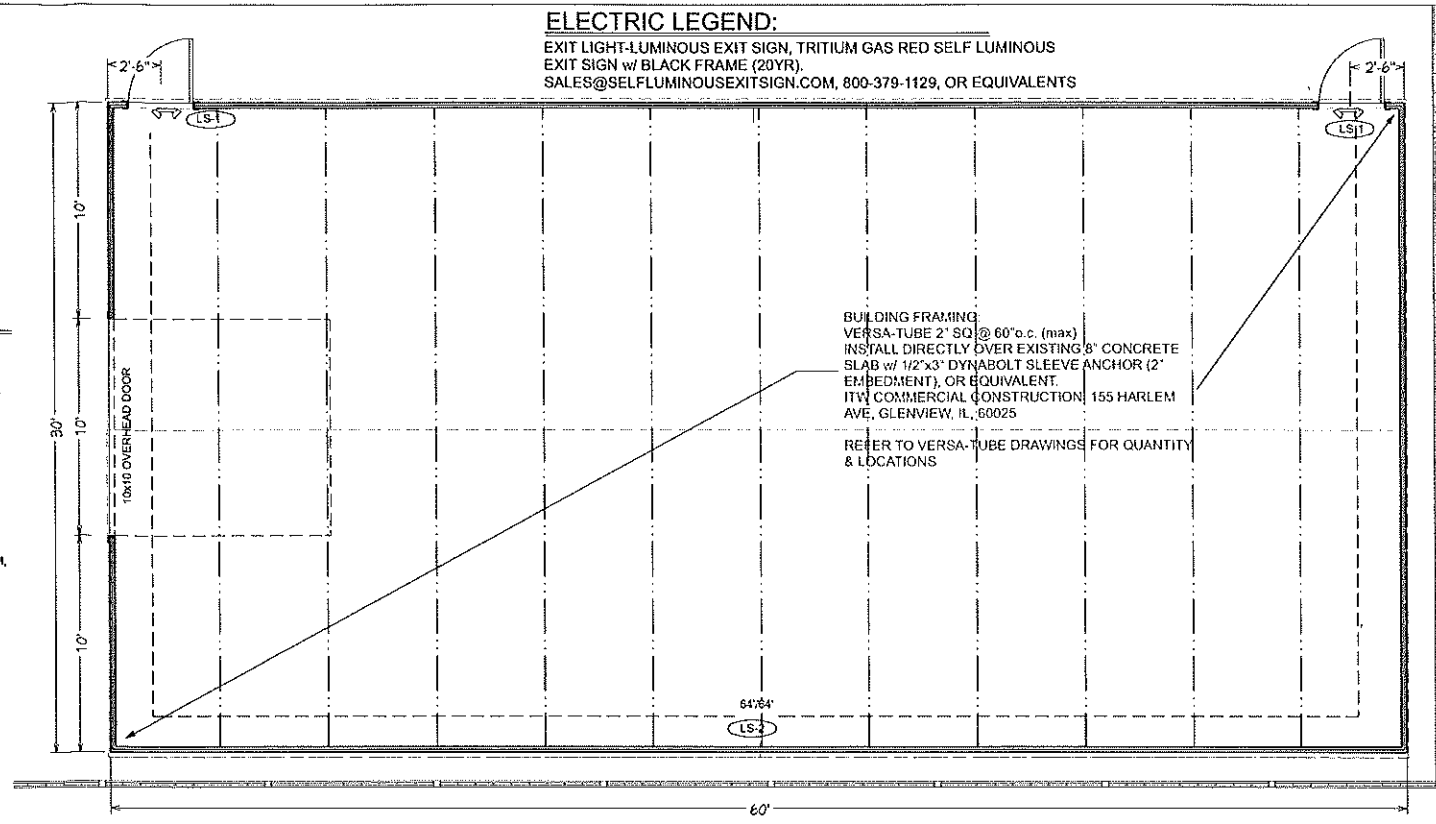


SECTION LEGEND:

- A) 2" SQ TUBE FRAME @ 60" o.c. VERSATUBE BUILDING SYSTEM, COLLIERVILLE, TN, 38017, OR EQUIVALENT.
- B) EAVE TRIM-MATCH SIDING, VERSATUBE BUILDING SYSTEM, COLLIERVILLE, TN, 38017, OR EQUIVALENT.
- C) PBR WALL PANEL-TAN, VERSATUBE BUILDING SYSTEM, COLLIERVILLE, TN, 38017, OR EQUIVALENT.
- D) RIGID INSULATION w/ FOIL FACE, VERSATUBE BUILDING SYSTEM, COLLIERVILLE, TN, 38017, OR EQUIVALENT.
- E) PBR ROOF SHEETING-GRAY, VERSATUBE BUILDING SYSTEM, COLLIERVILLE, TN, 38017, OR EQUIVALENT.
- F) 3/4" HAT SECTION, VERSATUBE BUILDING SYSTEM, COLLIERVILLE, TN, 38017, OR EQUIVALENT.
- G) 1/2" x 3" DYNABOLT SLEEVE ANCHOR (2" EMBEDMENT), ITW REDHEAD, OR EQUIVALENT. COORDINATE W/ MFG BOLT LOCATIONS.
- H) EXISTING 8" CONCRETE SLAB (NO WORK).

ELECTRIC LEGEND:

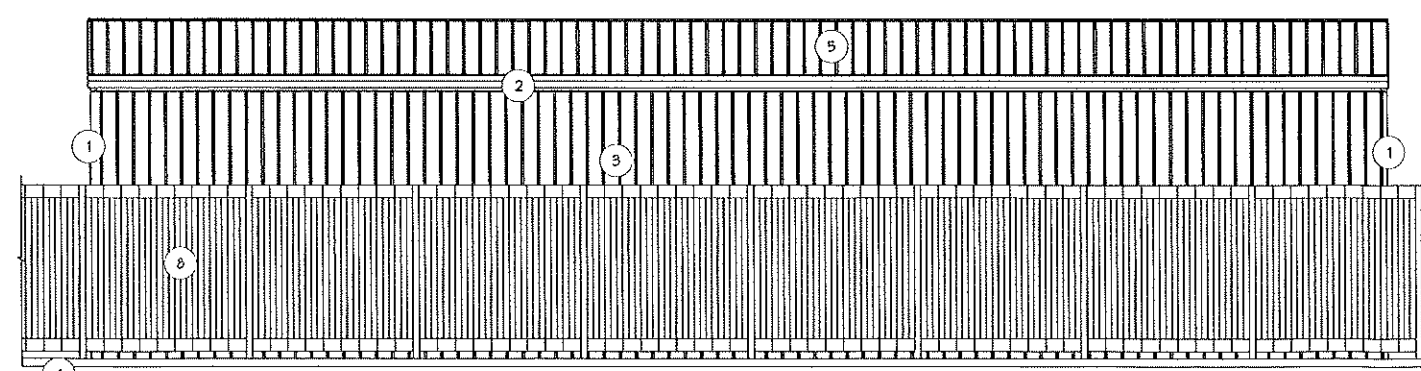
EXIT LIGHT-LUMINOUS EXIT SIGN, TRITIUM GAS RED SELF LUMINOUS  
EXIT SIGN w/ BLACK FRAME (20YR).  
SALES@SELF LUMINOUS EXIT SIGN.COM, 800-379-1129, OR EQUIVALENTS



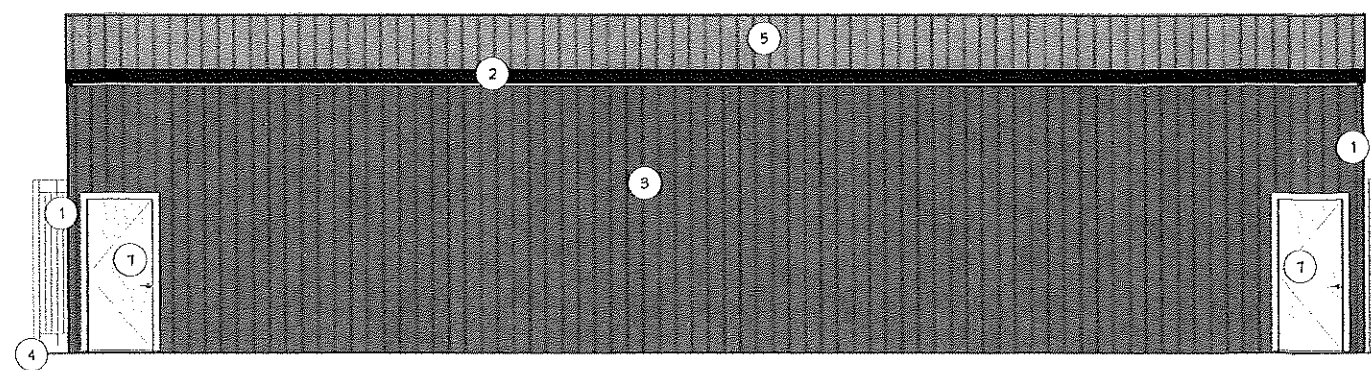
PROPOSED FLOOR PLAN  
SCALE: 1/4"=1'-0"



BUILDING FRAMING:  
VERSATUBE 2" SQ @ 60" o.c. (max)  
INSTALL DIRECTLY OVER EXISTING 8" CONCRETE  
SLAB w/ 1/2"x3" DYNABOLT SLEEVE ANCHOR (2"  
EMBEDMENT), OR EQUIVALENT.  
ITW COMMERCIAL CONSTRUCTION, 155 HARLEM  
AVE, GLENVIEW, IL, 60025  
REFER TO VERSATUBE DRAWINGS FOR QUANTITY  
& LOCATIONS



PROPOSED EAST ELEVATION  
SCALE: 1/4"=1'-0"



PROPOSED WEST ELEVATION  
SCALE: 1/4"=1'-0"

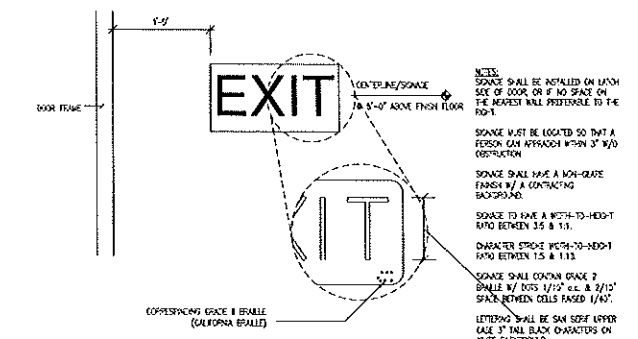
FLOOR PLAN-EGRESS PLAN NOTES

GENERAL LIFE SAFETY & ACCESSIBILITY NOTES:  
THE EXISTING BUILDING HAS ACCESSIBLE ROUTES, ACCESSIBLE ENTRANCES, AND DESIGNATED ACCESSIBLE PARKING SPACES SERVING THE ENTIRE LEASE SPACE HEREIN NOTED.  
THE EXISTING BUILDING HAS ACCESSIBLE ROUTES, ACCESSIBLE ENTRANCES, AND DESIGNATED ACCESSIBLE PARKING SPACES SERVING THE ENTIRE LEASE SPACE HEREIN NOTED.  
SIGNAGE:  
WHERE NEW SIGNAGE IS PROVIDED TO CONVEY MEANS OF EGRESS AND ACCESS, IT SHALL COMPLY WITH OBC CHAPTER 11 AND IAC 400.310 (u). SIGNAGE SHALL BE USED TO IDENTIFY REQUIRED ACCESSIBILITY ELEMENTS, PROVIDE DIRECTIONS, OR INDICATE SPECIAL ACCESSIBILITY PROVISIONS. SIGNAGE DIMENSIONS, CHARACTERS, AND TACTILE FEATURES SHALL COMPLY WITH ICC/ANSI 117.1 (2009), SECTION 703, OR MOST CURRENT CODE. SIGNAGE WILL BE BRAILLE AND TACTILE LOCATED ON THE DOOR HANDLE SIDE OF THE DOOR, AND INSTALLED PER ELEVATION DETAIL SHOWN.

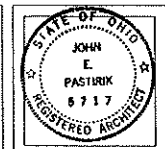
- PROTRUDING OBJECTS:  
PROTRUDING OBJECTS ON CIRCULATION PATHS SHALL COMPLY WITH ICC/ANSI A117.1 (2009) SECTION 307. OBJECTS WITH LEADING EDGES MORE THAN 27" AND NOT MORE THAN 80" A.F.F. SHALL PROTRUDE A MAXIMUM OF 4" HORIZONTALLY INTO THE CIRCULATION PATH.  
GUARDRAILS OR OTHER BARRIERS SHALL BE PROVIDED WHERE OBJECT PROTRUSION IS BEYOND THE LIMITS ALLOWED. THE LEADING EDGE OF THE GUARDRAIL OR BARRIER SHALL BE 27" MAXIMUM ABOVE FLOOR (A.F.F.)
- LIFE SAFETY/ACCESSIBILITY PLAN NOTES:  
(S1) LOCATION OF GENERAL O.B.C. CODE INFORMATION PLAQUE FOR SPACE  
(S2) START POINT, TRAVEL DISTANCE, LINE OF EXIT ACCESS PATH ROUTE. TERMINATION AT MEANS OF EGRESS, OR "APPROVED RATED CORRIDOR". SHOWN DASHED (TYPICAL).  
(S3) (NOT USED).  
(S4) TACTILE EXIT SIGNAGE W/ VERBAGE: "EXIT" SEE DETAIL THIS SHEET  
(S5) TACTILE EXIT SIGNAGE W/ VERBAGE: "EXIT ROUTE" PER DETAIL THIS SHEET

ELEVATION LEGEND:

- 1) CORNER TRIM-MATCH SIDING, VERSATUBE BUILDING SYSTEM, COLLIERVILLE, TN, 38017, OR EQUIVALENT
- 2) EAVE/GABLE TRIM-MATCH SIDING, VERSATUBE BUILDING SYSTEM, COLLIERVILLE, TN, 38017, OR EQUIVALENT.
- 3) PBR WALL PANEL-TAN, VERSATUBE BUILDING SYSTEM, COLLIERVILLE, TN, 38017, OR EQUIVALENT.
- 4) EXISTING CONCRETE SLAB (NO WORK).
- 5) PBR ROOF SHEETING-GRAY, VERSATUBE BUILDING SYSTEM, COLLIERVILLE, TN, 38017, OR EQUIVALENT.
- 6) 10' x 10' OVERHEAD DOOR
- 7) EGRESS MAIN DOOR-BROWN, VERSATUBE BUILDING SYSTEM, COLLIERVILLE, TN, 38017, OR EQUIVALENT.
- 8) EXISTING PRIVACY FENCE TO REMAIN.



TACTILE EXIT SIGNAGE  
1" = 1'-0"



REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION
	1	FEB 13, 2023	OWNER REVIEW	
	2	MAR 24, 2023	ADD FENCE	

Id Construction Solutions  
10499 Royalton Rd  
N. Royalton, Ohio

TRANSPORT SERVICES  
COLD STORAGE BUILDING  
10499 Royalton Rd  
N. Royalton, Ohio

DATE: 3/2/2023  
SCALE: AS NOTED  
PROJECT: 2211151  
SHT3