City of North Royalton

Mayor Larry Antoskiewicz

Community Development, Building Division
David Smerek, Building Commissioner
11545 Royalton Road, North Royalton, OH 44133

Phone: 440-582-3000

RECEIVED
CITY OF NORTH ROYALTON
FEB 01 2024
☑ P.C. ☐ B.Z.A

CITY OF NORTH ROYALTON PLANNING COMMISSION APPLICATION

1. This request is made for the following property:

14470 York Rd. N. Royalton, OH 44133	Stevens Engineers & Constructors, Inc.
Address	Name of Occupant, Business or Tenant (if applicable)
483-26-001	North Royalton 5A
Permanent Parcel Number	Zoning District and Ward

2. Property Owner of Parcel:

Stevens Painton Corp.	Stevens Engineers & Constructors, Inc.
Name	Name of Business (if applicable)
7850 Freeway Circle, suite 100	440-472-2960
Address	Phone
Middleburg Hts, OH 44130	n/a
City, State and Postal Code	Email (electronic mail)

3. This request is being made by the following responsible party (Owner / Authorized Representative):

Ted S. Polesiak	CDMG
Name	Name of Business (if applicable)
150 Technology Dr.	724-263-5991
Address	Phone
Canonsburg, PA 15317	tpolesiak@cdmg.com
City, State and Postal Code	Email (electronic mail)

For Office Use Only

02/01/2024	03/06/2024	PC24-02
Date Application Submitted	Meeting Date Assigned	Identification Number Assigned
$400.00	Check # 1418557	I.R.
Application Fee	Payment Information (date, check number, cash, etc.)	Received By

Other Application Fee Information

4. Narrative statement describing the project and its features:

Stevens Engineers & Constructors intend to build a new 25,000 sq. ft. warehouse on the existing property at 14470 York Rd., N. Royalton, OH 44133. The warehouse will be used to house all the equipment, supplies and other materials currently stored in shipping containers located on the property. Upon completion of the building there will no longer be materials and tools in Conex style conatiners on the site. The new building will be a pre-engineered steel building with a concrete slab floor and footers. The proposed building will not contain any restrooms or office. There will be access doors for trucks as well as shelving for storage and a dedicated loading and unloading bay.

5. Applicant's Plan Request: (please mark appropriate box)

Commercial / Industrial / Residential:

- ☐ Preliminary Site Plan Approval
- ☒ Final Site Plan Approval

Subdivision:

- ☐ Sketch Plan Approval
- ☐ Preliminary Site Plan Approval
- ☐ Final Site / Preliminary Plat Approval
- ☐ Final Plat / Dedication Approval

The Planning Commission or its agent(s) is hereby authorized to enter upon the property for which his approval is sought, without further notification, to inspect said property. Any such inspection shall be conducted between the hours of 9 a.m. and 5 p.m. on any day of the week, including weekends.

I further understand that any misrepresentation of data or facts or violations of the Ordinances of the City of North Royalton are cause for refusal, suspension or revocation of this license if issued.

Ted S. Polesiak	Ted S. Polesiak	2-1-24
Applicant Signature	Printed Name and Title	Date
[illegible]	Tony DeLuca, CFO	2-1-24
Owner Signature	Printed Name and Title	Date

6. Written Authority Form (complete this form if you are unable to be present at meeting). (submit original – do not fax or email)

I, TONY DeLUCA (name) of **Stevens Engineers & Constructors Inc.** (company, if applicable), hereby certify that I/we are the **Owner** (owner(s), executor(s), etc.) of **14470 York Rd** (property address or permanent parcel number) and further verify that **Ted S. Polesiak** **(name of representative)** is authorized to represent my/our interests and make decisions on my/our behalf when appearing before the North Royalton Planning Commission.

Signature _____ Date 2-1-24

Before me, a Notary Public in and for said county, personally appeared TONY DeLUCA who acknowledged that he or she did sign the foregoing instrument and the same is his or her free act and deed.

In testimony where of I have hereunto set my hand and official seal at MIDDLEBURG HTS, Ohio on this 1 day of FEBRUARY, 2024.

Notary Signature

Seal:

MARY ANN ANDREWS
NOTARY PUBLIC • STATE OF OHIO
COMMISSION NO. 2023-RE-669846
MY COMMISSION EXPIRES OCTOBER 24, 2028

State of Ohio
County of Cuyahoga

Cuyahoga County GIS Viewer

Date Created: 2/16/2024

Legend

- Municipalities
- Right Of Way
- Platted Centerline
- Parcel

282 0 141 282 Feet

Projection:
WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

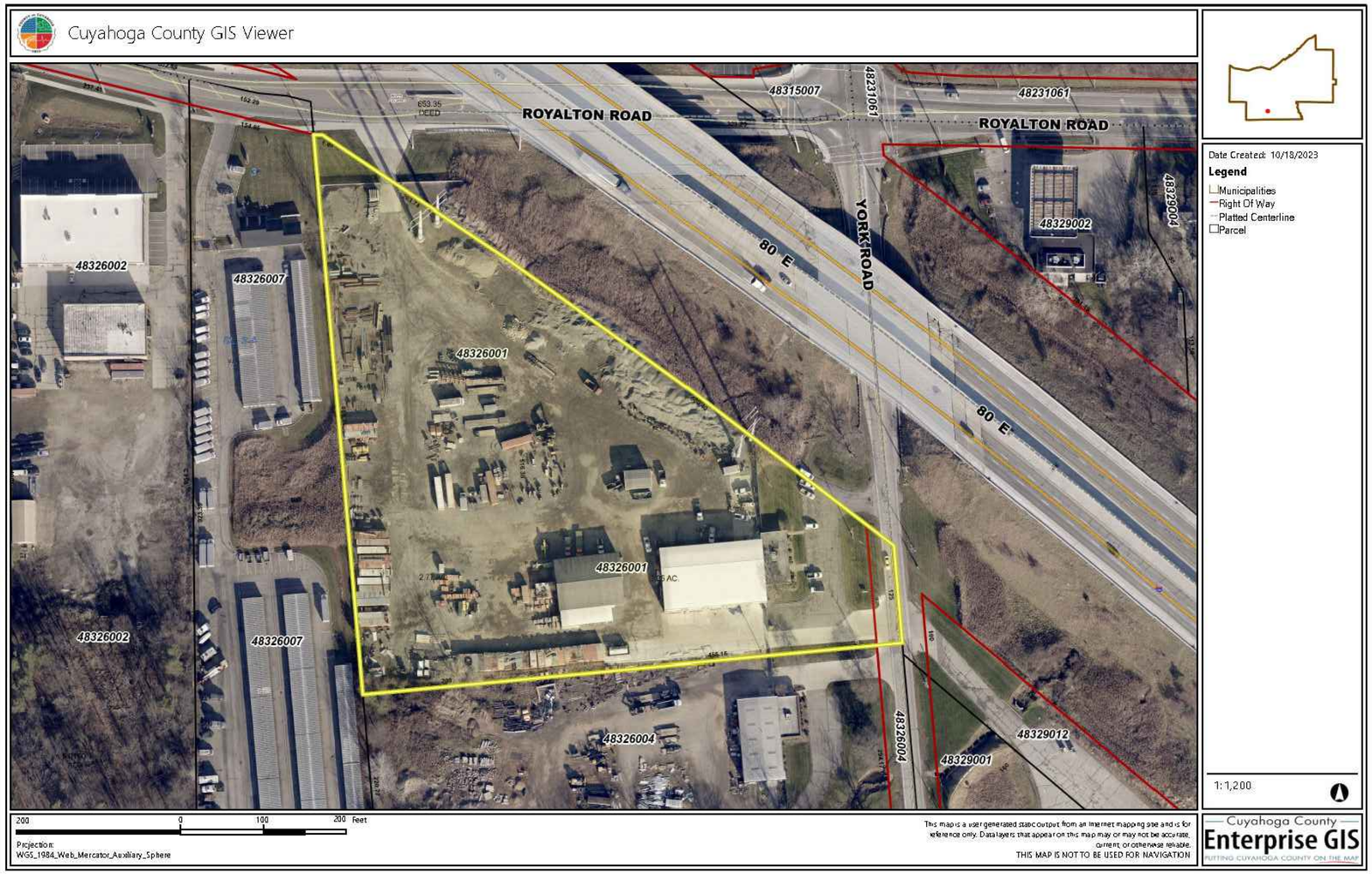
Cuyahoga County
Enterprise GIS
PUTTING CUYAHOGA COUNTY ON THE MAP

STEVENS NORTH ROYALTON

STORAGE WAREHOUSE PROJECT
NORTH ROYALTON, CUYAHOGA COUNTY, OHIO
CIVIL PERMITTING PACKAGE
JANUARY 2024

N

SHEET INDEX	
DWG. NO.	TITLE
C000	COVER
C100	BOUNDARY SURVEY
C101	EXISTING CONDITIONS
C200	SITE PLAN AND DETAILS
C300	PROPOSED GRATING PLAN
C301	SWPPP
C302	STORM WATER MANAGEMENT PLAN
C303	SWM NOTES AND DETAILS
C304	DRAINAGE DESIGN NOTES & DETAILS
C400	PROPOSED BUILDING PLAN VIEW
C401	PROPOSED BUILDING SECTION VIEW
C402	PROPOSED BUILDING RENDERINGS



OWNER:

STEVENS ENGINEERS AND CONSTRUCTORS
14470 YORK ROAD
NORTH ROYALTON, OH 44133

CONTACT: MIKE SWITZER
(216)-318-1235

CDMG

150 TECHNOLOGY DRIVE
CANONSBURG, PA 15317

DIVISION OF WORK

TOPOGRAPHIC SURVEY
SITE LAYOUT, SITE DESIGN, GRADING

CONTACT: TED S. POLESIAK
(724)-263-5991

GUTOSKEY & ASSOCIATES, INC.

10135 GOTTSCHALK PRWY, SUITE 4
CHAGRIN FALLS, OH 44023

DIVISION OF WORK

BOUNDARY SURVEY
STORMWATER POLLUTION PREVENTION PLAN
STORMWATER MANAGEMENT PLAN

CONTACT: GREG ADAMS
(440)-543-6900

CONTACT 811 BEFORE YOU DIG 811 SAFE DIGGING PARTNER

TICKET NUMBER : A403002599-00A

REFERENCE
1. TOPOGRAPHICAL DATA OBTAINED BY STEVENS ENGINEERS & CONSTRUCTORS SENIOR SURVEYOR ALBERT HARTMAN ON 9/12/2023

REVISIONS			
REV.	DATE	DESCRIPTION	BY

CDMG, INC.	GUTOSKEY & ASSOCIATES, INC.

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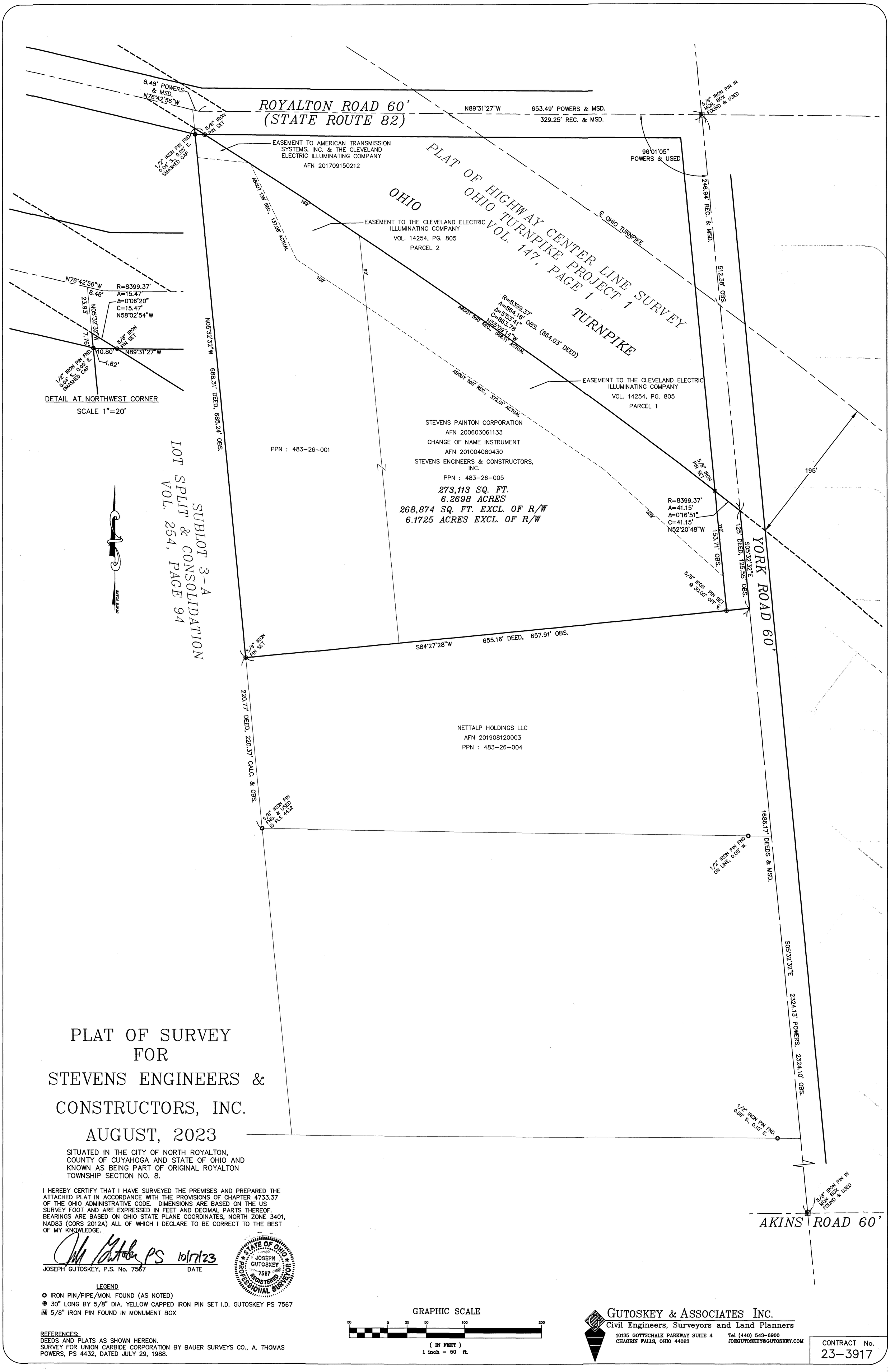
DRAWN MHF DATE 1/30/2024
CHECKED DATE
APPROVED DATE

CDMG
Part of the Stevens Family of Companies
EXPERIENCE. COMMITMENT. QUALITY.
Southpointe Industrial Park
150 Technology Drive
Canonsburg, Pennsylvania 15317

CLIENT NO. STEVENS E&C
CDMG NO. 122135-01

STEVENS NORTH ROYALTON
COVER

SCALE	DRAWING NO.	REV.
NA	C000	0



PLAT OF SURVEY FOR STEVENS ENGINEERS & CONSTRUCTORS, INC.

AUGUST, 2023

SITUATED IN THE CITY OF NORTH ROYALTON, COUNTY OF CUYAHOGA AND STATE OF OHIO AND KNOWN AS BEING PART OF ORIGINAL ROYALTON TOWNSHIP SECTION NO. 8.

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PREMISES AND PREPARED THE ATTACHED PLAT IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 4733.37 OF THE OHIO ADMINISTRATIVE CODE. DIMENSIONS ARE BASED ON THE US SURVEY FOOT AND ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF. BEARINGS ARE BASED ON OHIO STATE PLANE COORDINATES, NORTH ZONE 3401, NAD83 (CORS 2012A) ALL OF WHICH I DECLARE TO BE CORRECT TO THE BEST OF MY KNOWLEDGE.

JOSEPH GUTOSKEY, P.S. No. 7567 — DATE 10/17/23

STATE OF OHIO — JOSEPH GUTOSKEY 7567 — REGISTERED PROFESSIONAL SURVEYOR

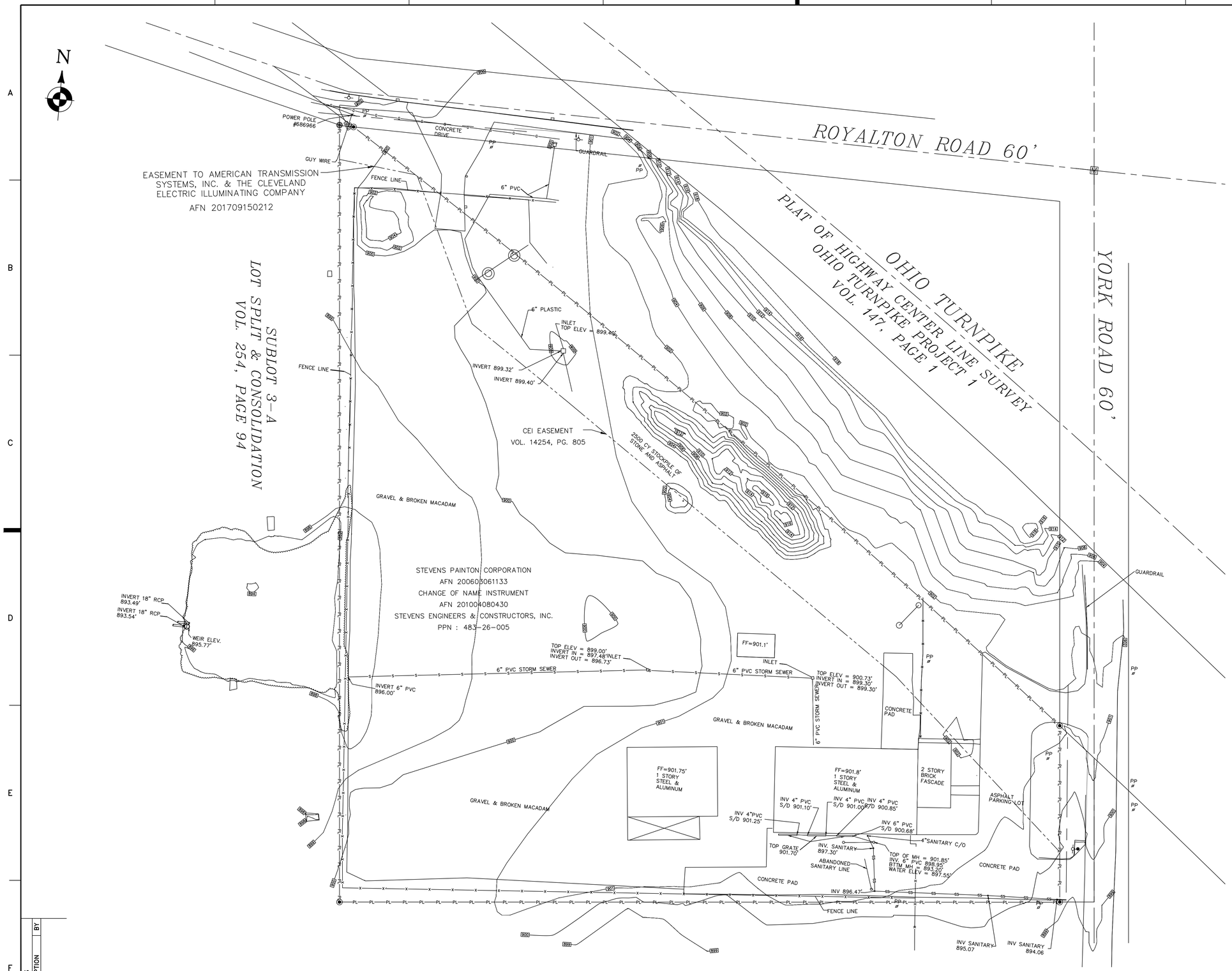
LEGEND

- IRON PIN/PIPE/MON. FOUND (AS NOTED)
- 30" LONG BY 5/8" DIA. YELLOW CAPPED IRON PIN SET I.D. GUTOSKEY PS 7567
- 5/8" IRON PIN FOUND IN MONUMENT BOX

REFERENCES:
DEEDS AND PLATS AS SHOWN HEREON.
SURVEY FOR UNION CARBIDE CORPORATION BY BAUER SURVEYS CO., A. THOMAS POWERS, PS 4432, DATED JULY 29, 1988.

GUTOSKEY & ASSOCIATES INC.
Civil Engineers, Surveyors and Land Planners
10135 GOTTSCHALK PARKWAY SUITE 4
CHAGRIN FALLS, OHIO 44023
Tel (440) 543-6900
JOEGUTOSKEY@GUTOSKEY.COM

CONTRACT No. 23-3917



SITE PLAN

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

ZONING REGULATIONS

CUYAHOGA COUNTY
CITY OF NORTH ROYALTON ZONING CODE

EXISTING SITE ZONED: GI- GENERAL INDUSTRIAL

LOT AREA 273,113 SQ. FT. (6.27 ACRES)

PROPOSED FLOOR AREA 25,000 SQ. FT.
PROPOSED BLDG. COVERAGE 9.6%

MAX. BUILDING HEIGHT: 50'-0"
BLDG. MIN SETBACK FROM STREET R.O.W.: 100'
SETBACK FROM SIDE LOT LINE ABUTTING NON RESIDENTIAL DISTRICT: 10'
SETBACK FROM REAR LOT LINE ABUTTING NON RESIDENTIAL DISTRICT: 10'

OFF-STREET PARKING REGULATIONS

MIN. SETBACK FROM STREET R.O.W.: 50'
SETBACK FROM SIDE & REAR LOT LINE ABUTTING NONRESIDENTIAL DISTRICT: 10'

REVISIONS			
REV.	DATE	DESCRIPTION	BY

CDMG
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EXPERIENCE. COMMITMENT. QUALITY.
Southpointe Industrial Park
150 Technology Drive
Canonsburg, Pennsylvania 15317

CLIENT NO. STEVENS E&C
CDMG NO. 122135-01

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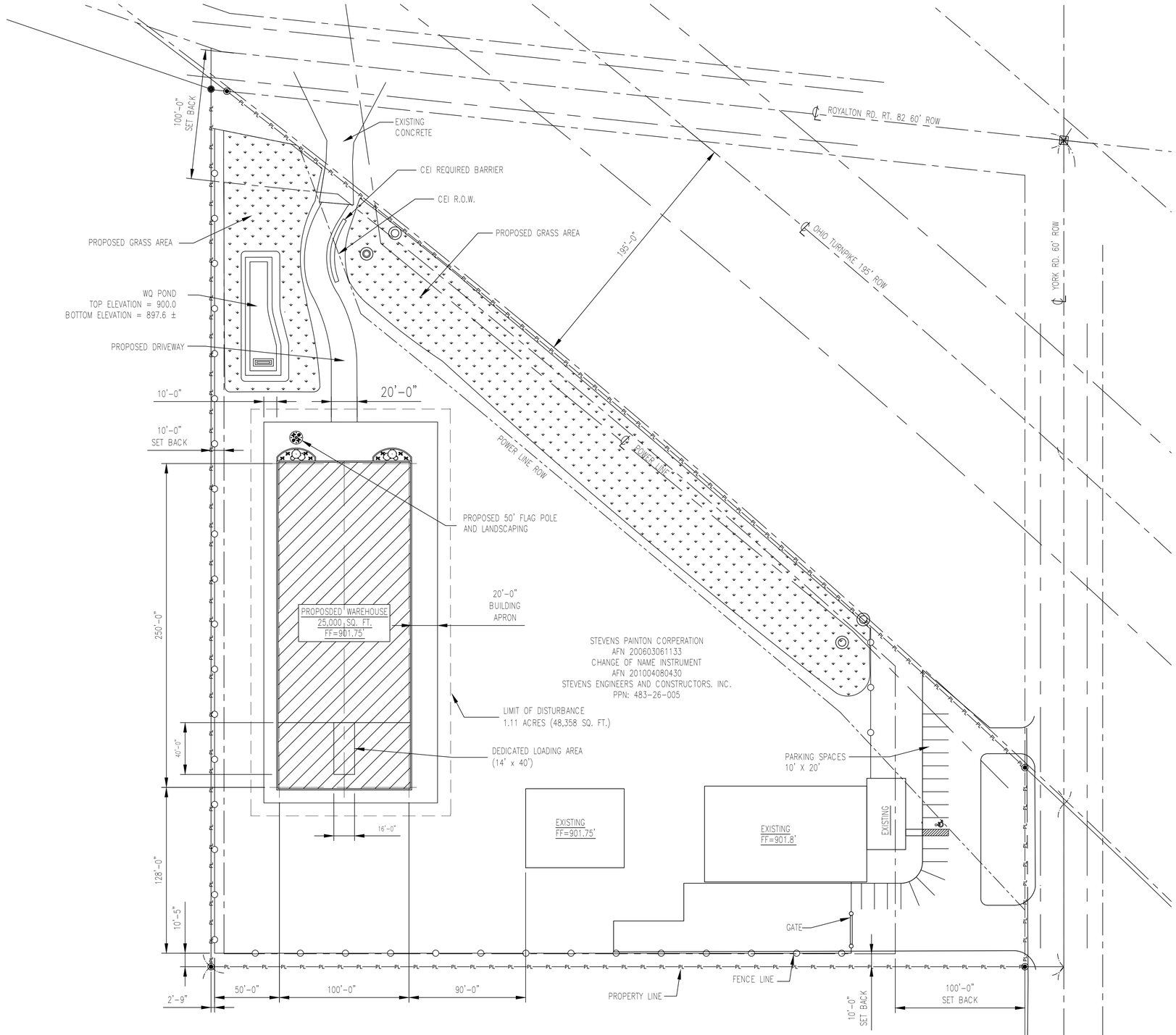
STEVENS NORTH ROYALTON
EXISTING CONDITIONS

DRAWN MHF	DATE 1/30/2024	SCALE	DRAWING NO.
CHECKED	DATE	GRAPHIC SCALE	C101
APPROVED	DATE		REV. 0



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SETBACK FROM REAR LOT LINE ABUTTING NON RESIDENTIAL DISTRICT: 10'

OFF-STREET PARKING REGULATIONS

MIN. SETBACK FROM STREET R.O.W.: 50'
SETBACK FROM SIDE & REAR LOT LINE ABUTTING NONRESIDENTIAL DISTRICT: 10'

THE EXISTING OFFICE BUILDING IS 1,650 SQUARE FEET REQUIRING 7 PARKING SPACES. 4 EMPLOYEES ARE/WILL BE ASSIGNED TO THE EXISTING AND PROPOSED WAREHOUSES REQUIRING ANOTHER 4 SPACES. 11 PARKING SPACES PLUS 1 ACCESSIBLE ARE REQUIRED AND 17 PARKING SPACES PLUS 1 ACCESSIBLE SPACE ARE CURRENTLY PROVIDED.

SITE PLAN

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

REV.	DATE	DESCRIPTION	BY

REVISIONS

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DRAWN MHF	DATE 1/30/2024	SCALE	DRAWING NO.
CHECKED	DATE	GRAPHIC SCALE	C200
APPROVED	DATE		

REV. 1

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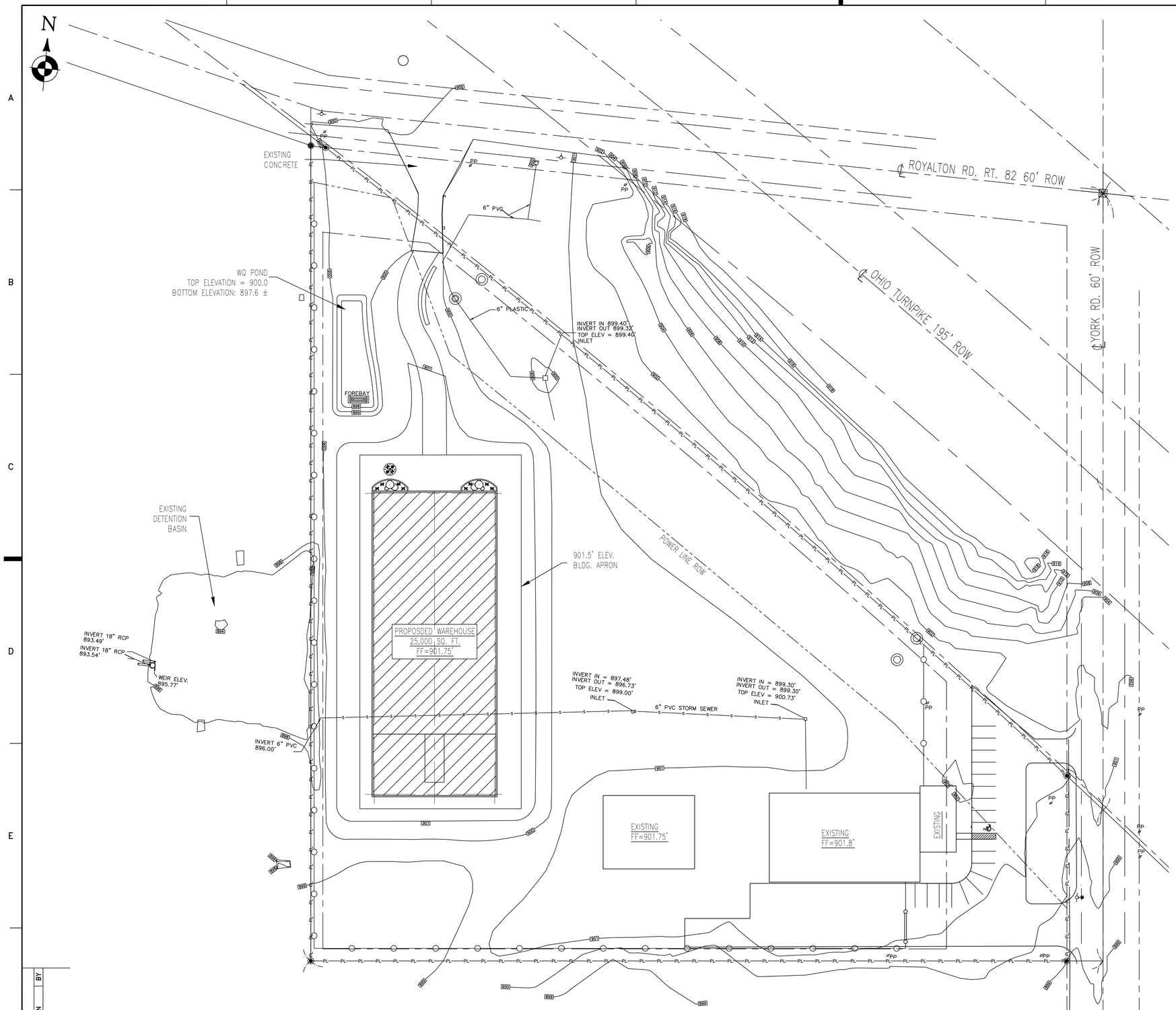
Southpointe Industrial Park
150 Technology Drive
Canonsburg, Pennsylvania 15317

CLIENT NO. STEVENS E&C
CDMG NO. 122135-01

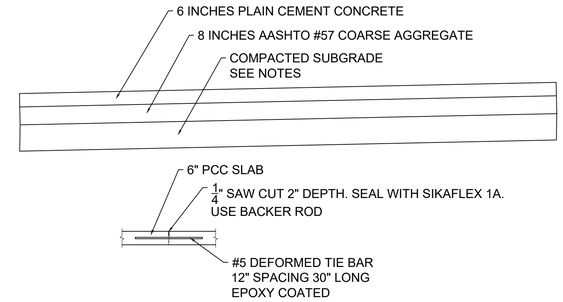
STEVENS NORTH ROYALTON
SITE PLAN AND DETAILS



SITE PLAN

GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.



TRASNSVERSE PAVEMENT CONTROL JOINT
LONGITUDINAL SPACING AT 15 FEET

CONRETE DRIVEWAY AND CONCRETE BUILDING APRON GENERAL NOTES

SPECIFICATIONS

- THE LATEST REVISIONS OF THE "ACI BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" AND APPLICABLE ASTM SPECIFICATIONS SHALL BE USED FOR (1) THE DESIGN, DETAILING, MIXING, PLACING, CURING AND INSPECTION OF CONCRETE AND (2) THE DESIGN, DETAILING AND PLACING OF ANCHOR BOLTS AND CONCRETE REINFORCING.
- IN CASE OF CONFLICT BETWEEN APPLICABLE CODES, THE MOST STRINGENT OF THESE CODES SHALL GOVERN.

CONCRETE

- UNLESS NOTED OTHERWISE ON THE DRAWINGS, PROVIDE CEMENT CONCRETE WITH A 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI, A WATER TO CEMENT RATIO OF 0.45, AIR ENTRAINMENT (IF REQUIRED) OF 6% (+/- 1.5%).
- TYPE OF MIX SLUMP UPPER LIMITWITHOUT WATER REDUCING ADMIXTURES 5 INCHES, WITH WATER REDUCING ADMIXTURES 6 1/2 INCHES, WITH HIGH RANGE WATER REDUCING ADMIXTURES (SUPERPLASTICIZERS) 8 INCHES
- ALL CONCRETE EXPOSED TO WEATHER THAT DOES NOT RECEIVE ANY TYPE OF FLOOR HARDENER SHALL BE AIR-ENTRAINED. THE ADMIXTURE SHALL CONFORM TO ASTM SPECIFICATION C260, LATEST REVISION.
- SUBMIT FOR APPROVAL A CEMENT CONCRETE JOB MIX FORMULA FOR THE SPECIFIED 28-DAY CONCRETE STRENGTH(S).
- NO CONCRETE IS TO BE PLACED UNTIL RELEASED BY THE ENGINEER, AND THE ENGINEER HAS APPROVED THE SUBGRADE, REINFORCEMENT, FORMS, INSTALLATION OF ELECTRICAL CONDUITS, EMBEDDED STEEL, ETC.
- NO CONCRETE TO BE PLACED IN EXCAVATION CONTAINING WATER OR FROZEN GROUND.
- DO NOT ADD ON-SITE WATER TO THE CONCRETE UNLESS APPROVED BY THE ENGINEER.
- PREPARE THE SUBGRADE SO THAT IT IS AT THE PROPER ELEVATION, COMPACTED AS REQUIRED, WITHOUT RUTS, DEPRESSIONS, OR SOFT SPOTS AND IS UNIFORM. PROVIDE A SUBGRADE FINISHED SURFACE WITH A FLATNESS THAT DOES NOT EXCEED 5/8-INCH IN 10 FEET. PROOF ROLL THE SUBGRADE WITH A LOADED TRIAXLE DUMP TRUCK (72,000 GVW). REMOVE AND REPLACE TO A DEPTH OF 12 INCHES ANY AREAS HAVING A PERMANENT DEFORMATION GREATER THAN ½ INCH.
- VERTICAL AND HORIZONTAL CONSTRUCTION JOINTS OTHER THAN THOSE INDICATED ON CONSTRUCTION DRAWINGS ARE NOT TO BE INSTALLED WITHOUT THE APPROVAL OF THE ENGINEER.
- ALL EXPOSED EDGES OF CONCRETE TO HAVE A 3/4" X 45° CHAMFER
- PROVIDE 2-INCHES OF CONCRETE COVER OVER REINFORCEMENT BARS WHEN CONCRETE IS CAST AGAINST FORMS AND 3-INCHES FOR CONCRETE CAST AGAINST EARTH, EXCEPT AS NOTED.
- ALL ELEVATIONS INDICATED ARE TO TOP OF ROUGH CONCRETE, UNLESS NOTED. ALLOWANCE HAS BEEN MADE FOR GROUT.

REINFORCING STEEL

- PROVIDE GRADE 60 REINFORCING STEEL BARS THAT MEET THE REQUIREMENTS OF ASTM A 615/A 615M, A 996/A 996M OR A 706/A 706M. DO NOT WELD GRADE 60 REINFORCING STEEL BARS UNLESS SPECIFIED.
- USE CLASS "B" SPLICES, WITH NO REDUCTION FACTOR FOR EXCESS REINFORCEMENT UNLESS NOTED OTHERWISE ON THE DRAWINGS. STAGGER SPLICES WHERE POSSIBLE.
- WHEN LAPPING TWO DIFFERENT SIZE BARS, USE THE LAP DIMENSION OF THE SMALLER BAR OR THE ANCHORAGE DIMENSION OF THE LARGER BAR, WHICHEVER DIMENSION IS LARGER.

WELDED WIRE FABRIC

- ASTM A185, LATEST REVISION, SIZE AS NOTED ON THE DRAWINGS. FOR FABRIC SIZE 4X4-W4.0XW4.0 AND SMALLER, LAP SHALL BE ONE FULL MESH OR 6", WHICHEVER IS GREATER.
- IF REINFORCEMENT LESS THAN W4.0 OR D4.0 IS SPECIFIED, THE CONTINUOUS SUPPORT SPACING SHALL NOT EXCEED 12" PERPENDICULAR TO THE DIRECTION OF SPAN.
- FOR LARGER FABRIC SIZES, LAP SHALL BE 12". SUFFICIENT REINFORCING SUPPORT DURING CONSTRUCTION SHALL BE PROVIDED TO KEEP FABRIC AT ITS REQUIRED LOCATION.

EXPANSION AND/OR ISOLATION JOINTS

- EXPANSION JOINT MATERIAL SHALL BE PREMOLDED, NONEXTRUDING TYPE CONFORMING TO ASTM D1751.
- THE 2018 INTERNATIONAL BUILDING CODE IS THE DESIGN CODE OF RECORD AND WAS USED FOR WIND, SNOW AND SEISMIC LOADS. ALL REQUIREMENTS FOR SPECIAL INSPECTION PER CHAPTER 17 OF THE IBC MUST BE FOLLOWED INCLUDING A SPECIAL INSPECTION PROGRAM AND PROPER DOCUMENTATION AND SUBMITTALS.

EXISTING CONDITIONS

- ALL EXISTING CONDITIONS, ELEVATIONS AND DIMENSIONS, SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR MATERIAL PURCHASE. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND ALL WORK EFFECTED BY THIS DISCREPANCY SHALL BE SUSPENDED UNTIL ENGINEER REVIEWS AND GIVES RECOMMENDATIONS.

CHANGES OR CORRECTIONS TO DESIGN DRAWINGS

- ANY PERCEIVED "CHANGE" OR "CORRECTION" TO DESIGN DRAWINGS SHALL NOT BE PERFORMED BY CONTRACTOR WITHOUT FIRST CONTACTING CDMG FOR APPROVAL. CDMG MUST REVIEW ANY "CORRECTION" TO ENSURE THAT THEY ARE ACCEPTABLE AND ARE THE SIMPLEST AND QUICKEST CORRECTION.

REVISIONS			
REV.	DATE	DESCRIPTION	BY

CDMG
Part of the Stevens Family of Companies
EXPERIENCE. COMMITMENT. QUALITY.
Southpointe Industrial Park
150 Technology Drive
Canonsburg, Pennsylvania 15317

CLIENT NO. STEVENS E&C
CDMG NO. 122135-01

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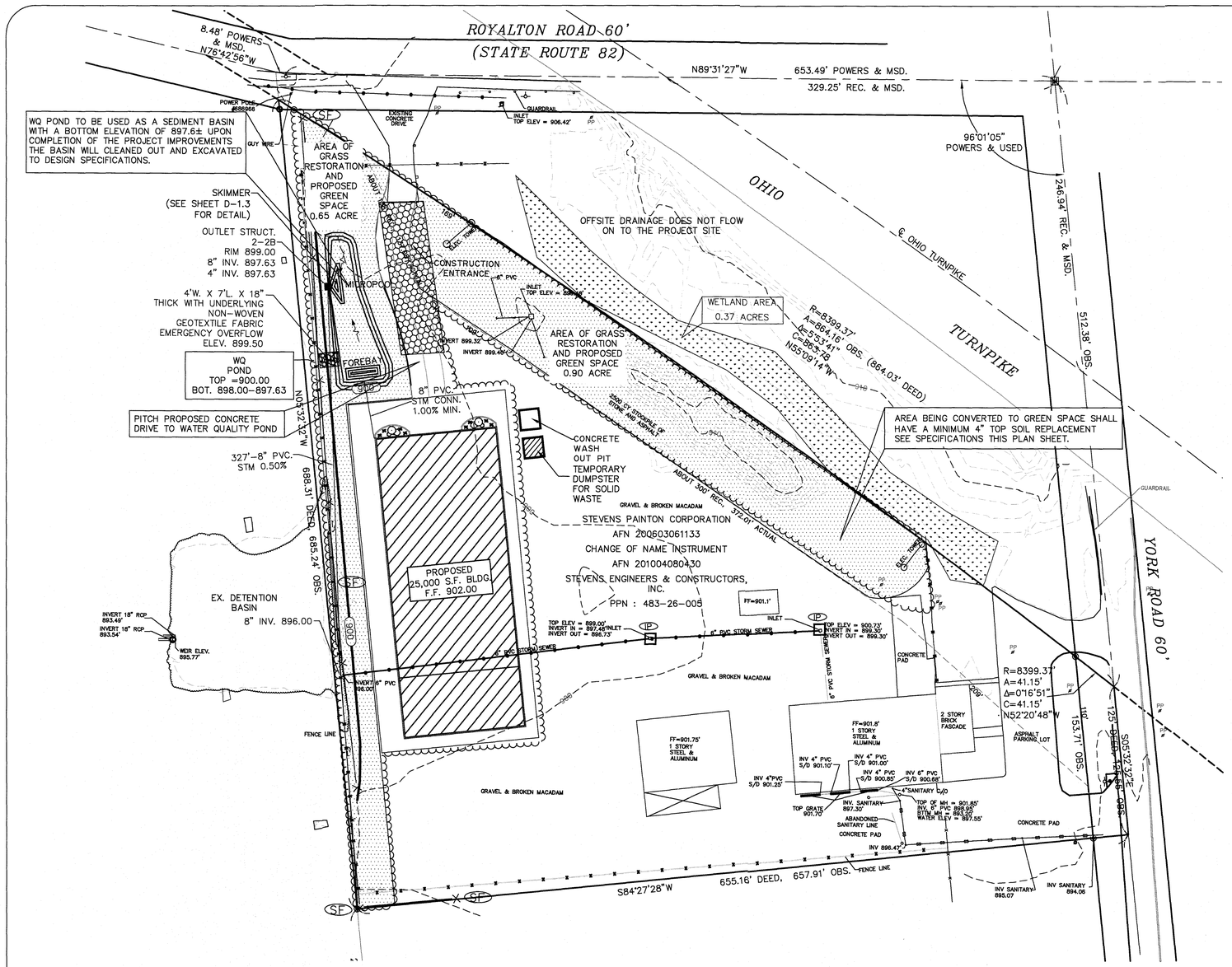
STEVENS NORTH ROYALTON
PROPOSED GRADING PLAN

DRAWN MHF	DATE 1/30/2024	SCALE GRAPHIC SCALE	DRAWING NO. C300
CHECKED	DATE		REV. 1
APPROVED	DATE		



SITE DESCRIPTION (MARK ONE)			
SUBDIVISION ☐	TOTAL AREA	6.27 AC	
COMMERCIAL ☒	AREA TO BE DISTURBED	3.19 AC	
RESIDENTIAL ☐	PERCENT DISTURBED	51%	
P.U.D. ☐	PRE-DEV. RUNOFF CN	89	
OTHER (INDUSTRIAL) ☐	POST DEV. RUNOFF CN	92	
	IMPERVIOUS AREA	0.72 AC	
	% IMPERVIOUSNESS	41%	

SOIL TYPES	HYDROLOGIC SOIL GROUP
URBAN SOIL	D

PRIOR LAND USE: COMMERCIAL PROPERTY

SITE LOCATION INFORMATION

STEVEN'S ENGINEERS & CONTRUCTORS EXPANSION
PROJECT NAME

NORTH ROYALTON CUYAHOGA OHIO 44133
CITY COUNTY STATE ZIP CODE

LATITUDE 41°32'22"N LONGITUDE 81°29'14"W

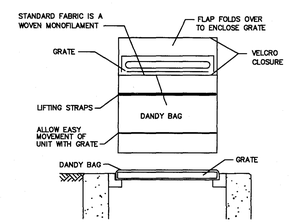
EAST BRANCH ROCKY RIVER / UNNAMED TRIBUTARY
NAME OF WATERSHED/IMMEDIATE RECEIVING WATER(S)

SEQUENCE OF EROSION AND SEDIMENT CONTROL MEASURES FOR MAJOR CONSTRUCTION OPERATIONS

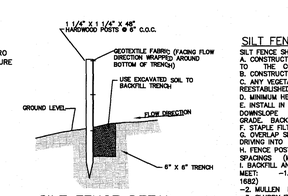
1. SITE MARKING AND EVALUATION:
   - MARKING OF VEGETATION AND TREES TO BE PROTECTED
   - MARKING OF LIMITS OF CONSTRUCTION WITH PLASTIC FENCE.
2. PERIMETER EROSION AND SEDIMENT CONTROL MEASURES:
   - INSTALL PERIMETER SILT-FENCE WHERE INDICATED ON PLAN
3. PREPARE SITE FOR CONSTRUCTION:
   - INSTALL TEMPORARY SEDIMENT CONTROLS, SEDIMENT BASIN WITH DIVERSION SWALES
   - STRIP AND STOCKPILE TOPSOIL W/ SILT FENCE AROUND PERIMETER
   - ROUGH GRADING OF SITE WITH INSTALLATION OF TEMPORARY SEDIMENT CHANNEL CONTROLS
   - SEED PILE AND BARE AREAS TO BE UNDISTURBED FOR 14 DAYS WITHIN 7 DAYS OF STRIPPING COMPLETION WITH TEMP. SEED MIX NO. 1.
   - INSTALL INFRASTRUCTURE, STORM SEWERS, WATER LINE, ROADWAY
4. SITE UTILITIES:
   - RE-SEED ANY DISTURBED AREAS AS A RESULT OF SITE UTILITY INSTALLATION
   - INSTALL SCREEN BARRIERS AROUND ALL INLET STRUCTURES
5. MAINTAIN EROSION & SEDIMENT CONTROLS DURING CONSTRUCTION:
   - INSPECT EACH CONTROL WEEKLY AND AFTER EVERY STORM EVENT
   - REPAIR OR REPLACE ANY DAMAGED CONTROL IMMEDIATELY
   - REMOVE ALL SILT FROM ROADWAYS/PAVEMENT AT THE END OF EVERY WORKING DAY
6. FINAL GRADING AND SITE CONSTRUCTION:
   - MAINTAIN ALL EROSION AND SEDIMENT CONTROLS
   - SPREAD TOPSOIL TO FINAL GRADE
   - FERTILIZE AND LIME TOPSOIL ACCORDING TO THE RECOMMENDATION OF A PROFESSIONAL LANDSCAPE CONTRACTOR
7. PERMANENT LANDSCAPING:
   - SOD OR PERMANENT SEED BARE AREAS IMMEDIATELY UPON THE COMPLETION OF THE FINAL TOPSOIL SPREADING OPERATIONS
   - INSTALL MATTING IN ALL DITCHES/SWALES AND MULCH NETTING ON SLOPES GREATER THAN 3:1
   - WATER AS NEEDED TO ALLOW SEED TO BECOME ESTABLISHED
8. REMOVE TEMPORARY CONTROLS:
   - ONCE VEGETATION HAS BECOME ESTABLISHED, REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROLS
   - INSTALL PERMANENT SEDIMENT CONTROLS IN OUTLET STRUCTURE
   - MODIFY EXISTING SEDIMENT BASIN INTO DETENTION BASIN
   - REPAIR ANY DAMAGED AREAS THAT REMAIN

Revisions:
1 CSWCD 1/8/24
2 CSWCD 1/22/24
3
4
5
6
7

STEVENS ENGINEERS & CONSTRUCTORS, INC.
P.P.N. 483-26-005
14470 YORK RD.
NORTH ROYALTON - CUYAHOGA COUNTY - OHIO

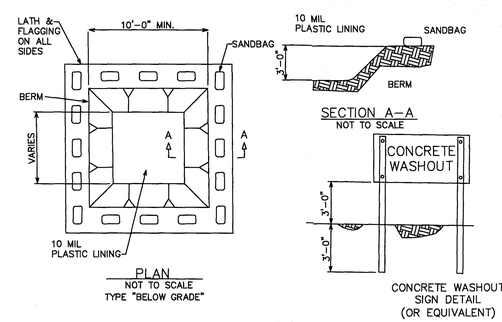


DANDY BAG DETAIL
NOT TO SCALE



SILT FENCE DETAIL
(TYPICAL CROSS SECTION)

SILT FENCE NOTES:
SILT FENCE SHALL CONFORM TO THE FOLLOWING:
A. CONSTRUCT BEFORE UPSLOPE LAND DISTURBANCE BEGINS AS CLOSE TO THE CONTOUR AS POSSIBLE.
B. CONSTRUCT EACH END UPSLOPE TO HIGHER ELEVATION.
C. ANY VEGETATION REMOVED WITH 5' UPSLOPE OF FENCE SHALL BE REESTABLISHED WITHIN 7 DAYS.
D. MINIMUM HEIGHT – 16" ABOVE ORIGINAL GRADE.
E. INSTALL IN 6" DEEP X 4" WIDE UNIFORM TRENCH. PLACE WITH DOWNSLOPE SIDE OF STAKES ON GEOTEXTILE WITH 8" GAPS BELOW GRADE. BACKFILL AND COMPACT TRENCH.
F. STAPLE FILTER MATERIAL TO STAKES AND EXTEND INTO TRENCH.
G. OVERLAP SEAMS OF FENCE SECTIONS WITH END STAKES BEFORE DRIVING INTO GROUND.
H. FENCE POSTS SHALL BE 2X2 HARDWOOD, 32" LONG (MIN) AT 10' SPACINGS (MAX).
I. BACKFILL AND COMPACT THE EXCAVATED FILL. J. SILT FENCE SHALL MEET:
–1. GRAB TENSILE STRENGTH – 90 LB. (MIN) (ASTM D 1682)
–2. MULLEN BURST STRENGTH – 190 PSI. (MIN) (ASTM D 3786)
–3. SLURRY FLOW RATE – 0.3 GAL/MIN/SQ FT (MAX)
–4. EQUIVALENT OPENING SIZE – 40–80 (US STD. SEIVE CW–02215)
–5. ULTRAVOLET RADIATION STABILITY – 90



CONCRETE WASHOUT DETAIL
NOT TO SCALE

GUTOSKEY & ASSOCIATES INC.
Civil Engineers, Surveyors and Land Planners
10135 GOTTSCHALK PKWY, SUITE 4 Tel (440) 543-6900
CHAGRIN FALLS, OHIO 44023 JOE@GUTOSKEY@GUTOSKEY.COM

SWPP PLAN

GRAPHIC SCALE
50 0 25 50 100 200
(IN FEET)
1 inch = 50 ft.

EROSION LEGEND
SILT CONTROL FENCE/SOCK (SF) X —X —X —X
LIMITS OF CLEARING AND GRUBBING
CEMENT TRUCK WASHOUT AREA
COVERED DUMPSTER
CONSTRUCTION ENTRANCE
NOTE: EROSION MEASURES ARE NOT SHOWN TO SCALE

OWNER
STEVEN'S ENGINEERS & CONSTRUCTORS, INC.
14470 YORK ROAD
NORTH ROYALTON OHIO 44143

SITE CONTRACTOR
SAME AS OWNER

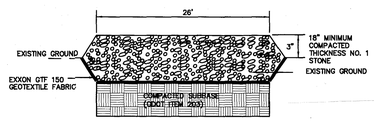
CONTACT:
MICHAEL SWITZER
(216) 318-1235

ESTIMATED START DATE - 2/1/24
ESTIMATED END DATE - 8/1/24

SITE IS A RE-DEVELOPMENT OF A EXISTING CONSTRUCTION YARD. THE PROPOSED PROJECT WILL HAVE AN INCREASE IN IMPERVIOUS AND ALSO IN PERVIOUS AREA. THE PROPOSED ON-SITE DISCHARGE WILL DECREASE. NO DETENTION IS REQUIRED. 100% WATER QUALITY TREATMENT HAS BEEN DESIGNED FOR THE PROPOSED EXPANSION.

PREVIOUS SITE CURVE NUMBER = 92

PROPOSED SITE CURVE NUMBER = 89



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

Specifications
for
Topsoiling

Salvaging and Stockpiling

1. Determine the depth and suitability of topsoil at the site. (For help, contact your local SWCD office to obtain a county soil survey report).
2. Prior to stripping topsoil, install appropriate downslope erosion and sedimentation controls such as sediment traps and basins.
3. Remove the soil material no deeper than what the county soil survey describes as "surface soil" (ie. A or Ap horizon).
4. Construct stockpiles in accessible locations that do not interfere with natural drainage. Install appropriate sediment controls to trap sediment such as silt fence immediately adjacent to the stockpile or sediment traps or basins downstream of the stockpile. Stockpile side slopes shall not exceed a ratio of 2:1.
5. If topsoil is stored for more than 21days, it should be temporary seeded, or covered with a tarp.

Spreading the Topsoil

1. Prior to applying topsoil, the topsoil should be pulverized.
2. To ensure bonding, grade the subsoil and roughen the top 3-4 in. by disking.
3. Do not apply when site is wet, muddy, or frozen, because it makes spreading difficult, causes compaction problems, and inhibits bonding with subsoil.
4. Apply topsoil evenly to a depth of at least 4 inches and compact slightly to improve contact with subsoil.
5. After spreading, grade and stabilize with seeding or appropriate vegetation.

CONTACT 811 BEFORE YOU DIG
811
SAFE DIGGING PARTNER

OHIO EPA IS REQUIRED TO BE CONTACTED IN THE EVENT OF A PETROLEUM OR HARAZDOUS WASTE SPILL OF 25 GALLONS OR MORE.

OHIO EPA SPILL REPORTING HOTLINE
1-800-282-9378

NOTES:
SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.

TOPOGRAPHIC & EXISTING CONDITIONS SURVEY PROVIDED BY CLIENT.

ENVIRONMENTAL ANALYSIS PROVIDED BY HZW ENVIRONMNETAL CONSULTANTS.

THIS PLAN MEETS THE REQUIREMENTS OF THE OHIO EPA GENERAL PERMIT AUTHORIZATION FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY OH000006.

O.E.P.A STORM WATER PERMIT NO. 3GC14740*AG

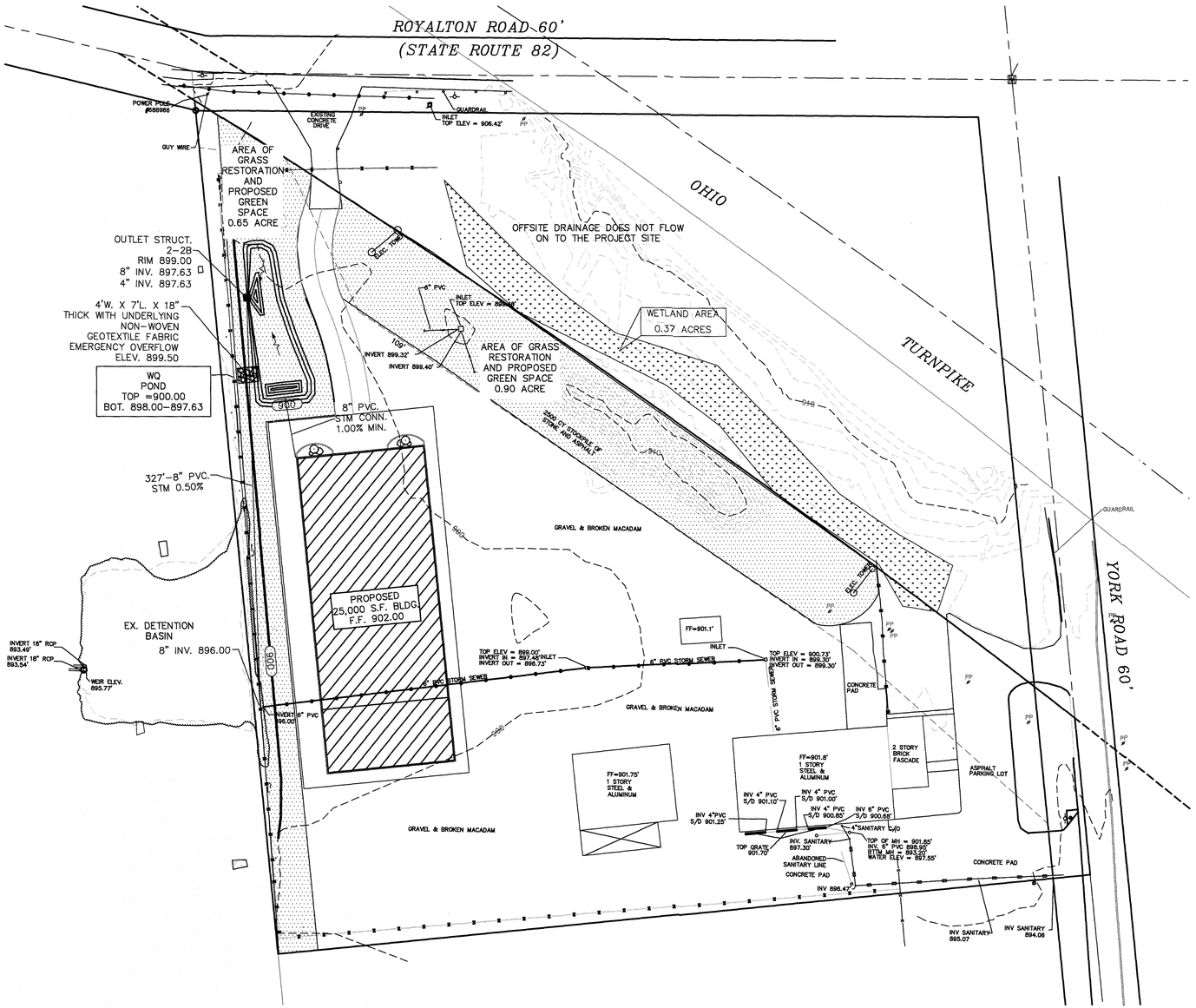
JOSEPH GUTOSKEY P.E. No. 51851 1/22/24

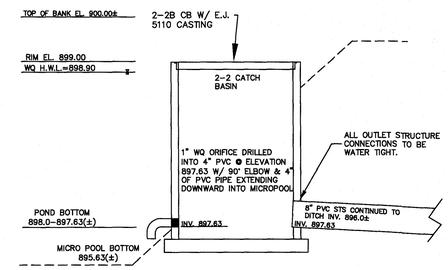
STATE OF OHIO
JOSEPH GUTOSKEY
51851
REGISTERED PROFESSIONAL ENGINEER

Date: NOV. 2023
Scale: Hor. 1"=50'
Vert.
Filename:
Checked By:
F.B. No.:

Sheet
D-1.1

CONTRACT No.
23-3917





WQ POND OUTLET STRUCTURE DETAIL

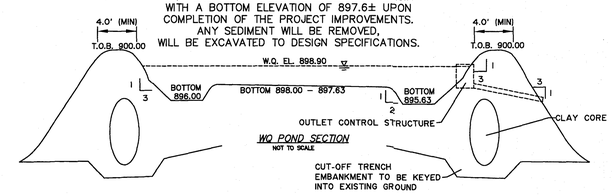
NOT TO SCALE

OUTLET STRUCTURE NOTES:

DURING THE CONSTRUCTION PHASE THE 4" HOLE AT THE BOTTOM OF THE STRUCTURE WILL BE FITTED WITH A FAIRCLOTH SKIMMER.

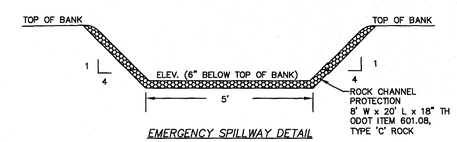
UPON COMPLETION OF THE PROJECT AND 70% PERMANENT STABILIZATION COVERAGE THE FAIRCLOTH SKIMMER WILL BE REMOVED. THE 90° ELBOWS AND ORIFICE CAPS WILL BE INSTALLED INTO THE STRUCTURE.

WQ POND TO BE USED AS A SEDIMENT BASIN WITH A BOTTOM ELEVATION OF 897.6± UPON COMPLETION OF THE PROJECT IMPROVEMENTS. ANY SEDIMENT WILL BE REMOVED, WILL BE EXCAVATED TO DESIGN SPECIFICATIONS.



WQ POND SECTION

NOT TO SCALE



EMERGENCY SPILLWAY DETAIL

WATER QUALITY CALCULATION

A=1.64 AC.

$WQV = \frac{RvPA}{12}$ $\frac{0.66(0.90)(1.64)}{12} = 0.08118$ Ac-ft = 3,536 ft³

$Rv = 0.05+0.9(\frac{1.11}{1.64})$

Rv= 0.66

MICROPOOL STORAGE DATA

ELEVATION	TOTAL VOLUME (C.F.)
895.63	0
896.63	62
897.63	369

FOREBAY STORAGE DATA

ELEVATION	TOTAL VOLUME (C.F.)
896.00	0
897.00	62
898.00	369

POND STORAGE DATA FOR WATER QUALITY STORAGE

ELEVATION	TOTAL VOLUME (C.F.)
897.63	0
898.00	585
899.00	4,086
900.00	8,359

STORM EVENT Q'S

STORM EVENT	PRE-DEVELOPMENT	POST-DEVELOPMENT
1-YEAR	10.49	9.20
2-YEAR	13.84	12.58
5-YEAR	18.22	17.08
10-YEAR	21.87	20.87
25-YEAR	27.61	26.87
50-YEAR	32.81	32.32
100-YEAR	38.42	38.21

CONTACT 811 BEFORE YOU DIG 811 SAFE DIGGING PARTNER

GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)
1 inch = 50 ft.

Revisions:

1 CSWCD 1/22/24
2
3
4
5
6
7

STEVENS ENGINEERS & CONSTRUCTORS, INC.
P.P.N. 483-26-005
14470 YORK RD.
NORTH ROYALTON - CUYAHOGA COUNTY - OHIO

GUTOSKEY & ASSOCIATES INC.
Civil Engineers, Surveyors and Land Planners
10135 GOTTSCHALK PKWY, SUITE 4
CHAGRIN FALLS, OHIO 44023
Tel (440) 543-6900
JOE@GUTOSKEY@GUTOSKEY.COM

SWM PLAN

Date: NOV. 2023
Scale: Hor. 1"=50'
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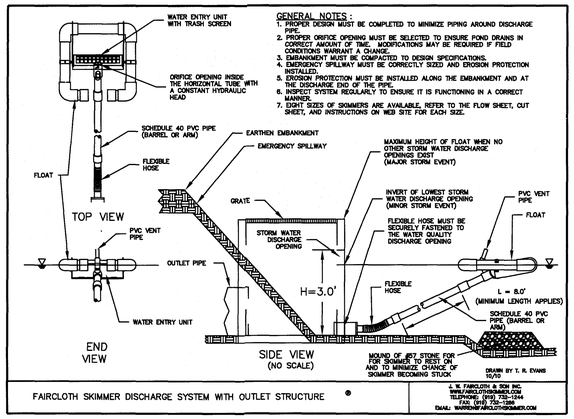
F.B. No.:

Sheet
D-1.2

CONTRACT No.
23-3917



FAIRCLOTH SKIMMER DISCHARGE SYSTEM WITH OUTLET STRUCTURE

GENERAL NOTES :

1. PROPER DESIGN MUST BE COMPLETED TO MINIMIZE PIPING AROUND DISCHARGE PIPE.
2. PROPER ORIFICE OPENING MUST BE SELECTED TO ENSURE POND DRAINS IN CORRECT AMOUNT OF TIME. MODIFICATIONS MAY BE REQUIRED IF FIELD CONDITIONS WARRANT A CHANGE.
3. EMBANKMENT MUST BE COMPACTED TO DESIGN SPECIFICATIONS.
4. EMERGENCY SPILLWAY MUST BE CORRECTLY SIZED AND EROSION PROTECTION INSTALLED.
5. EROSION PROTECTION MUST BE INSTALLED ALONG THE EMBANKMENT AND AT THE DISCHARGE END OF THE PIPE.
6. INSPECT SYSTEM REGULARLY TO ENSURE IT IS FUNCTIONING IN A CORRECT MANNER.
7. EIGHT SIZES OF SKIMMERS ARE AVAILABLE, REFER TO THE FLOW SHEET, CUT SHEET, AND INSTRUCTIONS ON WEB SITE FOR EACH SIZE.

SEDIMENT BASIN SIZING CALCULATION AREA

DEWATERING VOLUME

$1.64 \text{ AC.} \times \left(1800 \frac{FT^3}{AC}\right) = 2{,}952 \ FT^3$

SEDIMENT STORAGE

$3.19 \text{ AC.} \times \left(1000 \frac{FT^3}{AC}\right) = 3{,}190 \ FT^3$

TOTAL VOLUME (REQUIRED) = 6,142 FT^3

VOLUME BELOW T.O.B.(ACTUAL) = 8,359 FT^3

Calculate Skimmer Size

Basin Volume in Cubic Feet	6,142 Cu.Ft	**Skimmer Size**	**2.0**	Inch
Days to Drain*	2 Days	Orifice Radius	**0.9**	Inch[es]
		Orifice Diameter	**1.9**	Inch[es]

*In NC assume 3 days to drain

SWPPP Amendment Log

Project Name: STEVEN'S ENGINEERS & CONSTRUCTORS INC.
SWPPP Contact: Michael Switzer

Amendment No.	Description of the Amendment	Date of Amendment	Amendment Prepared by [Name(s) and Title]

Grading and Stabilization Activities Log

Project Name: STEVEN'S ENGINEERS & CONSTRUCTORS INC.
SWPPP Contact: Michael Switzer

Date Grading Activity Initiated	Description of Grading Activity	Date Grading Activity Ceased (Indicate Temporary or Permanent)	Date When Stabilization Measures are Initiated	Description of Stabilization Measure and Location

GENERAL EROSION AND SEDIMENT CONTROL NOTES:
EROSION CONTROL SHALL CONSIST OF TEMPORARY CONTROL MEASURES AS DETAILED ON THE PLANS OR ORDERED BY THE GOVERNING AGENCY DURING THE LIFE OF THE CONTRACT TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGH USE OF EROSION CONTROL BEST MANAGEMENT PRACTICES (BMP'S).

TEMPORARY EROSION AND SEDIMENT CONTROL ITEMS, THE LOCATION AND SIZE OF WHICH ARE DETAILED ON THE PLANS, SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CLEARING OR EARTHWORK OPERATIONS. CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT WERE NOT FORSEEN DURING DESIGN STAGE; THAT REQUIRE ADDITIONAL OR MODIFIED TEMPORARY OR PERMANENT BMP'S SHALL BE APPROVED BY THE DESIGN ENGINEER AND REFLECTED ON THE REVISED SWP3.

SEDIMENT PONDS, SEDIMENT TRAPS, AND PERIMETER SEDIMENT CONTROLS, SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN 7 DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL DISTURBED AREAS ARE RE-ESTABLISHED WITH TEMPORARY VEGETATION. NO SEDIMENT CONTROLS SHALL BE PLACED IN A STREAM.

TRENCH DEWATERING OR GROUND WATER, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO SUMP PIT, FILTER BAG OR EXISITING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATER SHALL NOT BE DISCHARGED TO STREAMS OR THE STORM SEWER SYSTEM.

THE SWP3, NOTES AND DETAILED DRAWINGS ARE INTENDED TO SERVE AS BASIC GUIDELINES. ALL EROSION CONTROL PRACTICES SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE ODNR RAINWATER AND LAND DEVELOPMENT MANUAL.

ADDITIONAL EROSION CONTROL BMP'S MAY BE MANDATED BY THE GOVERNING AGENCY AT ANY TIME DURING THIS PROJECT AS UNFORSEEN SITUATIONS MAY ARISE THAT WARRANT FURTHER EROSION AND SEDIMENT CONTROL PRACTICES.

CLEARING AND GRUBBING
LIMITS OF CLEARING AND GRADING SHALL BE CLEARLY MARKED ON THE SITE WITH SIGNAGE, FLAGGING AND/OR CONSTRUCTION FENCING.

THE CONTRACTOR SHALL LIMIT THE SURFACE AREA OF ERODABLE EARTH MATERIAL EXPOSED BY EXCAVATION, BORROW, AND FILL OPERATIONS AND PROVIDE IMMEDIATE PERMANENT OR TEMPORARY CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT STREAMS OR OTHER WATER COURSES, LAKES, PONDS, WETLANDS OR OTHER AREAS OF WATER IMPOUNDMENT.

CONSTRUCTION ENTRANCE
A STONED CONSTRUCTION ENTRANCE SHALL BE INSTALLED FOR ALL INGRESS & EGRESS TO THE SITE. THE MINIMUM DIMENSIONS OF THE DRIVE SHALL BE 20 FT. WIDE AND 70 FT. LONG. THE STONE SHALL BE 6 INCHES DEEP WITH AN UNDERLAIN GEOTEXTILE FABRIC. THE DRIVE SHALL BE INSTALLED PRIOR TO ANY CLEARING AND GRUBBING. SEDIMENTS SHALL BE REMOVED SHALL BE REMOVED FROM ROADWAYS DAILY.

STABILIZATION

PERMANENT AND TEMPORARY STABILIZATION ARE DEFINED IN PART VII OF THE OEPA AUTHORIZATION FOR FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM.
OHIO EPA PERMIT NO. OH000006 EFFECTIVE DATE 4/23/23 – EXPIRATION DATE 4/22/28
DISTURBED AREAS MUST BE STABILIZED AS SPECIFIED IN THE FOLLOWING TABLES BELOW:

TABLE 1: PERMANENT STABILIZATION

AREA REQUIRING PERMANENT STABILIZATION	*TIME FRAME TO APPLY EROSION CONTROL*
ANY AREA THAT WILL LIE DORMANT FOR ONE YEAR OR MORE	*WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE*
ANY AREA WITHIN 50 FT. OF A STREAM AND AT FINAL GRADE	*WITHIN TWO DAYS OF REACHING FINAL GRADE*
ANY OTHER AREAS AT FINAL GRADE	*WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREA*

TEMPORARY SEEDING
SEEDING AREAS SHALL BE INSPECTED AND WHERE THE SEED HAS NOT PRODUCED 80% COVER SHALL BE RESEEDED AS NECESSARY BY THE CONTRACTOR. AREAS SHALL BE STABILIZED WITH MULCH WHEN CONDITIONS PROHIBIT SEEDING.

STRAW MULCHING SHALL BE APPLIED AT A RATE 2–3 STANDARD 45 LB. BALES PER 1000 SQ.FT. OF DISTURBED AREA OR 2 TONS PER ACRE. ALL HYDROSEEDING MUST BE STRAW MULCHED ACCORDING TO THE ABOVE SPECIFICATIONS UNLESS IT IS WATERED WEEKLY.

ALL DETENTION PONDS, RETENTION PONDS, WATER QUALITY STRUCTURES, SEDIMENT PONDS, SEDIMENT TRAPS, EARTHEN DIVERSIONS OR EMBANKMENTS SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF COMPLETED CONSTRUCTION.

TABLE 2: TEMPORARY STABILIZATION

AREA REQUIRING TEMPORARY STABILIZATION	*TIME FRAME TO APPLY EROSION CONTROL*
ANY DISTURBED AREAS WITHIN 50 FT. OF A STREAM AND NOT AT FINAL GRADE	*WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS*
FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FT. OF STREAM	*WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA* *FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOT(S)*
DISTURBED AREAS THAT WILL BE IDLE OVER WINTER	*PRIOR TO ONSET OF WINTER WEATHER (NOV.1) STRAW MULCH 2 TO 3 BALES PER 1000 SQ.FT. AND OR 2 TONS PER ACRE.*

PERMANENT STABILIZATION OF CONVEYANCE CHANNELS
OPERATORS SHALL UNDERTAKE SPECIAL MEASURES TO STABILIZE CHANNELS AND OUTFALLS AND PREVENT EROSIVE FLOWS. MEASURES MAY INCLUDE SEEDING, DORMANT SEEDING (AS DEFINED IN THE LATEST EDITION OF ODNR RAINWATER AND LAND DEVELOPMENT MANUAL), MULCHING, EROSION CONTROL MATTING, SODDING, RIPRAP NATURAL CHANNEL DESIGN WITH BIO ENGINEERING TECHNIQUES OR ROCK CHECK DAMS.

TIMING
SEDIMENT CONTROL STRUCTURES SHALL BE FUNCTIONAL THROUGHOUT THE COURSE OF EARTH DISTURBING ACTIVITY. SEDIMENT BASINS AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED PRIOR TO GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE SLOPE DEVELOPMENT AREA IS PERMANENTLY RESTABILIZED. AS CONSTRUCTION PROGRESSES AND THE TOPOGRAPHY IS ALTERED, APPROPRIATE CONTROLS MUST BE CONSTRUCTED TO ADDRESS THE CHANGING DRAINAGE PATTERNS.

SILT FENCE & DIVERSIONS
SHEET FLOW RUNOFF FROM DENUDED AREAS SHALL BE INTERCEPTED BY SILT FENCE OR DIVERSIONS TO PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SEDIMENT TRANSPORTED VIA SHEET FLOW. WHERE INTENDED TO PROVIDE SEDIMENT CONTROL, SILT FENCES SHALL BE PLACED ON A LEVEL CONTOUR. THE EPA PERMIT No. OHC000002 DOES NOT PRECLUDE THE USE OF OTHER SEDIMENT BARRIERS DESIGNED TO CONTROL SHEET FLOW RUNOFF. SILT FENCE IS NOT PERMITTED TO BE USED FOR CONTROLLING CONCENTRATED SURFACEWATER FLOW (ONLY SHEET FLOW).

STORMWATER DIVERSION PRACTICES SHALL BE USED TO KEEP RUNOFF AWAY FROM DISTURBED AREAS AND STEEP SLOPES WHERE PRACTICALE. SUCH DEVICES, WHICH INCLUDE SWALES, DIKES OR BERMS, MAY RECEIVE FROM AREAS UP TO 10 ACRES.

INLET PROTECTION
OTHER EROSION AND SEDIMENT CONTROL PRACTICES SHALL MINIMIZE SEDIMENT LADEN WATER ENTERING ACTIVE STORM DRAIN SYSTEMS, UNLESS THE STORM DRAIN SYSTEM DRAINS TO A SEDIMENT POND. INLET PROTECTION IS MANDATORY WHERE SEDIMENT SETTLING PONDS WILL NOT BE IMPLEMENTED.

NON–SEDIMENT POLLUTANTS CONTROLS
NO SOLID (OTHER THAN SEDIMENT) OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORMWATER RUNOFF. ALL NECESSARY BMP'S MUST BE IMPLEMENTED TO PREVENT THE DISCHARGE OF NON–SEDIMENT POLLUTANTS TO THE DRAINAGE SYSTEM OF THE SITE OR SURFACE WATERS OF THE STATE. UNDER NO CIRCUMSTANCE SHALL CONCRETE TRUCKS WASH OUT DIRECTLY INTO A DRAINAGE CHANNEL, STORM SEWER OR SURFACE WATERS OF THE STATE. NO EXPOSURE OF STORMWATER TO WASTE MATERIALS IS RECOMMENDED.

OFF–SITE TRAFFIC
OFF–SITE VEHICLE TRACKING OF SEDIMENTS AND DUST GENERATION SHALL BE MINIMIZED.

TRENCH AND GROUND WATER CONTROL
THERE SHALL BE NO TURBID DISCHARGES TO SURFACE WATERS OF THE STATE RESULTING FROM DEWATERING ACTIVITIES. IF TRENCH OR GROUND WATERS CONTAIN SEDIMENT, IT MUST PASS THROUGH A SEDIMENT SETTLING POND OR OTHER EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE, PRIOR TO BEING DISCHARGED FROM THE CONSTRUCTION SITE. ALTERNATIVELY, SEDIMENT MAY BE REMOVED BY SETTLING IN PLACE OR DEWATERING INTO INTO A SUMP PIT, FILTER BAG OR COMPARABLE PRACTICE. GROUND WATER DEWATERING WHICH DOES NOT CONTAIN SEDIMENT OR OTHER POLLUTANTS ARE NOT REQUIRED TO BE TREATED PRIOR TO DISCHARGE, HOWEVER, CARE MUST BE TAKEN WHEN DISCHARGING GROUND WATER TO ENSURE THAT IT DOES NOT BECOME POLLUTANT–LADEN BY TRAVERSING OVER DISTURBED SOILS OR OTHER POLLUTANT SOURCES.

MAINTENANCE
ALL TEMPORARY AND PERMANENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ENSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED IN A FUNCTIONAL CONDITION UNTIL ALL UP SLOPE AREAS THEY CONTROL ARE PERMANENTLY STABILIZED. THE CONTRACTOR SHALL COMPLY WITH THE MAINTENANCE SCHEDULE INCLUDED IN THE APPROVED PLANS FOR THE PROPOSED EROSION CONTROLS. A WRITTEN DOCUMENT CONTAINING THE SIGNATURES OF ALL CONTRACTORS AND SUB–CONTRACTORS INVOLVED IN THE IMPLEMENTATION OF THE BMPS MUST BE MAINTAINED AS PROOF ACKNOWLEDGING THAT THEY REVIEWED AND UNDERSTAND THE CONDITIONS AND RESPONSIBILITIES OF THE SWP3.

INSPECTION
ALL STORMWATER CONTROLS ON THE SITE ARE INSPECTED AT LEAST ONCE EVERY SEVEN CALANDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN ONE–HALF INCH OF RAIN PER 24 HOUR PERIOD. A WRITTEN RECORD DOCUMENTATING THE RESULTS OF THESE INSPECTIONS MUST BE CREATED AND MAINTAINED WITH THE SWP3. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE SWP3 SHALL BE OBSERVED TO ENSURE THAT THOSE ARE OPERATING CORRECTLY. DISCHARGE LOCATIONS SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION AND SEDIMENT CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO THE RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF–SITE VEHICLE TRACKING.

I. WHEN PRACTICES REQUIRE REPAIR OR MAINTENANCE.
IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE IS IN NEED OF REPAIR OR MAINTENANCE, WITH EXCEPTION OF A SEDIMENT SETTLING POND, IT MUST BE REPAIRED OR MAINTAINED WITHIN THREE DAYS OF INSPECTION. SEDIMENT SETTLING PONDS MUST BE REPAIRED OR MAINTAINED WITHIN 10 DAYS OF THE INSPECTION.

II. WHEN PRACTICES FAIL TO PROVIDE THEIR INTENDED FUNCTION.
IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE FAILS TO PERFORM ITS INTENDED FUNCTION AND THAT ANOTHER, MORE APPROPRIATE CONTROL PRACTICE IS REQUIRED, THE SWP3, MUST BE AMENDED AND THE NEW CONTROL PRACTICE MUST BE INSTALLED WITHIN 10 DAYS OF INSPECTION.

III. WHEN PRACTICES DEPICTED ON THE SWP3 ARE NOT INSTALLED.
IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE HAS NOT BEEN IMPLEMENTED IN ACCORDANCE WITH THE SWP3. THE SWP3 MUST BE AMENDED AND THE NEW CONTROL PRACTICE MUST BE INSTALLED WITHIN 10 DAYS OF THE INSPECTION. IF THE INSPECTION REVEALS THAT THE PLANNED CONTROL PRACTICE IS NOT NEEDED, THE RECORD MUST CONTAIN A STATEMENT OF EXPLANATION AS TO WHY THE CONTROL PRACTICE IS NOT NEEDED.

WASTE DISPOSAL
CONTAINERS (e.g., DUMPSTERS, DRUMS) SHALL BE AVAILABLE FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES. ALL CONTAINERS MUST BE COVERED AND LEAK–PROOF. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THE PERTINENT MATERIAL.

CLEAN HARD FILL
BRICKS, HARDENING CONCRETE, AND SOIL WASTE SHALL BE FREE FROM CONTAMINATION WHICH MAY LEACH CONSTITUENTS TO WATERS OF THE STATE.

CLEAN CONSTRUCTION WASTES THAT WILL BE DISPOSED INTO THE PROPERTY, SHALL BE SUBJECT TO ANY LOCAL PROHIBITIONS FROM THIS TYPE OF DISPOSAL.

CONSTRUCTION & DEMOLITION DEBRIS
ALL CONSTRUCTION & DEMOLITION DEBRIS (C&DD) WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY OHIO REVISED CODE (ORC) 3714.
CONSTRUCTION DEBRIS MAY BE DISPOSED OF ON–SITE, BUT DEMOLITION DEBRIS MUST BE DISPOSED IN A OHIO EPA APPROVED LANDFILL. ALSO, MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS (SEE OHIO ADMINISTRATIVE CODE (OAC) 3745–20).

CONSTRUCTION CHEMICAL COMPOUNDS
AREA SHALL BE DESIGNATED FOR MIXING OR STORAGE OF COMPOUNDS SUCH AS FERTILIZERS, LIME ASPHALT, OR CONCRETE. THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.

EQUIPMENT FUELING & MAINTENANCE
EQUIPMENT FUELING & MAINTENANCE SHALL BE IN DESIGNATED AREAS ONLY. FUEL TANKS TO HAVE SECONDARY CONTAINMENT & A SPILL KIT ATTACHED. THE CONSTRUCTION TEAM WILL NEED TO BE TRAINED ON HOW TO USE THE SPILL KIT.

A SPILL PREVENTION CONTROL AND COUNTERMEASURES
A SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN MUST BE DEVELOPED FOR SITES WITH ONE ABOVE–GROUND STORAGE TANK OF 660 GALLONS OR MORE, TOTAL ABOVE–GROUND STORAGE OF 1,330 GALLONS, OR BELOW–GROUND STORAGE OF 4,200 GALLONS OF FUEL.

CONCRETE WASH WATER
ALL DESIGNATED CONCRETE WASHOUT AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREAS.

CONTAMINATED SOILS
ALL CONTAMINATED SOIL MUST BE TREATED AND/OR DISPOSED IN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITIES OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES (TSDFs).

SPILL REPORTING REQUIREMENTS
THE CONTRACTOR SHALL CONTACT THE OHIO EPA AT 800–282–9378, THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE IN THE EVENT OF A PETROLEUM SPILL (>25 GALLONS) OR THE PRESENCE OF SHEEN.

OPEN BURNING
OPEN BURNING IS NOT PERMITTED.

DUST CONTROLS/SUPPRESSANTS
USED OIL MAY NOT BE USED AS A DUST SUPPRESSANT. NO DUST SUPPRESSANT SHALL BE APPLIED NEAR CATCH BASINS, STORM SEWERS OR OTHER DRAINAGE WAYS.

STREAM CROSSNGS
STREAM CROSSINGS SHALL BE CONSTRUCTED ENTIRELY OF STONE, ROCK, OR CLEAN RECYCLED CONCRETE. SOIL OR EARTHEN MATERIAL MAY NOT BE USED. A 20 FT. STONE APRON ON EITHER SIDE OF THE STREAM SHALL BE CONSTRUCTED TO PREVENT LOCALIZED SEDIMENTATION. ALL DISTURBED AREAS OF THE BANK WITHIN 50 FT. OF THE STREAM SHALL BE STABILIZED WITH SEED AND MULCH WITHIN 2 DAYS OF THE DISTURBANCE.

PERMITS
THIS SITE IS COVERED UNDER OHIO EPA CONSTRUCTION GENERAL PERMIT # 3GC14740*AG

Revisions:
1 CSWCD 1/8/24
2
3
4
5
6
7

STEVENS ENGINEERS & CONSTRUCTORS, INC.
P.P.N. 483–26–005
14470 YORK RD.
NORTH ROYALTON – CUYAHOGA COUNTY – OHIO

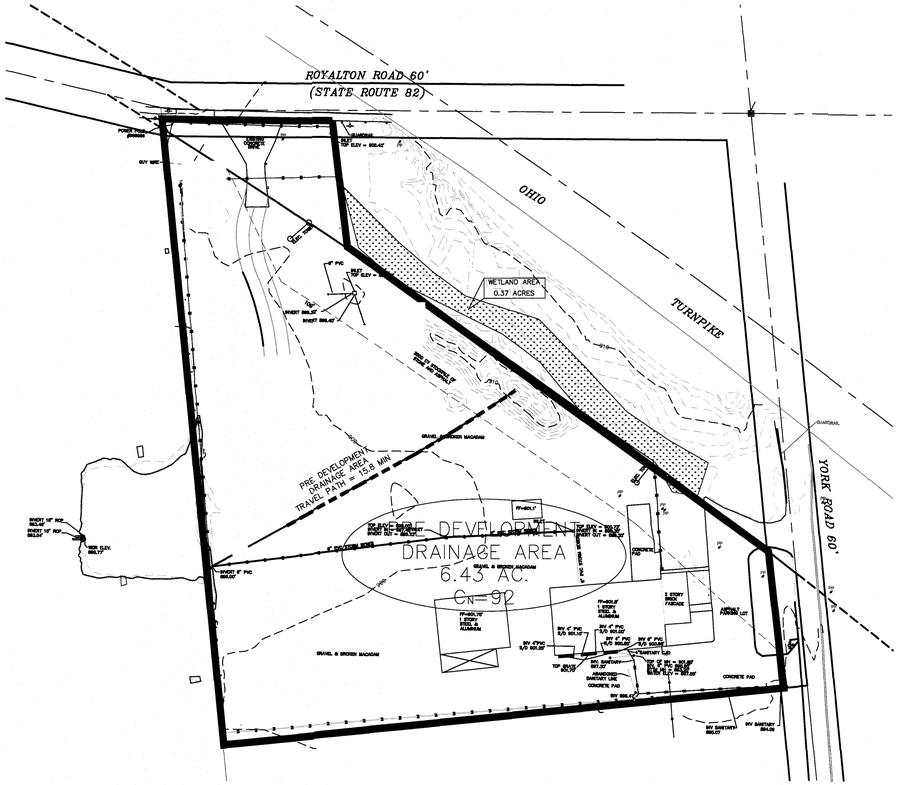
GUTOSKEY & ASSOCIATES INC.
Civil Engineers, Surveyors and Land Planners
10135 GOTTSCHALK PKWY, SUITE 4 Tel (440) 543–6900
CHAGRIN FALLS, OHIO 44023 JOB@GUTOSKEY@GUTOSKEY.COM

NOTES & DETAILS

Date: NOV. 2023
Scale: Hor. 1"=50'
Vert.
Filename:
Checked By:
F.B. No.:

Sheet
D–1.3

CONTRACT No.
23–3917



PRE DEVELOPMENT DRAINAGE AREA MAP

Worksheet 2: Runoff curve number and runoff

Project	By	Date
STEVENS	GWA	
Location	Checked	Date
YORK ROAD		

Check one: ☒ Present ☐ Developed AREA = 6.43 AC.

1. Runoff curve number

Soil name and hydrologic group (appendix A)	Cover description (cover type, treatment, and hydrologic condition; percent impervious; unconnected/connected impervious area ratio)	CN [1] Table 2-2	Figure 2-3	Figure 2-4	Area ☒ acres ☐ mi² ☐ %	Product of CN x area
URBAN LAND HYDRO-D	IMPERVIOUS	98			1.01	98.98
D	GRAVEL	91			5.18	471.38
D	OPEN SPACE (GOOD)	86			0.24	19.20
					Totals ➡ 6.43	589.56

[1] Use only one CN source per line

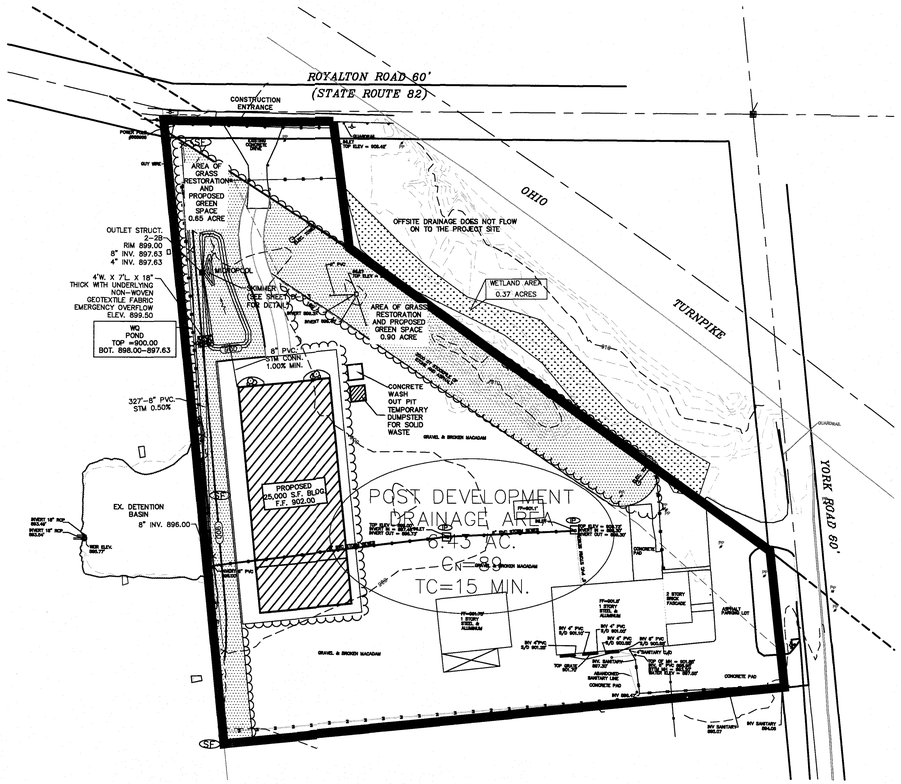
CN (weighted) = $\frac{\text{total product}}{\text{total area}} = \frac{589.56}{6.43} = 91.6$; Use CN ➡ 92

2. Runoff

		Storm #1	Storm #2	Storm #3
Frequency	yr			
Rainfall, P (24-hour)	in			
Runoff, Q	in			

(Use P and CN with table 2-1, figure 2-1, or equations 2-3 and 2-4)

D-2 (210-VI-TR-55, Second Ed., June 1986)



POST DEVELOPMENT DRAINAGE AREA MAP

Worksheet 2: Runoff curve number and runoff

Project	By	Date
STEVENS	GWA	
Location	Checked	Date
14470 STEVENS RD		

Check one: ☐ Present ☒ Developed AREA = 6.43 AC

1. Runoff curve number

Soil name and hydrologic group (appendix A)	Cover description (cover type, treatment, and hydrologic condition; percent impervious; unconnected/connected impervious area ratio)	CN [1] Table 2-2	Figure 2-3	Figure 2-4	Area ☒ acres ☐ mi² ☐ %	Product of CN x area
	IMPERVIOUS	98			2.12	207.76
	GRAVEL	91			1.83	166.53
	OPEN SPACE (GOOD)	80			2.48	198.4
					Totals ➡ 6.43	572.69

[1] Use only one CN source per line

CN (weighted) = $\frac{\text{total product}}{\text{total area}} = \frac{572.69}{6.43} = 89$; Use CN ➡ 89

2. Runoff

		Storm #1	Storm #2	Storm #3
Frequency	yr			
Rainfall, P (24-hour)	in			
Runoff, Q	in			

(Use P and CN with table 2-1, figure 2-1, or equations 2-3 and 2-4)

D-2 (210-VI-TR-55, Second Ed., June 1986)

Gutoskey & Associates Inc.
Civil Engineers, Surveyors & Land Planners
17078 Munn Road, Suite 3
Chagrin Falls, Ohio 44023
Tel (440) 543-6900
Fax (440) 543-7176

Project Name: STEVENS **Date:** 11/11/23

Post-Construction Water Quality Design

Drainage Area and Runoff Information

Type of Land Use	Drainage Area (Ac.)	RV=0.5+0.9(i)	Water Quality Volume (C.F.)
COMMERCIAL(0.53 acres impervious)	1.64	0.66	3,531 C.F.
Total Drainage Area =	1.64		**3,531 C.F.**

Water Quality Volume is determined using $WQ_v = RV \times 0.9 \times A/12$

Detention Pond Information

	Elevation	Area, S.F.	Volume	Volume Sum (C.F.)
BOTTOM	897.63	25	0	0
	898.00	3,143	584	584
	899.00	3,861	3,502	4,086
TB	900.00	4,685	0	8,359
			#N/A	#N/A
			#N/A	#N/A
			#N/A	#N/A
			#N/A	#N/A
			#N/A	#N/A
			#N/A	#N/A
			#N/A	#N/A
			#N/A	#N/A
			#N/A	#N/A
			#N/A	#N/A
			#N/A	#N/A
			#N/A	#N/A
			#N/A	#N/A
			#N/A	#N/A

Water Quality Specifications

Type of Pond: DETENTION
Required Drawdown Time, hrs.: 48

Water Quality Volume:	3,531	C.F.
48 hr. Drawdown Volume:	3,531	C.F.
Normal Water Elevation:	897.63	
Surface Area at Normal Water Elevation:	25	S.F.
Water Quality Elevation:	898.90	
Surface Area at Water Quality Elevation:	3,789	S.F.
Volume at Water Quality Elevation:	3,703	C.F
Allowable Water Quality Discharge Rate:	0.02	C.F.S.
Diameter of Water Quality Orifice:	1	inches at ELEV **897.63**

GRAPHIC SCALE
80 0 40 80 160 320
(IN FEET)
1 inch = 80 ft.

Revisions:
1
2
3
4
5
6
7

STEVENS ENGINEERS & CONSTRUCTORS, INC.
P.P.N. 483-26-005
14470 YORK RD.
NORTH ROYALTON - CUYAHOGA COUNTY - OHIO

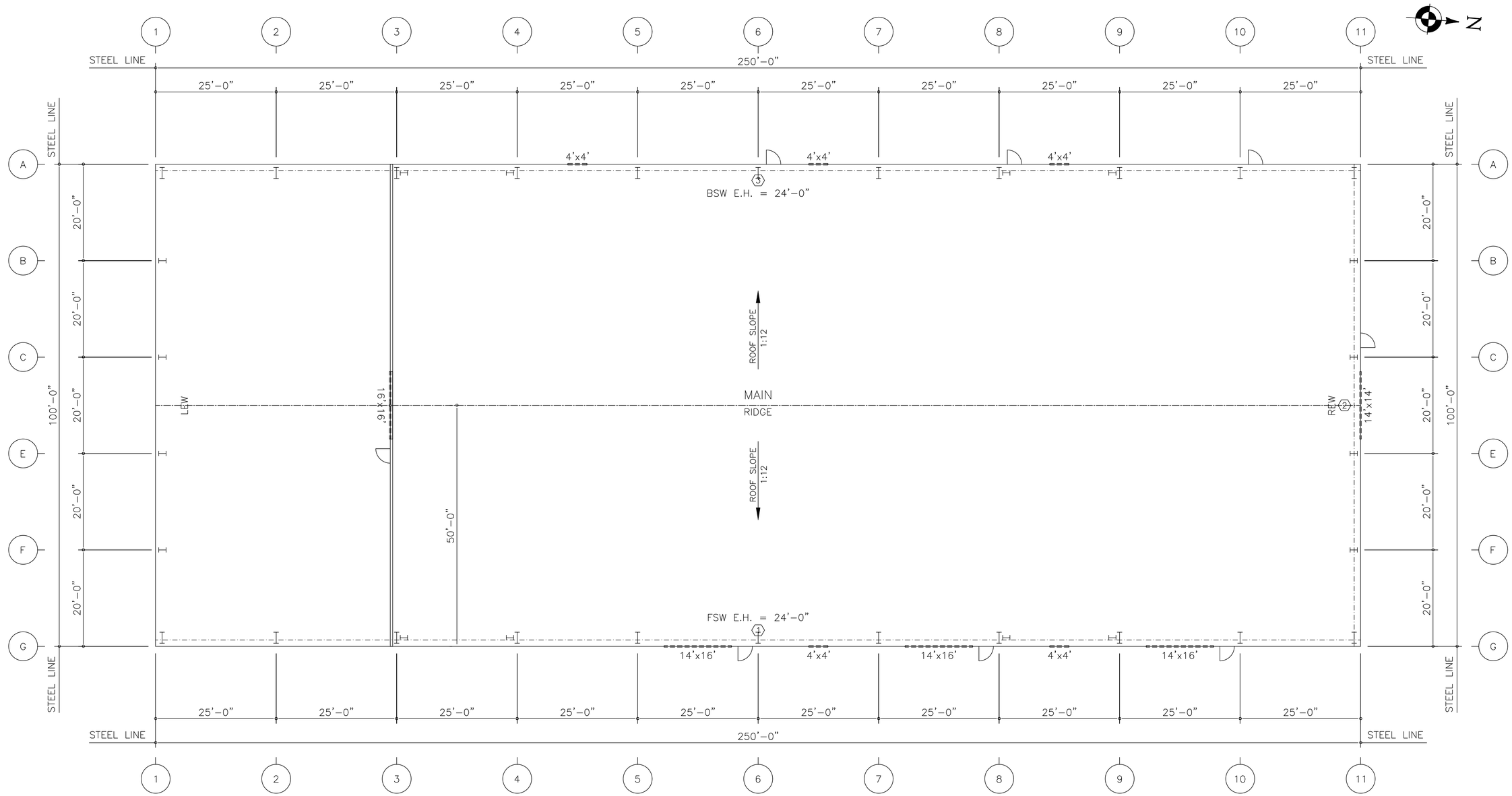
GUTOSKEY & ASSOCIATES INC.
Civil Engineers, Surveyors and Land Planners
10135 GOTTSCHALK PKWY. SUITE 4 Tel (440) 543-6900
CHAGRIN FALLS, OHIO 44023 JOE@GUTOSKEY@GUTOSKEY.COM

DRAINAGE DESIGN NOTES & DETAILS

Date: NOV. 2023
Scale: Hor. 1"=80'
Vert.
Filename:
Checked By:
F.B. No.:

Sheet
D-1.4

CONTRACT No.
23-3917



FLOOR PLAN
SCALE : 1"=10'-0"
WAREHOUSE SPACE: 25,000 SQ.FT.

REVISIONS			
REV.	DATE	DESCRIPTION	BY

CDMG
Part of the Stevens Family of Companies
EXPERIENCE. COMMITMENT. QUALITY.

Southpointe Industrial Park
150 Technology Drive
Canonsburg, Pennsylvania 15317

CLIENT NO.	CDMG NO.
STEVENS E&C	122135-01

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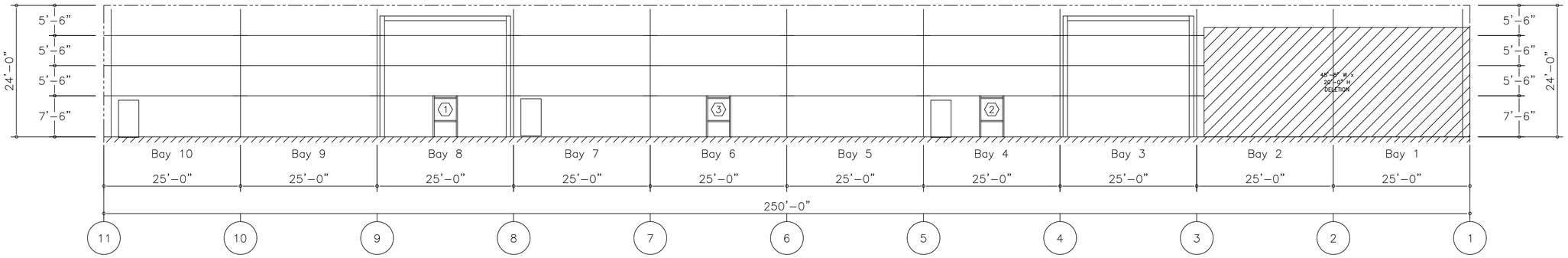
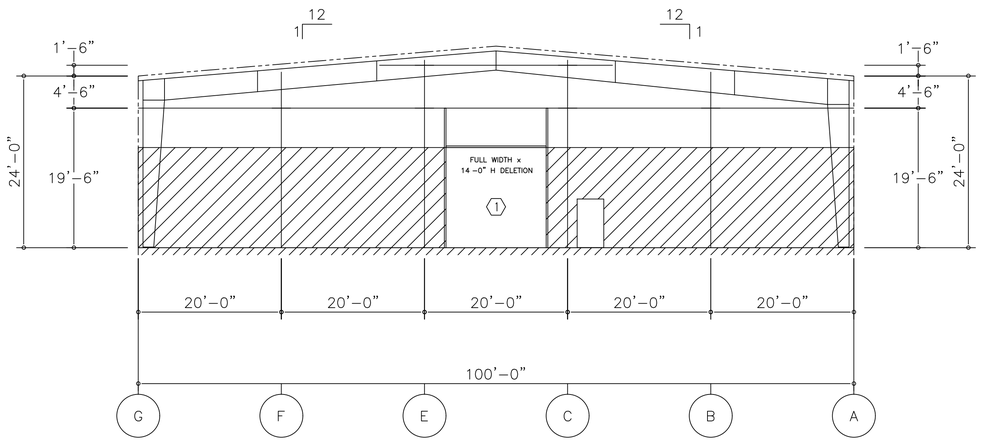
STEVENS NORTH ROYALTON
PROPOSED BUILDING
PLAN VIEW

DRAWN MHF	DATE 1/30/2024	SCALE	DRAWING NO.	REV.
CHECKED	DATE	1"=10'-0"	C400	0
APPROVED	DATE			



WEST ELEVATION
SCALE : 1"=10'-0



NORTH ELEVATION
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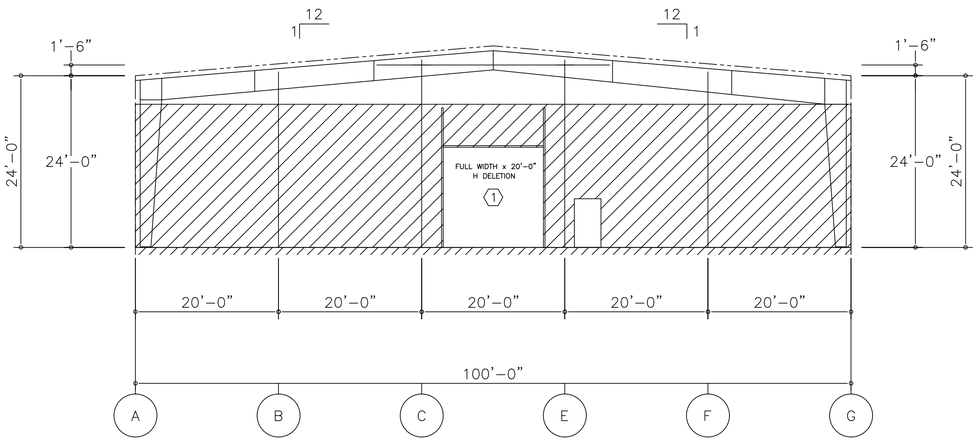

SOUTH ELEVATION
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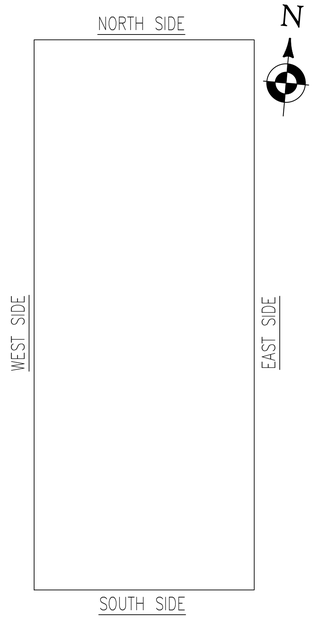

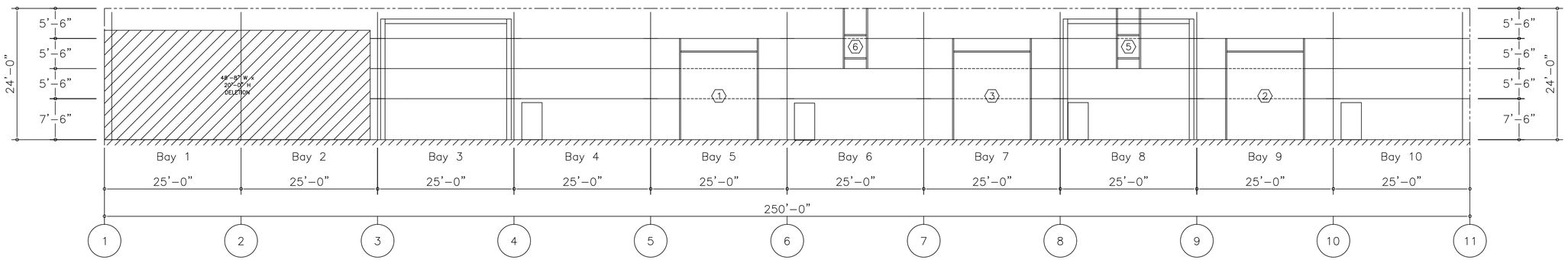

EAST ELEVATION
SCALE : 1"=10'-0

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150 Technology Drive
Canonsburg, Pennsylvania 15317

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STEVENS NORTH ROYALTON
PROPOSED BUILDING
SECTION VIEW

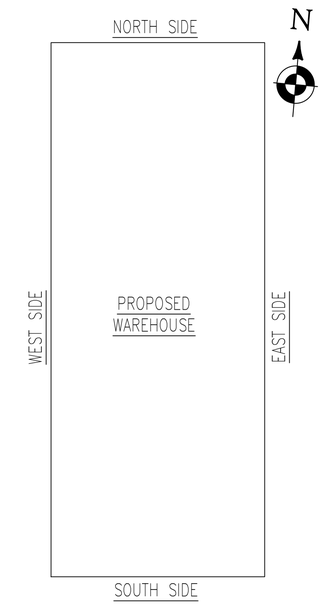
DRAWN MHF	DATE 1/30/2024	SCALE	DRAWING NO.	REV.
CHECKED	DATE	1"=10'-0"	C401	0
APPROVED	DATE			

NORTH-EAST VIEW

SOUTH-EAST VIEW

NORTH-WEST VIEW

SOUTH-WEST VIEW



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STEVENS NORTH ROYALTON
PROPOSED BUILDING
RENDERINGS

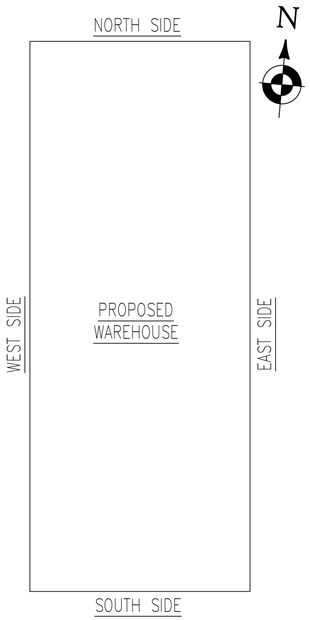
DRAWN MHF	DATE 1/30/2024	SCALE	DRAWING NO.	REV.
CHECKED	DATE	NA	C402	1
APPROVED	DATE			

NORTH-EAST VIEW

SOUTH-EAST VIEW

NORTH-WEST VIEW

SOUTH-WEST VIEW



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Southpointe Industrial Park
150 Technology Drive
Canonsburg, Pennsylvania 15317

CLIENT NO. STEVENS E&C
CDMG NO. 122135-01

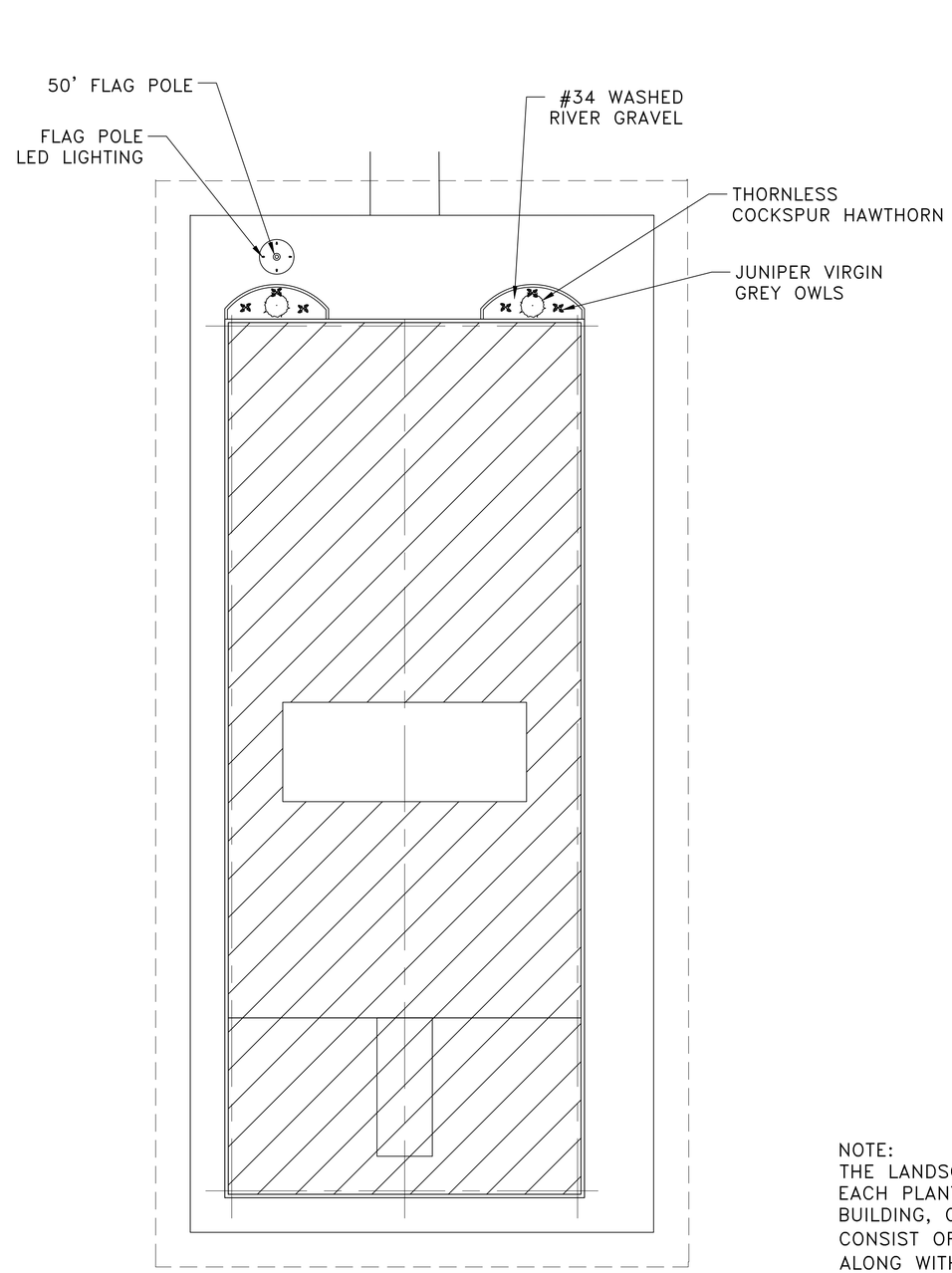
STEVENS NORTH ROYALTON
PROPOSED BUILDING
NIGHT RENDERINGS

DRAWN MHF	DATE 1/30/2024	SCALE	DRAWING NO.	REV.
CHECKED	DATE	NA	C403	1
APPROVED	DATE			

#34 WASHED RIVER GRAVEL

JUNIPER VIRGIN GREY OWLS

THORNLESS COCKSPUR HAWTHORN



PROPOSED LANDSCAPING SITE PLAN

NOTE:
THE LANDSCAPING IS SUGGESTING A DUPLICATE DESIGN IN EACH PLANTER LOCATED ON THE NORTH SIDE OF THE BUILDING, CLOSEST TO ROYALTON ROAD. THE LANDSCAPING CONSIST OF ONE (1) THORNLESS COCKSPUR HAWTHORN ALONG WITH THREE (3) JUNIPER VIRGIN GREY OWLS IN EACH PLANTER. EACH PLANTER WILL BE FINISHED WITH A #34 RIVER WASH GRAVEL ON TOP.

REVISIONS

REV.	DATE	DESCRIPTION	BY

CDMG
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150 Technology Drive
Canonsburg, Pennsylvania 15317

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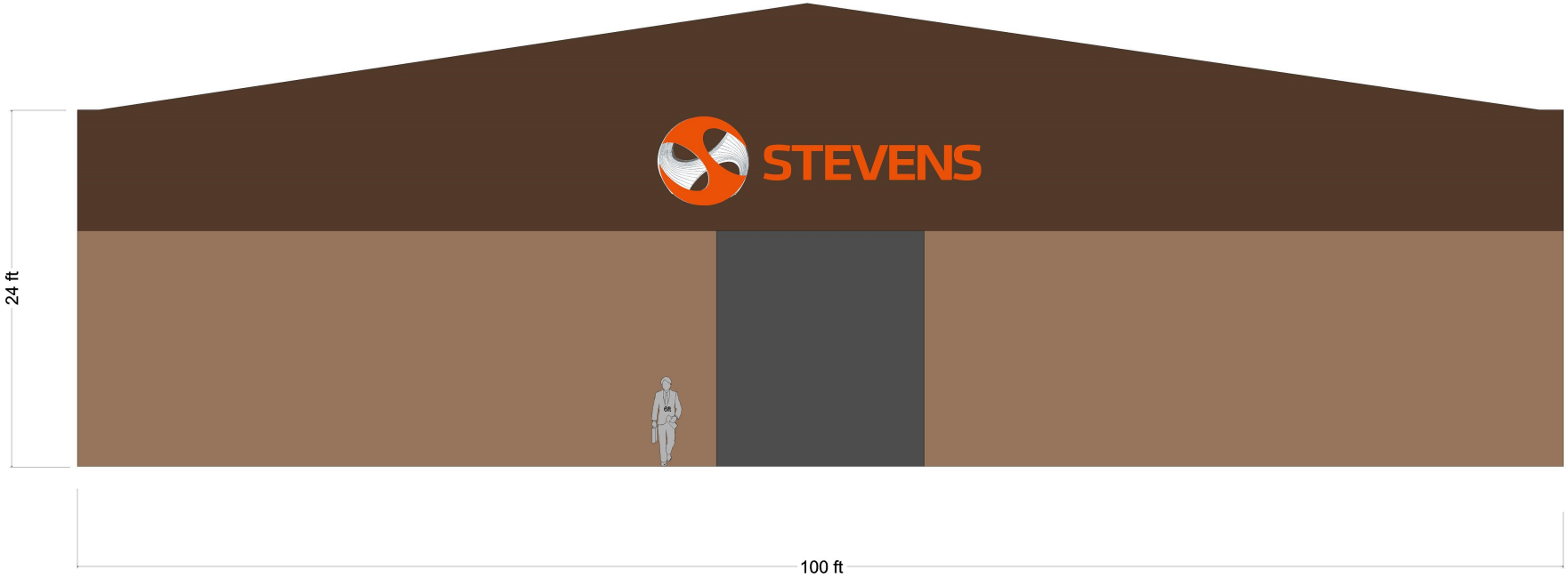
STEVENS NORTH ROYALTON
LANDSCAPING SITE PLAN AND DETAILS

DRAWN MHF	DATE 2/28/2024	SCALE	DRAWING NO.	REV.
CHECKED	DATE	1" = 20'-0"	C201	1
APPROVED	DATE			



Please verify artwork, spelling, and grammar are correct. Once approved, artwork is final and will be printed as such.

Cleveland, OH
Signarama
Sign & Graphics Company
18200 South Miles Rd
Cleveland, OH 44128
440-442-5002
www.SignaramaOH.com

CLIENT:	FILE NAME:	SIGNATURE:
CDMG	Stevens.fs	
	PROOF DATE: 5/3/2023	
	PROOF TIME: 11:00:06 PM	X _____

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Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	12	KT-WPLED100-M2-840-VDIM	Single	12953.6	0.900	Full Cut off Wall Pack 100w 4000k

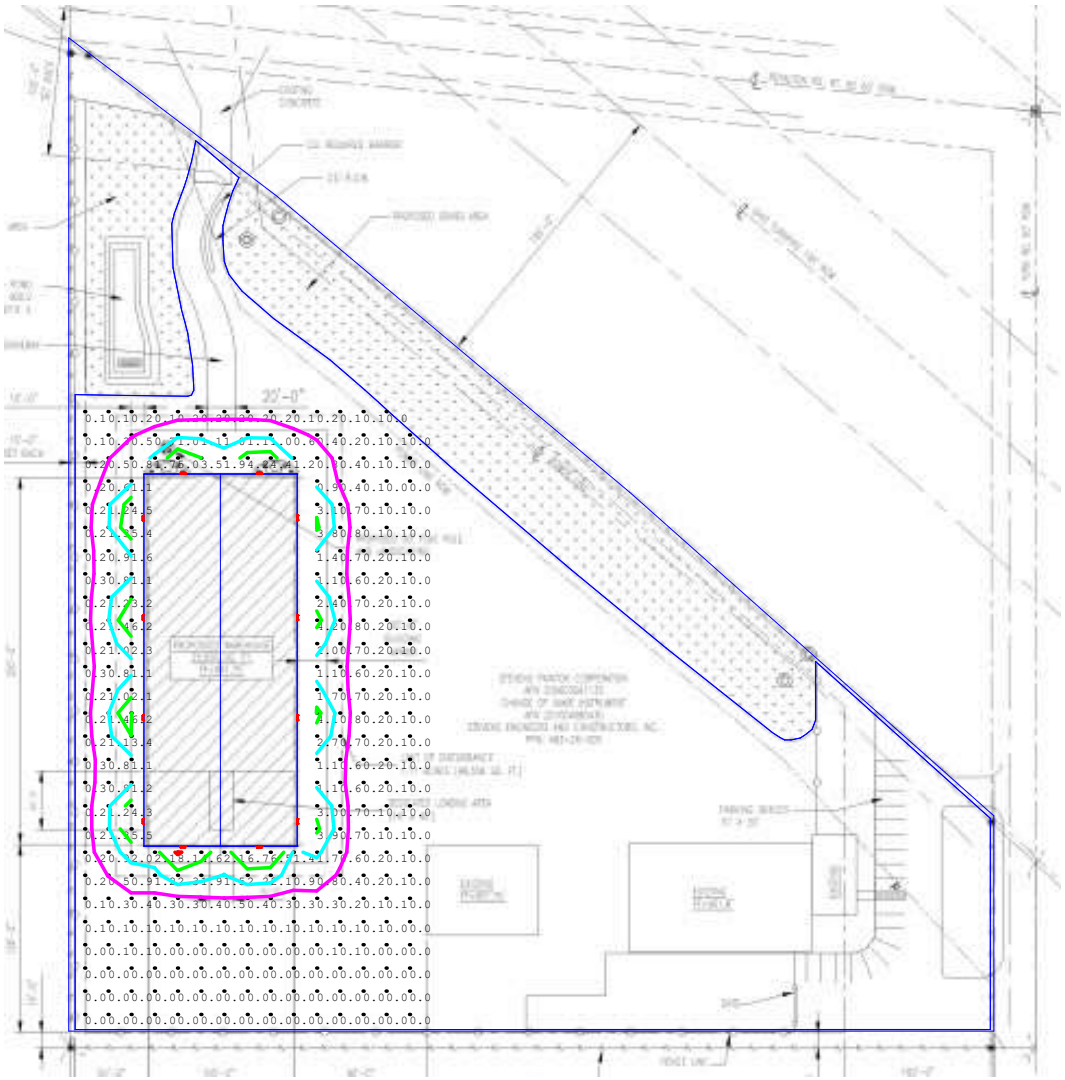
Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Workplane Height
CalcPts_1	Illuminance	Fc	0.74	8.1	0.0	N.A.	N.A.	0.25

Luminaire Location Summary						
LumNo	Label	X	Y	Mount Height	Orient	Tilt
1	KT-WPLED100-M2-840-VDIM	64.659	442.565	20	180	0
2	KT-WPLED100-M2-840-VDIM	64.659	356.826	20	180	0
3	KT-WPLED100-M2-840-VDIM	64.659	270.56	20	180	0
4	KT-WPLED100-M2-840-VDIM	64.659	181.154	20	180	0
5	KT-WPLED100-M2-840-VDIM	98.464	480.848	20	90	0
6	KT-WPLED100-M2-840-VDIM	164.507	480.848	20	90	0
7	KT-WPLED100-M2-840-VDIM	196.969	442.923	20	0	0
8	KT-WPLED100-M2-840-VDIM	196.969	356.726	20	0	0
9	KT-WPLED100-M2-840-VDIM	196.969	270.529	20	0	0
10	KT-WPLED100-M2-840-VDIM	196.969	181.04	20	0	0
11	KT-WPLED100-M2-840-VDIM	164.283	159.331	20	270	0
12	KT-WPLED100-M2-840-VDIM	98.26	159.565	20	270	0

Stevens Storage
KT-WPLED100-M2
MH- 20'

Keystone Technologies Lighting Layout
2750 Morris Road
Lansdale, PA 19446
Phone 1-800-464-2680
Email: LightingLayouts@keystonetech.com

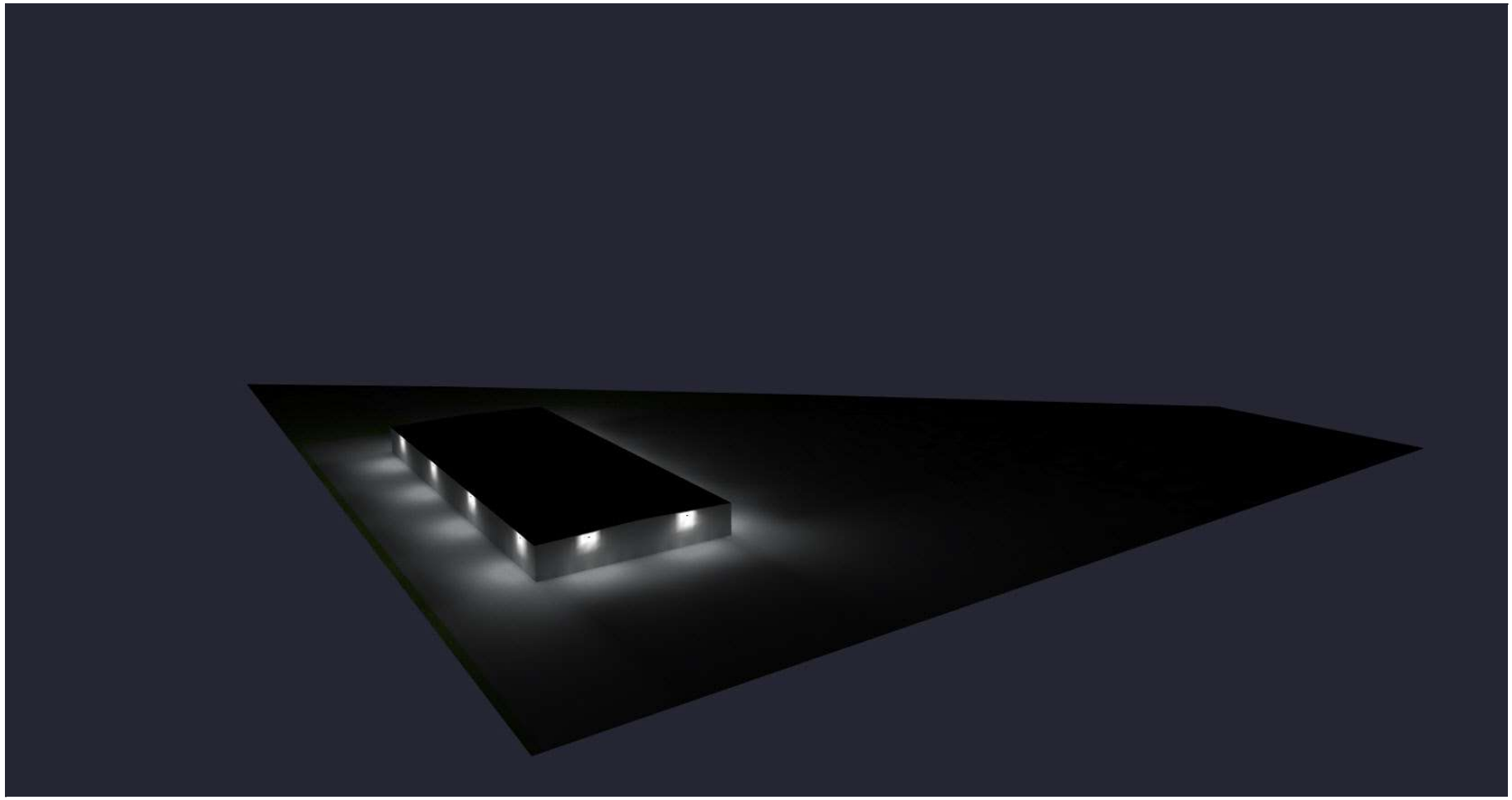
Date:2/16/2024



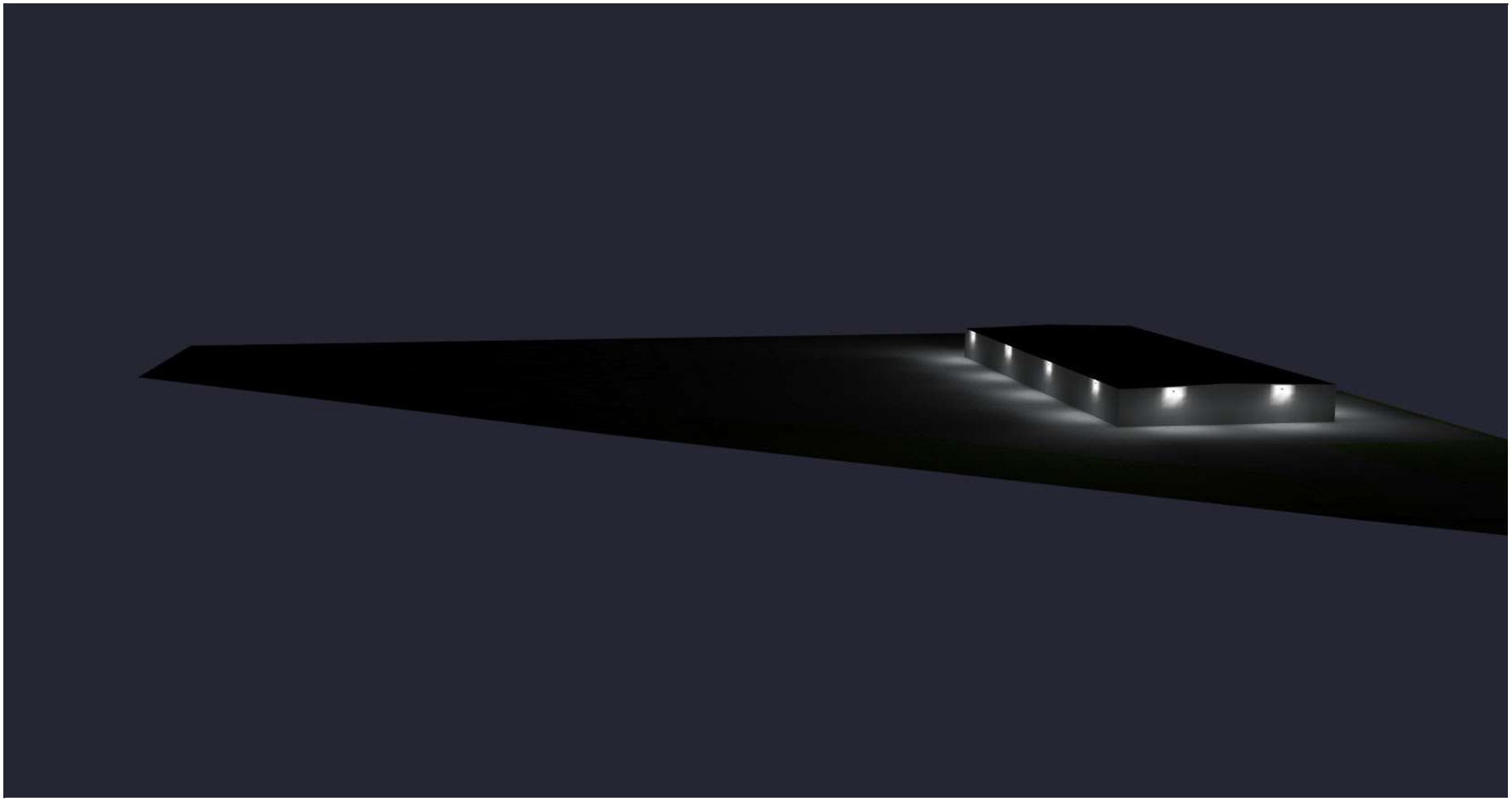
View of point by point

Stevens Storage KT-WPLED100-M2 Red = 8+ FC's Green = 4 FC Blue = 2 FC Violet = 1 FC	Keystone Technologies Lighting Layout 2750 Morris Road Lansdale, PA 19446 Phone 1-800-464-2680 Email: LightingLayouts@keystonetech.com

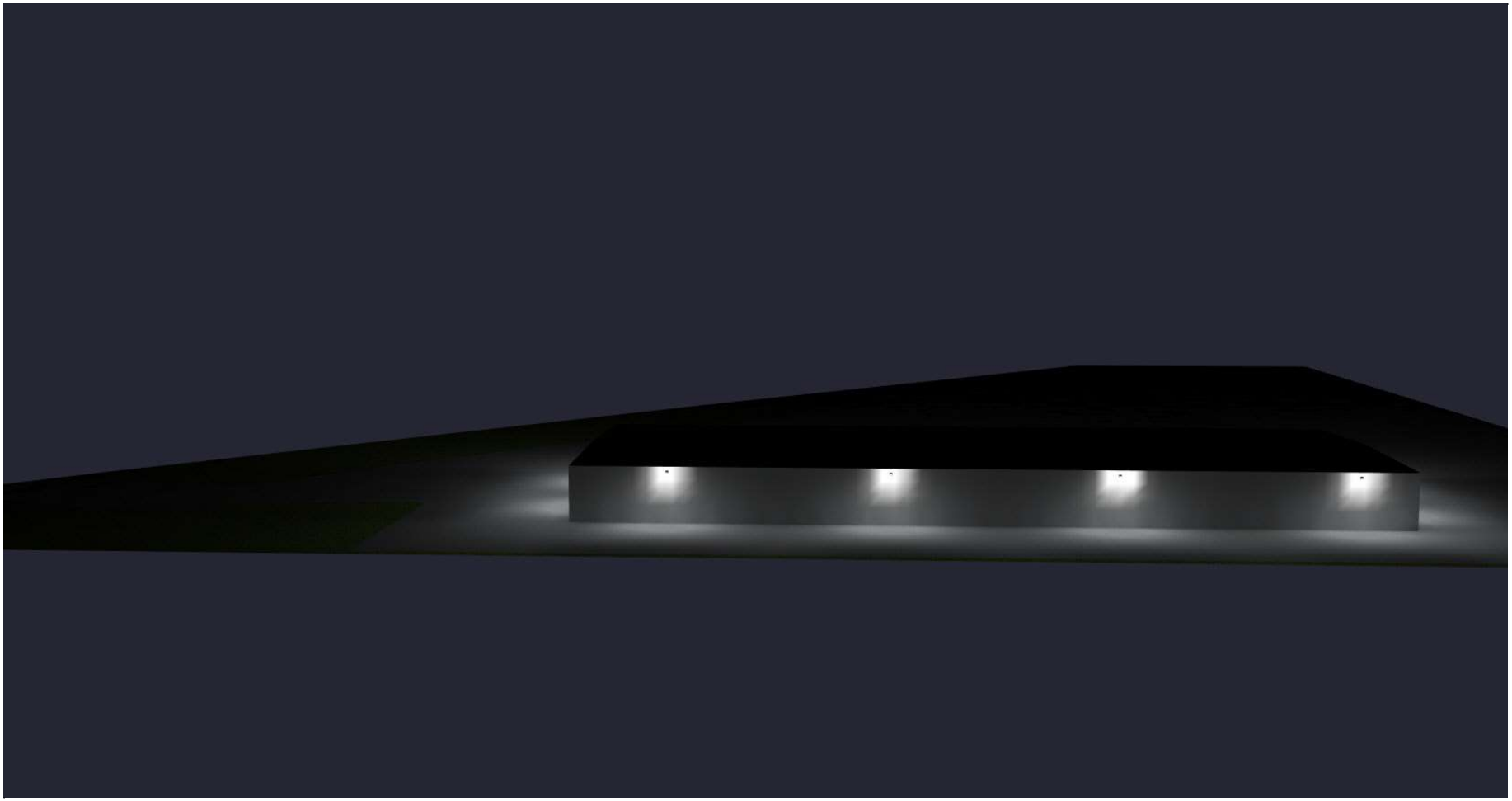
Date:2/16/2024



Stevens Storage KT-WPLED100-M2 MH- 20'	Keystone Technologies Lighting Layout 2750 Morris Road Lansdale, PA 19446 Phone 1-800-464-2680 Email: LightingLayouts@keystonetech.com



Stevens Storage KT-WPLED100-M2 MH- 20'	Keystone Technologies Lighting Layout 2750 Morris Road Lansdale, PA 19446 Phone 1-800-464-2680 Email: LightingLayouts@keystonetech.com



Stevens Storage KT-WPLED100-M2 MH- 20'	Keystone Technologies Lighting Layout 2750 Morris Road Lansdale, PA 19446 Phone 1-800-464-2680 Email: LightingLayouts@keystonetech.com

Thank you for allowing Keystone Technologies the opportunity to create and provide this Lighting Layout report.

Illumination results shown on this lighting design are based on project parametrics provided to Keystone used in conjunction with luminaire photometric testing conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results, such as (but not limited to) windows, furnishings, floor/ceiling/wall surface texture reflectivity, site cleanliness, and lighting component tolerances. Illumination results shown have not been field verified by Keystone and therefore the actual measured results may vary from actual field conditions.

The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code. In no event will Keystone Technologies be held responsible for any loss resulting from any use of this lighting design.

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