



City of North Royalton

Mayor Larry Antoskiewicz

Planning Commission

David Smerek, Building Commissioner

Ian Russell
PC Secretary

PUBLIC HEARING LEGAL NOTICE

Pursuant to North Royalton Codified Ordinance 1220.06, notice is given that the Planning Commission of the City of North Royalton, Ohio, will hold a public hearing on **July 6, 2023** at 7:00 p.m. local time in the Council Chambers at City Hall, 14600 State Road, upon the following subject:

Abigail Arnold of Red Architecture + Planning, on behalf of ARC BKSMT41001, LLC, is seeking final site plan approval for proposed site improvements and the remodel of the existing building to a Chipotle Mexican Grill located at 5702 Royalton Road, also known as PPN: 488-07-002, in Traditional Town Center (TCD-2) District Zoning.

You can view the meeting live by entering the following link on your phone or computer or you may attend the meeting in person at North Royalton City Hall.

Link: www.northroyalton.org/PlanningCommission

If you would like to be heard on the subject of this application but are not able to attend the meeting in person, please fill out and submit the Public Comment Form with any documents or photographs and return it to the Building Department no later than July 5th at 12:00 p.m. local time. The form is available on the Planning Commission page of the city website which can be found at the above link. PLEASE NOTE: THE PUBLIC COMMENT FORM MUST BE NOTARIZED IN ORDER TO BE READ INTO THE RECORD.

PLANNING COMMISSION
NORTH ROYALTON, OHIO

Ian Russell
Planning Commission Secretary
11545 Royalton Road
North Royalton, Ohio 44133



City of North Royalton

Mayor Larry Antoskiewicz

Community Development, Building Division
David Smerek, Building Commissioner

11545 Royalton Road, North Royalton, OH 44133

Phone: 440-582-3000



CITY OF NORTH ROYALTON PLANNING COMMISSION APPLICATION

1. This request is made for the following property:

5702 Royalton Rd

Address

488-07-002

Permanent Parcel Number

Chipotle Mexican Grill

Name of Occupant, Business or Tenant (if applicable)

TCD-02, WARD 4

Zoning District and Ward

2. Property Owner of Parcel:

ARC BKSMT41001, LLC

Name

38 Washington Square

Address

Newport, RI 02840

City, State and Postal Code

Name of Business (if applicable)

(212) 415-6500

Phone

Email (electronic mail)

3. This request is being made by the following responsible party (Owner / Authorized Representative):

Abigail Arnold

Name

589 W Nationwide Blvd, Suite B

Address

Columbus, OH 43215

City, State and Postal Code

red architecture + planning

Name of Business (if applicable)

(614) 487-8770

Phone

aarnold@redarchitects.com

Email (electronic mail)

For Office Use Only

06/07/2023

Date Application Submitted

07/06/2023

Meeting Date Assigned

PC23-14

Identification Number Assigned

\$200

Application Fee

Check # 19173

Payment Information (date, check number, cash, etc.)

IR

Received By

Other Application Fee Information

CITY OF NORTH ROYALTON PLANNING COMMISSION APPLICATION

4. Narrative statement describing the project and its features:

Remodel of an existing Burger King to a Chipotle Mexican Grill. Scope of work includes repaving the parking lot, updating any existing damaged site elements, adding signage and modification of the existing building for the new Tenant's use and trade dress.

5. Applicant's Plan Request: (please mark appropriate box)

Commercial / Industrial / Residential:

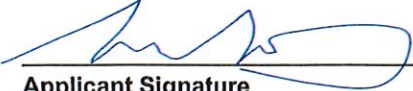
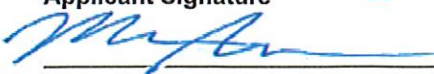
- ☐ Preliminary Site Plan Approval
☒ Final Site Plan Approval

Subdivision:

- ☐ Sketch Plan Approval
☐ Preliminary Site Plan Approval
☐ Final Site / Preliminary Plat Approval
☐ Final Plat / Dedication Approval

The Planning Commission or its agent(s) is hereby authorized to enter upon the property for which his approval is sought, without further notification, to inspect said property. Any such inspection shall be conducted between the hours of 9 a.m. and 5 p.m. on any day of the week, including weekends.

I further understand that any misrepresentation of data or facts or violations of the Ordinances of the City of North Royalton are cause for refusal, suspension or revocation of this license if issued.

	Abigail Arnold, Architect	06/05/23
Applicant Signature	Printed Name and Title	Date
	Michael Anderson, Authorized Signatory	6/5/2023
Owner Signature	Printed Name and Title	Date

CITY OF NORTH ROYALTON PLANNING COMMISSION APPLICATION

6. Written Authority Form (complete this form if you are unable to be present at meeting).
(submit original – do not fax or email)

I, Michael Anderson (name) of ARCBKSMT41001, LLC
(company, if applicable), hereby certify that I/we are the Authorized Signatory
(owner(s), executor(s), etc.) of 5702 Royalton Rd, North Royalton, OH (property address or
permanent parcel number) and further verify that Steve Alatemare of Goodman Real Estate Services Group, LLC (name
of representative) is authorized to represent my/our interests and make decisions on my/our behalf
when appearing before the North Royalton Planning Commission.



Signature Date 6/5/2023

Before me, a Notary Public in and for said county, personally appeared Michael Anderson
who acknowledged that he or she did sign the foregoing instrument and the same is his or her free
act and deed.

In testimony whereof I have hereunto set my hand and official seal at New York,
NY on this 5 day of June, 2023.



Notary Signature

Seal: Chandra C. Blake
Notary Public, State of New York
Reg. No. 01BL6214413
Qualified in Richmond County
Commission Expires June 15, 2026

State of New York
County of New York



Cuyahoga County GIS Viewer



Date Created: 6/14/2023

Legend

- Municipalities
- Right Of Way
- Platted Centerline
- Parcel



200 0 100 200 Feet

Projection:
WGS_1984_Web_Mercator_Auxiliary_Sphere

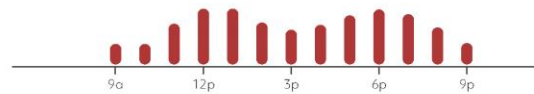
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Cuyahoga County
Enterprise GIS
PUTTING CUYAHOGA COUNTY ON THE MAP



Chipotlane by the Numbers

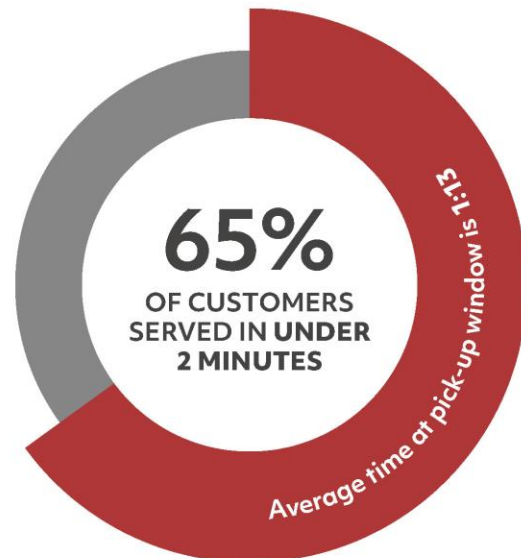


25 AVERAGE CHIPOTLANE CUSTOMERS during peak hour



AVERAGE TOTAL SERVICE TIME
(6:13 is the nationwide fast food drive-thru average service time)

Service time data from the 2022 Intouch Insight Drive-Thru Study

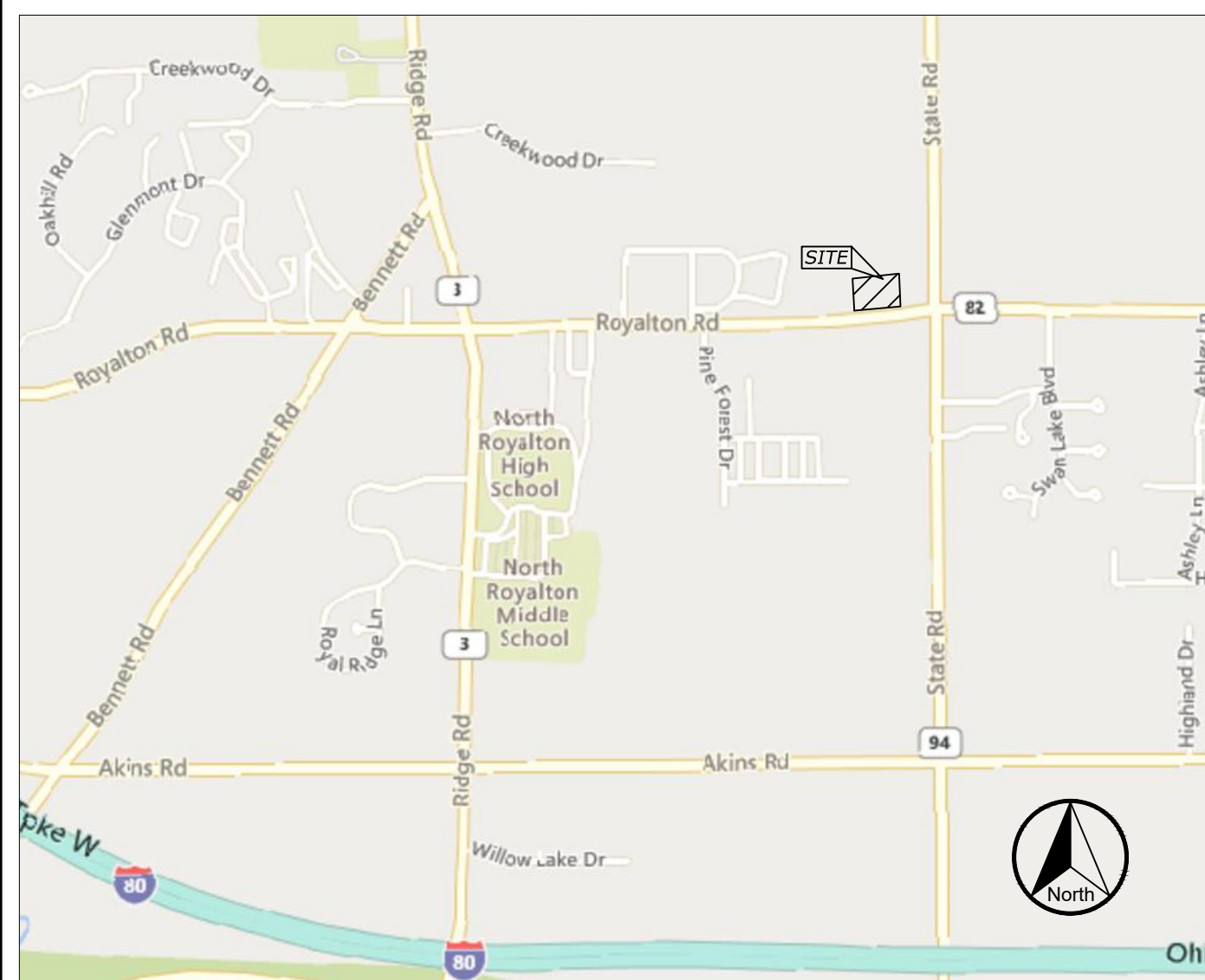


Average of 2 CUSTOMERS
in Chipotlane at a time



The queue length is 4 cars or less **APPROXIMATELY 98%** of the time,
and exceeds 4 cars for **APPROXIMATELY 15 MINUTES A DAY**





VICINITY MAP
SCALE: 1"=1000'


GENERAL NOTES:


- 1) CURRENT ZONING ON THE PROPERTY IS TCD-2; TRADITIONAL TOWN CENTER.
- 2) EXISTING SITE HAS ONE POINT OF ACCESS ALONG ROYALTON RD. THE PROPOSED SITE WILL MAINTAIN THE TWO (2) POINTS OF ACCESS ALONG ROYALTON RD.
- 3) PROPOSED OUTDOOR LIGHTING TO SHINE ON SUBJECT PROPERTY ONLY.
- 4) PROPOSED SANITARY AND WATER SERVICE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF NORTH ROYALTON SPECIFICATIONS AND PER PLAN LAYOUT.
- 5) STORM SEWER CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF NORTH ROYALTON.
- 6) SETBACKS SHOWN ON PLAN ARE DERIVED FROM CITY OF NORTH ROYALTON ZONING CODES.
FRONT: 10' BUILDING, 20' PARKING
SIDE: 5' BUILDING, 5' PARKING
REAR: 20' BUILDING, 5' PARKING
HEIGHT: 3 STORIES
- 7) EXISTING PARKING LOT CONTAINS 33 TOTAL SPACES, INCLUDING 2 H/C SPACES. THE REVAPED PARKING LOT WILL MAINTAIN THE SAME NUMBER OF PARKING SPACES.

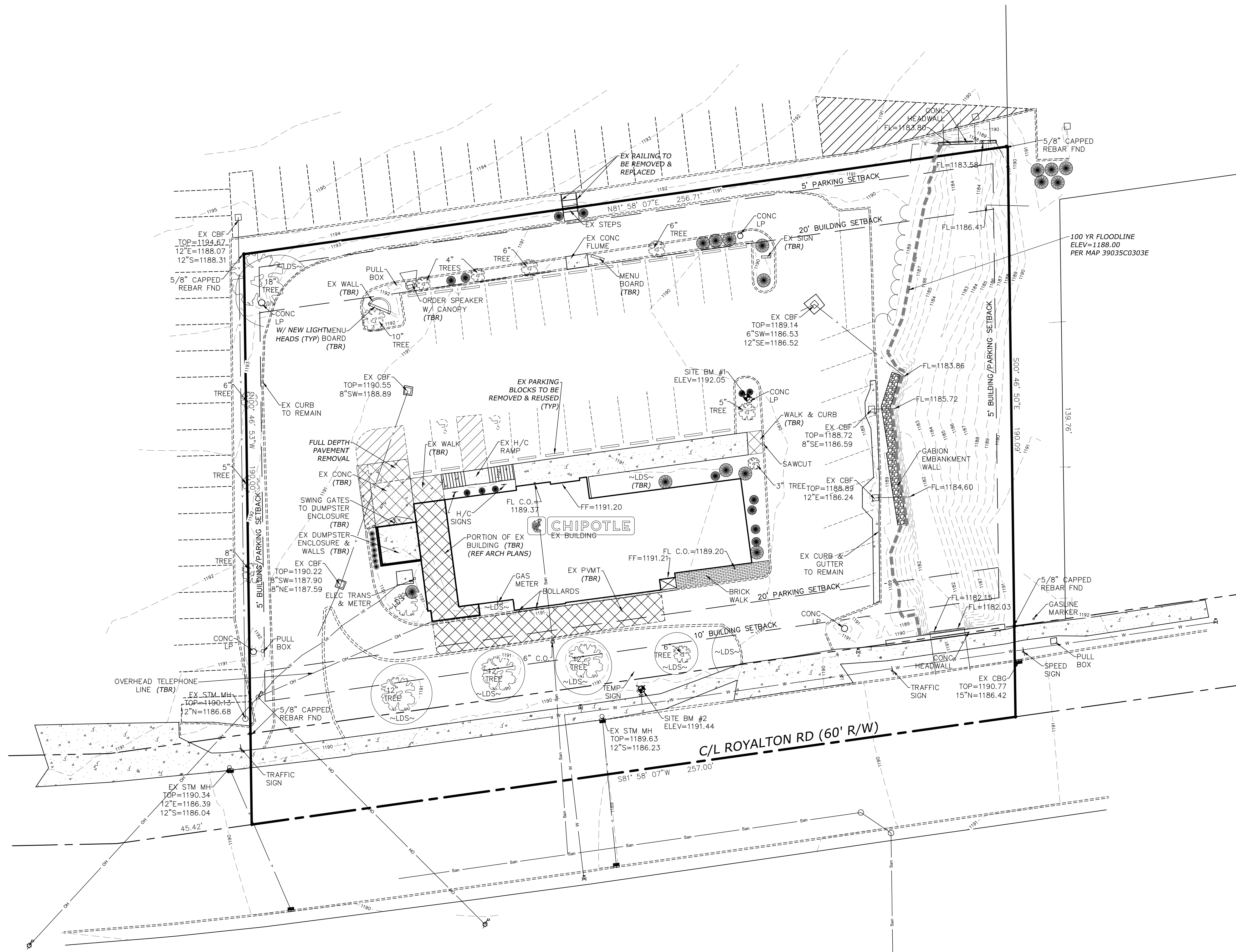
PARKING REQUIREMENTS
 $3450/100 + 10 \text{ EMPLOYEES} = 45 \text{ REQUIRED SPACES}$

DINING S.F. CALCULATION
 $1090/100 + 300(\text{PATIO})/100 + 10 \text{ MAX EMPLOYEES} = 11+3+10 = 24 \text{ REQUIRED SPACES}$

SEAT COUNT CALCULATION
 $42 \text{ INTERIOR SEATS} + 20 \text{ PATIO SEATS} = 62 \text{ TOTAL SEATS}/4 = 16+10 \text{ EMPLOYEES} = 26 \text{ REQUIRED SPACES}$
- 8) EXISTING BUILDING WAS A DRIVE-THRU RESTAURANT, THE PROPOSED USE IS A RESTAURANT WITH A PICK-UP WINDOW. THE USE OF THE BUILDING WILL REMAIN THE SAME.
- 9) FLOOD INFORMATION: A PORTION OF THE SITE IS LOCATED IN 100 YR FLOOD PER MAP NO. 39036C 0303, DATED DECEMBER 3, 2010. ELEV. = 1188.00
- 10) CONSTRUCTION TO BE COMPLETED IN ONE PHASE.

 SITE BENCHMARK #1 (NAVD 88 DATUM)
CHISELED SQUARE IN LIGHT POLE BASE LOCATED ON SITE NEAR
THE NORTHEAST CORNER OF EXISTING BUILDING.
ELEV=1192.05

 **SITE BENCHMARK #2 (NAVD 88 DATUM)**
NORTHEAST BONNET BOLT ON FIRE HYDRANT LOCATED IN THE
RIGHT-OF-WAY OF ROYALTON RD NEAR THE MIDDLE OF THE SITE
ELEV=1191.44



LEGEND

- | | | | |
|--------------------------------------|------------------------------------------|------------------|-----------------------|
| ○ IRON PIPE, MAG. NAIL,
REBAR FND | ✕ WATER VALVE | _____ x _____ | EX FENCELINE |
| ● IRON PIPE, MAG. NAIL,
REBAR SET | ☒ GAS VALVE | W _____ | EX WATER LINE |
| ▲ RR SPIKE | ☐ ELECTRIC TRANSFORMER
(ELEC. TRANS.) | San _____ | EX SANITARY SEWER |
| ⚡ POWER POLE (PP) | ☐ TELEPHONE PEDESTAL
(TELE. PED.) | GAS _____ | EX GAS LINE |
| 📞 TELEPHONE POLE (TP) | 🌳 EXISTING TREE | > _____ | EX STORM SEWER |
| ⚡ LIGHT POLE (LP) | 🌳 EXISTING BUSH | UT _____ | UNDERGROUND UTILITIES |
| ○ MANHOLE (MH) | _____ BUILDING FACE | OH _____ | OVERHEAD UTILITY |
| ○ CATCH BASIN (CB) | 🏠 CURB INLET | UE _____ | UNDERGROUND ELECTRIC |
| 🌿 HYDRANT | → E/P EDGE OF PAVEMENT | _____ -600 _____ | EXISTING CONTOUR |
| → SIGN | | | CONCRETE |
| → GUY WIRE | | | |



OUPS TICKET #A312301753-00A

NOTE:
ALL PAVEMENT TO BE MILLED OFF (REMOVED) AND
RE-PAVED

NOTE:
ANY DAMAGED CURB TO BE REMOVED AND
REPLACED ON SITE. (REF. ARCH. PLANS FOR
ADDITIONAL INFORMATION.)

PLANS PREPARED BY

DANIEL R. STONE, P.E., P.S. DATE
REG. NO. E-63843, S-8159



Van Horn
Hoover

& Associates, Inc.

SURVEYING

CIVIL ENGINEERING

LAND USE PLANNING

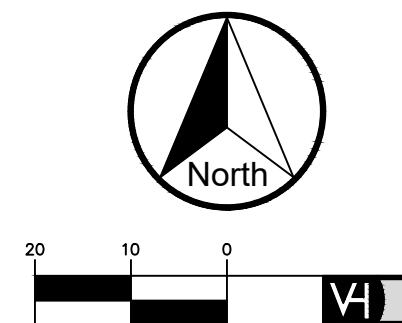
3200 N. MAIN ST.
FINDLAY, OH 45840
(419) 423-5630

www.VanHornHoover.com

E-Mail:
Info@VanHornHoover.com

PHASE OF DOCUMENTS

- ☒ PRELIMINARY
☐ CHECK SET
☐ CONSTRUCTION



(IN FEET)
1 inch = 20 ft.

STAMP

PREPARED FOR:

CHIPOTLE

5702 Royalton Rd
North Royalton, OH

EXISTING CONDITION /
DEMOLITION PLAN

[illegible]

DRAWN:	CHECKED:
JGK	DRS

DRAWING SCALE: 1"=20'

DATE: 06/21/23

JOB NUMBER: z: \projects\20169
20169-site.dwg

SHEET NUMBER: SP1

z:\PROJECTS\20169\20169-Site.dwg-r.gerschultz-Jun 20,2023

LEGEND

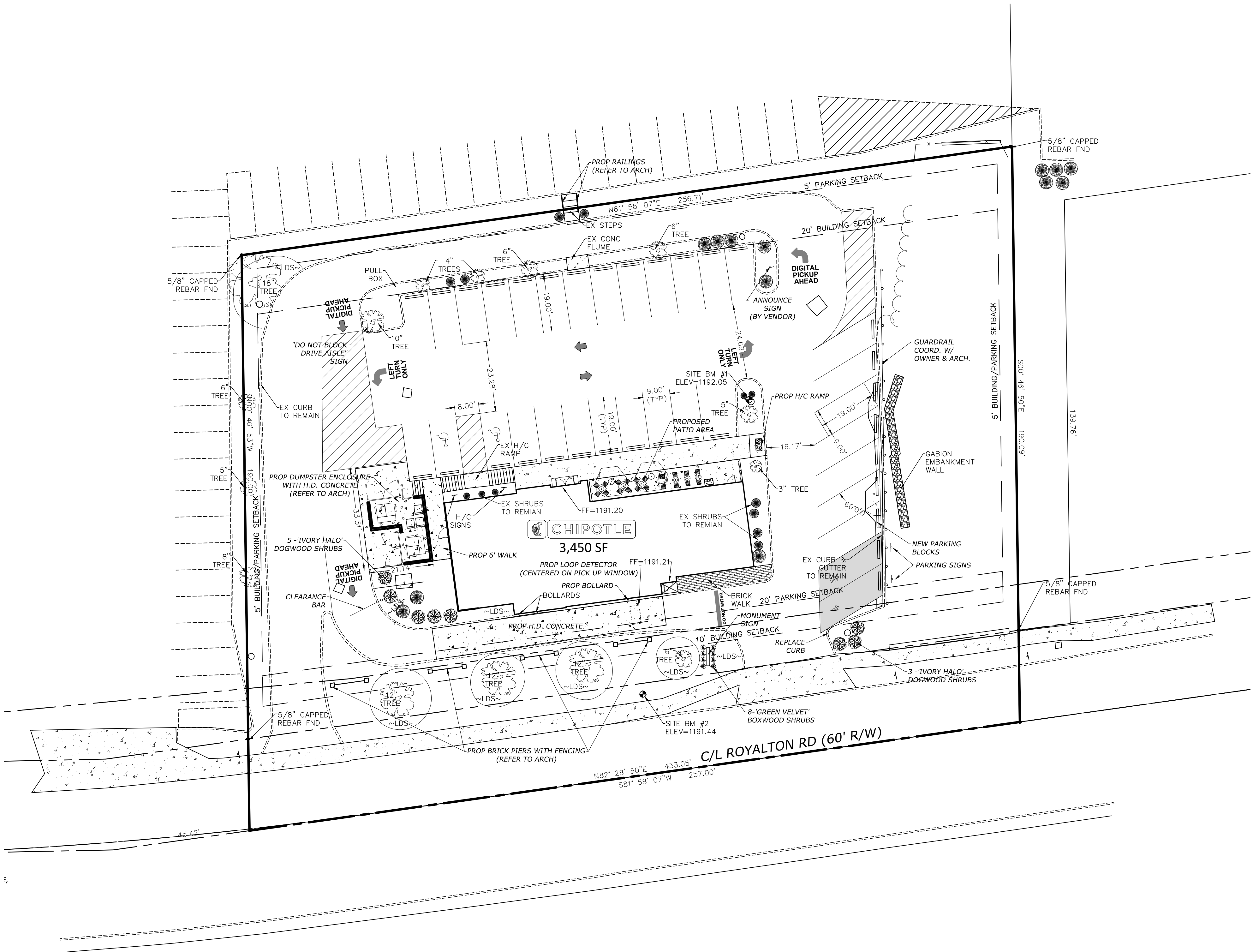
○ IRON PIPE, MAG NAIL, REBAR FND	⊗ WATER VALVE	— x — EX FENCELINE
● IRON PIPE, MAG NAIL, REBAR SET	⊗ GAS VALVE	— w — EX WATERLINE
▲ RR SPIKE	□ ELECTRIC TRANSFORMER (ELEC. TRANS.)	— san — EX SANITARY SEWER
⚡ POWER POLE (PP)	□ TELEPHONE PEDESTAL (TELE. PED.)	— gas — EX GAS LINE
⚡ TELEPHONE POLE (TP)	○ EXISTING TREE	— s — EX STORM SEWER
☆ LIGHT POLE (LP)	○ EXISTING BUSH	— ut — UNDERGROUND TELEPHONE LINES
○ MANHOLE (MH)	— BUILDING FACE	— oh — OVERHEAD UTILITY
□ CATCH BASIN (CB)	— CURB INLET	— ue — UNDERGROUND ELECTRIC
⚡ HYDRANT	— E/P/— EDGE OF PAVEMENT	— 600' — EXISTING CONTOUR
— SIGN		CONCRETE
— GUY WIRE		



OUPS TICKET #A312301753-00A

NOTE:
REUSE EXISTING PARKING BLOCKS IF POSSIBLE
AND ADD NEW PARKING BLOCKS ALONG PARKING
ON THE EAST SIDE OF PROPERTY.

NOTE:
REFERENCE ARCHITECTURAL SITE PLAN
FOR ADDITIONAL INFORMATION ABOUT
THE PROPOSED SITE LAYOUT.



VH

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Hoover

& Associates, Inc.

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PHASE OF DOCUMENTS

- ☒ PRELIMINARY
☐ CHECK SET
☐ CONSTRUCTION



(IN FEET)
1 inch = 20 ft.

STAMP

PREPARED FOR:

CHIPOTLE

5702 Royalton Rd
North Royalton, OH

SITE DIMENSION
PLAN

MARK	DATE	DESCRIPTION

DRAWN: JGK CHECKED: DRS

DRAWING SCALE: 1"=20'

DATE: 06/21/23

JOB NUMBER: z:\projects\20169
20169-site.dwg

SHEET NUMBER: SP2

5702 ROYALTON RD
PARCEL 488-07-002
ZONE TCD-02

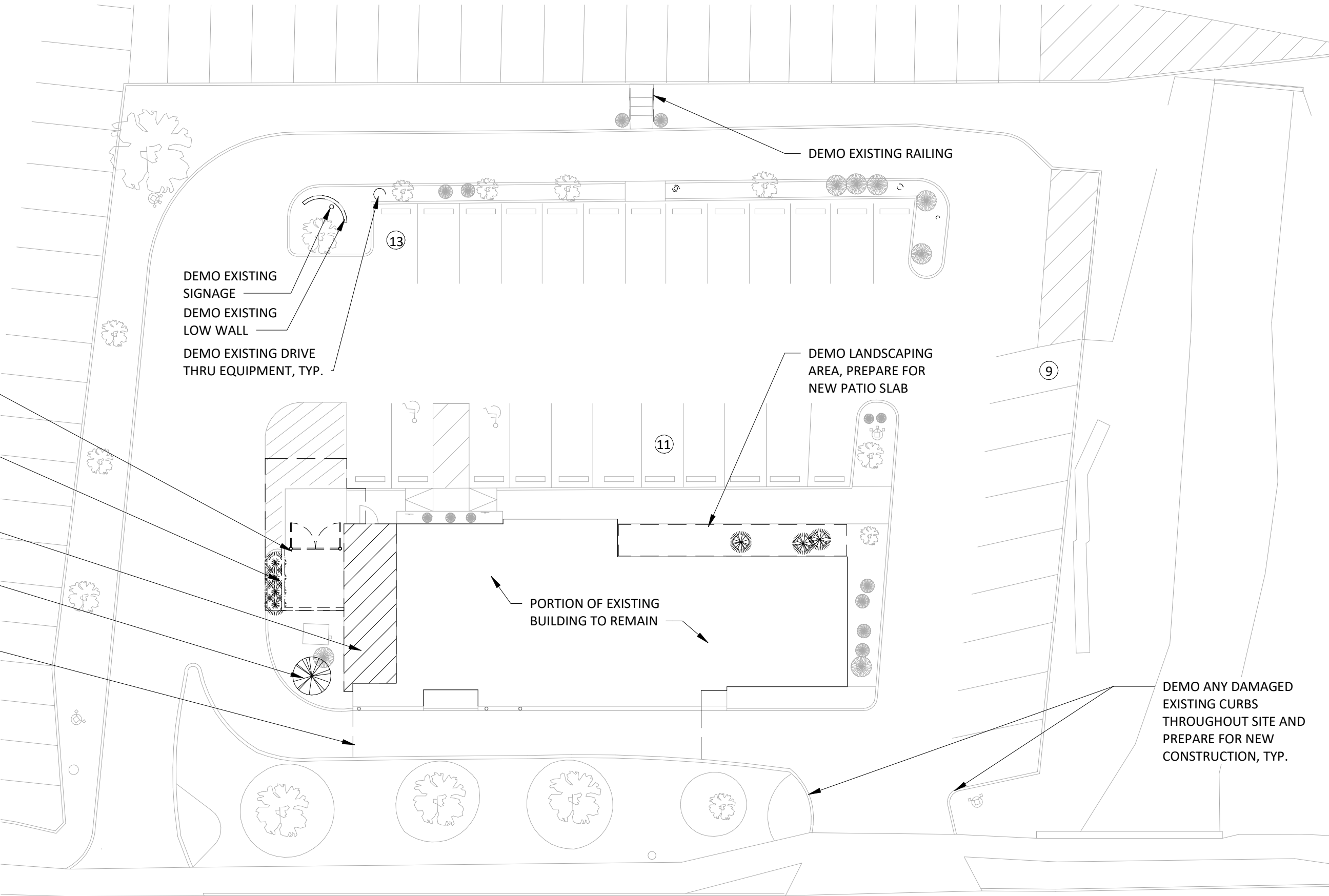


VICINITY MAP
N.T.S.

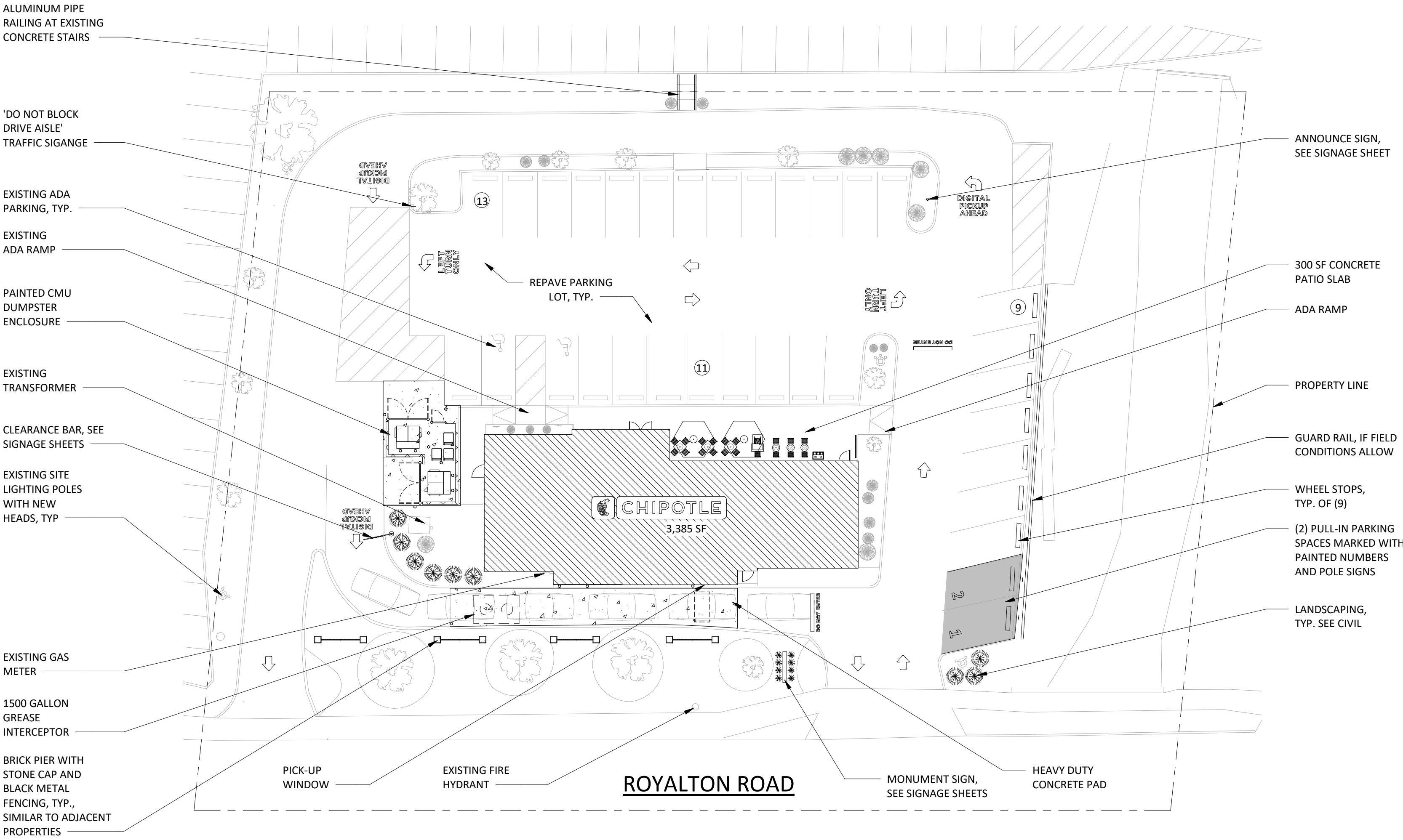


16" X 16" X 42" (H) BRICK PIERS WITH CONCRETE CAPS AND BLACK METAL FENCING BETWEEN, TYP.

FENCE EXAMPLE
1 1/2" = 1'-0"



ARCHITECTURAL DEMO SITE PLAN
3/64" = 1'-0"



ARCHITECTURAL SITE PLAN
3/64" = 1'-0"

Consultant:
red
architecture + planning
589 w. nationwide blvd.
suite b
columbus, ohio 43215
tel: 614.487.8770
fax: 614.487.8777

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STORE NO.: 4995
ROYALTON ROAD
5702 ROYALTON ROAD
NORTH ROYALTON, OH 44133

Issue Record:
06/21/23 PLANNING COMMISSION

Revisions:

Drawn: AA Checked: TC

Project No.
CMG1162

Contents:

ARCHITECTUAL SITE
PLANS

SK01



Consultant

r e c

architecture + planning
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fax: 614.487.8777

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CHIPOTLE MEXICAN GRILL, INC.
PO BOX 182566
COLUMBUS, OH 43218-2566
TELEPHONE: 614.318.2400
INTERNET: WWW.CHIPOTLE.COM

STORE NO.: 4995
ROYALTON ROAD
5702 ROYALTON ROAD
NORTH ROYALTON, OH 44133

Issue Record

06/21/23 PLANNING COMMISSION

Revisions:

Drawn:

AA

Checked:

TC

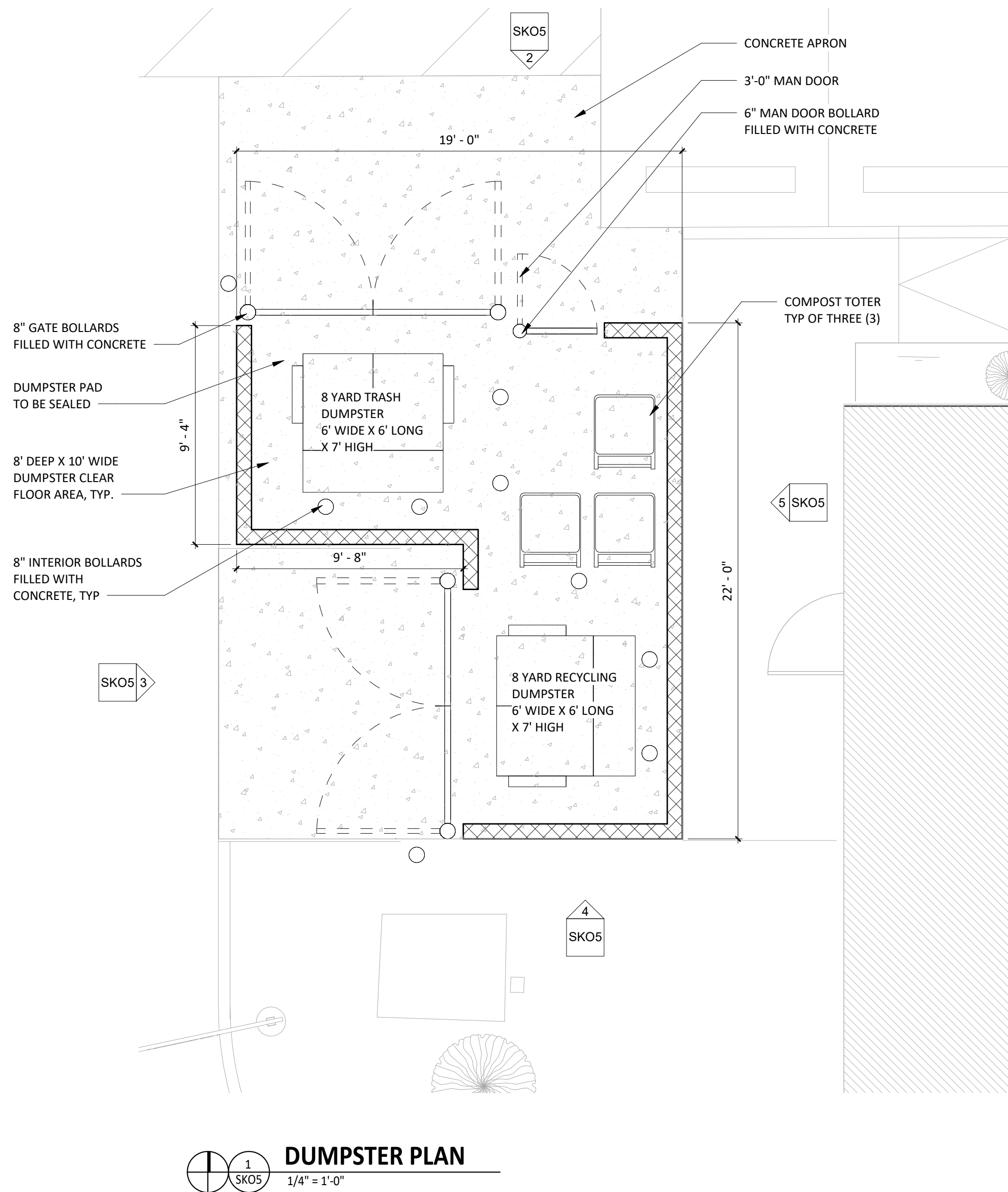
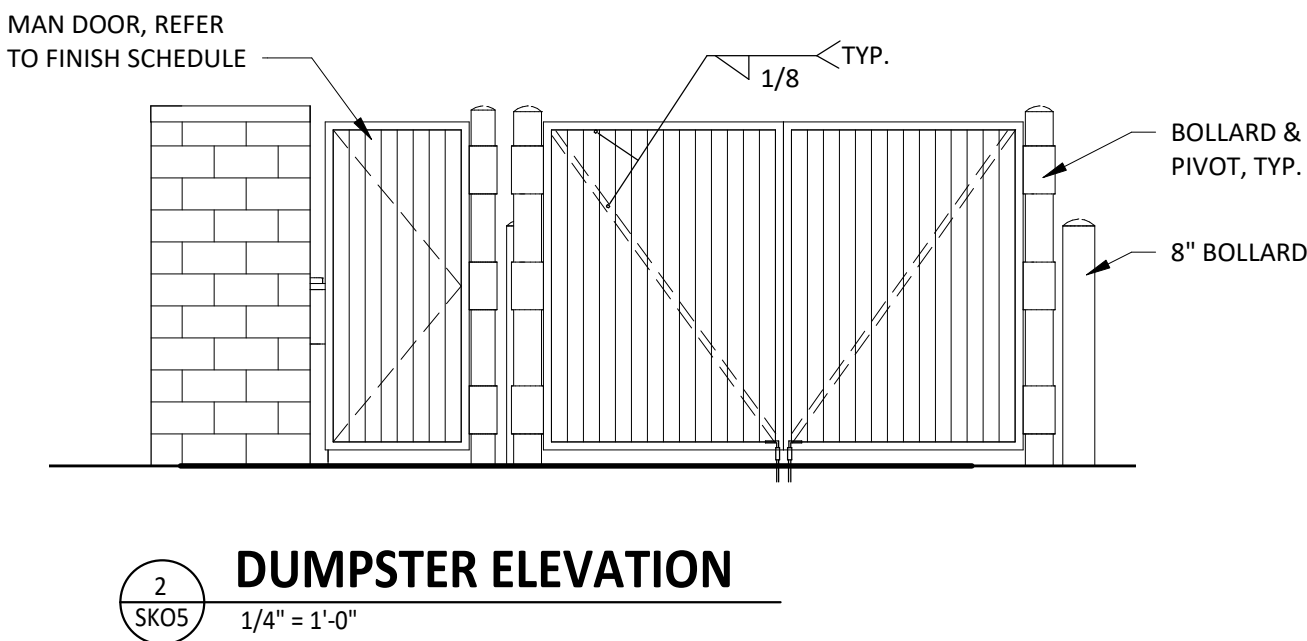
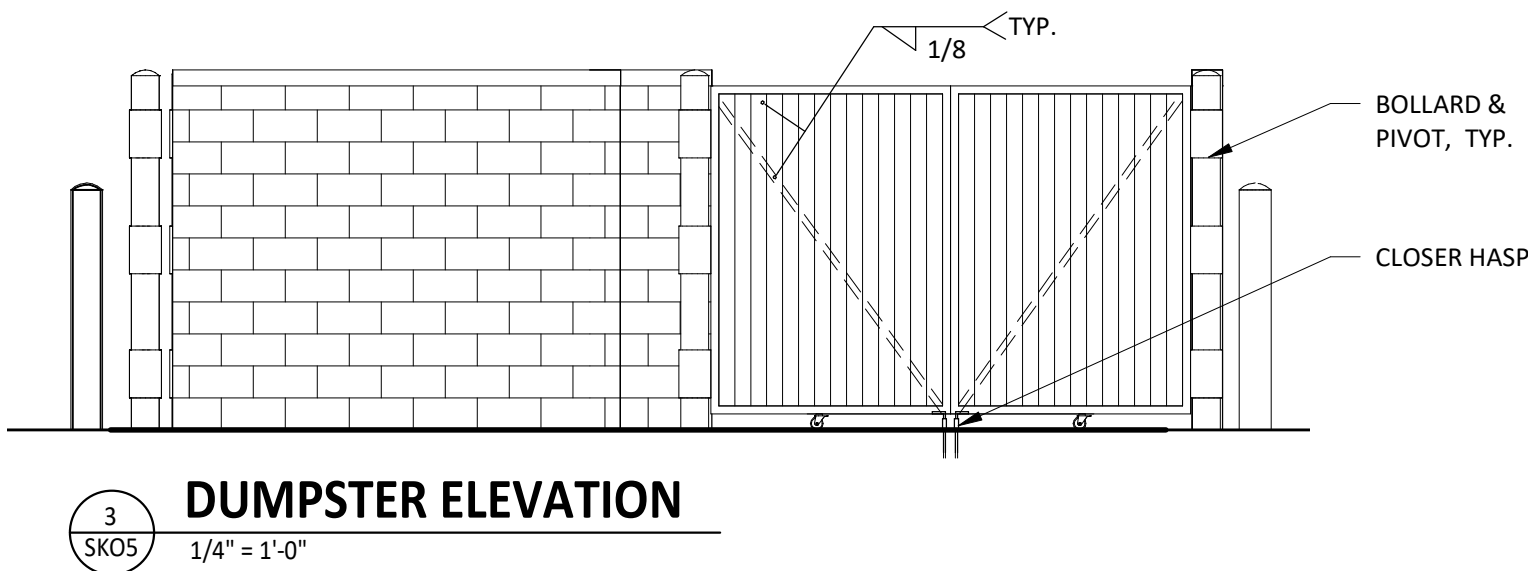
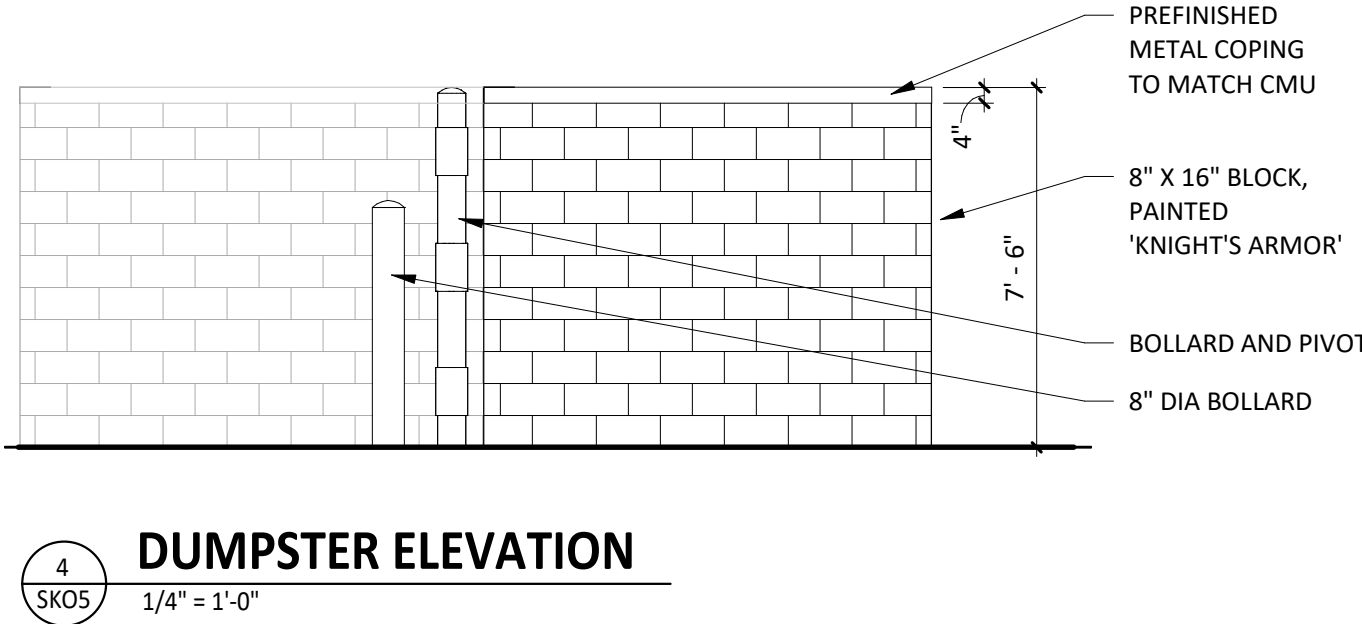
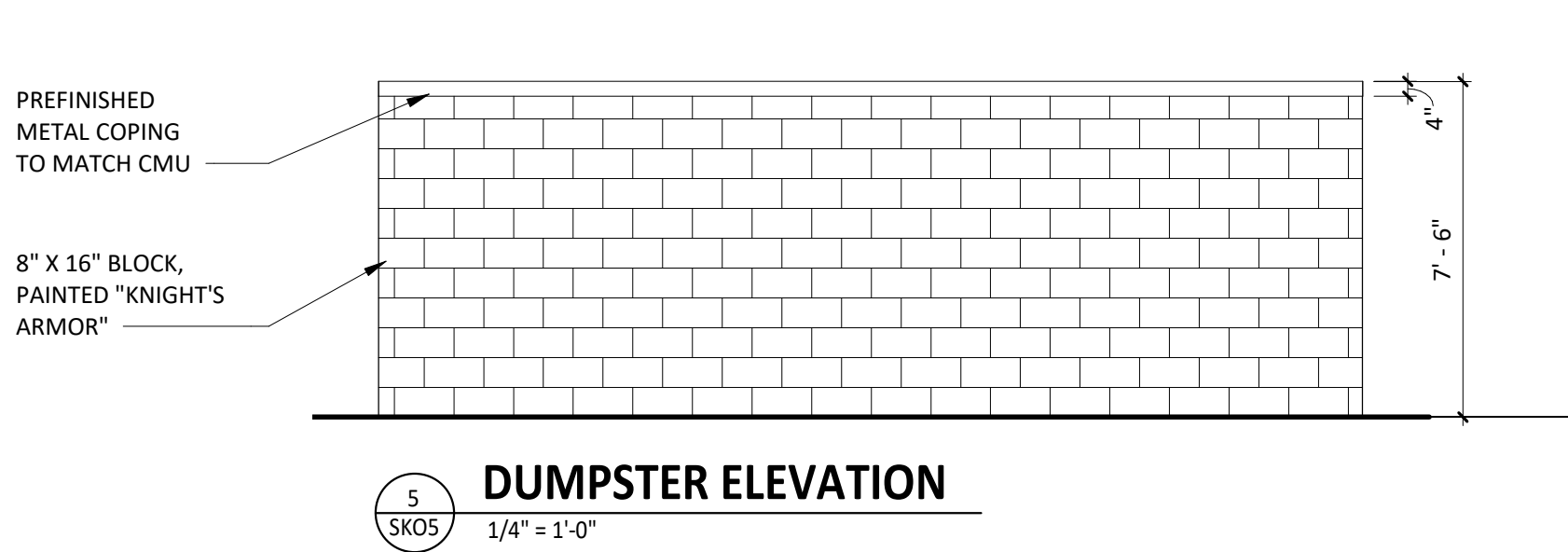
Project No. _____

0110116

Contents:

COLOR
PERSPECTIVES

SK04



Consultant:

NE
NATIONAL
ENGINEERING
4635 Trueman Blvd, Suite 250
Hilliard, Ohio 43026
Phone: (614) 751-9610
Fax: (614) 552-5240
Contact: Cliff Kigar
(614) 328-2033
ckigar@nationalengineering.com

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STORE NO.: 4995
ROYALTON ROAD
5702 ROYALTON ROAD
NORTH ROYALTON, OH 44133

Issue Record:
06/21/23 PLANNING COMMISSION

Revisions:

Drawn: CJK
Checked: JEJ

Project No.
231044

Contents:
ELECTRICAL SITE
LIGHTING PLAN

E105

SITE LIGHTING FIXTURE SCHEDULE

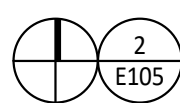
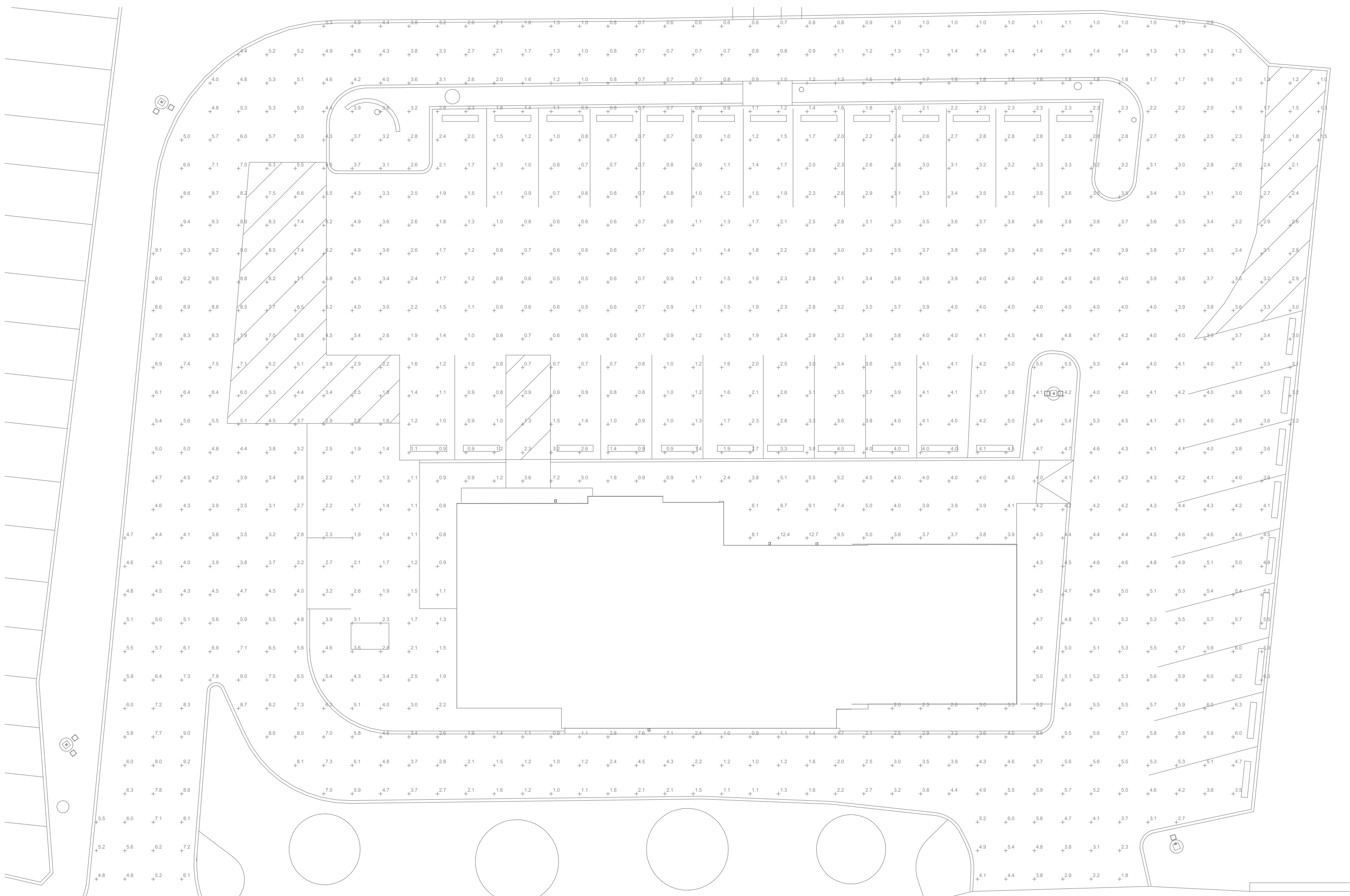
TAG	QUANTITY	NUM. OF FIXTURES PER POLE	LAMP WATTAGE & TYPE	VOLTAGE	DISTRIBUTION	COLOR	FURNISHED BY	INSTALLED BY	MANUFACTURER	MODEL #	OPTIONS & ACCESSORIES
PL1	1	1	(1) 205W LED	120 V	TYPE III	BLACK	GC	GC	HUBBELL	ASL2-320L-1-70-4K7-3-U	LAMP
PL2	4	2	(1) 205W LED	120 V	TYPE IV	BLACK	GC	GC	HUBBELL	ASL2-320L-1-70-4K7-4W-U	LAMP
PL3	2	2	(1) 205W LED	120 V	TYPE V	BLACK	GC	GC	HUBBELL	ASL2-320L-1-70-4K7-5QW-U	LAMP

LIGHTING FIXTURE SCHEDULE

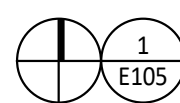
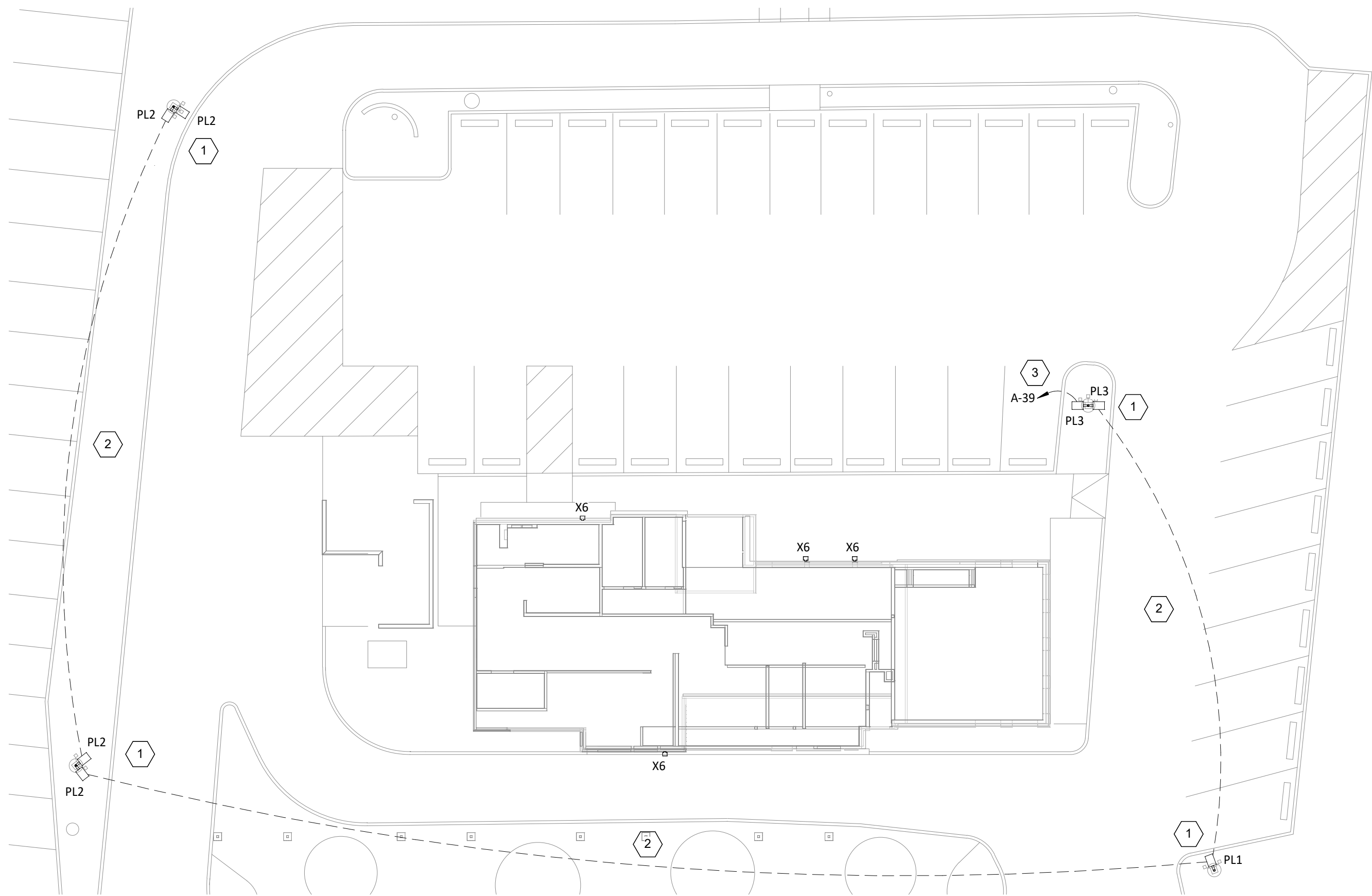
TAG	QUANTITY	TYPE	MOUNT	FURNISHED BY	INSTALLED BY	MANUFACTURER	MODEL	LAMP(S)	VOLTS	WATTS	SPECIAL REQUIREMENTS
X6	4	EXTERIOR FLOOD LIGHT	SURFACE	TLS	GC	RAB LIGHTING	WPLED10Y	INTEGRAL LED	120	10	PROVIDE WITH WALL-MOUNT KIT.

ELECTRICAL SITE LIGHTING PLAN NOTES

- PROVIDE NEW SITE LIGHTING FIXTURES ON EXISTING SITE POLES AT LOCATIONS SHOWN.
- PROVIDE (2) #10, #10 G. IN 3/4" C FROM POLE LIGHT FIXTURES TO J-BOX WITHIN BUILDING. REUSE EXISTING CONDUCTORS IF APPLICABLE.
- CONNECT SITE LIGHTING TO CIRCUIT SHOWN.



SITE PHOTOMETRIC PLAN
1/16" = 1'-0"



SITE LIGHTING PLAN
1/16" = 1'-0"

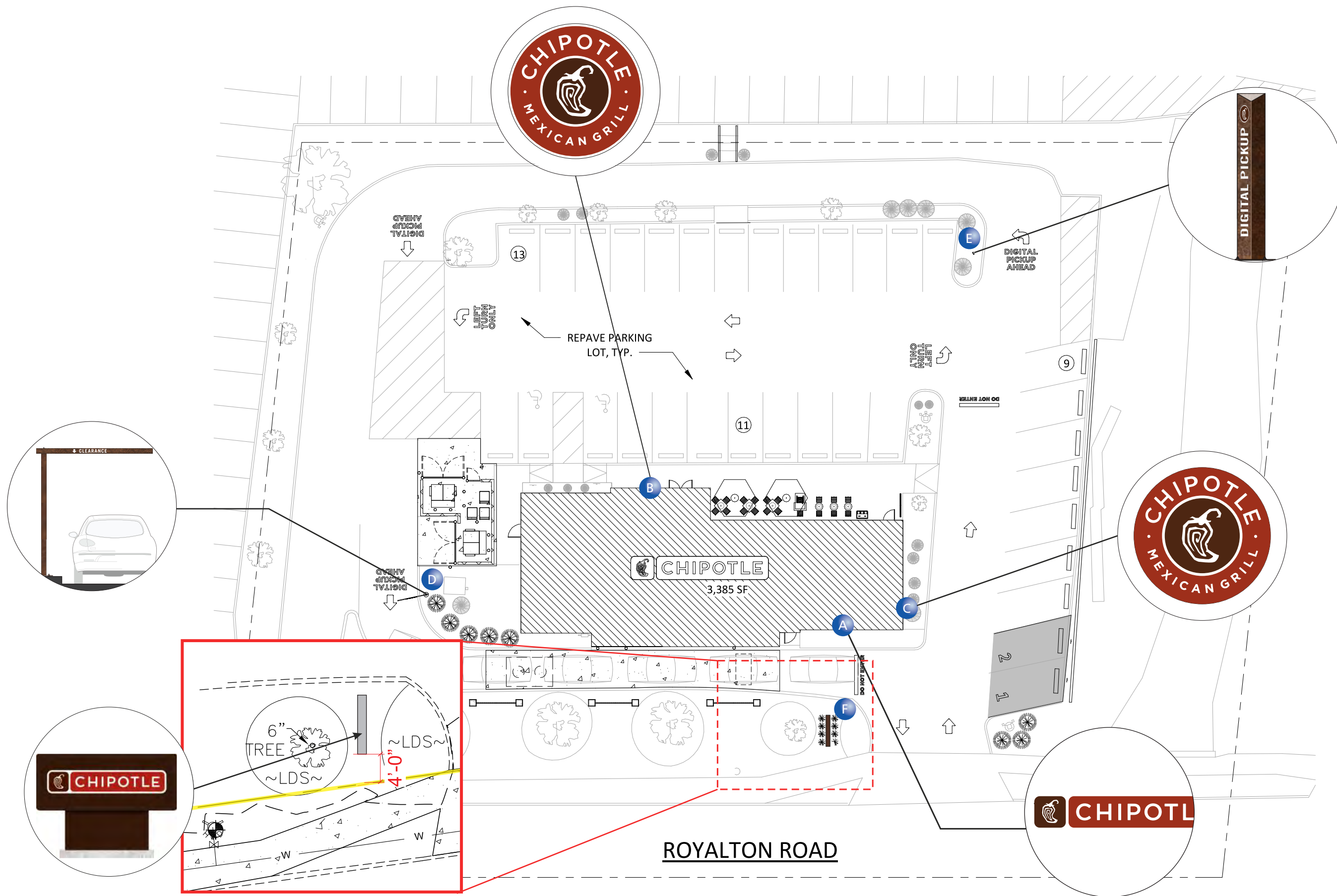


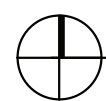
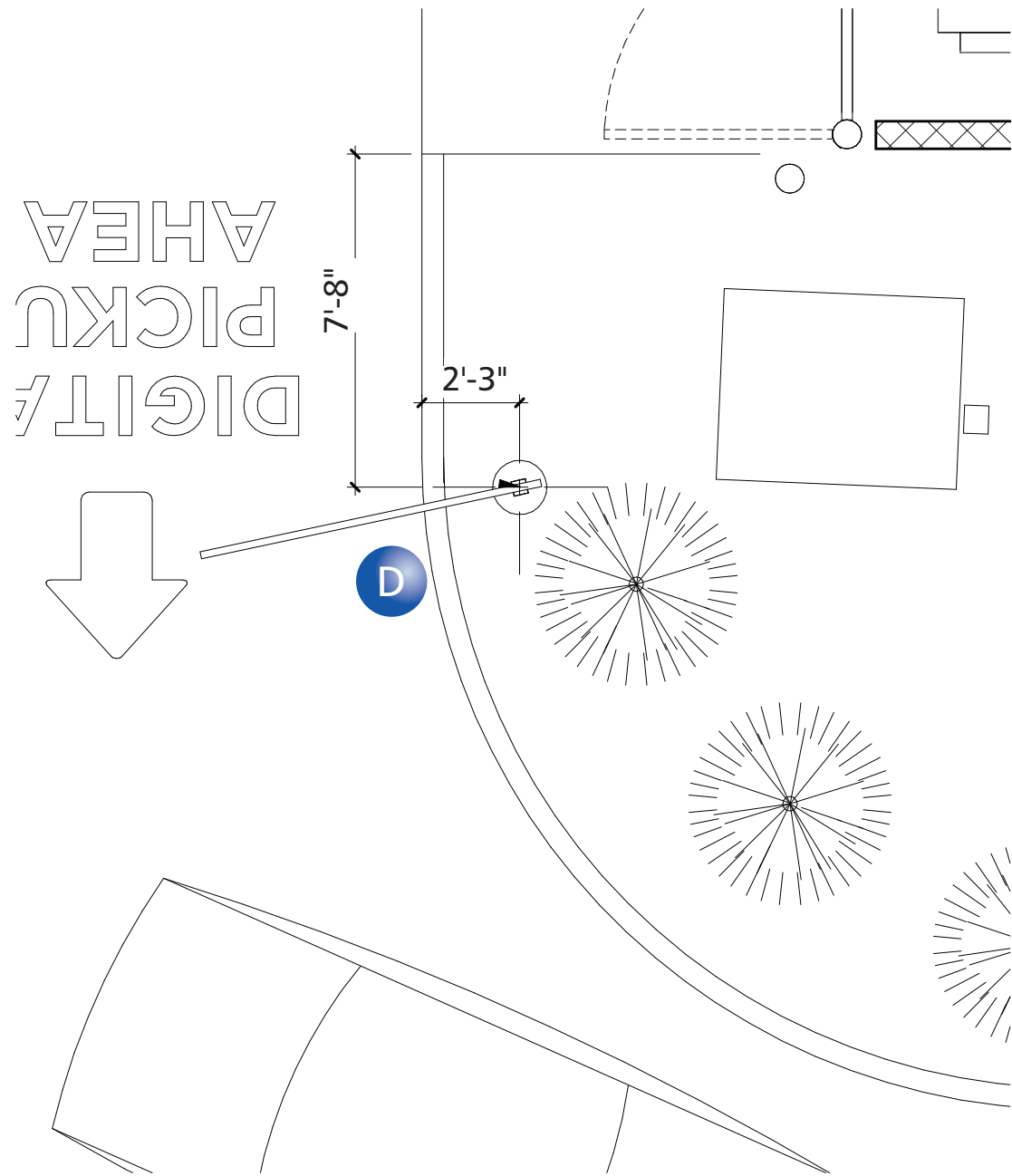
CHIPOTLE STORE #4995
5702 ROYALTON RD,
NORTH ROYALTON, OH 44133

Job Number: 32803

 **broadwaynational**

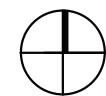
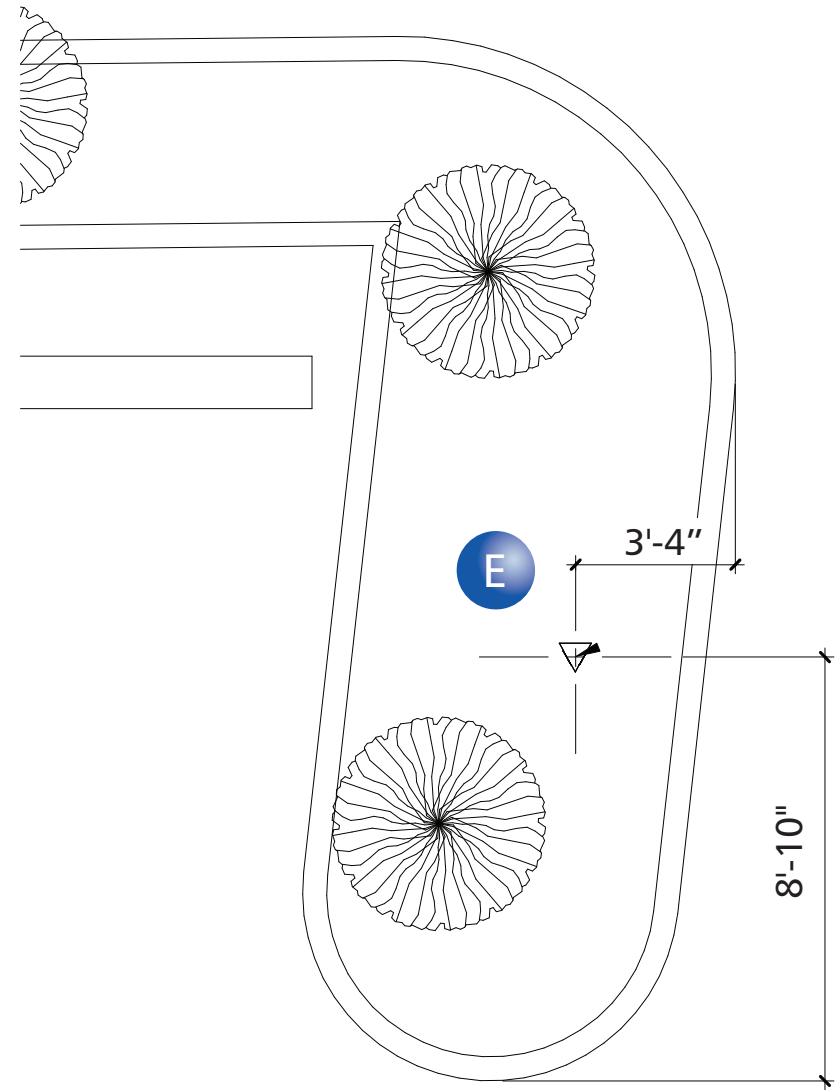






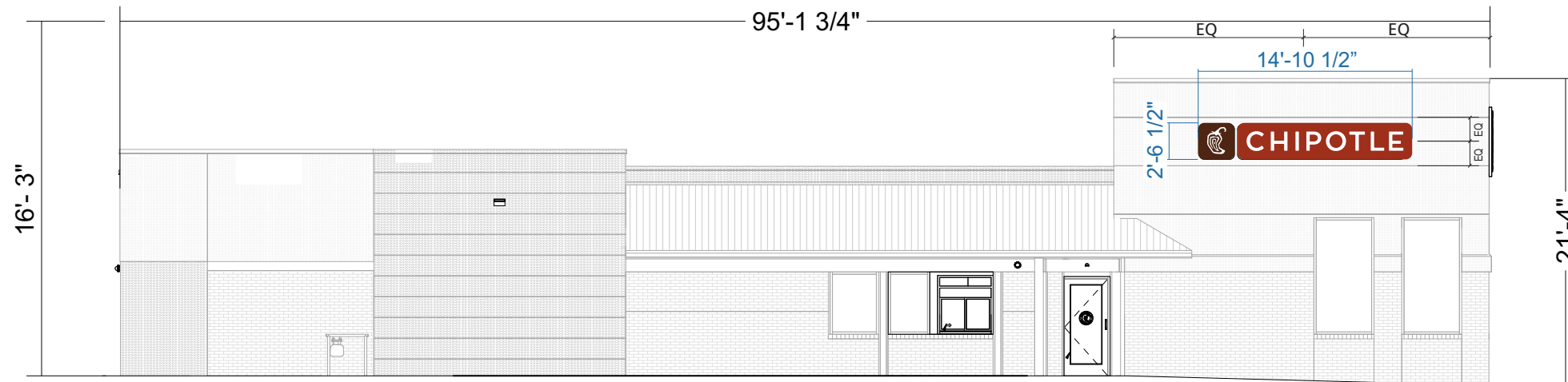
ARCHITECTURAL SITE PLAN DIMENSIONED

1/4"=1'-0"

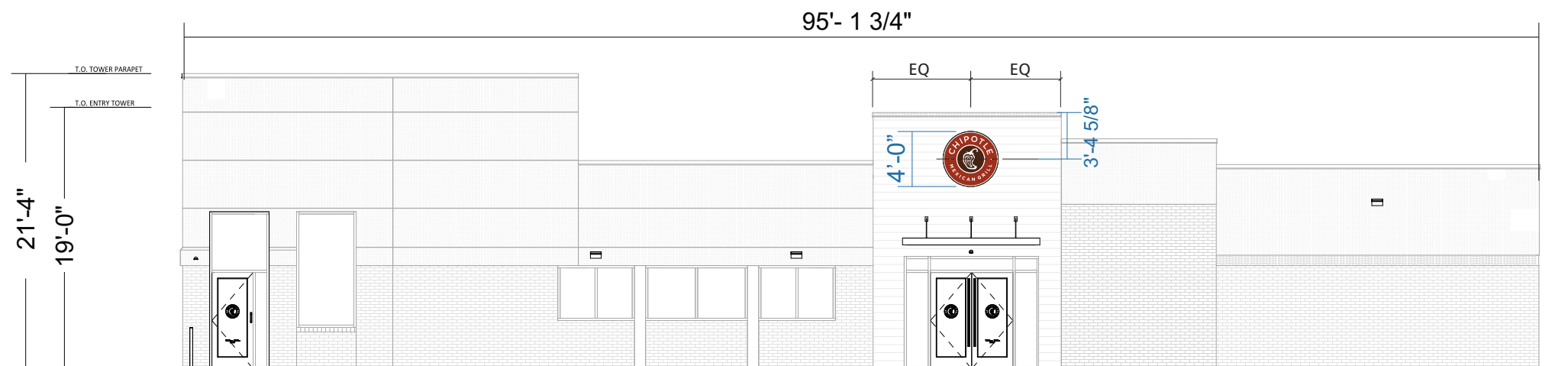


ARCHITECTURAL SITE PLAN DIMENSIONED

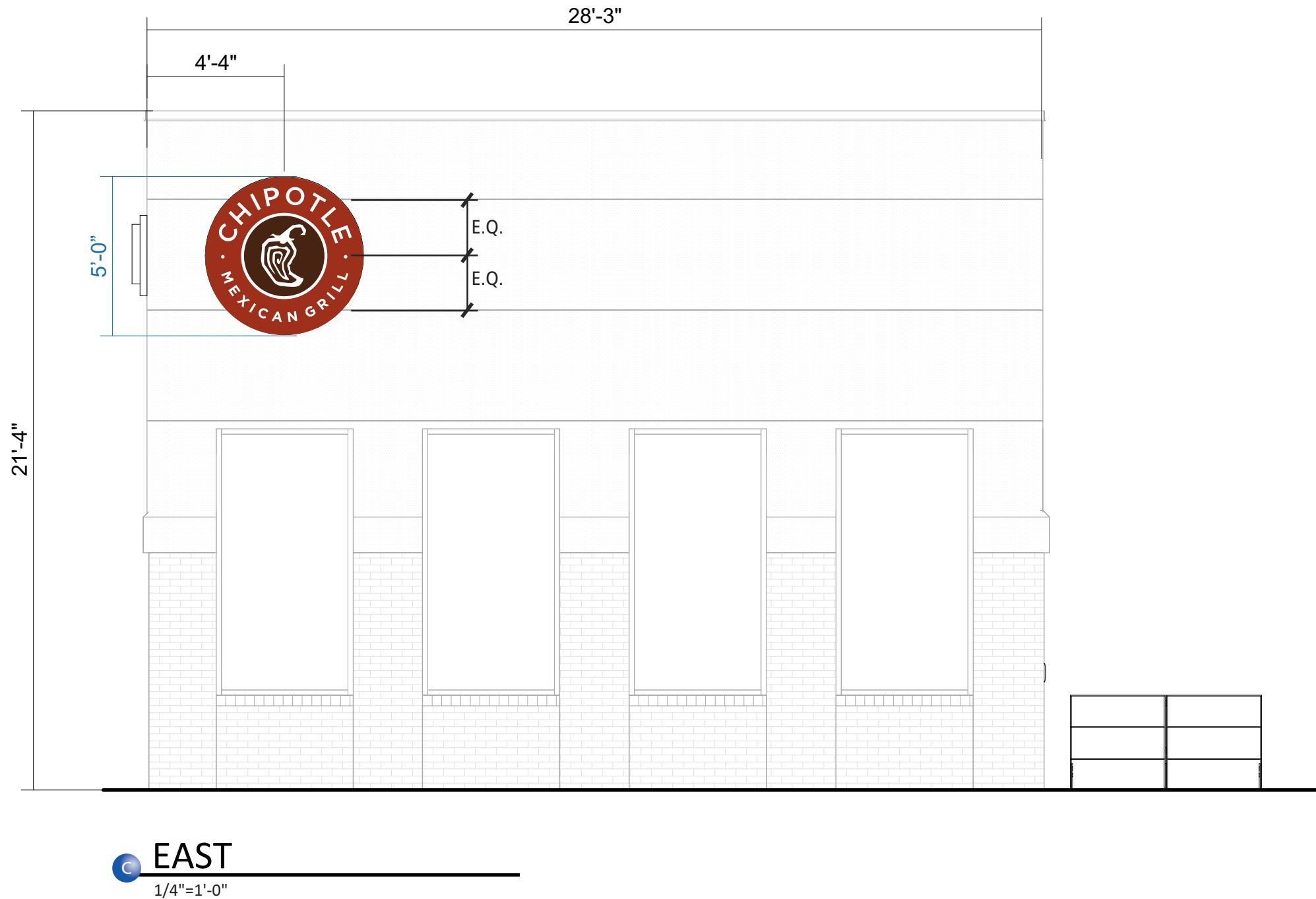
1/4"=1'-0"



A SOUTH
3/32" = 1'-0"



B NORTH
3/32" = 1'-0"

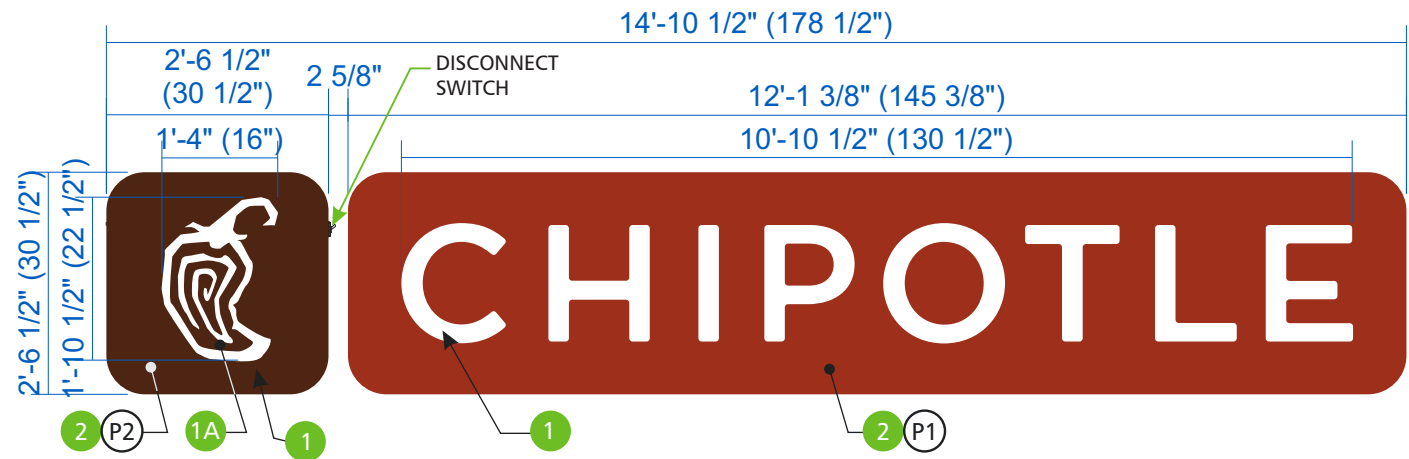


QTY (1)
SIGN A

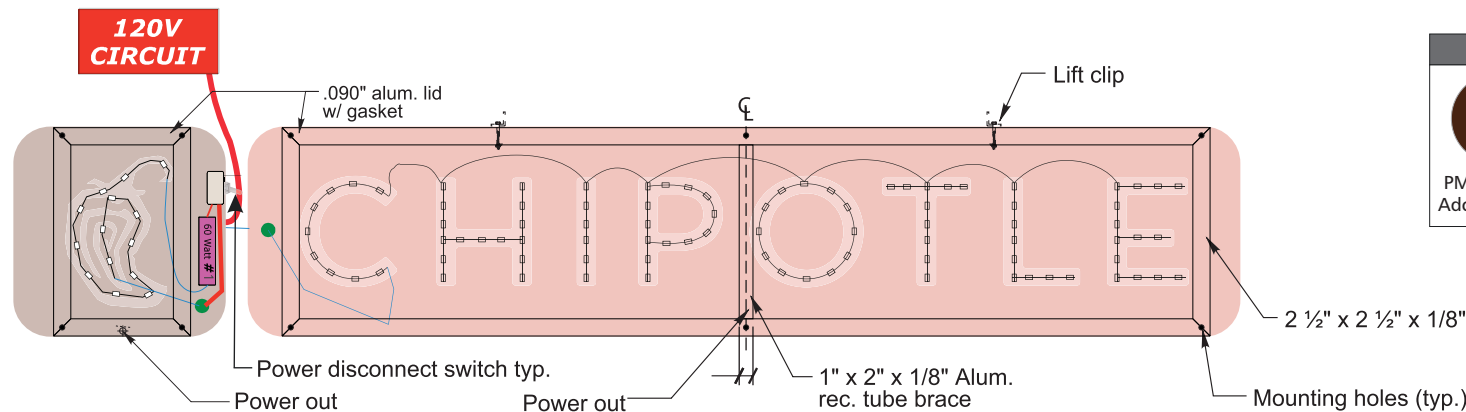
(B-3 SIGN) ILLUMINATED CHANNEL LETTER WALL SIGN
Scale: 1/2"=1'-0"

37.8 Sq. Ft.

NOTES:
LIFT POINTS WILL BE PROVIDED
FOR ALL SIGNS



ILLUMINATED RENDERING



Color Key		
PMS#4625C Adobo Brown	PMS#484C Roasted Red	White Acrylic # 7328

SPECIFICATIONS FOR (1) ILLUMINATED WALL SIGN

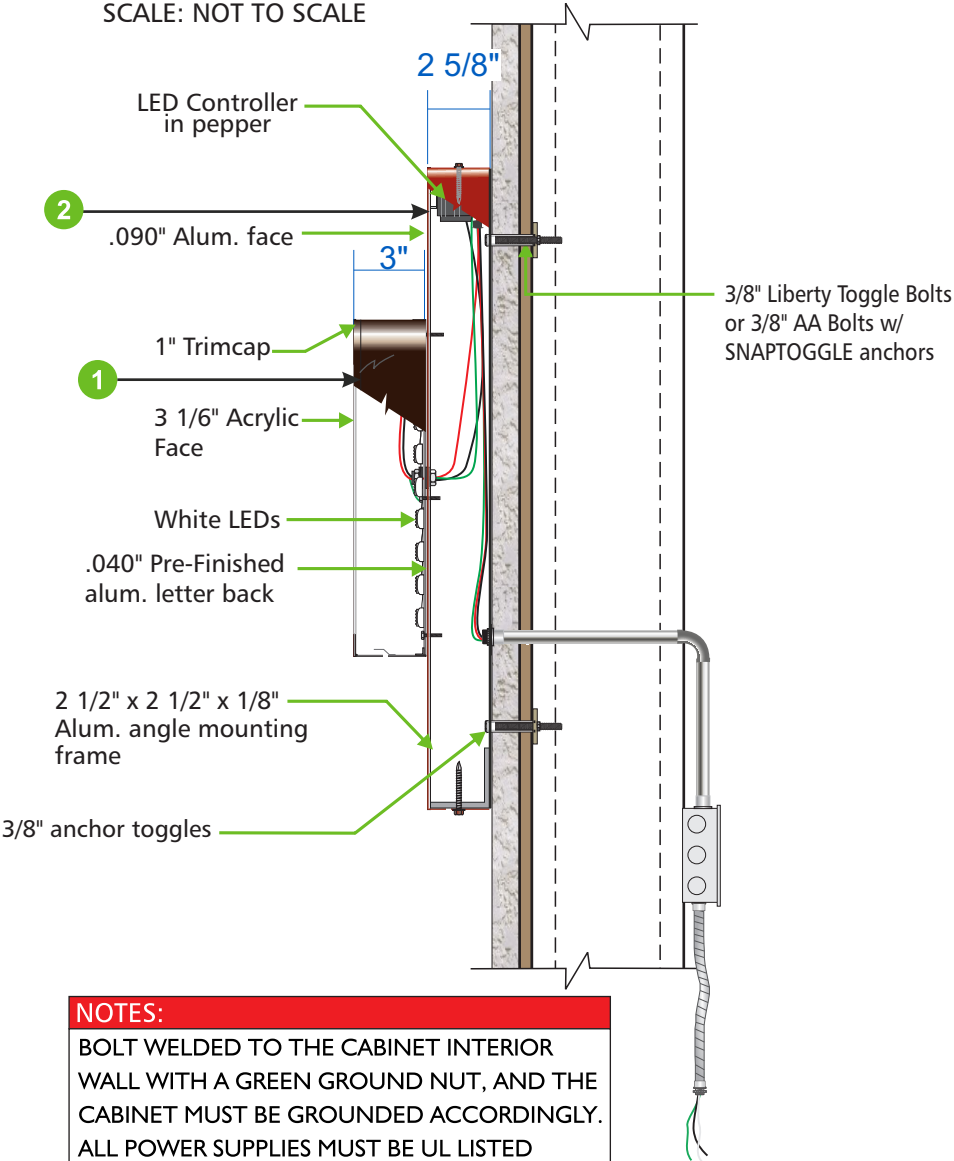
- 1 CHANNEL LETTERS "CHIPOTLE" AND PEPPER LOGO**
- LETTER TYPE = Face-Illum. pan channel letters w/ 3" returns
FACES = 3/16" Cyro #7328 Milk-White Acrylic
PEPPER GRAPHIC = .040" pre-fin. Adobo brown alum. F.C.O. overlay
TRIMCAP = 1" Brown Jewelite
RETURNS = .040" Pre-finished Adobo Brown aluminum (w/ weep holes)
BACKS = .040 Pre-finished white aluminum
ILLUMINATION=Sloan Prism Mini White LEDs or equivalent
MOUNTING=Mount flush to face of cabinets with #10 "blunt" ended screws as req.

- 2 BROWN & RED REVERSE PAN CABINETS**
- FACE=.090" aluminum-attachment to frame via Versilok adhesive
Note: Faces overhang ends of frame typ.
RETURNS=2 5/8" x 1/8" Alum. welded to face
BACK=.040" Alum.
FRAME = 2 1/2" x 2 1/2" x 1/8" Aluminum
Note: Top has cut-outs for transformers and has full-length .063" alum. lid w/ gasket
LIFT POINTS = 3/8" steel nut to top of returns
MOUNTING=3/8" Liberty Toggle Bolts or 3/8" SS Bolts w/ toggle SNAPTOGGLE anchors into min. 3/4" plywood backer provided by GC, Four (4) Logo sign, Two (2) top and bottom.
Six (6) Chipotle sign three (3) Top and bottom evenly spaced w/ a 12" max. side clearance.

- ELECTRICAL**
- PRIMARY=120V by others within 3' of sign prior to install (15'-0" pigtail on back of cabinet)
SECONDARY=12V LED power supplies inside pepper with access for future services
POWER DISCONNECT=Toggle switch on pepper cabinet return
ELECTRICAL HOOK-UP=Final electrical connection to existing 120V AC J-Box
- COLOR SPECIFICATIONS**
- P1 P.T.M. PMS #484C "Roasted Red" (Nuance)
P2 P.T.M. PMS #4625C "Adobo Brown" (Nuance)
NOTE: Paint all exposed fasteners to match adjacent finish

NOTES:
3/4" FIRE TREATED PLYWOOD BLOCKING
MUST BE IN PLACE BY OTHERS ON EXTERIOR
SIDE OF FAÇADE FRAMING OR SUFFICIENTLY
SECURED BETWEEN FRAMING (NO THRU-BOLTING)

SIDE DETAIL
SCALE: NOT TO SCALE



NOTES:
BOLT WELDED TO THE CABINET INTERIOR
WALL WITH A GREEN GROUND NUT, AND THE
CABINET MUST BE GROUNDED ACCORDINGLY.
ALL POWER SUPPLIES MUST BE UL LISTED
(NOT "UR OR RU" RATED)

NOTES:
ALL ELECTRICAL PARTS & ASSEMBLIES UL LISTED
APPROVED UL LABELS ATTACHED IF REQUIRED.

NOTES:
ELECTRICAL WIRING FROM SIGN WILL BE WIRED INTO
THE EXISTING ELECTRICAL SOURCE.

QTY (1)
SIGN B

4' WALL MOUNTED MEDALLION (IN STYLE OF M-2)
Scale: 1 1/2"=1'-0"

12.57 Sq. Ft.

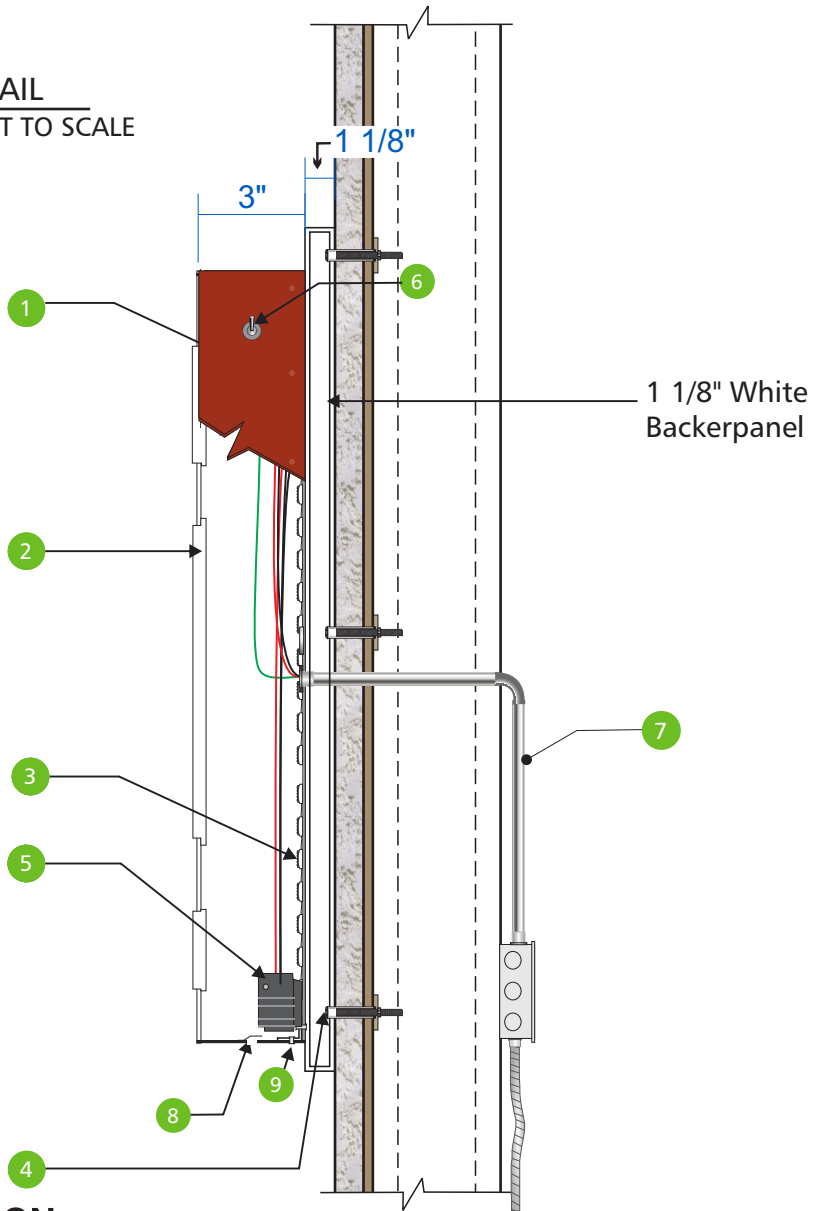


NOTES:
LIFT POINTS (SIGN HOOKS)
WILL BE PROVIDED FOR ALL SIGNS

NOTES:
3/4" FIRE TREATED PLYWOOD BLOCKING MUST BE IN PLACE BY OTHERS ON EXTERIOR SIDE OF FAÇADE FRAMING OR SUFFICIENTLY SECURED BETWEEN FRAMING (NO THRU-BOLTING)

NOTES:
MUST BE AN INTERNAL BRAZED GROUND STUD TO CABINET INTERIOR WALL (WITH GREEN GROUND SCREW) ATTACHED TO COMMON GROUND WIRE IS REQUIRED PER CODE

SIDE DETAIL
SCALE: NOT TO SCALE



ILLUMINATION RENDERING

SPECIFICATIONS FOR (1) ILLUMINATED FLUSH MOUNTED MEDALLION

1 CABINET

CABINET TYPE= Routed faces with push-thru acrylic graphics and welded returns
FACE= 1/8" Aluminum with 3" x .063 aluminum returns spot welded / Versilok to back side of face, flush mounted to 1/18" deep aluminum white backer panel

2 GRAPHICS= 1" Clear acrylic w/ 7/8" push-thru w/ vinyl overlay and second surface diffuser film

3 ILLUMINATION= Sloan Prism Mini White LEDs or equivalent

4 MOUNTING= Mounted using 3/8" toggle anchors or snap toggles into 3/4" existing plywood blocking

SERVICE ACCESS= Removable pan channel face- Attachment to angle brackets via counter sink screws through perimeter of returns

5 ELECTRICAL

ELECTRICAL= 120V 20A dedicated electrical circuit (by others)
SECONDARY= 12V LED wiring housed in cabinet

6 POWER DISCONNECT= Toggle switch on cabinet return

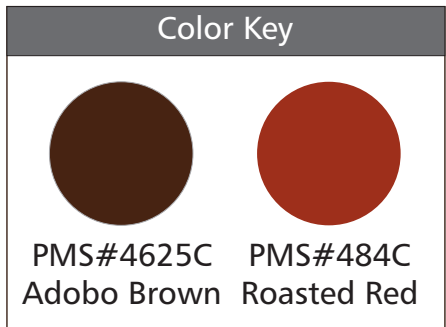
7 120v electrical to sign and final hook-up is by others

8 WEEP HOLES= For water drainage, with light baffle

9 SERVICE ACCESS= Return fasteners to fasten push-thru cans to backer. Access to sign fasteners, power supplies, and LED's.

NOTES:
ALL ELECTRICAL PARTS AND ASSEMBLIES UL LISTED AND LABELS ATTACHED AS REQUIRED BY CODE

NOTES:
ELECTRICAL WIRING FROM SIGN WILL BE WIRED INTO THE EXISTING ELECTRICAL SOURCE.



QTY (1)
SIGN C

5' LED ILLUMINATED WALL MOUNTED MEDALLION (IN STYLE OF M-2)
Scale: 1/2"=1'-0" 19.64 Sq. Ft.



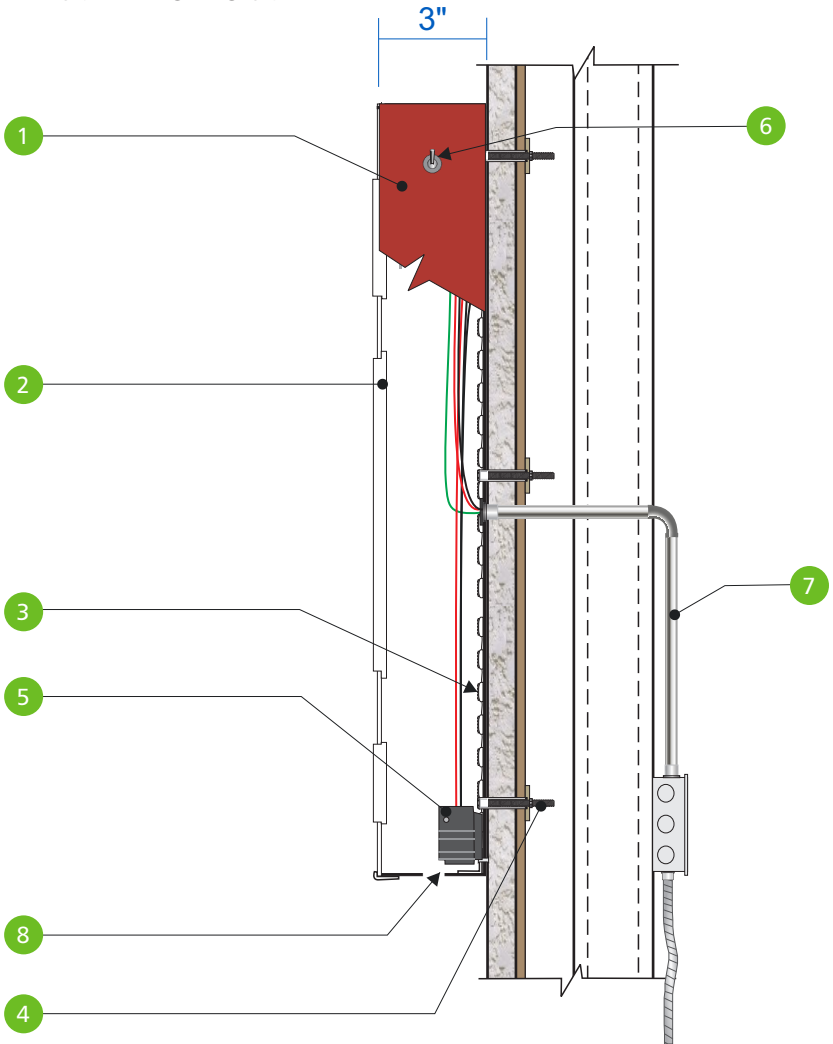
ILLUMINATION RENDERING

NOTES:
ELECTRICAL WIRING FROM SIGN WILL NEED TO BE WIRED INTO THE PRIMARY ELECTRICAL SOURCE MUST BE A DEDICATED CIRCUIT AS PER CODE.

NOTES:
ALL ELECTRICAL PARTS & ASSEMBLIES UL LISTED APPROVED UL LABELS ATTACHED IF REQUIRED.

NOTES:
LIFT POINTS (SIGN HOOKS) WILL BE PROVIDED FOR ALL SIGNS

SIDE DETAIL
SCALE: NOT TO SCALE

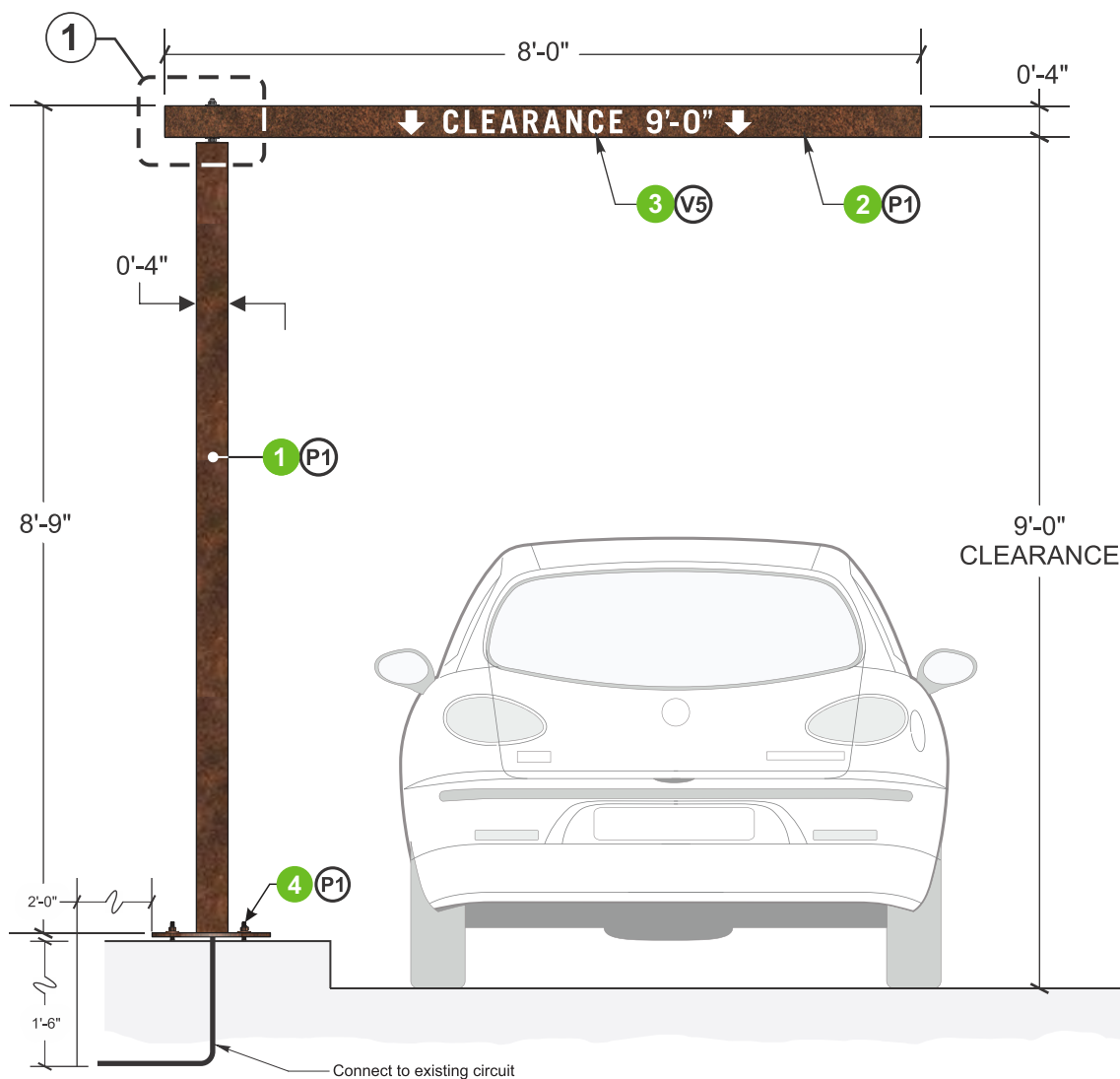
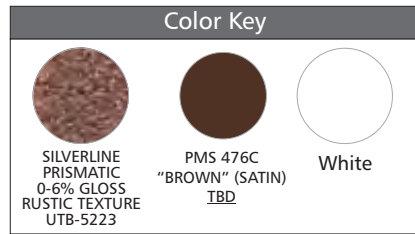
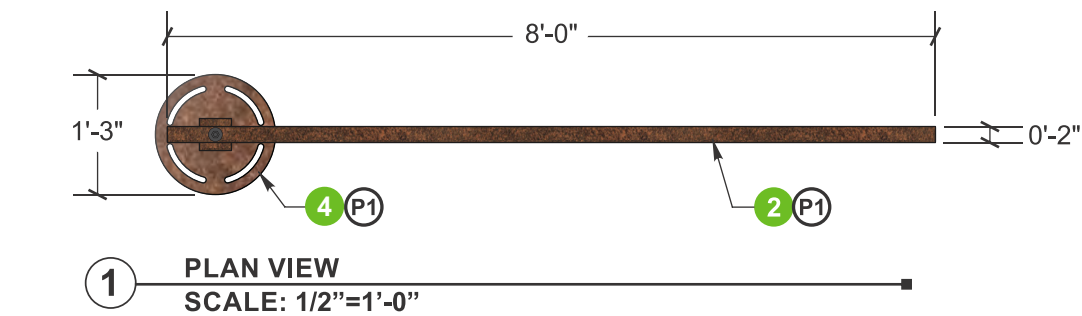


NOTES:
3/4" FIRE TREATED PLYWOOD BLOCKING MUST BE IN PLACE BY OTHERS ON EXTERIOR SIDE OF FAÇADE FRAMING OR SUFFICIENTLY SECURED BETWEEN FRAMING (NO THRU-BOLTING)

SPECIFICATIONS FOR (1) ILLUMINATED FLUSH MOUNTED MEDALLION

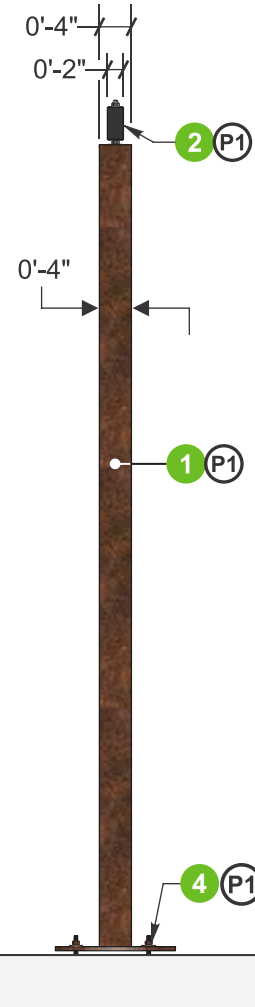
- 1 CABINET**
CABINET TYPE= (.080", 1"x 7 3/8") routed aluminum retaining/trim ring
Face/Return PTM Roasted Red
FACE= 1/8" Aluminum w/ 3" returns. Returns are 3" x 1/16" aluminum.
Spot weld/Versilok returns to back side of face
- 2 GRAPHICS=** 1" Clear acrylic w/ 7/8" push-thru w/ vinyl overlay and second surface diffuser film
- 3 ILLUMINATION=** Sloan Prism Mini White LEDs or equivalent
- 4 MOUNTING =** Mounted using 3/8" toggle anchors or snap toggles into 3/4" existing plywood blocking

- 5 ELECTRICAL**
PRIMARY= 120V power supply mounted inside cabinet
SECONDARY= 12V LED wiring housed in cabinet
- 6 POWER DISCONNECT=** Toggle switch on cabinet return
- 7** 120v electrical to sign and final hook-up is by others
- 8** Weep holes for drainage



ELEVATION
SCALE: 1/2"=1'-0"

NOTES:
FOOTING MUST BE POURED CONSIDERING BASE MOUNTING PLATE OF SIGN IS EQUAL WITH CURB HEIGHT TO ENSURE TOP OF THE CLEARANCE BAR IS 9' ABOVE GRADE.



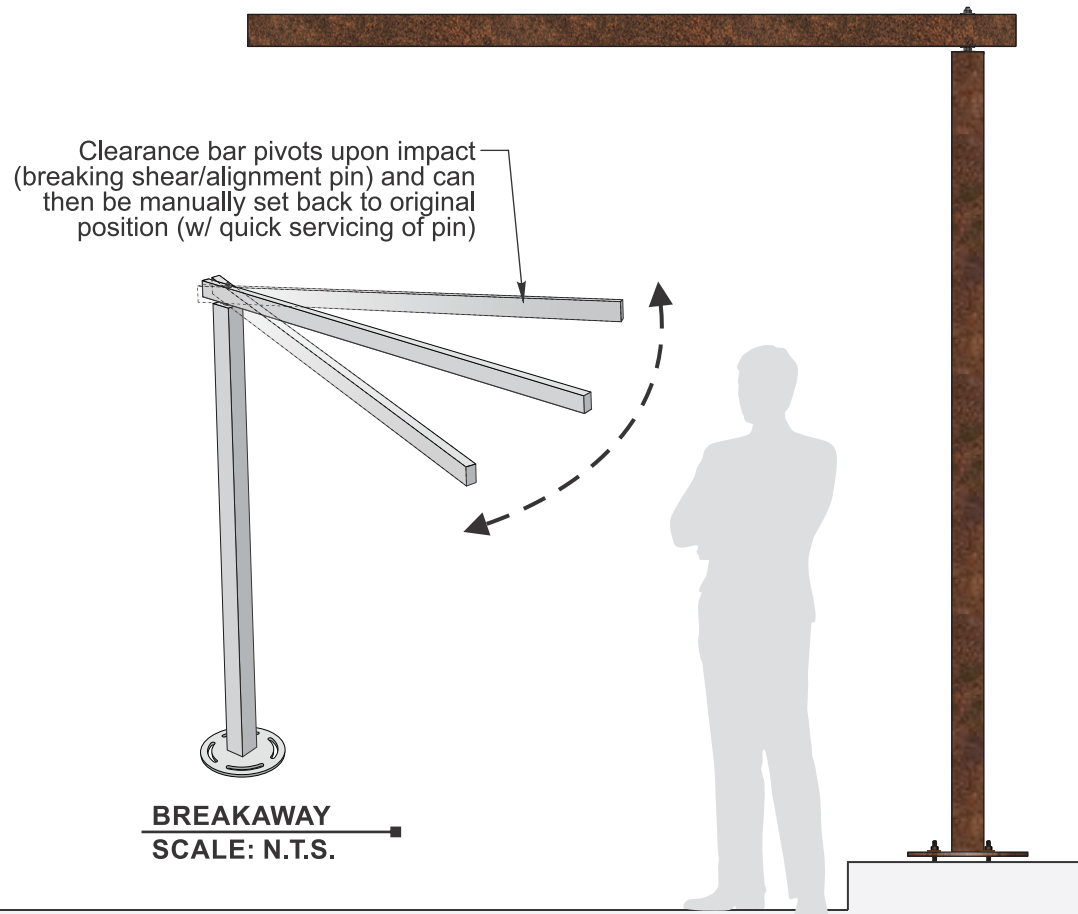
SIDE VIEW
SCALE: 3/8"=1'-0"

SPECIFICATIONS FOR (1) NON-ILLUMINATED S/F BREAKAWAY CLEARANCE BAR

- 1 POST= 4" x 4" x 1/4" Alum. sq. tube w/ 3/8" alum top plate and pivot
- 2 CLEARANCE BAR= 2" x 4" x 1/8" Alum. rec. tube w/ black PVC end caps
- 3 Graphics: Reflective vinyl overlay
Breakaway: To minimize damage from impact, the top beam will give way and rotate when struck. Beam can then be manually rotated back to original position
Note: Rotation from fixed position will break shear/alignment pin which can be easily serviced during realignment of clearance bar
- 4 MOUNTING= Slotted 1/2" alum. base plate attaches to embedded bolts in caisson
CAISSON= Sonotube form, rebar, and mounting hardware (four 1/2" All-thread welded to 1/8" steel spacer plates w/ washers and leveling nuts)
Hole for footing plus poured & formed concrete caisson w/ embedded mounting

COLOR SPECIFICATIONS

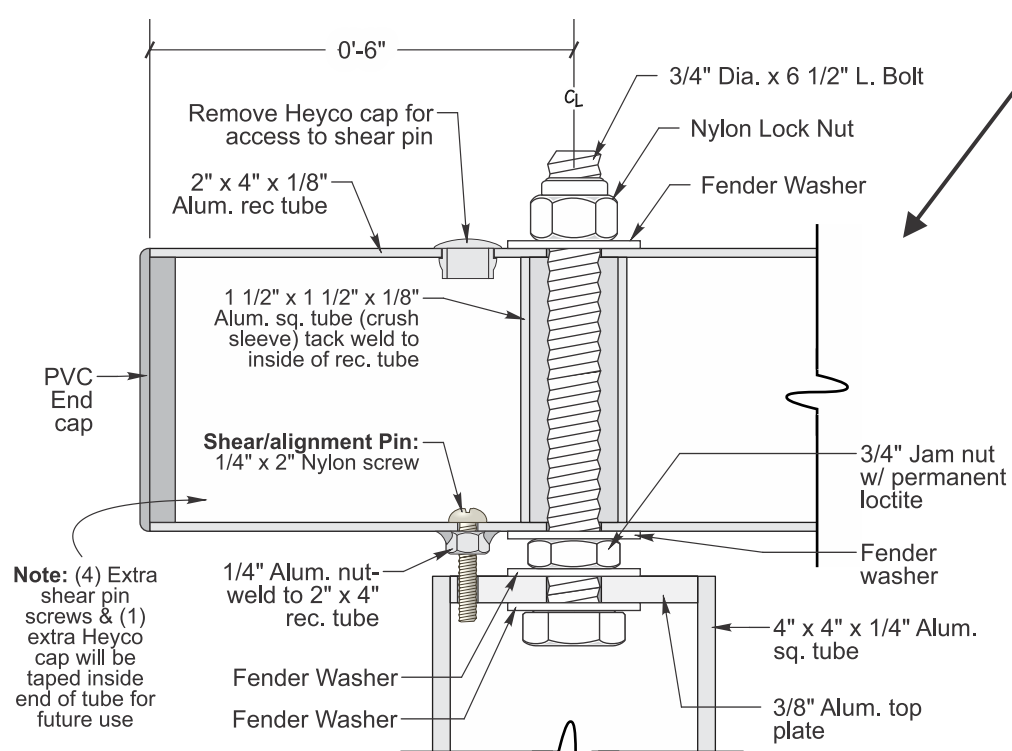
- P1 Powder coat IFS Rustic SRBM 90146 V5 Reflective White Vinyl



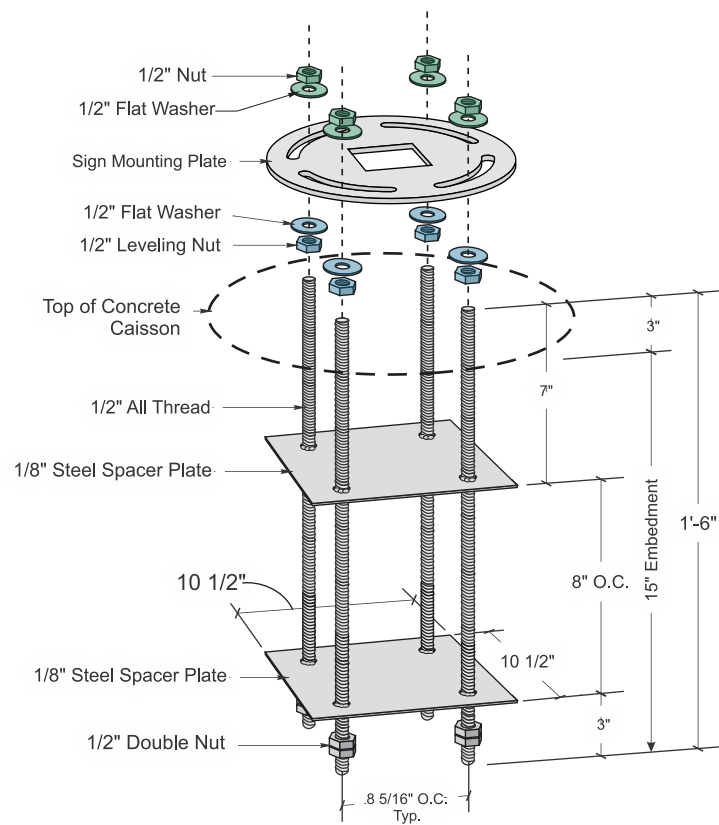
NOTES:
REFERENCE DIMENSIONAL ARCHITECTURAL PLAN PRIOR TO STARTING FOUNDATION TO ENSURE PROPER DISTANCE FROM CURB LINE.

NOTES:
EXACT FOOTING DIMENSIONS TO BE DETERMINED BY ENGINEER DRAWINGS

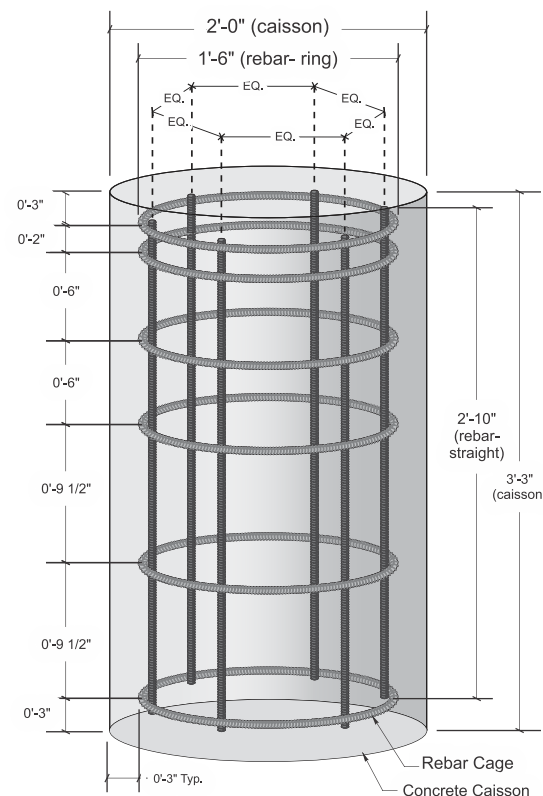
SIDE VIEW
SCALE: 3/8"=1'-0"



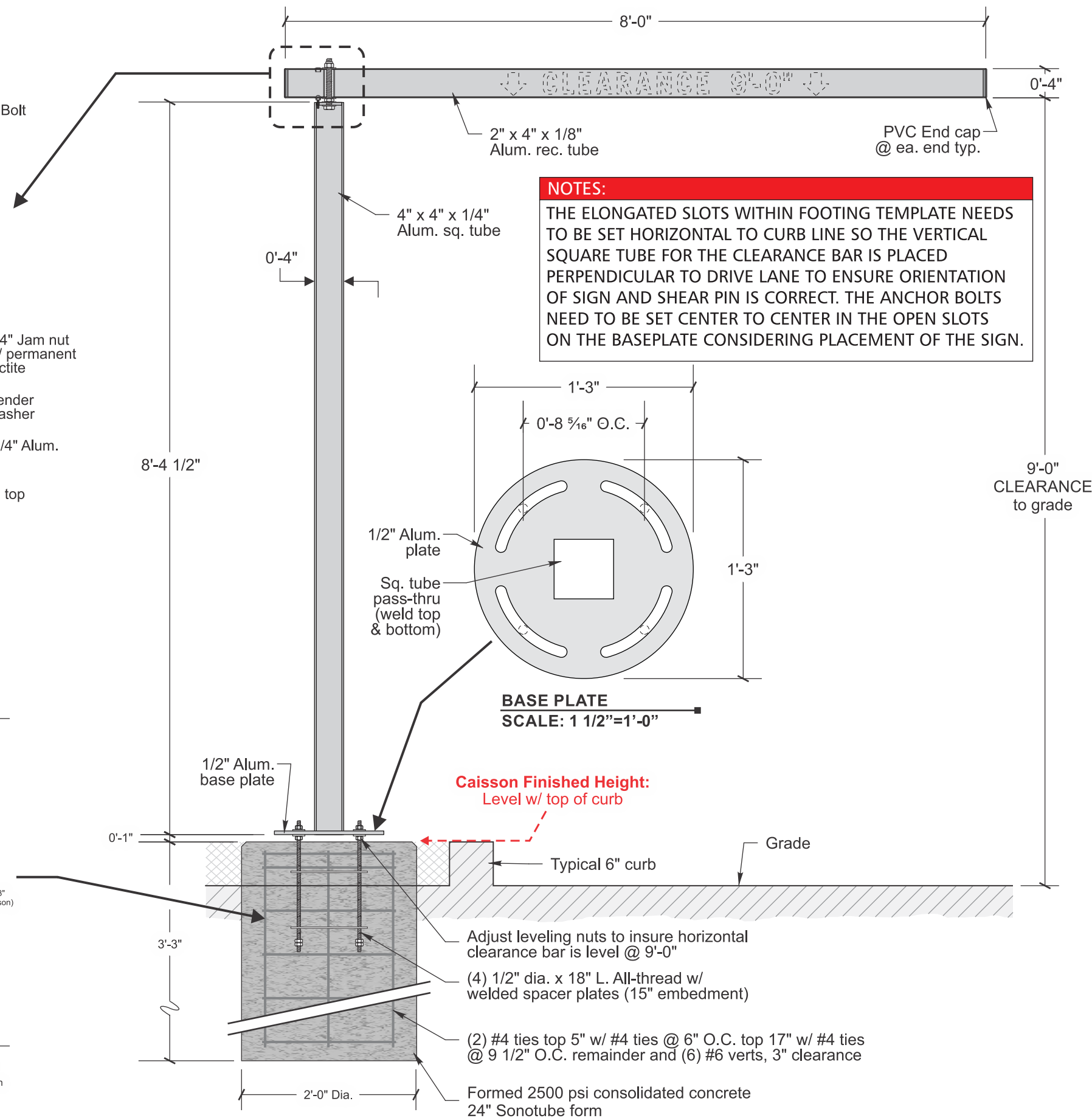
PIVOT/SHEAR PIN DETAIL



ANCHOR BOLT DETAIL
SCALE: N.T.S.

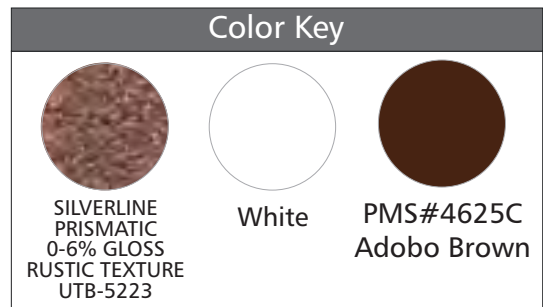


REBAR CAGE DETAIL
SCALE: N.T.S.



2.67 Sq. Ft.

Scale: NTS

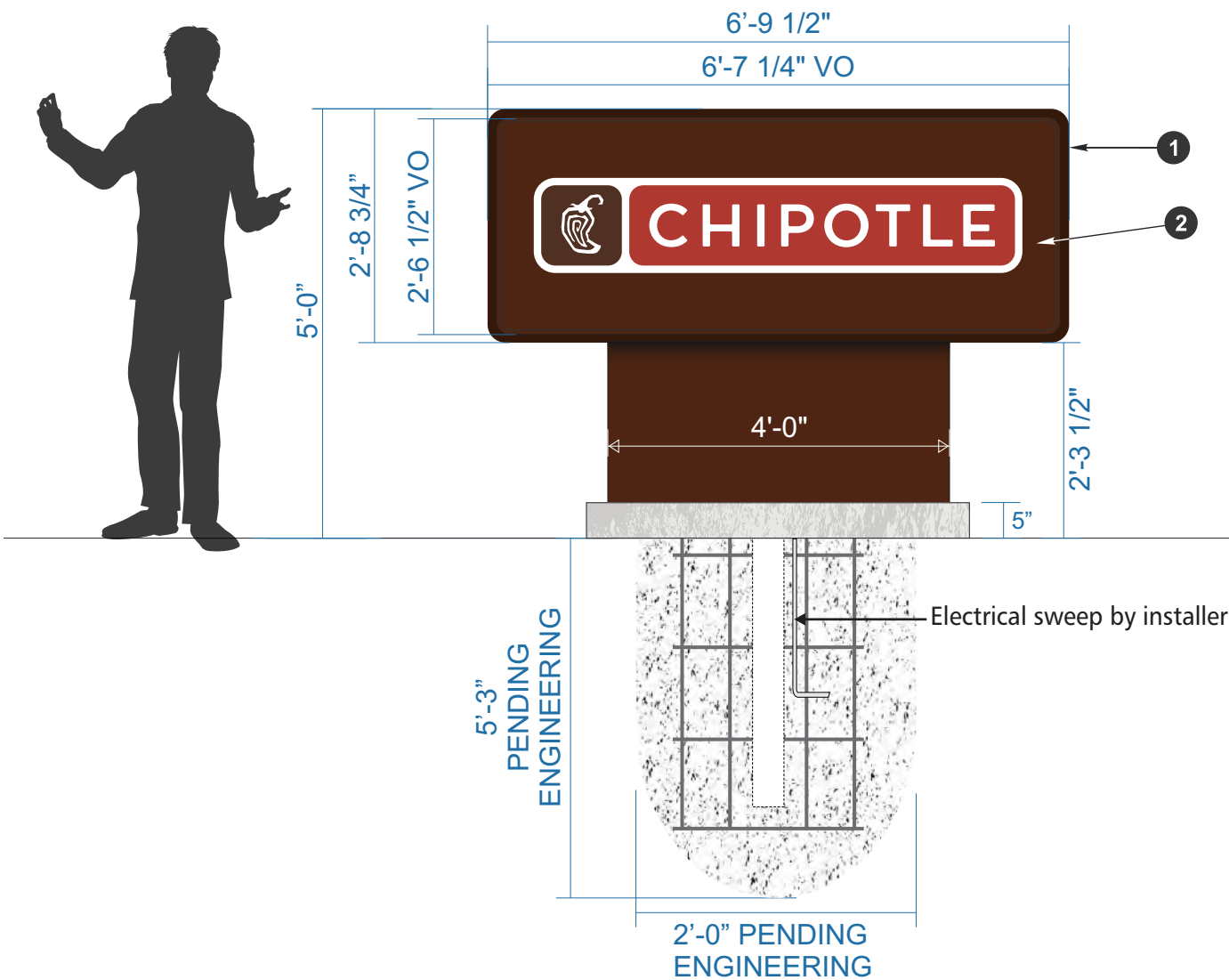


QTY (1)
SIGN F

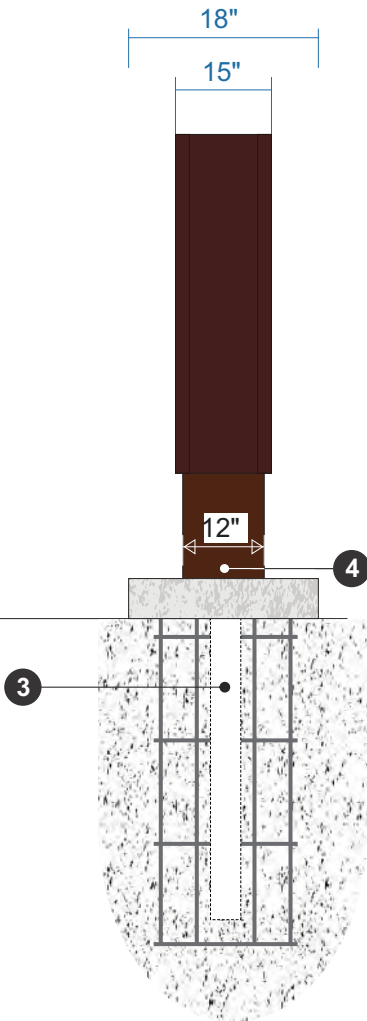
CUSTOM DOUBLE SIDED ILLUMINATED MONUMENT SIGN
SCALE: 1/2"=1'-0"

18.53 Sq. Ft.

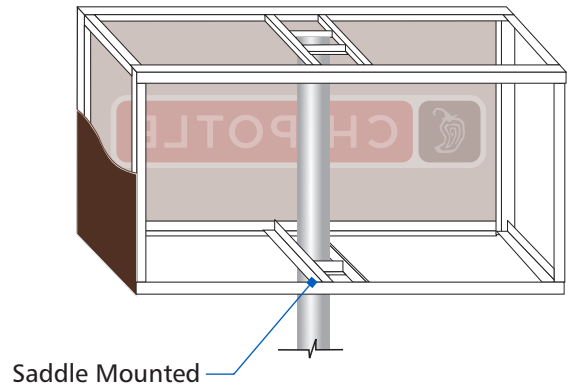
FRONT VIEW



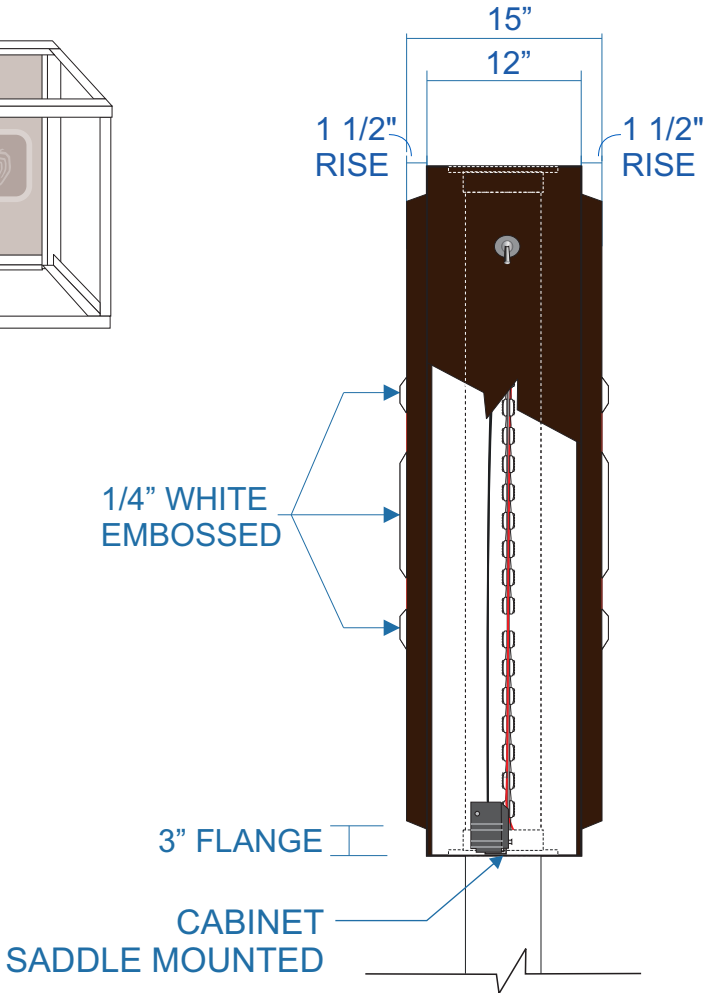
SIDE VIEW



INTERIOR RENDERING



SIDE DETAIL



SPECIFICATIONS

- 1 FACES
1/8" Vacuum Form Acrylic Panels
- 2 GRAPHICS
Clear polycarbonate pan formed and embossed face w/ 2nd surface painted graphics

- 3 FOOTING / STEEL (PENDING ENGINEERING)
Concrete/Rebar: 3000 psi Concrete footings with four #5 rebar in 90 degree pattern, tied @ 6" O.C. and 12" O.C. Concrete/Pad ~5" above grade at lowest point.
- Steel: 4" schedule 40 steel pipe (Pending Engineering) primed to prevent rust – direct burial.
- 4 BASE
24"H x 48"L x 12"D aluminum pole skirt cover painted to match PMS 4625 C Adobo Brown

Color Key		
PMS#4625C Adobo Brown	PMS#484C Roasted Red	White Acrylic # 7328