

Village of Oxford Planning Commission Agenda
Council Chamber- 22 W. Burdick St., Oxford MI, 48371
Tuesday, May 3, 2022, 7:00 P.M.

Public input will be allowed during Item 9, Public Comment. Public may voluntarily state their name and address for the record. In adherence to the Open Meetings Act, this time is for commissioners to hear comments from the public and not to engage in discussion with the public. Each person will be allowed an opportunity to speak for no more than 3 minutes. All comments will be addressed to the Chairman.

1. Call to Order by Chairman Justin Ballard at 7:00 pm
2. Respects to the Flag
3. Roll Call: Kelly Arkles, Justin Ballard, Scott Flynn, Maureen Helmuth, Michelle McClellan, Jon Nold, Leslie Pielack.
4. Approval of Agenda: May 3, 2022
5. Approval of Minutes: April 5, 2022
6. Correspondence:
7. New Business:
 - a. **PC-22-07, 53 S. Washington, Parcel ID# PO-04-27-204-011, Sign Permit Application, RE/MAX**
 - b. **PC-22-08, 592 Lakeville Rd., (MJ 21-09). PID# PO-04-23-377-001. Applicant Jars Ventures, Adult Use Marijuana Retail Establishment. Property owner: Dan Davis of Royal Roofing Company. Zoning I-1, Industrial.**
 - c. **PC-22-03, 400 S. Glaspie Rd., (MJ 21-10). PID# PO-04-26-176-002, Applicant The District Park, LLC d/b/a Skymint, Adult Use Marijuana Retail Facility. Property Owner: FL MI RE 20 LLC. Zoning I-1, Industrial.**
8. Old Business:
9. Public Comment:
10. Consultant & Administration Comments:
11. Commissioner Comments:
 - Oxford Township Planning Commission Update
 - ZBA Update
 - DDA Update
12. Adjournment:

VILLAGE OF OXFORD
PLANNING COMMISSION
April 5, 2022 - 7:00 p.m.
REGULAR MEETING MINUTES

Meeting Location ▪ 22 W Burdick Street, Oxford, MI ▪ Tel: (248) 628-2543
www.thevillageofoxford.org

1. CALL TO ORDER

Chairman Justin Ballard called the meeting to order at 7:00 p.m.

2. RESPECTS TO THE FLAG

ROLL CALL: Members Present: 7. Arkles, Ballard, Flynn, Helmuth, McClellan, Nold, Pielack.

Absent: 0. Staff Present: Recording Secretary Tere Onica, McKenna Planner Mario Ortega.

3. APPROVAL OF AGENDA: Meeting Agenda April 5, 2022.

MOTION: by Helmuth/Pielack to approve the April 5, 2022, agenda as presented.

All in favor. Motion carried.

4. APPROVAL OF MEETING MINUTES: March 15, 2022, Regular Meeting Minutes.

MOTION: by Arkles/Helmuth to approve the Village of Oxford March 15, 2022, planning commission regular meeting minutes as presented. All in favor. Motion carried.

5. CORRESPONDENCE: Todd and Melissa Faucett, re: Lakeville Rd. Residential Development Ron Piotrowski, re: Lakeville Rd. Residential Development

MOTION: by McClellan/Helmuth to receive and file the correspondence received regarding Lakeville Rd. residential development. All in favor. Motion adopted.

6. NEW BUSINESS:

- a. **PC-22-05, 650 S. Glaspie St., (MJ 21-05 & MJ 21-06). Parcel ID# PO-04-26-326-013. Applicant Main Property Holdings, LLC d/b/a Wyld Skye Adult Use Marijuana Retail Establishment. Property owner: VDJ enterprises, LLC. Zoning I-1, Industrial.**

Planner Ortega gave brief overview of the McKenna site plan review letter dated February 28, 2022. Mr. Ortega commented on site locations, existing conditions, and proposed use. Areas of concern with recommendations are as follows:

- All exterior light fixtures be mounted on fixed brackets with lighting directed downward with additional lighting added for increased visibility/safety in the parking areas. No lights along Glaspie St. on south lot line-rear parking spaces to building need a well-lighted path for pedestrian safety.
- The overhead door near parking space #10 on South side be removed or rendered not usable.
- Parking surface be repaved during new curb installation.
- Parking spots 1-4 in the southeast corner should be re-aligned with other parking spaces to provide for a 20ft. drive aisle as required by ordinance.
- Approval would have to include modification of number of parking spaces from 46 to 30.
- Landscaping is in compliance with minimal requirements. Commissioners suggested infilling with native plants for diversity.
- Stormwater required to be checked by engineer.

- Fire Department needs clarification on live suppression system under the canopy, access to control panels located in different parts of the building occupied by different tenants.

Wyld Skye representatives Joe Rockwood, Engineer and Mike Baahoura, Attorney commented on issues and concerns. They are willing to address all the issues to maintain their “good neighbor” image. They were asked about the fencing and delivery vehicles which will be a 2-axle van. The processing business will not actually produce product; its’ sole purpose is for re-packaging and selling through the retail location. Each business will be separate and secured. There will be no accessibility between business operating within the same building.

MOTION: by Ballard/Helmuth to approve PC 22-05, 650 S. Glaspie Street, Main Property Holdings LLC d/b/a/ Wyld Skye, PID# PO-04-26-326-013, contingent upon items 1-4, noted on page five (5) of the McKenna review letter dated February 28, 2022:

1. Approval of an odor control/mechanical plan by a licensed inspector during their building permit process that is in compliance with Section 4.1.29(D)(2).
2. Approval of the security plan by the Police Chief.
3. The processing facility be prohibited from any activities that creates and discharges greywater into the Village Sewer System.
4. A modification of the minimum required parking for the industrial use to a total of 30-parking spaces.

And Items 5 & 6 on page six (6):

5. a. Adding a note that any deteriorated asphalt surfaces will be repaved during the curb installation and prior to restriping the parking space locations.
b. Shifting four (4) parking spaces to the east to provide the required 20-foot access lane at the southeast corner of the building.
c. Adding a note to the site plan and lighting plan that all light fixtures will be mounted on fixed bracket to ensure fixtures are not capable of being angled after installation.
d. A revised photometric plan that provides an average of 2.5 footcandles along the south side of the parking lot and building for adequate pedestrian safety.
6. Any additional requirements of the Village Engineer.

Approval includes compliance with Fire Department recommendations, letter dated October 6, 2021, with fire suppression under the canopy and fire department access to all interior control panels in the building.

A friendly amendment was offered by Commissioner Pielack and accepted: that the applicant substitute infill plantings with native plants for diversity.

Roll Call Vote: Ayes: 7. Pielack, Helmuth, McClellan, Nold, Ballard, Flynn, Arkles.
Nays: 0. Absent: 0. Site Plan PC-22-05 is approved with conditions as presented.

7. **OLD BUSINESS:** None.

8. **PUBLIC COMMENT:** None.

10. CONSULTANT & ADMINISTRATION COMMENTS:

11. COMMISSIONER COMMENTS:

Oxford Township Planning Commission- Nothing to report.

ZBA Update-no meeting.

DDA-No update.

12. ADJOURNMENT:

MOTION: by Ballard/Helmuth to adjourn at 7:53 p.m. All in favor. Motion carried.

Respectfully submitted,

Tere Onica, Recording Secretary

VILLAGE OF OXFORD
Building Department
22 West Burdick, P.O. Box 94
Oxford, MI 48371-0094
248-628-2543



SIGN PERMIT APPLICATION

Application is hereby made for a permit to **INSTALL/ALTER** a sign on the following property:

1. Application and Review fees must be included with application
2. Two (2) sets of plan are required – per Chapter 4 (Sign Ordinance).

LOCATION: 53 S. WASHINGTON Sidwell# _____

Name of Business: RE/MAX

Name of Business Owner: ANDREA ESSE Owner Phone: 248.453.4355

Contractor Name: NORTHERN SIGN CO License/Expiration date: 12.31.24

Address: 2181 E. WALTON BLVD SUITE 100E City: AUBURN HILLS State: MI Zip: 48326

Phone: 248.333.7733 Email: maryellen@northernsign.com

Applicant's Signature: _____

Type of Sign (Fill in Only Those that Apply)

GROUND _____ Sign Area: _____ Height: _____
(not including base or supports)
(including base or supports)

WALL X Sign Area: 86.3" X 21.7" Linear Width of Storefront or Building Frontage 32 ft
Area of any existing or proposed projecting signs: _____

WINDOW _____ Sign Area: _____ Dimensions of window(s) _____

PROJECTING _____ Sign Area: _____ Area of any existing or proposed wall signs: _____

MARQUEE _____ Sign Area: _____

****PLEASE NOTE THAT MARQUEE SIGNS REQUIRE PLANNING COMMISSION APPROVAL****

TEMPORARY BANNER _____ Sign Area: _____ Proposed dates of display: _____

A-FRAME _____ Sign Area: _____ Height: _____ Materials: _____

SPECIAL LAND USE

Special Land Use approval is required for proposed signs that do not meet the specific requirements of the Ordinance. Special Land Use requires Planning Commission approval after a public hearing.

Do you wish to apply for Special Land Use approval? ☒ No ☐ Yes

PC DESIGN APPROVAL

Planning Commission Design approval is required for all internally illuminated signs in the C-1 Core and C-1 Transition zoning districts.

Do you wish to apply for PC Design Approval? ☐ No ☒ Yes

ADDITIONAL REQUIREMENTS

- Attach a drawing of the location of the sign(s) on the building and/or site.
- Attach a picture of the proposed design of the sign (placeholders may be used if content has not yet been determined).
- All permanent signs must be approved by the Building Department prior to installation.
- Inspection will be required when installation is complete. Contact Village of Oxford to schedule the inspection.

FEES

Application Fee\$15

Permit Fee per sign.....\$85

Contractor Registration Fee\$15

Special Land Use Fee (if needed)\$300

Public Hearing Fee (for SLU)\$150

PC Design Approval\$150

TOTAL FEES: _____

☐ APPROVED ☐ DISAPPROVED

Signature of Building Inspector Date

Remax Defined

Phone #:

248.453.4355

53 S Washington, Oxford

Fax #:

Email:

andrea@remaxdefined.com

Date of Proposal:

3.25.22

COLLECTOR
Andrea Esse

Artwork Proposal



NORTHERN SIGN CO. INC.

2181 E. Walton Auburn Hills, MI 48326

248.333.7733

www.northernsign.com



RE/MAX
D E F I N E D

(1) 86.3"W x 21.7"H Channel letter set on raceway.

Northern Sign Representative:

<input type="checkbox"/>	<input checked="" type="checkbox"/>
RICK	LEWIS
<input type="checkbox"/>	<input checked="" type="checkbox"/>
	JUSTIN

Designer:

Justin

☐ EXISTING

☒ PROPOSED

Signature:

Please Print Name:

Date:

50% deposit will be required prior to any fabrication, with balance to be paid in full on date of completion. Any artwork/sketches shall remain the property of Northern Sign Co., Inc. And shall not be duplicated or used without approval and purchase from Northern Sign Co., Inc. Any designs/time and or logo artwork cost incurred prior to acceptance of Proposal, shall be that of the customer. Any expenses incurred for changes made after artwork approval shall be that of the customer. Acceptance of Artwork Proposal: The above artwork is satisfactory and are hereby accepted. You are authorized to do the work as specified.



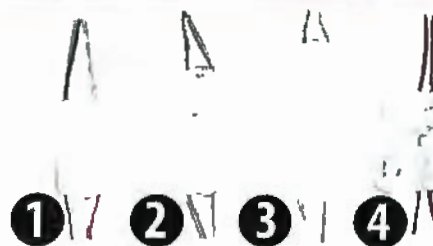


Qwik Mod™ Series

Better coverage with a wider optic — accomplish more with our NEW Qwik Mod™ Series. Now with a higher efficacy!

SPECIFICATIONS

Beam Angle	170° Ultra-Wide Low Dome Batwing Optic with Diamondback Optic Lens Technology
Certifications	UL & cUL Recognized (SAM Manual), CE, RoHS
Dimensions	QM1: 0.69"W x 1.4"L x 0.25"H QM2: 0.69"W x 2.2"L x 0.25"H QM3: 0.69"W x 3.14"L x 0.25"H QM4: 1.7"W x 1.77"L x 0.25"H
Fastening	Peel & Stick / Mechanical Screw Hole
Input	12VDC
Operating Temp	-30° to +60°C
Packaging	QM1: 150 mods (60 ft.) per bag or 1500 mods (600 ft.) per case QM2: 76 mods (44.7 ft.) per bag or 912 mods (536.52 ft.) per case QM3: 50 mods (33.3 ft.) per bag or 750 mods (500 ft.) per case QM4: 38 mods (25.3 ft.) per bag or 912 mods (608 ft.) per case
Power Supply	P-LED 12VDC
Protection Grade	IP68
Spacing	QM1: 2.5 mods/ft. (fully stretched) QM2: 1.7 mods/ft. (fully stretched) QM3 and QM4: 1.5 mods/ft. (fully stretched)
Warranty	10-Year Product / 5-Year Limited Labor



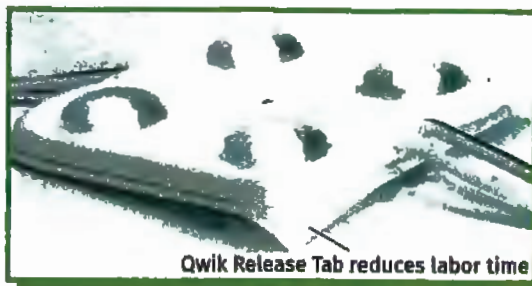
FEATURES

- Diamondback 170° Optic Lens
- Integrated aluminum heat sink
- Waterproof IP68
- Snap & Peel Qwik Release Tab
- Four different mod styles to perform in a wide variety of sign applications
- More light diffusion with a wider batwing resulting in better coverage

WIRING DETAILS

White Solid	Positive
White/Black Stripe	Negative

Check module for polarity.



Qwik Release Tab reduces labor time

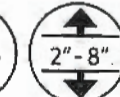
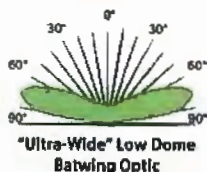
PRODUCT OPTIONS

Product	Color	Wavelength	Efficacy	Intensity	Max Mods (Series)	UL Part Number	Ordering Part Number
QM1	True White	7100K	118 LM/W	47.2 LM/mod (118 LM/ft.)	75 mods (30 ft.)	PL-QM1-TW110-P	M-QMSX0-71
QM2	True White	7100K	118 LM/W	94.1 LM/mod (160 LM/ft.)	38 mods (22.35 ft.)	PL-QM2-TW150-P	M-QMDX0-71
QM3	True White	7100K	114 LM/W	136.7 LM/mod (205 LM/ft.)	25 mods (16.67 ft.)	PL-QM3-TW200-P	M-QMTX0-71
QM4	True White	7100K	113 LM/W	180 LM/mod (270 LM/ft.)	19 mods (12.67 ft.)	PL-QM4-TW260-P	M-QMQX0-71

POWER SUPPLY OPTIONS

Power Supply	60W		36W		20W		12W	
	Watts/Mod	Max Mods	Watts/Mod	Max Mods	Watts/Mod	Max Mods	Watts/Mod	Max Mods
QM1	0.4	150	0.41	87	0.42	47	0.44	27
QM2	0.8	76	0.81	44	0.84	23	0.88	13
QM3	1.2	50	1.22	29	1.26	15	1.32	9
QM4	1.6	38	1.62	22	1.68	11	1.76	6

Watts per mod may vary depending on run footage.



Qwik Mod™ Colors

Get the advantages of Qwik Mod in a variety of colors!



Qwik Mod 2 Red™

QWIK MOD 2 COLORS™

PRODUCT OPTIONS

Color	CCT	Efficacy	Intensity	Max. Mods (Series)	UL Part Number	Ordering Part Number
Red	625 nm	27.5 LM/W	22 LM/mod (37.4 LM/ft.)	38 mods (22.35 ft.)	PL-QM2-RD37-P	M-QMDX0-RD
Blue	460 nm	12.31 LM/W	10 LM/mod (17 LM/ft.)	38 mods (22.35 ft.)	PL-QM2-BL17-P	M-QMDX0-BL
Green	525 nm	53.51 LM/W	44 LM/mod (75 LM/ft.)	38 mods (22.35 ft.)	PL-QM2-GR75-P	M-QMDX0-GR

QWIK MOD 3 COLORS™

PRODUCT OPTIONS

Color	CCT	Efficacy	Intensity	Max. Mods (Series)	UL Part Number	Ordering Part Number
Red	625 nm	28.33 LM/W	34 LM/mod (51 LM/ft.)	25 mods (16.67 ft.)	PL-QM3-RD51-P	M-QMTX0-RD
Blue	460 nm	14.81 LM/W	18 LM/mod (27 LM/ft.)	25 mods (16.67 ft.)	PL-QM3-BL27-P	M-QMTX0-BL
Green	525 nm	68.61 LM/W	86 LM/mod (129 LM/ft.)	25 mods (16.67 ft.)	PL-QM3-GR129-P	M-QMTX0-GR

WIRING DETAILS

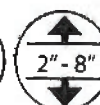
Gray	Positive
Red	Negative
Green	Negative
Blue	Negative

Check module for polarity.

RECOMMENDED COVERAGE CHART

Depth	Max. Stroke	Row Spacing	Product	Colors
	Single Row	Multi-Rows O.C.	True White	
2"	6"	2" at 6 mods/ft.	QM1	
3"	8"	4" at 3 mods/ft.	QM1/QM2/QM3/QM4	QM2/QM3
4"	12"	7"	QM1	
4"	12"	7" at 2 mods/ft.	QM2/QM3/QM4	QM2/QM3
5"	16"	10"	QM2/QM3/QM4	QM2/QM3
6"	18"	10"	QM2	QM2
6"	18"	12"	QM3/QM4	QM3
7"	22"	12"	QM3	
7"	22"	14"	QM4	
8"	24"	18"	QM4	

Note: Product and depth may vary depending on face material and desired brightness.





Memorandum

TO: Planning Commission
Village of Oxford

FROM: Mario A. Ortega, AICP

SUBJECT: Sign Design Review – 53 S. Washington St / Remax

DATE: April 27, 2022

Northern Sign Company on behalf of business owner Andrea Esse has applied for a sign permit to install one (1) internally illuminated wall sign for Remax real estate office at 53 S. Washington Street, Suite C. The sign is proposed to be 32 square feet (SF) in area located on the building's west elevation, facing Washington Street. The business is located in the C-1 Core zoning district.

Section 7.4.8(F)(1)(a)(1) states the maximum size of a wall sign shall be 30 SF. The proposed sign must be reduced in area to 30 SF. The sign meets the locational requirements of the Zoning Ordinance.

Section 7.4.8(F)(1)(b) requires that internally illuminated signs in the C-1 Core zoning district receive design approval from the Planning Commission. The proposed sign is comprised of channel cut letters mounted on a rectangular background or raceway. The individual sign letters and symbols would be internally illuminated with LEDs.

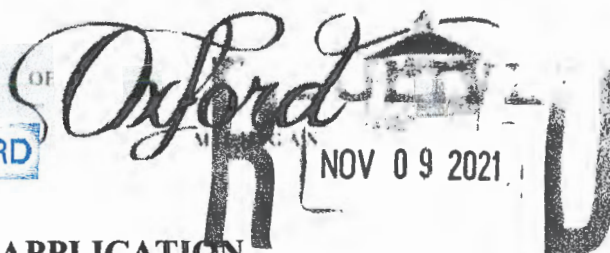
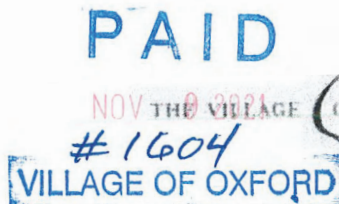
The design is a standard configuration of channel cut letters which will be directly mounted to the building facade. The result is a style which allows the building facade to be utilized as an effective contrasting background for the signage. This style can be found on many businesses in the downtown and is very attractive. The sign style is in keeping with the overall design aesthetic encouraged in the Village.

The illumination of channel cut letters does not have as much of an impact on driver visibility as an illuminated box sign. However, to insure the illumination is not excessive, we recommend a dimmer be installed to control the sign's luminance level. Luminance is the amount of light that is emitted from a particular area in a given direction and is measured in candela per square meter (cd/m^2).

We recommend the Planning Commission grant sign approval for the proposed sign which is in keeping with the design standards of the Village. Any approval should be contingent upon the installation of a dimmer control module. We recommend the luminance level not exceed 100 cd/m^2 from dusk to dawn.

\$ 1982.00

VILLAGE OF OXFORD
Planning Commission
22 West Burdick, P.O. Box 94
Oxford, MI 48371-0094
248-628-2543



SITE PLAN REVIEW APPLICATION

A site plan submitted for review and approval shall contain all of the following data prior to its submission. Site plans shall consist of an overall plan for the entire development. All plans must be legible and sufficient quality to provide for reproduction.

Article 9, Chapter 1 of the Zoning Ordinance, has been provided in order to ensure that all site plan information and requirements have been provided by the applicant for Planning Commission review. Missing information could result in a delay in plans being reviewed by the Planning Commission until all required information has been provided.

Applicant must provide **10 copies** of the site plan, application, fees, and all relative documents at least twenty-five (25) days prior to the next regularly scheduled meeting of the Planning Commission.

DATE 11/03/21 PROJECT ADDRESS 592 E Lakeville Rd Ste 100

APPLICANT INFORMATION

Name: **JARS Ventures LLC**

Address: **803 W Big Beaver Rd Ste 202**

City: **Troy**

State: **MI**

Zip: **48084**

Phone: **(248) 268-8235**

Cell:

Email: **licensing@jarscannabis.com**

PROPERTY OWNER INFORMATION

Name: **CD 592, LLC**

Address: **2445 Brown Rd**

City: **Orion Township**

State: **MI**

Zip: **48359**

Phone:

Cell:

Email:

If applicant is not the owner, describe applicant's interest in the property. (Proof of ownership OR affidavit is required.)

PROPERTY DESCRIPTION					
Description of Proposed Project: Marijuana Retailer					
Zoning Classification:		<input type="checkbox"/> R-1 Single Family	<input type="checkbox"/> C-1 Central Business – Core		
		<input type="checkbox"/> RM Multiple Family	<input type="checkbox"/> C-1 Central Business - Transition		
		<input checked="" type="checkbox"/> I-1 Industrial	<input type="checkbox"/> C-2 General Business		
			<input type="checkbox"/> P-1 Vehicular Parking		
Present Use: Vacant			Proposed Use: Marijuana Retailer		
Front Yard Setback	66.7	ft.	Building Height	35	ft.
Side Yard Setback	4.8	ft.	Lot Coverage (%)	16.1	%
Rear Yard Setback	162	ft.	Total Floor Area	3,200	sq. ft.
Lot Size	89,299	sq. ft.	Off Street Parking	17	cars

PROFESSIONALS WHO PREPARED DRAWINGS			
Name: Avanti Development Group LLC			
Mailing Address: 330 Enterprise Ct			
City: Bloomfield Hills		State: MI	Zip: 48302
Telephone: (810) 444-7815		Email: andy@avantidg.com	
Design Responsibility: Architect for JARS Ventures			
Name: Nowak & Fraus Engineers			
Mailing Address: 4677 Woodward Ave			
City: Pontiac		State: MI	Zip: 48342
Telephone: (248) 332-7931		Email:	
Design Responsibility: Site & Construction plans previously prepared and approved			

The Applicant is leasing 3,200 square feet of space, which is part of a larger development as indicated on the site plan submitted with this Application. The lot size, the off-street parking for cars and other information contained in this Application are references to the entire development and are not limited to the 3,200 square feet leased by the Applicant.

INCLUDE THE FOLLOWING:

1. **10 folded copies** of the site plan, sealed by a registered architect, engineer, or landscape architect.
2. Flash drive with application, site plan, and all supporting documentation.
3. A brief written description of the existing and proposed uses, including but not limited to: hours of operation, number of employees on largest shift, number of company vehicles, etc.
4. Proof of property ownership or interest in property (purchase agreement, etc.)
5. Fees: \$200.00 Application Fee
Multi-Family/Commercial/Industrial see Cost form
6. If necessary, review comments or approval received from county, state, or federal agencies that have jurisdiction over the project, including but not limited to:

<input type="checkbox"/> Oakland County Road Commission	<input type="checkbox"/> Michigan Department of Environmental Quality
<input type="checkbox"/> Oakland County Health Department	<input type="checkbox"/> Oakland County Drain Commissioner
<input type="checkbox"/> Michigan Department of Natural Resources	

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted subsequent to site plan approval.

APPLICANT'S ENDORSEMENT

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the Village of Oxford and its employees or agents shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application.


Signature of Applicant

11/5/21
Date

Signature of Property Owner

11/5/21
Date

GRETCHEN WHITMER
GOVERNOR



ORLENE HAWKS
DIRECTOR

STATE OF MICHIGAN
DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS
LANSING
VIA ELECTRONIC MAIL

Date: August 18, 2021

Addressee: JARS VENTURES LLC
Address: 400 Hamilton Row, Ste 100
Birmingham, MI 48009

RE: Prequalification status for your pending application

Dear Applicant:

The Marijuana Regulatory Agency (Agency) considered your partial application for prequalification status and determined that you have prequalification status pursuant to the licensing provisions of the Michigan Regulation and Taxation of Marihuana Act (MRTMA) and associated rules. This letter may be provided to a municipality as documentation of your prequalification status. Please note that this is a pending status until all application requirements of the MRTMA and associated rules are completed. A state license for a marihuana establishment cannot be issued at this stage of the application process. During complete application review, the Agency will consider all information relevant to eligibility including information that has been newly acquired or information that is newly apparent since determination of prequalification status.

If you have not already done so, please submit a marijuana establishment license application (Step 2) for each state license for which you wish to apply. You may submit an application online through the Accela Citizen Access Portal on the Agency website at www.michigan.gov/mra or your application may be submitted by mail or in person as follows:

Mailing Address:

Marijuana Regulatory Agency
Licensing Division
Adult-Use
P.O. Box. 30205
Lansing, MI 48909

In Person:

Marijuana Regulatory Agency
Licensing Division
Adult-Use
2407 North Grand River
Lansing, MI 48906

Sincerely,

Licensing Division
Marijuana Regulatory Agency

LARA Corporations
Online Filing System
Department of Licensing and Regulatory Affairs

Form Revision Date 02/2017

ARTICLES OF ORGANIZATION
For use by DOMESTIC LIMITED LIABILITY COMPANY

Pursuant to the provisions of Act 23, Public Acts of 1993, the undersigned executes the following Articles:

Article I

The name of the limited liability company is:

JARS VENTURES LLC

Article II

Unless the articles of organization otherwise provide, all limited liability companies formed pursuant to 1993 PA 23 have the purpose of engaging in any activity within the purposes for which a limited liability company may be formed under the Limited Liability Company Act of Michigan. You may provide a more specific purpose:

Article III

The duration of the limited liability company if other than perpetual is:

PERPETUAL

Article IV

The street address of the registered office of the limited liability company and the name of the resident agent at the registered office (P.O. Boxes are not acceptable):

1. Agent Name: **HANI KASSAB JR**
2. Street Address: **400 HAMILTON ROW**
Apt/Suite/Other: **100**
City: **ROYAL OAK**
State: **MI** Zip Code: **48067**

3. Registered Office Mailing Address:

P.O. Box or Street
Address:
Apt/Suite/Other:
City:
State: Zip Code:

Signed this 22nd Day of July, 2021 by the organizer(s):

Signature	Title	Title if "Other" was selected
Hani Kassab Jr	Organizer	

By selecting ACCEPT, I hereby acknowledge that this electronic document is being signed in accordance with the Act. I further certify that to the best of my knowledge the information provided is true, accurate, and in compliance with the Act.

☐ Decline ☒ Accept

MICHIGAN DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS
FILING ENDORSEMENT

This is to Certify that the ARTICLES OF ORGANIZATION

for

JARS VENTURES LLC

ID Number: 802708400

received by electronic transmission on July 22, 2021 ***, is hereby endorsed.***

Filed on July 22, 2021 ***, by the Administrator.***

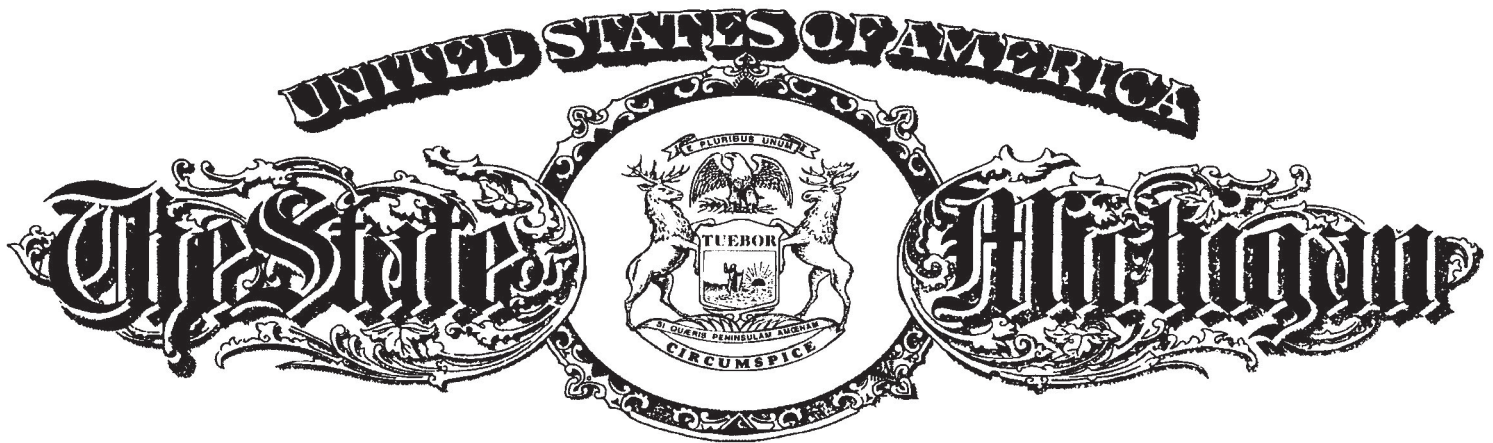
The document is effective on the date filed, unless a subsequent effective date within 90 days after received date is stated in the document.



In testimony whereof, I have hereunto set my hand and affixed the Seal of the Department, in the City of Lansing, this 22nd day of July, 2021.

Linda Clegg

Linda Clegg, Director
Corporations, Securities & Commercial Licensing Bureau



Department of Licensing and Regulatory Affairs

Lansing, Michigan

This is to Certify That
JARS VENTURES LLC

*was validly authorized on July 22, 2021, as a Michigan DOMESTIC LIMITED LIABILITY COMPANY,
and said limited liability company is validly in existence under the laws of this state and has satisfied its
annual filing obligations.*

*This certificate is issued pursuant to the provisions of 1993 PA 23 to attest to the fact that the company is
in good standing in Michigan as of this date.*

*This certificate is in due form, made by me as the proper officer, and is entitled to have full faith and credit
given it in every court and office within the United States.*



Sent by electronic transmission

Certificate Number: 21070583703

*In testimony whereof, I have hereunto set my hand,
in the City of Lansing, this 29th day of July, 2021.*

Linda Clegg

Linda Clegg, Director

Corporations, Securities & Commercial Licensing Bureau

Oxford Office

From: Paul O'Meara <POMeara@rowepsc.com>
Sent: Wednesday, November 24, 2021 10:45 AM
To: Oxford Village Manager; Oxford Office
Cc: Mario Ortega
Subject: 592 Lakeville

Importance: High

Hello all,

Yesterday I sent a new review letter for the proposed marijuana sales facility proposed at the above address. I was not aware that a building permit had been issued, and that construction was well underway on the new building, parking lot, and sewer tap work that was reviewed last summer. With that in mind, most of what was written in that letter does not apply, and it should not be acted upon. I would appreciate if you would remove this letter from your file.

Now that I am aware of the current status off the site, my only comment would be that there are some deficiencies in the lighting plan submitted, wherein the new parking lot at the northwest corner of the site, as well as the loading zone at the south end of the new building, do not have sufficient lighting. I assume Mario will address this issue as well, so at this time I do not plan to issue any official correspondence on this.

I am sorry for the mix up. Feel free to contact me if you have any questions.

Paul T. O'Meara, PE | Project Manager

**ROWE PROFESSIONAL
SERVICES COMPANY**



540 S. Saginaw Street, Ste. 200 | Flint, MI 48502

O: (810) 341-7500 | F: (810) 341-7573 | C: (248) 318-1492

www.rowepsc.com | Follow us on: [Facebook](#) | [LinkedIn](#)

This electronic mail, including any attachments may contain confidential information protected by law and is intended solely for use by the individual to whom or entity to which it is addressed. If the reader of this message is not the intended recipient, or an employee or agent responsible for delivering this message, the reader is hereby notified that any use, dissemination, distribution or copying of the information is strictly prohibited. If you have received this communication in error, please notify me immediately by phone or return electronic mail. Thank you.



April 18, 2022

Mr. Joseph Madore
Village Manager
Village of Oxford
22 W. Burdick Street
Oxford, MI 48317

Subject: **Jars Ventures Marijuana Retailer – Site Plan Review #3** (*Site Plan Dated April 8, 2022 and Received April 12, 2022*)

Location: **592 E. Lakeville Road – Parcel ID# 04-23-377-001** (*South side of Lakeville Road, west of Bay Pointe Dr.*)

Zoning: **I-1, Industrial**

Dear Mr. Madore:

At the Village's request, we have reviewed a revised site plan for the establishment of an adult use marijuana retailer at the above referenced location. The applicant is Jars Ventures, AEY Capital, LLC and the property owner is Dan Davis of Royal Roofing Company.

SITE LOCATION AND EXISTING CONDITIONS

The site is 89,299 square feet (SF) or 2.05 acres in area and is occupied by two single-story buildings. The original building, Building A, is located on the east side of the site. The original part of Building A is 7,200 SF in area and is separated into five (5) tenant spaces. Units 100, 150 and 200 are 1,600 SF each and units 300 and 400 are 1,200 SF each. A 2,400 SF addition was recently completed at the south end of Building A and is one leasable space, Unit #500. The owner received approval and has constructed a one-story 4,800 SF building along the west property line, Building B, comprised of three 40 ft x 40 ft units. The majority of the site is an unimproved open yard area located to the rear or south of a stockade privacy fence and is predominately used for the storage of vehicles associated with the building tenants. The applicant/building owner utilizes one of the units for their roofing contractor business. Property to the north and west are located in Oxford Township while property to the east and south are located within the Village. The photo to the right provides context.





PROPOSED USE

The applicant is proposing to establish an approximately 3,200 SF adult use marijuana retailer in the northern portion of Building A. The use of the remaining 6,400 SF of Building A has not been provided.

ADULT USE MARIJUANA FACILITY ORDINANCE COMMENTS

Section 4.1.29 of the zoning ordinance outlines the standards applicable to adult use marijuana facilities. We provide the following comments regarding the applicable standards.

- 1. Location.** Section 4.1.29(C) requires adult use marijuana facilities to be located in the I-1 Industrial district and at least 500 feet from the nearest lot line of any child care center, day care facility, school or like facility. The revised application includes a scaled and dimensioned location map which confirms that the site is at least 500 feet from the nearest listed facilities. The applicant is in compliance with this standard.
- 2. Hours of Operation.** Adult use marijuana retailers may only be open from 9:00 a.m. to 9:00 p.m. Page 3 of the operations plan within the applicant's submitted document states the retailer will operate from 10:00 a.m. to 9:00 p.m. seven days per week. The applicant is in compliance with this standard.
- 3. Odor Control Plan.** Section 4.1.29(D)(2) requires all marijuana facilities to be equipped with a mechanical system that at all times effectively confines any odor to the interior of the building. An Odor Management Plan begins on Page 16 of the applicant's submittal document. The applicant proposes to install a photohydroionization unit along with activated-carbon filters in the HVAC system. The applicant has not provided a detailed mechanical system plan as this is not usually required until the building permit application phase of a project.

The submittal of a detailed mechanical system plan could be reviewed by the Planning Commission to determine the effectiveness of a proposed odor control system. Alternatively, the Planning Commission may consider granting site plan approval contingent upon approval of a mechanical plan by the Village's mechanical inspector that is consistent with previously approved plans.

- 4. Waste Water Control Plan.** Section 4.1.29(D)(3) requires all marijuana facilities to be designed and operated to minimize the amount of pesticides, fertilizers, nutrients and marijuana that may be discharged into the public waste water and stormwater systems. A retail facility does not use pesticides, fertilizers or nutrients as part of its operation. The site does not need to provide additional treatment systems given the lack of contaminants on site.

A narrative titled Waste Management Plan is included on page 27 of the applicant's submittal document and states that any marijuana-related waste will be mixed with compostable and non-compostable solid waste and will be placed into an electric wood chipper or grinder creating a mixture that is at least 51% non-cannabis waste by volume. The proposed waste control plan is generally in compliance with ordinance standards.

- 5. Security Plan.** Section 4.1.29(D)(4) requires all marijuana facilities to have an adequate security plan to prevent access and removal of marijuana by non-authorized personnel. The applicant has included a security plan overview along with a camera location plan within their submittal document. The detailed security plan does not include the location of secured doors or the details of the types of cameras proposed. This site and building will be inspected by MRA and the Michigan State Police prior to being granted a license to operate to ensure the site meets State standards. However, the Village ordinance requires review by the Village Chief of



Police of a detailed security plan. The security plan should be reviewed by the Police Chief and revised based on any required changes.

- 6. Other Operational Standards.** Section 4.1.29(D)(5) through (12), excluding subparagraph (9) which is addressed below, are additional operational standards for the use. They require that all marijuana related operations must be conducted indoors, comply with any inspections, are prohibited from smoking or consuming marijuana on-site, cannot create a noise, odor, or sound nuisance nor transfer their license to another entity. The applicant has signed a release of liability, indemnification and waiver document along with an oath of application which have been included with the revised submittal documents. These documents include acknowledgement by the applicant that they shall not violate the ordinances of the Village. The application is in compliance with these ordinance standards.

SITE PLAN REVIEW COMMENTS

Article 9, Chapter 1 of the zoning ordinance outlines the information requirements, review procedures and approval criteria for site plans within the Village. We provide the following comments for your consideration based on the zoning ordinance, other applicable Village ordinances and sound planning principals.

- A. Additional Uses on Site.** Approximately 6,400 SF within Building A will not be used for the marijuana retailer. A used car dealership will be located in Building B. The previously approved site plans were for a configuration that was in compliance with ordinance standards. While multiple uses are permitted, any new use must provide all required improvements to be in full compliance with the zoning ordinance. The addition of new uses cannot result in the previously approved uses becoming non-complaint with the ordinance. While the existing uses can be modified, they must remain in compliance with all previously approved ordinance standards.
- B. Dimensional Requirements.** Section 3.4.4 lists the dimensional standards for buildings and setbacks in the I-1 zoning district. Based on the setbacks and dimensions on Sheet C3.0, the original Building A is legally non-conforming while the Building A addition and Building B are in compliance with zoning ordinance standards.
- C. Building Architecture.** Revised elevations and floor plans have been provided on Sheets A1.0 and A2.0. The applicant is proposing to remove two existing overhead doors on Building A's west elevation and install a patterned vinyl siding to match the existing. As proposed, the building is not architectural significant, but the style is typical of industrial structures and is in good condition.
- D. Off-Street Parking Requirements.** Article 7, Chapter 1 outlines off-street parking requirements. The standard for a conventional retail sales establishment is to provide enough parking for employees and customers while ensuring parking lots are designed to function efficiently. The minimum off-street parking requirement for a retailer is one space per 350 SF of floor area.

Section 9.1.9 outlines the required criteria for granting site plan approval. Specifically, Section 9.1.9(J) requires that off-street parking lots must accommodate the intensity of the proposed uses and minimize conflicts with adjacent uses. To determine compliance with this standard, it will be necessary to determine the parking needs for each component of the marijuana retailer that will generate a parking demand along with all other uses on the site. These separate uses include:



- 1. Marijuana Customer Capacity.** Marijuana retail facilities in other locations are known to have a high number of on-site customer visits. The small size of the product requires less floor space and allows for more points of contact between a salesperson and a customer, almost similar to a watch or jewelry store. The applicant is proposing to utilize a retail system where each customer or acquainted customers will be escorted by a sales person (budtender). Sheet C3.0 indicates that three (3) customer groups will be accompanied to the sales floor while three (3) will wait in the waiting room. Based on this process, they are proposing six (6) parking spaces dedicated for in-store customers.
- 2. Retail Employees.** The applicant's staffing plan within the submittal document indicates the potential for up to 30 employees to staff the facility. Each shift will include five (5) employees, one (1) security/reception person, one (1) manager and three (3) budtenders. The applicant is proposing five (5) parking spaces for employees.
- 3. Curb-side Pick-up.** While not indicated within the application, recent trends for retailers includes some form of customer curb-side pickup or walk up service. Curb-side pick-up customers will not enter the waiting or retail areas of the building and those spaces will not be available for employees or retail customers entering the building. The revised sheet C3.0 now states that two (2) parking spaces will be used for curb-side pick-up service.
- 4. Additional Uses.** As noted above, the site will be occupied by other uses. While the site has recently received site plan approval for the construction of Building B, the addition of the marijuana retailer alters the parking required. Building A's pre-existing industrial tenant space could potentially utilize the gravel lot to the south under nonconforming use standards. However, all new uses and all uses in Building B must be in compliance with current standards, which require paved parking lots. The table below summarizes the required parking.

Section 7.1.9 Parking Requirements by Use	No. of Spaces Required	No. of Spaces Provided	In Compliance?
Marijuana Retailer: <i>Based on components of the use.</i>	13	13	Yes
Building A - Industrial Use/Warehouse: One (1) parking space per 1,700 SF usable floor area (5,120 SF usable floor area)	3	3	Yes
Building B - Used Car Sales: One (1) parking space per 350 SF usable floor area (1,280 SF usable floor area)	4	4	Yes
Building B - Industrial Use/Warehouse: One (1) parking space per 1,700 SF usable floor area (1,280 SF usable floor area)	1	1	Yes
<i>After applying the above to determine the total number of required spaces, those spaces must provide with the following:</i>			
One (1) barrier-free parking space* per 25 required parking spaces	1	1	Yes

Based on the table above, the site is in compliance with the zoning ordinance.



- E. Loading Zone.** A loading zone is not shown in close proximity to the retailer's location. A note on Sheet C3.0 states that no semi-trucks will be used for delivery, only vans and box trucks. Per Section 7.1.13(E), the Planning Commission should confirm that the proposed loading zone modification is adequate.
- F. Exterior Lighting.** A photometric plan has been provided on Sheet C3.2. It includes the location and mounting height of fixtures, detailed cut sheets of the proposed fixtures and the light levels. A note has been added that all existing fixtures will be replaced with the new fixtures and that they will be mounted on fixed brackets to ensure fixtures are not capable of being angled after installation. The proposed lighting plan is in compliance with the ordinance.
- G. Landscaping.** The applicant has indicated that the separate landscape plan which was approved with the construction of Building B is noted on Sheet C3.2. Full compliance with the installation of that approved landscape plan should be confirmed. Provided the revised site plan does not alter the location of the landscaping on the previously approved site plan, the installation of the previously approved landscape plan would be sufficient.
- H. Dumpster Enclosure.** The site plan does not show the location of a dumpster enclosure. A letter from Avanti Development Group dated April 8, 2022, and a note on Sheet C3.0 states that a dumpster is not needed and rolling handcarts will be used and stored within the building space. Village administration should confirm that rolling handcart service is available to an industrial site and in that location prior to granting any site plan approval.
- I. Signage.** The site plan does not show any proposed signage. All signage will require a separate sign application. Any proposed signage will be reviewed for zoning ordinance compliance at the time of application for a sign permit.

RECOMMENDATION

The site plan and proposed use are in substantial compliance with ordinance standards. However, several outside reviews along with minor site plan issues remain. If the Planning Commission determines the site is in substantial compliance with ordinance standards, we recommend site plan approval be contingent upon the following:

1. Approval of an odor control/mechanical plan by a licensed inspector during the building permit process that is in compliance with Section 4.1.29(D)(2).
2. Approval of the security plan by the Police Chief.
3. Confirmation that rolling handcart trash service is available at this location.
4. Any additional requirements of the Village Fire Chief and Engineer.

Please do not hesitate to contact us with any questions.

Respectfully submitted,

McKENNA

Mario A. Ortega, AICP
Principal Planner

Administrative review checklist for Marijuana site applications.

Application #: 21-09

Review Date: 11-1-21 Reviewed by: J.M. MADORE

App.#

- 1 Preliminary State License Approval. A letter from the Marijuana Regulatory Agency of the State of Michigan (or any designated successor) granting preliminary state license approval for the Applicant to operate a marijuana facility that the Applicant is requesting for approval within the Village of Oxford. The burden to obtain any and all State approvals shall be on the Applicant.

<input checked="" type="checkbox"/>		
Provided	Missing	other

- 2 Documentatation showing tenancy, ownership or authorization for this use on the site.

<input checked="" type="checkbox"/>		
Provided	Missing	other

- 3 Provide proof of company legal status, proof of registration with the State of Michigan and certificate of good standing.

<input checked="" type="checkbox"/>		
Provided	Missing	other

- 4 Provide copy of valid ,unexpired drivers license, State ID for all owners, officers and managers of the proposed facility

<input checked="" type="checkbox"/>		
Provided	Missing	other

- 5 Provide evidence of valid State sales tax license if required.

		<i>None Provided - only needed once opening</i>
Provided	Missing	other

- 6 Provide non-refundable application fee by Certified check: \$5,000.00

<input checked="" type="checkbox"/>		
Provided	Missing	other

- 7 A Business and Operations Plan, showing in detail the Marijuana Business's proposed plan of operation, including without limitation, the following information:

- a. A written and complete description of the type of Marijuana Facility proposed and the anticipated or actual number of employees. The name of the proposed Manager of the Marijuana Facility. The days and hours the Marijuana Facility will be open and or in operation.

<input checked="" type="checkbox"/>		
Provided	Missing	other

- A security plan meeting the requirements of the Ordinance which shall include a general
- b. description of the security systems(s) and/or lighting plan showing the lighting outside of the Marijuana Facility.

✓	Lighting Plan	
Provided	Missing	other

- A list of Material Safety Data Sheets for all nutrients, pesticides, and other chemicals and/or
- c. compounds proposed for use in the Marijuana Facility. A copy of a procedural plan for periodic testing of contaminants, including mold and pesticides.

✓		
Provided	Missing	other

- A description and plan of all equipment and methods that will be employed to stop any impact to adjacent properties and uses, including enforceable assurances that no odor will be detected
- d. from outside the Facility location property lines. State of the Art proposed odor control technology should be described in detail.

✓		
Provided	Missing	other

- A plan for the disposal of Marijuana and related by-products that will be used at the Facility which includes, at a minimum, how the Facility will protect against any marijuana being ingested
- e. by any person or animal, indicating how the waste will be stored and disposed of, and how any marijuana will be rendered unusable upon disposal. Disposal by on-site burning or introduction to the sewage system is strictly prohibited.

✓		
Provided	Missing	other

- 8 The identification of any business, other than the Applicant, that will be directly or indirectly involved in the operations at the Facility.

✓		
Provided	Missing	other

- A signed attestation in a form approved by the State of Michigan indicating all prior applications, approvals or denials in other jurisdictions and a statement describing the facts and
- 9 circumstances concerning the application, denial, restriction, suspension, revocation, or nonrenewal, including the licensing authority, the date each action was taken and the reason for each action.

✓		
Provided	Missing	other

10

A Site Plan for the Facility. The site plan shall include an interior floor plan as well as a scale diagram illustrating the Facility location upon which the Facility (s) is to be operated, including all available parking spaces and specifying which parking spaces, if any, are handicapped accessible. A location area map of the Marijuana Facility and the surrounding area that identifies that the location of the Facility is situated. The Site Plan shall comply with the applicable and controlling Village of Oxford ordinances in terms of scope, copies and submittal process.

✓	✓	only 8 1/2" x 11" copies - will email Applicant informing other than we need full size prints.
Provided	Missing	

11

Information regarding any other Marijuana Business Facility that the Applicant/Licensee is currently authorized to operate in any other jurisdiction within the State of Michigan, or another State, and the Applicant's involvement in each Facility identified.

✓ list	✓ what is their involvement	
Provided	Missing	other

12

Proof of Insurance. Any Licensee in the Village of Oxford shall, at all times, maintain in full force and effect for duration of the License, worker's compensation insurance as required by state law, and general liability insurance with minimum limits of \$1,000,000 per occurrence and a \$2,000,000 aggregate limit issued from a company licensed to do business in Michigan. A Licensee shall provide proof of insurance to the Village Clerk in the form of a certificate of insurance evidencing the existence of a valid and effective policy which discloses the limits of each policy, the name of the insurer, the effective date and expiration date of each policy, the policy number and the names of the additional insureds. The policy shall name the Village of Oxford and its appointed and elected officials and employees as additional insureds to the limits required by this section. A License or its insurance broker shall notify the Village of any cancellation or reduction in coverage within seven (7) days of receipt of insurers' notification to that effect. The license Holder shall forthwith obtain and submit proof of substitute insurance to the Village Clerk within five (5) business days in the event of expiration or cancellation of coverage.

	X	not needed until Applicant becomes a licensee!
Provided	Missing	other



OXFORD FIRE DEPARTMENT

96 N. Washington St. • Oxford, Michigan, 48371

Ph. (248) 969-9483 • Fax. (248) 969-9489

December 14, 2021

Re: Site Plan
Jars Ventures, LLC
592 Lakeville
Oxford, Mi 48971

The Oxford Fire Department has received and reviewed the plans that have been submitted for the above address. The plans are **Approved** with the following comments.

- The Address Shall be legible and placed in a position that is visible from the street.
- A Knox Box will be required to be mounted to right or left side of the main entrance to the building

Please forward further questions to Lieutenant Frantz

Lieutenant BJ Frantz
Fire inspector
Office: 248 969-9483
Cell: 248 916-8600



THE VILLAGE

OF

Oxford

MICHIGAN



INSPECTORS: DOLICE

Attached are a full set of plans that have been checked in and stamped received.

Please review 592 E LAKEVILLE for:

(JARS) MTS RETAILER

- ☒ Completeness
- ☐ Current code
- ☐ Life and safety issues

Please make any notes in the space below, sign and date this form below.

PROPER ILLUMINATION ON ALL EXTERIOR SIDES OF BUILDING
AUDIBLE ALARM SYSTEM

SURVEILLANCE CAMERAS INTERIOR / EXTERIOR OF BUILDING

Signed: [Signature]

Date: 11/9/21

THE VILLAGE OF



INSPECTORS: DPW

Attached are a full set of plans that have been checked in and stamped received.

Please review S92 E. LAKEVILLE for:

(JARS) MS RETAILER

- ☐ Completeness
- ☐ Current code
- ☐ Life and safety issues

Please make any notes in the space below, sign and date this form below.

Sanitary Sewer Completed & Approved

Water will be supplied by existing well

Signed: Don Butley

Date: 11-11-21

VILLAGE OF OXFORD
Planning Commission
 22 West Burdick, P.O. Box 94
 Oxford, MI 48371-0094
 248-628-2543



SITE PLAN REVIEW APPLICATION

A site plan submitted for review and approval shall contain all of the following data prior to its submission. Site plans shall consist of an overall plan for the entire development. All plans must be legible and sufficient quality to provide for reproduction.

Article 9, Chapter 1 of the Zoning Ordinance, has been provided in order to ensure that all site plan information and requirements have been provided by the applicant for Planning Commission review. Missing information could result in a delay in plans being reviewed by the Planning Commission until all required information has been provided.

Applicant must provide **15 copies** of the site plan, application, fees, and all relative documents at least twenty-five (25) days prior to the next regularly scheduled meeting of the Planning Commission.

DATE 11/10/2021 PROJECT ADDRESS 400 S. Glaspie Oxford, MI 48371

APPLICANT INFORMATION

Name: **The District Park LLC dba Skymint**

Address: **10070 Harvest Prk**

City: **Diamondale** State: **MI** Zip: **48221**

Phone: **734-649-8541** Cell:

Email: **jdonahue@skymintbrands.com**

PROPERTY OWNER INFORMATION

Name: **FL MI RE 20 LLC**

Address: **255 S. Old Woodward, Suite 320**

City: **Birmingham** State: **MI** Zip: **48009**

Phone: **248-939-2727** Cell:

Email: **tommy@3fifteen.com**

If applicant is not the owner, describe applicant's interest in the property. (Proof of ownership OR affidavit is required.)

PROPERTY DESCRIPTION			
Description of Proposed Project: Marihuana Retailer Facility			
Zoning Classification:	<input type="checkbox"/> R-1 Single Family	<input type="checkbox"/> C-1 Central Business – Core	
	<input type="checkbox"/> RM Multiple Family	<input type="checkbox"/> C-1 Central Business - Transition	
	<input checked="" type="checkbox"/> I-1 Industrial	<input type="checkbox"/> C-2 General Business	
		<input type="checkbox"/> P-1 Vehicular Parking	
Present Use: Vacant land		Proposed Use: Marihuana Retailer Facility	
Front Yard Setback	50 ft.	Building Height	25'-8"(peak) ft.
Side Yard Setback	0/50' ft.	Lot Coverage (%)	15.2 %
Rear Yard Setback	0 ft.	Total Floor Area	2,712.18 sq. ft.
Lot Size	±111,256.9 sq. ft.	Off Street Parking	25 cars

PROFESSIONALS WHO PREPARED DRAWINGS			
Name: Kenneth L. Jones II, AIA, NCARB			
Mailing Address: 1114 S. WASHINGTON AVE. #100			
City: LANSING		State: MI	Zip: 48912
Telephone: 517-372-8804		Email: kenj@studiointrigue.com	
Design Responsibility: Architect			
Name: Maher Faik			
Mailing Address: 3253 Lynhurst Ct.			
City: Oakland		State: MI	Zip: 48306
Telephone: 248-670-6556		Email: surveyland@att.net	
Design Responsibility: Engineering			

ATTACH THE FOLLOWING:

1. 15 folded copies of the site plan, sealed by a registered architect, engineer, or landscape architect.
2. Digital copies of application, site plan, and all supporting documentation.
3. A brief written description of the existing and proposed uses, including but not limited to: hours of operation, number of employees on largest shift, number of company vehicles, etc.
4. Proof of property ownership or interest in property (purchase agreement, etc.)
5. Fees: \$200.00 Application Fee
Multi-Family/Commercial/Industrial see Cost form
6. If necessary, review comments or approval received from county, state, or federal agencies that have jurisdiction over the project, including but not limited to:

<input type="checkbox"/> Oakland County Road Commission	<input type="checkbox"/> Michigan Department of Environmental Quality
<input type="checkbox"/> Oakland County Health Department	<input type="checkbox"/> Oakland County Drain Commissioner
<input type="checkbox"/> Michigan Department of Natural Resources	

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted subsequent to site plan approval.

APPLICANT'S ENDORSEMENT

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the Village of Oxford and its employees or agents shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application.

DocuSigned by:



Signature of Applicant

11/10/2021

Date

DocuSigned by:



Signature of Property Owner

1/23/2022

Date

FL MI RE 20 LLC

Statement of Authorization
Owner

November 8, 2021

RE: Written Authorization for Proposed Marihuana Facility at 400 S. Glaspie Oxford, MI 48371 (the "Property")

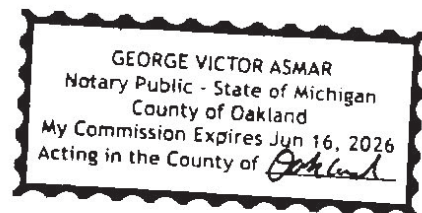
To the Village of Oxford:

This letter is to confirm that FL MI RE 20 LLC, is the owner of record of the Property. The undersigned is a legally qualified representative of the entity and authorizes the use of the property for a marihuana facility.

Dated: 11/8/2021

Thomas Nafso
Thomas Nafso
Member/Manager of FL MI RE 20
LLC

Subscribed and sworn to by Thomas Nafso before me on the 8th day of
November 2021.
Signature [Signature]
Printed name George Victor Kattola
Notary public, State of Michigan, County of Oakland. My commission
expires June 16, 2026



LEASE

for

400 S. Glaspie Oxford, MI 48371

DATED

December 3, 2021

by and between

FL MI RE 20, LLC,
a Michigan limited liability company

and

The District Park LLC,
a Michigan limited liability company

GRETCHEN WHITMER
GOVERNOR



ORLENE HAWKS
DIRECTOR

STATE OF MICHIGAN
DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS
LANSING
VIA ELECTRONIC MAIL

Date: June 18, 2020

Addressee: The District Park, LLC

Address: 10070 Harvest Park
Dimondale, MI 48821

RE: Prequalification status for your pending application

Dear Applicant:

The Marijuana Regulatory Agency (Agency) considered your partial application for prequalification status and determined that you have prequalification status pursuant to the licensing provisions of the Michigan Regulation and Taxation of Marihuana Act (MRTMA) and Emergency Rules dated July 03, 2019. This letter may be provided to a municipality as documentation of your prequalification status. Please note that this is a pending status until all application requirements of the MRTMA and Emergency Rules dated July 03, 2019 are completed. A state license for a marihuana establishment cannot be issued at this stage of the application process. During complete application review, the Agency will consider all information relevant to eligibility including information that has been newly acquired or information that is newly apparent since determination of Prequalification status.

If you have not already done so, please submit a facility license application (Step 2) for each state license for which you wish to apply. You may submit an application online through the Accela Citizen Access Portal on the Agency website at www.michigan.gov/mra or your application may be submitted by mail or in person.

Mailing Address:

Marijuana Regulatory Agency
Licensing Division
Adult-Use
P.O. Box. 30205
Lansing, MI 48909

In Person:

Marijuana Regulatory Agency
Licensing Division
Adult-Use
2407 North Grand River
Lansing, MI 48906

Sincerely,

Licensing Division
Marijuana Regulatory Agency

LARA Corporations
Online Filing System
Department of Licensing and Regulatory Affairs

Form Revision Date 02/2017

ARTICLES OF ORGANIZATION
For use by DOMESTIC LIMITED LIABILITY COMPANY

Pursuant to the provisions of Act 23, Public Acts of 1993, the undersigned executes the following Articles:

Article I

The name of the limited liability company is:

THE DISTRICT PARK LLC

Article II

Unless the articles of organization otherwise provide, all limited liability companies formed pursuant to 1993 PA 23 have the purpose of engaging in any activity within the purposes for which a limited liability company may be formed under the Limited Liability Company Act of Michigan. You may provide a more specific purpose:

Article III

The duration of the limited liability company if other than perpetual is:

PERPETUAL

Article IV

The street address of the registered office of the limited liability company and the name of the resident agent at the registered office (P.O. Boxes are not acceptable):

1. Agent Name: INCORP SERVICES, INC.

2. Street Address: 2285 S. MICHIGAN ROAD

Apt/Suite/Other:

City: EATON RAPIDS

State: MI

Zip Code: 48827

3. Registered Office Mailing Address:

P.O. Box or Street Address: PO BOX 266

Apt/Suite/Other:

City: EATON RAPIDS

State: MI

Zip Code: 48827

Signed this 2nd Day of February, 2018 by the organizer(s):

Signature	Title	Title if "Other" was selected
Olivia Gonzales	Organizer	

By selecting ACCEPT, I hereby acknowledge that this electronic document is being signed in accordance with the Act. I further certify that to the best of my knowledge the information provided is true, accurate, and in compliance with the Act.

☐ Decline ☒ Accept

MICHIGAN DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS
FILING ENDORSEMENT

This is to Certify that the ARTICLES OF ORGANIZATION

for

THE DISTRICT PARK LLC

ID Number: 802157875

received by electronic transmission on February 02, 2018 ***, is hereby endorsed.***

Filed on February 02, 2018 ***, by the Administrator.***

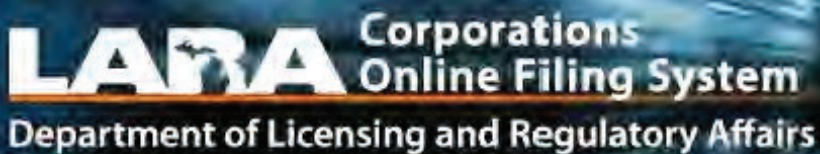
The document is effective on the date filed, unless a subsequent effective date within 90 days after received date is stated in the document.



In testimony whereof, I have hereunto set my hand and affixed the Seal of the Department, in the City of Lansing, this 2nd day of February, 2018.

Julia Dale, Director

Corporations, Securities & Commercial Licensing Bureau



Form Revision Date 07/2016

CERTIFICATE OF ASSUMED NAME

For use by DOMESTIC LIMITED LIABILITY COMPANY

Pursuant to the provisions of Act 23, Public Acts of 1993, the undersigned execute the following Certificate:

1. The identification number assigned by the Bureau is:

802157875

2. The name of the limited liability company is:

THE DISTRICT PARK LLC

3. The assumed name under which business is to be transacted is:

SKYMINT - DISTRICT PARK

This document must be signed by an authorized officer or agent (corporations); a member, manager, or an authorized agent (limited liability companies); or general partner (limited partnerships):

Signed this 17th Day of January, 2020 by:

Signature	Title	Title if "Other" was selected
Anthony Szilagyi	Authorized Agent	

By selecting ACCEPT, I hereby acknowledge that this electronic document is being signed in accordance with the Act. I further certify that to the best of my knowledge the information provided is true, accurate, and in compliance with the Act.

☐ Decline ☒ Accept

MICHIGAN DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS

FILING ENDORSEMENT

This is to Certify that the CERTIFICATE OF ASSUMED NAME

for

THE DISTRICT PARK LLC

ID Number: 802157875

to transact business under the assumed name of
SKYMINT - DISTRICT PARK

received by electronic transmission on January 17, 2020 ***, is hereby endorsed.***

Filed on January 22, 2020 ***, by the Administrator.***

The document is effective on the date filed, unless a subsequent effective date within 90 days after received date is stated in the document.

Expiration Date: December 31, 2025

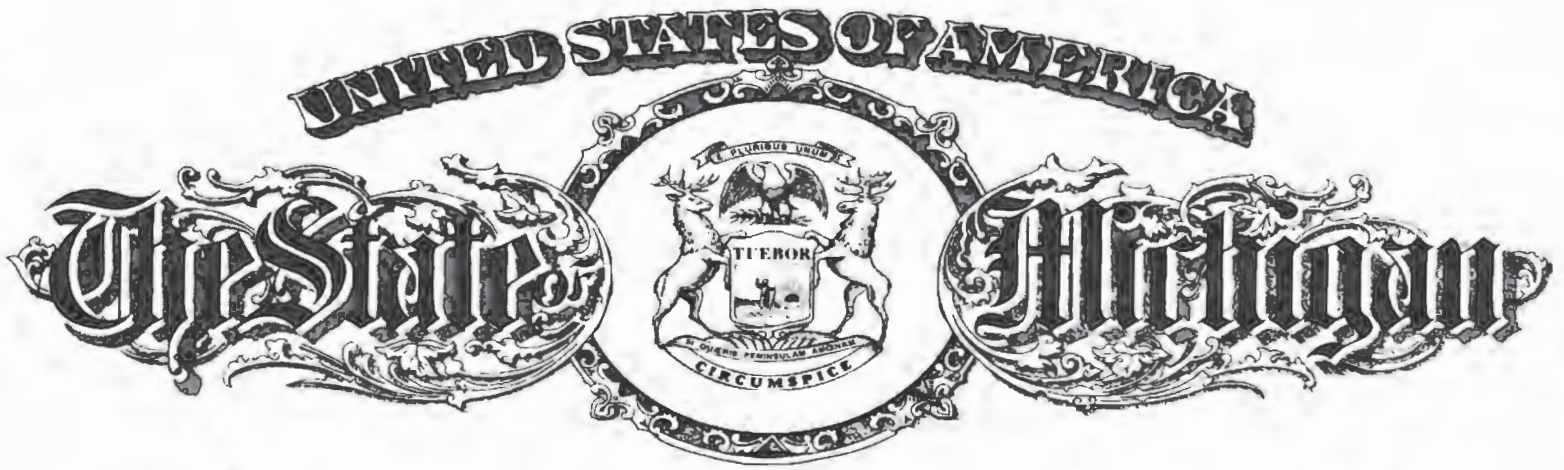


In testimony whereof, I have hereunto set my hand and affixed the Seal of the Department, in the City of Lansing, this 22nd day of January, 2020.

Linda Clegg

Linda Clegg, Interim Director

Corporations, Securities & Commercial Licensing Bureau



Department of Licensing and Regulatory Affairs

Lansing, Michigan

This is to Certify That

THE DISTRICT PARK LLC

*was validly authorized on February 2 , 2018, as a Michigan DOMESTIC LIMITED LIABILITY COMPANY.
and said limited liability company is validly in existence under the laws of this state and has satisfied its
annual filing obligations.*

*This certificate is issued pursuant to the provisions of 1993 PA 23 to attest to the fact that the company is
in good standing in Michigan as of this date.*

*This certificate is in due form, made by me as the proper officer, and is entitled to have full faith and credit
given it in every court and office within the United States.*



Sent by electronic transmission

Certificate Number: 19127200310

*In testimony whereof, I have hereunto set my hand,
in the City of Lansing, this 5th day of December , 2019.*

A handwritten signature in cursive script, appearing to read "Julia Dale", is written over a horizontal line.

Julia Dale, Director

Corporations, Securities & Commercial Licensing Bureau

SKYMINTTM

BRANDS

10/13/2021

The District Park, LLC – DBA Skymint Brands

The City of Oxford

To Whom It May Concern,

Please note that The District Park, LLC currently has applied for one retail marijuana license (both medical and adult-use) within the State of Michigan and was approved for that retail location. That store is currently operating in Hazel Park, MI and is in good standing with both the State of Michigan as well as the City of Hazel Park. The District Park, LLC has not applied for any marijuana licenses outside the State of Michigan nor has The District Park, LLC been denied a marijuana application for any reason in any municipality, both within the State of Michigan and outside of the State. Please see below for all marijuana licenses currently operated by The District Park, LLC:

Name of Business: Skymint Brands

Name of Entity Owning Business: The District Park, LLC

Business Address: 20940 John R Road, Hazel Park, MI, 48030

Owning Entity Address: PO Box 266, Eaton Rapids, MI, 48827

Owners of Entity: Green Peak Industries, INC

Dates of Operation: July 2020 - Present

License Type: Retailer

Signed

(Signature)

(Printed Name)

(Date)

Notary:

Subscribed and sworn to me by (applicant name): Jeff Donahue before me on (date): 10/15/2021

Notary Public Signature:

Notary Public Printed Name:

Acting in the County of:

My Commission Expires:

CONSTANCE D. CLAY
NOTARY PUBLIC, STATE OF MI
COUNTY OF MACOMB
MY COMMISSION EXPIRES Aug 25, 2024
ACTING IN COUNTY OF Washtenaw



March 28, 2022

Mr. Joseph M. Madore, Manager
Village of Oxford
22 West Burdick Street
Oxford, MI 48371

RE: Engineering Site Plan Review for 400 South Glaspie Street, Oxford, MI

Dear Mr. Madore:

At your request, ROWE Professional Services Company has completed a *second* site plan review for the address listed above. The plans were prepared by Studio Intrigue Architects, Survey Tech surveyors and engineers, and Nagy Devlin Land Design. The first sheets were prepared by the architect and include a general site plan and photometric plan. All engineering details are contained on the one sheet prepared by Survey Tech. Only the engineering sheet and the landscape designs were sealed by a registered professional.

The applicant is proposing to construct a 2,712 square foot square foot marijuana retail building, as well as a new parking lot and rear yard leaching basin.

Comments that have been addressed from ROWE's previous review (letter dated February 14, 2022) have been removed from this letter. Additional comments related to a previous comment are shown in *italic font* and new comments are shown in standard font.

Based on ROWE's review, we offer the following comments for your consideration:

SHEET C-1

1. The plan has been revised to include the installation of a new concrete sidewalk across the frontage of the property. Needed refinements to the design include:
 - a. The concrete sidewalk will need to extend through the drive approach as a 6-inch concrete pavement, which will eliminate the need for ramps on both sides. It is recommended that the entire approach be constructed in concrete accordingly, to simplify construction, and improve the quality of the pavement surface in this relatively small area.
 - b. The design needs to demonstrate how the sidewalk will transition from its five-foot width at the north end to the existing ten-foot-wide asphalt path. A transition section of concrete at the north end is recommended.
 - c. Since the public sidewalk will be on private property, but matches the current location of the asphalt path, a review of the property's title work is appropriate. If an existing sidewalk easement exists on the property, its size and location needs to be shown on the plan. If no sidewalk easement exists, one shall be prepared and submitted in signed, recordable form prior to plan approval.

Lapeer, MI: 128 N. Saginaw Street, 48446 | Phone: (810) 664-9411

Civil Engineering | Surveying | Landscape Architecture | Aerial Imagery/Mapping | Planning

Flint, MI (HQ) | Lapeer, MI | Farmington Hills, MI | Kentwood, MI | Mt. Pleasant, MI | Grayling, MI | Myrtle Beach, SC | www.rowepsc.com

Mr. Joseph M. Madore, Manager – Village of Oxford

March 28, 2022

Page 2

2. Various details have been added to the site plan. Provide clarification where the concrete parking bumpers and concrete valley gutter are proposed on the plan.

ROWE's plan review is for conformance with the Village's submittal requirements and standard engineering practices for the Village's use in its determination of whether to approve the plans. The developer and designer shall be responsible for the accuracy and validity of the information presented on the plan. Regulatory and other governmental agencies with jurisdiction may have additional comments or requirements. Further review of the proposed design will be necessary as the applicant addresses the comments noted.

The developer and designer remain responsible for the design, construction, and any resulting impacts of the project.

If you have any questions regarding this review, please contact me directly at (248) 318-1492.

Sincerely,
ROWE Professional Services Company

Paul T. O'Meara, PE
Project Manager

CC: Mario Ortega – McKenna

SITE PLAN REVIEW	01/24/22
SITE PLAN REVIEW	03/04/22
REVISION	04/20/22

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studio [intrigue] architects
1014 S. WASHINGTON AVE. • SUITE 100 • LANSING • MICHIGAN • 48201
572.772.8804 PHONE • 572.772.8805 FAX • WWW.STUDIOINTRIGUE.COM



SHEET INDEX		SHEET DESCRIPTION	DATE
SHEET		INDEX SHEET	
IX	C-01	GRAPHIC SITE PLAN / PROXIMITY MAP	08/04/22
	C-02	GRAPHIC SITE PLAN / PROXIMITY MAP	08/04/22
	C-03	TRAFFIC ENCLOSURE AND SIGN DETAILS	08/04/22
	E-100	SITE PHOTOGRAPHY PLAN	08/04/22
A-1		GRAPHIC FLOOR PLAN	08/04/22
A-301		GRAPHIC BUILDING ELEVATION	11/09/21
A-302		GRAPHIC BUILDING ELEVATION	11/09/21
M-101		HVAC PLAN	08/04/22
C-1		PAVING, GRASSING AND UTILITY PLAN	08/04/22
		SOIL EROSION AND SEDIMENTATION CONTROL DETAILS	
LP-1		LANDSCAPE PLAN	08/04/22



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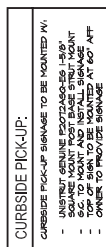
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LICENSEE TO USE OF THIS DRAWING
SHALL BE LIMITED TO CLIENT
REVIEW ONLY.

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NOT FOR
CONSTRUCTION

Project Type NEW CONSTRUCTION	Project SKYMIN'T PROVISIONING CENTER 400 S. GLASPIE OAKFORD, MI 48371	Client THE DISTRICT PARK LLC	 GOSPEL 2023-2024 Project # District Park, LLC	Project Number 21.144	Sheet IX
-------------------------------------	---	---------------------------------------	--	--------------------------	-------------



SITE DATA
ZONING: I-1 (INDUSTRIAL DISTRICT)
LOT AREA: 2.88 ACRES

<p>PARKING DATA</p> <p>CALCULATES AS RETAIL SALES AND SERVICE ESTABLISHMENTS.</p> <p>REQUIRED 1 SPACE PER 550 S.F. USEABLE FLOOR AREA</p> <p>TOTAL INTERIOR FLOOR AREA: 2,566,600 SQ. FT.</p> <p>2,568 X 300 X 200-4.4 USEABLE FLOOR AREA (100% RULE)</p> <p>2,084.7 X 380=793.87 OR 6 SPACES REQUIRED</p> <p>23 SPACES PROVIDED</p>

BIKE RACKS:

BIKE RACKS TO BE:
ULINE CIRCLE BIKE RACK
- 2 BIKE CAPACITY BLACK
CONTRACTOR FURNISH/
CONTRACTOR INSTALLED

NEW
CONSTRUCTION

Client

Copyright 2022 Studio [Intrigue] Architects, LLC

Project Number
21.144

Sheet
C-101

03/04/22
SITE PLAN REVIEW

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st[udio]i

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101 S. WASHINGTON AVE. • SUITE 200 • CHEYENNE • WYOMING • 82001

FREESTANDING SIGN

FIR ARTICLE 19 OF THE VILLAGE OF OXFORD ZONING ORDINANCE
 A. 241 SQUARE FEET IN AREA
 B. 10' IN HEIGHT AND TWENTY-FOUR (24) SQUARE FEET IN AREA

PROPOSED FREESTANDING SIGN

HEIGHT OF SIGN: 25.5' ±
 AREA OF SIGN: 241' ±

NOTE:
 THE SIGNAGE SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY. DO NOT
 CONSIDER THESE DRAWINGS AS A FINAL DESIGN. THE FINAL DESIGN
 DRAWINGS, THESE DRAWINGS ARE NOT SHOP DRAWINGS.
 THE SIGNAGE SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH THE
 PROJECT SITE TO RESOLVE & OBSERVE FIELD CONDITIONS.

SIGNAGE NOTE:

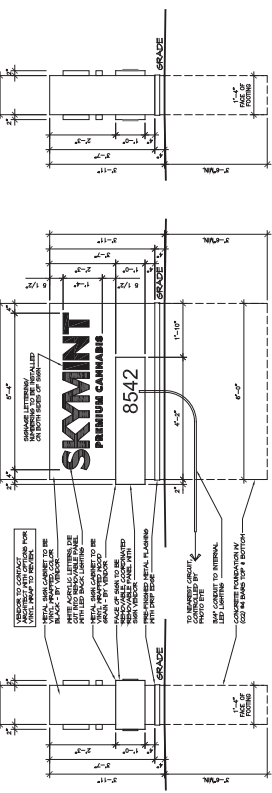
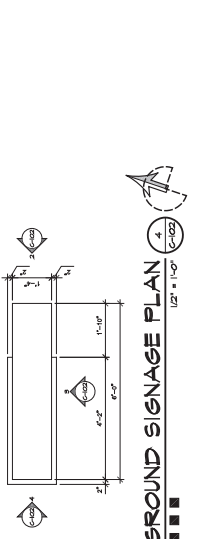
GENERAL CONTRACTOR SHALL PROVIDE GRADED SIGN BASE
 AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY
 PERMITS AND APPROVALS FOR SIGN INSTALLATION.

OWNER'S PREFERRED VENDOR:

SHAW SIGNAGE
 HIGHER IMAGE SIGNS - FRAMERS
 101 S. WASHINGTON AVE. • SUITE 200 • CHEYENNE • WYOMING • 82001
 WWW.HIGHERIMAGE.NET

NOTE: SIGN VENDOR IS RESPONSIBLE FOR SIGN PERMITS AND
 VERIFYING FINAL DESIGN COMPLIANCE WITH LOCAL ORDINANCE
 REQUIREMENTS.

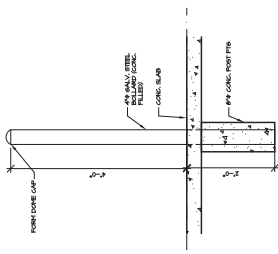
PROVIDE SIGN DRAWINGS TO ARCHITECT AND OWNER. OWNER
 APPROVAL REQUIRED PRIOR TO SIGN INSTALLATION.



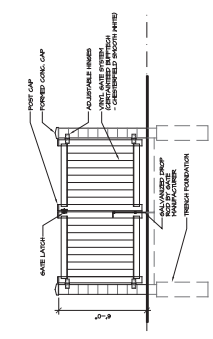
FREESTANDING SIGN ELEVATION
 1/2" = 1'-0"

FREESTANDING SIGN ELEVATION
 1/2" = 1'-0"

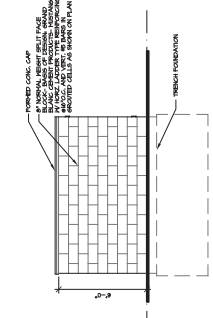
FREESTANDING SIGN ELEVATION
 1/2" = 1'-0"



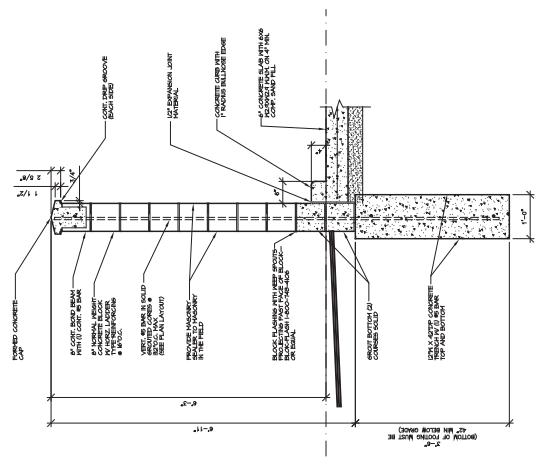
TRASH ENCLOSURE BOLLARD SECTION
 3/4" = 1'-0"



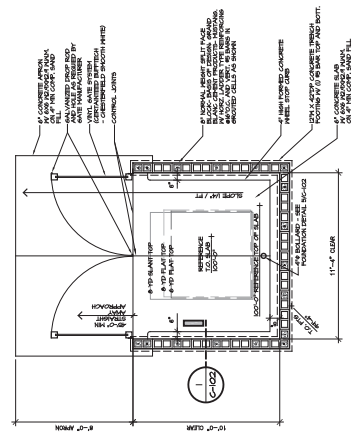
FRONT ELEVATION
 1/4" = 1'-0"



SIDE ELEVATION
 1/4" = 1'-0"



TYPICAL WALL SECTION
 3/4" = 1'-0"



TRASH ENCLOSURE PLAN
 1/4" = 1'-0"

Project Type: NEW CONSTRUCTION

Project: SKYMIN'T PROVISIONING CENTER

Client: THE DISTRICT PARK LLC

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Project Number: 21.144

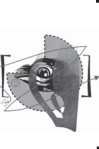
Sheet: C-102

01/24/22	SITE PLAN REVIEW
03/04/22	SITE PLAN REVIEW

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studio
[intrigue]
ARCHITECTS

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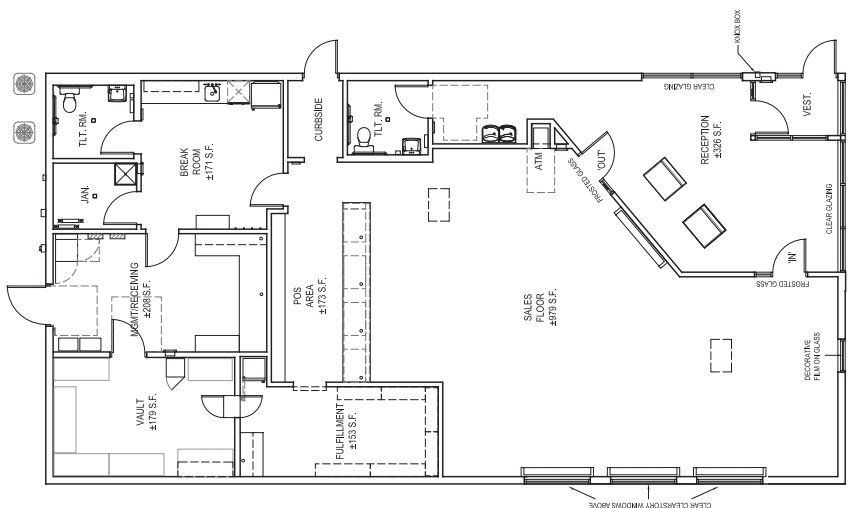
Project Type
NEW
CONSTRUCTION

Project
SKYMIN'T
PROVISIONING CENTER
400 S. GLASPIE
OXFORD, MI 48371

Client
THE
DISTRICT PARK
LLC

Project Number
21.144

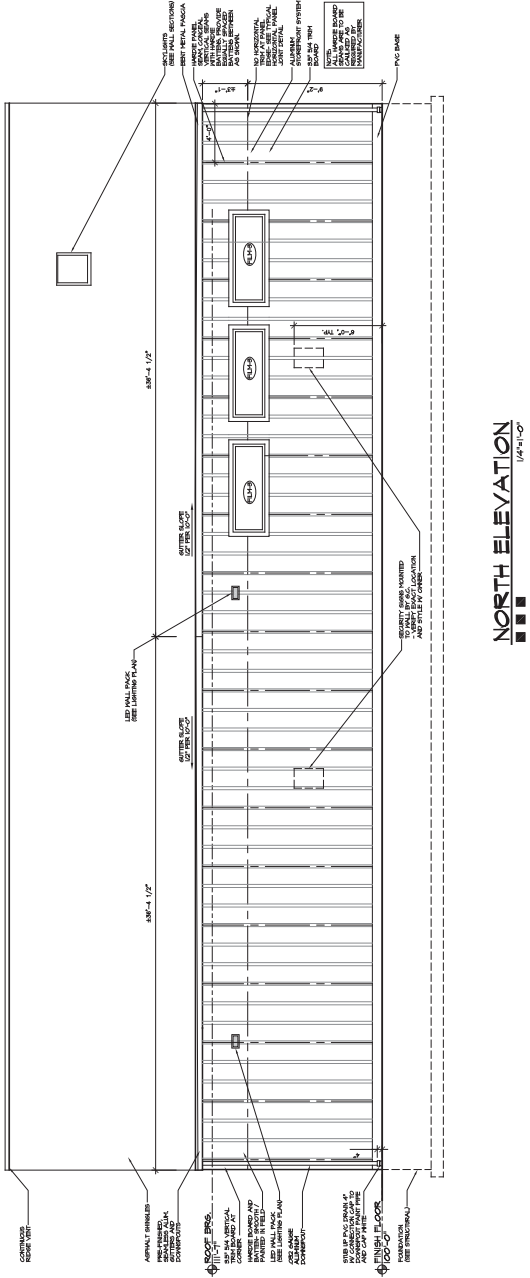
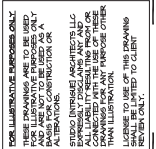
Sheet
A-1



400 S. GLASPIE, MI
PRELIMINARY FLOOR PLAN
SKYMIN'T • NOT
FOR CONSTRUCTION
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PRELIMINARY
NOT FOR
CONSTRUCTION



HVAC NOTES

A. F1 (12000 CFM) CARRIER (OR APPROVED EQUAL) 80000 BTU / 400°

F2 (12000 CFM) CARRIER (OR APPROVED EQUAL) 80000 BTU / 400°

A/C1 (121 TERN MIN) CARRIER (OR APPROVED EQUAL) COMPATIBLE W/ F1

A/C2 (121 TERN MIN) CARRIER (OR APPROVED EQUAL) COMPATIBLE W/ F2

INDOOR SPLEATH-EXTENSION SPEED FILTER BOX-2

F1 12000 CFM INLINE FAN W/ SPEED CONTROL

F2 12000 CFM INLINE FAN W/ SPEED CONTROL

B. ALL SUPPLY DIFFUSERS SHALL HAVE INTEGRAL DAMPERS.

C. ALL DUCTWORK SHALL BE GLENNED BY THE M.C. PRIOR TO OCCUPANCY.

D. ALL GAS PIPING SHALL BE INSTALLED BY THE M.C.

E. UNLESS OTHERWISE NOTED, ALL SUPPLY DUCTWORK SHALL HAVE 1" DUCT LINING - DIMENSIONS OF DUCTS OR SHALL HAVE 1" DUCT LINING - DIMENSIONS OF DUCTS SHALL BE MAINTAINED.

F. ALL EXPOSED DUCT SHALL BE ANNUALLY PAINTABLE SPRAL DUCTS. (SEE A-101 FOR FINISH)

G. FLEX DUCT MAY BE USED ABOVE LAY-IN OR IN CONCEALED CEILING SPACE TO THE EXTENT ALLOWED BY DISTRIBUTION SYSTEM SHALL SHUT DOWN.

H. UPON ACTIVATION OF THE DUCT DETECTOR, THE AIR THE PRESENCE OF A DUCT DETECTOR TO IDENTIFY ANY

I. ALL EXHAUST FANS SHALL BE PROVIDED & INSTALLED BY THE M.C.

J. ALL FRESH AIR DUCTS SHALL BE TERMINATED TO THE EXTERIOR OF THE BUILDING ENVELOPE VIA A FLEXIBLE CONNECTOR. TERMINATING INTO THE ATTIC SHALL NOT BE PERMITTED.

K. ALL FRESH AIR DUCTS SHALL BE INSULATED.

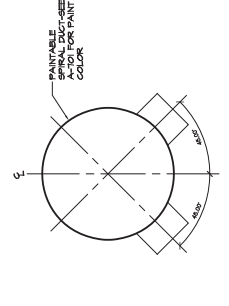
L. ALL EXHAUST FAN DUCTS SHALL BE TERMINATED TO THE EXTERIOR OF THE BUILDING ENVELOPE VIA A FLEXIBLE CONNECTOR. TERMINATING INTO THE ATTIC SHALL NOT BE PERMITTED.

M. ALL HORIZONTAL FURNACES SHALL BE INSTALLED WITH AN AIR HANDLING UNIT AND BE CONNECTED TO THE BUILDING'S SANITARY SYSTEM.

N. THE M.C. SHALL NOT RUN THE HVAC SYSTEM FOR COMPLETION START-UP.

O. THE M.C. SHALL PROVIDE TEMPORARY HEAT AS A SERVICE CALLS DURING THE FIRST YEAR FROM THE DATE OF COMPLETION.

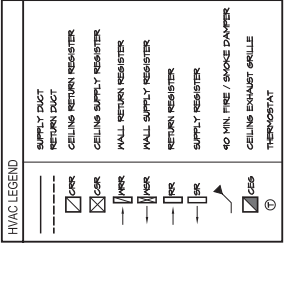
P. TO COMPLY WITH MINN. INTERIOR LAM AND SPATE CODE, THE THERMOSTATS SHALL BE MOUNTED SO THAT THE TOP OF THE HIGHEST CONTROL MECHANISM DOES NOT EXCEED 48" IN HEIGHT.



DUCTWORK DETAIL 1 N.T.S.

FRESH AIR CALCULATIONS (2015 MMC TABLE 403.3)

OFFICE	1704 SF / 1000' x 5	= 4 OGC
OCCUPANT FRESH AIR	1704 SF / 1000' x 5	= 20 CFM
AREA FRESH AIR	1704 SF x 0.08 CFM / SF	= 44 CFM
TOTAL OFFICE FA REQUIRED		= 64 CFM
RECEPTION	480 SF / 1000' x 5	= 11 OGC
OCCUPANT FRESH AIR	480 SF / 1000' x 5	= 11 CFM
AREA FRESH AIR	480 SF x 0.08 CFM / SF	= 28 CFM
TOTAL OFFICE FA REQUIRED		= 49 CFM
RETAIL	1704 SF / 1000' x 5	= 4 OGC
OCCUPANT FRESH AIR	1704 SF / 1000' x 5	= 20 CFM
AREA FRESH AIR	1704 SF x 0.08 CFM / SF	= 44 CFM
TOTAL OFFICE FA REQUIRED		= 64 CFM
VAULT	1004 SF / 1000' x 5	= 1 OGC
OCCUPANT FRESH AIR	1004 SF / 1000' x 5	= 12 CFM
AREA FRESH AIR	1004 SF x 0.08 CFM / SF	= 24 CFM
TOTAL FA CM PROVIDED		= 490 CFM



FURNACE ALTERNATIVE

EQUIPMENT LISTED IS USED AS BASIS OF DESIGN. THERE IS AN APPROVED EQUAL AND MAY BE SUBSTITUTED.

COORDINATION NOTE:

M.C. TO COORDINATE WITH E.C. TO AVOID SHAWING LIGHTING DUE TO SUPPLY AND RETURN DUCTS.

DUCT DIMENSION NOTE:

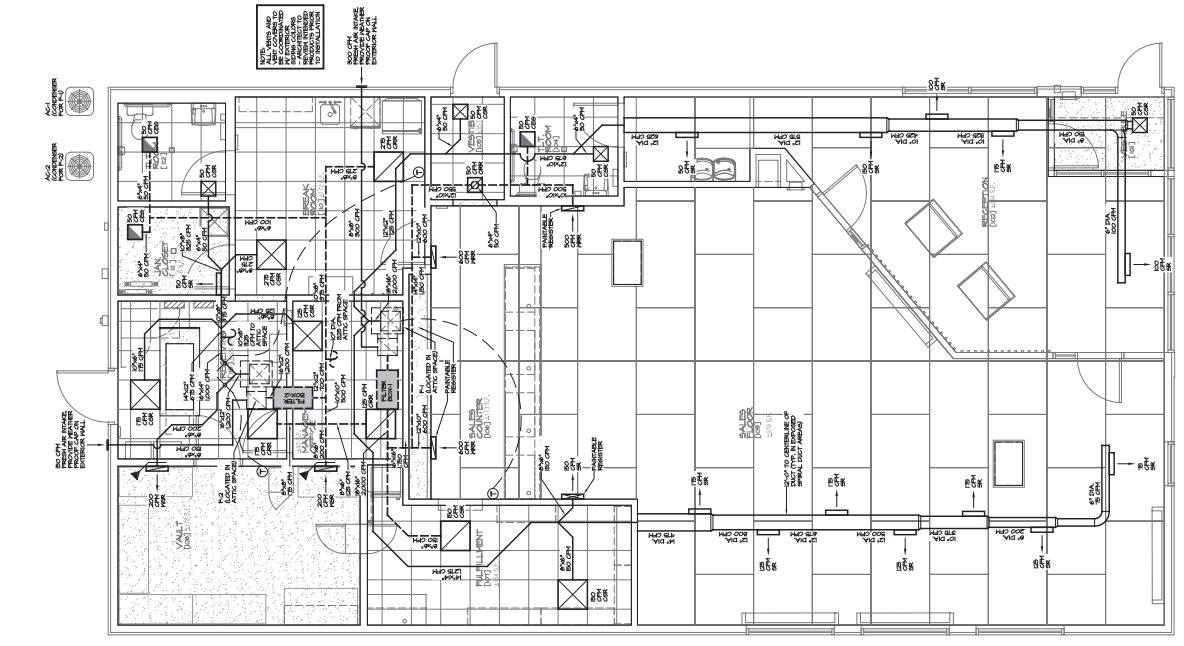
THE LARGER DIMENSIONS SHOWN ON THIS PLAN SHALL BE USED FOR ALL DIMENSIONS, E.T.C.

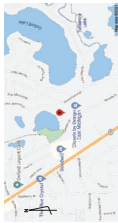
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STUDIO (INTEPID) ARCHITECTS, LLC

ALL LIABILITY SHALL REMAIN WITH THE CLIENT. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.





LOCATION MAP
(N.T.S.)

NOTE:
ADD 1000.00 TO ALL
PROPOSED ELEVATIONS

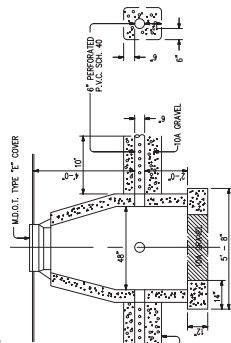
CONSTRUCTION/ SOIL EROSION CONTROL SEQUENCE
1. Clear site, remove all debris, and grade to proposed elevations.
2. Install erosion control measures (silt fences, straw bales, etc.) to prevent soil erosion.
3. Install temporary soil erosion controls (silt fences, straw bales, etc.) to prevent soil erosion.
4. Install permanent soil erosion controls (silt fences, straw bales, etc.) to prevent soil erosion.

NOTES:
1. THE CONSTRUCTION OF THIS PROJECT SHALL BE IN ACCORDANCE WITH THE CITY OF ALABAMA, CHAPTER 10, ARTICLE 10-1, AND THE ALABAMA DEPARTMENT OF HIGHWAY TRANSPORTATION, CHAPTER 10, ARTICLE 10-1.
2. ALL SOIL EROSION CONTROLS SHALL BE REMOVED FROM THE PROJECT SITE PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE CITY OF ALABAMA.
3. ALL SOIL EROSION CONTROLS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD BY THE MAJOR CONTRACTOR.
4. ALL SOIL EROSION CONTROLS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD BY THE MAJOR CONTRACTOR.
5. ALL SOIL EROSION CONTROLS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD BY THE MAJOR CONTRACTOR.

SITE DATA

SITE AREA - 2.83 ACRES
EXISTING - 1.00 ACRES
PROPOSED ZONING - I-1 (INDUSTRIAL DISTRICT)
SERVICES REQUIRED (F)
PROPOSED (F)
FRONT YARD SETBACK - 5' 0"
REAR YARD SETBACK - 5' 0"
SIDE YARD SETBACK - 5' 0"
PROPOSED BUILDING COVERAGE - 2.70 ACRES (0.08 AC) 0.08/2.70 = 0.03 2.0%
PARKING REQUIRED: 1 SPACED 250 SF OF USABLE FLOOR AREA (ASSUME 4000 SF)
PARKING PROVIDED: 25 SPACES (1000 SF)
NOTES:
1) ALL UTILITIES IN THE SITE SHALL BE SHIELDED AND NOT EXPOSED
2) ALL UTILITIES IN THE SITE SHALL BE SHIELDED AND NOT EXPOSED

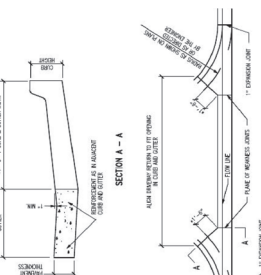
RETENTION BASIN CALCULATION
DESIGN FOR 2 - 100 YEAR STORMS - 2.1 INCHES X AREA X 1" = 1.00 ACRES
REQUIRED VOLUME - 2.1 INCHES X (0.08 AC) X 438 = 16,368 SF
PROVIDED VOLUME (FROM ELEV 1040.1 TO 1050.3) = 16,368 SF
VOLUME PROVIDED: ELEVATION 104.3 18' X 66' (1188 SF) 17,074



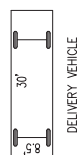
LEACHING BASIN
NO SCALE



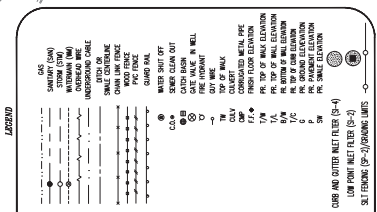
CONCRETE DRIVEWAY OPENING DETAIL



CONCRETE SIDEWALK



DELIVERY VEHICLE



THE UTILITY LOCATIONS AS SHOWN ARE BASED ON THE RECORD DRAWINGS AND FIELD SURVEY. THE UTILITY LOCATIONS AS SHOWN ARE BASED ON THE RECORD DRAWINGS AND FIELD SURVEY. THE UTILITY LOCATIONS AS SHOWN ARE BASED ON THE RECORD DRAWINGS AND FIELD SURVEY.



Know what's below.
Call before you dig.



LAND SURVEYING
3255 LINDSEY AVE. N.E.
TALLAHASSEE, FL 32310
TEL: (904) 249-0556

PROPRIETOR: SKYMINT

PAVING, GRADING & UTILITY PLAN

DATE: 01-21-2022
DRAWN BY: J.M.F.
CHECKED BY: J.M.F.
REVISED: 01-21-2022
REVISED: 01-21-2022



April 25, 2022

Mr. Joseph M. Madore, Manager
Village of Oxford
22 West Burdick Street
Oxford, MI 48371

RE: Engineering Site Plan Review for 400 South Glaspie Street, Oxford, MI

Dear Mr. Madore:

At your request, ROWE Professional Services Company has completed a *third* site plan review for the address listed above. The plans were prepared by Studio Intrigue Architects, Survey Tech surveyors and engineers, and Nagy Devlin Land Design. The first sheets were prepared by the architect and include a general site plan and photometric plan. All engineering details are contained on the one sheet prepared by Survey Tech. Like the previous submittals, only the engineering sheet and the landscape designs were sealed by a registered professional.

The applicant is proposing to construct a 2,712 square feet square foot marijuana retail building, as well as a new parking lot and rear yard leaching basin.

Comments that have been addressed from ROWE's previous review (letter dated March 28, 2022) have been removed from this letter. Additional comments related to a previous comment are shown in *italic font* and new comments are shown in standard font.

Based on ROWE's review, we offer the following comments for your consideration:

SHEET C-1

1. The plan has been revised to include the installation of a new concrete sidewalk across the frontage of the property. Needed refinements to the design include:
 - a. The concrete sidewalk will need to extend through the drive approach as a 6-inch concrete pavement, which will eliminate the need for ramps on both sides. *This item was not addressed.*
 - b. Since the public sidewalk will be on private property, but matches the current location of the asphalt path, a review of the property's title work is appropriate. If an existing sidewalk easement exists on the property, its size and location needs to be shown on the plan. If no sidewalk easement exists, one shall be prepared and submitted in signed, recordable form prior to plan approval. *The applicant's response letter indicates that the owner understands the need for a sidewalk easement, and they are prepared to execute one as a part of the site plan approval process.*

Lapeer, MI: 128 N. Saginaw Street, 48446 | Phone: (810) 664-9411

Civil Engineering | Surveying | Landscape Architecture | Aerial Imagery/Mapping | Planning

Flint, MI (HQ) | Lapeer, MI | Farmington Hills, MI | Kentwood, MI | MI Pleasant, MI | Grayling, MI | Myrtle Beach, SC | www.rowepsc.com

Mr. Joseph M. Madore, Manager – Village of Oxford

April 25, 2022

Page 2

ROWE's plan review is for conformance with the Village's submittal requirements and standard engineering practices for the Village's use in its determination of whether to approve the plans. The developer and designer shall be responsible for the accuracy and validity of the information presented on the plan. Regulatory and other governmental agencies with jurisdiction may have additional comments or requirements. Further review of the proposed design will be necessary as the applicant addresses the comments noted.

The developer and designer remain responsible for the design, construction, and any resulting impacts of the project.

If you have any questions regarding this review, please contact me directly at (248) 318-1492.

Sincerely,
ROWE Professional Services Company

Paul T. O'Meara, PE
Project Manager

CC: Mario Ortega – McKenna

r:\projects\18L0126\docs\plan reviews\400 Glaspie\Site Plan Review 3\Glaspie 400 site plan review THREE.docx



MCKENNA

March 22, 2022

Mr. Joseph Madore
Village Manager
Village of Oxford
22 W. Burdick Street
Oxford, MI 48317

Subject: **Skymint Marijuana Retailer – Site Plan Review #2** (*Site Plan Dated March 4, 2022 and received March 10, 2022*)

Location: **400 S. Glaspie Street – Parcel ID# 04-26-176-002** (*East side of S Glaspie Street, south of Scriptor Park*)

Zoning: **I-1, Industrial**

Dear Mr. Madore:

At the Village's request, we have reviewed an application for the establishment of an adult use marijuana retailer at the above referenced location. The applicant is The District Park, LLC doing business as (d/b/a) Skymint and the property owner is FL MI RE 20, LLC.

SITE LOCATION AND EXISTING CONDITIONS

The site is 2.55 acres in area and is an unimproved vacant site. It is occupied by a varying density of woodlands towards the north and east/rear of the site. The photo below provides context.

PROPOSED USE

The applicant is proposing to construct a new building and establish an adult use marijuana retailer.

ADULT USE MARIJUANA FACILITY ORDINANCE COMMENTS

Section 4.1.29 of the zoning ordinance outlines the standards applicable to adult use marijuana facilities. We provide the following comments regarding the applicable standards.



DETROIT
1938 Franklin Street
Suite 203
Detroit, Michigan 48207

O 313.888.9882
F 248.596.0930
MCKA.COM

Communities for real life.



1. **Location.** Section 4.1.29(C) requires adult use marijuana facilities to be located in the I-1 Industrial district and at least 500 feet from the nearest lot line of any child care center, day care facility, school or like facility. The site is zoned I-1. The revised application includes a scaled and dimensioned sensitive use location map which confirms that the site is at least 500 feet from the nearest cited facilities. The applicant is in compliance with this standard.
2. **Hours of Operation.** Adult use marijuana retailers may only be open from 9:00 a.m. to 9:00 p.m. Page 2 of the Business and Operations Plan within the applicant's submitted document states the retailer will operate from 9:00 a.m. to 9:00 p.m. seven days per week. The applicant is in compliance with this standard.
3. **Odor Control Plan.** Section 4.1.29(D)(2) requires all marijuana facilities to be equipped with a mechanical system that at all times effectively confines any odor to the interior of the building. The applicant has included an HVAC and Odor Mitigation Devices section beginning on page 3 of the Business and Operation Plan which provides a narrative for the policies and procedures. It states that activated carbon filters will be used within the system. Sheet M-101 of the revised site plan provides the details for the HVAC system for the facility.

The Village has recently approved marijuana facilities that include HVAC plans that initially appear to comply with the ordinance. We recommend any site plan approval be contingent upon approval by the mechanical inspector of a detailed mechanical plan which is consistent with the components of the previously approved marijuana facility mechanical plans.

4. **Waste Water Control Plan.** Section 4.1.29(D)(3) requires all marijuana facilities to be designed and operated to minimize the amount of pesticides, fertilizers, nutrients and marijuana that may be discharged into the public waste water and stormwater systems. A retail facility does not use pesticides, fertilizers or nutrients as part of its operation. The site does not need to provide additional treatment systems given the lack of contaminants on site.

A waste disposal plan has been submitted as Attachment B with the revised site plan. It is a narrative of the waste disposal policies for the facility and includes a management and disposal of marijuana waste section detailing the disposal process. The proposed waste control plan is generally in compliance with ordinance standards.

5. **Security Plan.** Section 4.1.29(D)(4) requires all marijuana facilities to have an adequate security plan to prevent access and removal of marijuana by non-authorized personnel. The applicant has included a general security plan narrative beginning on page 12 within their business plan. The revised site plan Attachment C includes a detailed security plan showing the location of cameras, secured doors and other security equipment to be installed for the interior and exterior of the building. This site and building will be inspected by MRA and the Michigan State Police prior to being granted a license to operate to ensure the site meets State standards. However, the Village ordinance requires review by the Village Chief of Police of a detailed security plan. We recommend final site plan approval be contingent upon the Police Chief's approval of the security plan.
6. **Other Operational Standards.** Section 4.1.29(D)(5) through (12), excluding subparagraph (9) which is addressed below, are additional operational standards for the use. They require that all marijuana related operations must be conducted indoors, comply with any inspections, are prohibited from smoking or consuming marijuana on-site, cannot create a noise, odor, or sound nuisance nor transfer their license to



another entity. The applicant has signed a release of liability, indemnification and waiver document along with an oath of application. These acknowledgements typically include agreement by the applicant that they shall not violate the ordinances of the Village. The applicant is in compliance with these operational standards.

SITE PLAN REVIEW COMMENTS

Article 9, Chapter 1 of the zoning ordinance outlines the information requirements, review procedures and approval criteria for site plans within the Village. We provide the following comments for your consideration based on the zoning ordinance, other applicable Village ordinances and sound planning principals.

- A. Dimensional Requirements.** The dimensional requirements for the I-1, Industrial district in Section 3.4.4 of the Zoning Ordinance are as follows:

<i>Standard</i>	<i>Required</i>	<i>Proposed</i>	<i>Compliance Status</i>
<i>Maximum Building Height</i>	35 feet (ft)	18 ft	In Compliance
<i>Front Yard Setback</i>	50 ft	50 ft	In Compliance
<i>Side Yard Setbacks</i>	50 ft adjacent to residential or 0 ft	Greater than 50 ft	In Compliance
<i>Rear Yard Setback</i>	50 ft adjacent to residential or 0 ft	Greater than 50 ft	In Compliance

- B. Building Architecture.** Elevations have been provided on Sheet A301 and A302. The applicant is proposing to construct a one-story peaked roof 2,712 SF building. The exterior would be comprised of board and batten siding using James Hardie brand composite material. 2 x 2 cedar slats are proposed at the corner of the south and west elevations to create a contrasting wall area with a faux peaked roof line to define the entrance. The proposed board and batten siding is arctic white while the cedar slats color is not specified. While the materials are of an average to a high quality, the building style is mainly functional in nature. No effort has been made to create any points of articulation, the resulting exterior is a flat uniform surface along all elevations. While the building is adequate for the industrial district, it will not elevate the design or style of the Village.
- C. Off-Street Parking Requirements.** Article 7, Chapter 1 outlines off-street parking requirements. The standard for a conventional retail sales establishment is to provide enough parking for employees and customers while ensuring parking lots are designed to function efficiently. The minimum off-street parking requirement for a retailer is one space per 350 SF of floor area.

Section 9.1.9 outlines the required criteria for granting site plan approval. Specifically, Section 9.1.9(J) also requires that off-street parking lots must accommodate the intensity of the proposed uses and minimize conflicts with adjacent uses. To determine compliance with this standard, it will be necessary to determine the parking needs for each component of the marijuana retailer that will generate a parking demand. The applicant's March 7, 2022 response letter provides additional detail for each parking generating component of the facility. These include the following:

- 1. Marijuana Customer Capacity.** Marijuana retail facilities in other locations are known to have a high number of on-site customer visits. The small size of the product requires less floor space and allows for more points of contact between a salesperson and a customer, almost similar to a watch or jewelry



store. If the applicant utilizes a retail system where each customer is always escorted by a sales person, this could be used to determine how many customers are in the retail area. The size of the waiting area will add to the number of customers within the building.

Sheet A-1 shows a 326 SF reception area along with a 979 SF retail area. The applicant's response letter indicates they will not be utilizing an escorted customer system and instead allow all customers to enter the sales floor. The applicant anticipates a total number of customers as high as 175. The applicant states this equates to 15 customers per hour but that is only if they are evenly distributed throughout a 12 hour business day. To accurately determine how many customers could access the facility the fire department should indicate how many people are allowed in the sales floor and reception area based on the fire code.

2. **Retail Employees.** The applicant's staffing plan within the business plan states a minimum of twelve (12) employees and lists up to 21 employees to staff the facility. The applicant's response letter indicates a total of eight (8) employees will be on site. Eight parking spaces should be dedicated for employees on the site plan.
3. **Curb-side Pick-up.** Recent trends for retailers include some form of customer curb-side pickup or walk up service. Curb-side pick-up customers will not enter the waiting or retail areas of the building and those spaces will not be available for employees or retail customers entering the building. The applicant's response letter states that three (3) spaces will be utilized for curb-side pick-up and three (3) spaces are designated on the revised site plan.

Based on the above, 11 of the 23 provided parking spaces are needed for employees and curb-side service. If the Fire Department determines that more than 12 retail customers can enter the building's sales floor and reception areas than the site plan must be revised to provide enough parking for the maximum amount of retail customers allowed per the Fire Code.

- D. **Loading Zone.** A required 10 ft x 50 ft loading zone is shown to the rear of the building on sheet C-1 and is located in close proximity to a door that accesses a receiving area. The type of vehicle to service the site is not indicated. A detail for a 10 ft x 30 ft delivery vehicle is shown on the paving, grading and utility plan sheet. The turning movements for a vehicle of this size is shown as well, which utilizes a paved truck bump out to complete the turns. The Planning Commission should indicate if the use of a 10 ft x 30 ft delivery vehicle is appropriate. The truck bump out should include angled pavement markings and a pole-mounted "No Parking" sign at the edge of pavement.
- E. **Parking Lot Design.** Section 7.1.3(B)(h) states that parking and loading areas along with circulation and access drives shall have concrete curbing installed along the perimeter of the vehicular use area to prevent encroachments. Neither the site plan or the paving, grading and utility plan show a raised curb around the entire parking lot perimeter. The site plan must be revised to comply with this standard.
- F. **Dumpster Enclosure.** The site plan shows the location for a dumpster enclosure. Sheet C-102 now includes cross-section details for the dumpster enclosure which are in compliance with ordinance standards.
- G. **Exterior Lighting.** A photometric plan has been provided on Sheet E-100. It includes the location of fixtures along with a lighting schedule that includes mounting height. Detailed cut sheets have been provided with



revised site plan Attachment D. Site light fixture D is mounted with an angled bracket and it appears it will be angled upwards to illuminate the sign and wall. All lighting must be directed downwards to be parallel to grade. We suggest the use of internally illuminated signage or backlit channel cut lettering. The lighting plan must be revised to remove light fixture D and a note added to Sheet E-100 that all fixtures shall be fully shielded, directed downward, and mounted on fixed brackets to ensure fixtures are not capable of being angled after installation.

- H. Landscaping.** A separate landscape plan has been provided on Sheet LP-1. It includes the location, species, size and quantity for the proposed landscape materials and appears to be in compliance with ordinance standards. However, the minimum size for shrubs at installation is 36 inches in height or 30 inches in spread and the plant list have several shrub species that do not meet this standard. The plant list must be revised to provide the required minimum size. The Planning Commission encourages the use of native species and discourages the use of any species that are currently subject to known diseases or infestations. We defer to the Planning Commission as to whether the proposed landscape materials are appropriate.
- I. Signage.** The elevations show proposed wall signage and a freestanding sign is shown on sheet C-102. All signage will require a separate sign application. Any proposed signage will be reviewed for zoning ordinance compliance at the time of application for a sign permit.

RECOMMENDATION

While the submitted application is in compliance with some ordinance standards, additional details remain. The parking need generated by the retail area must be clarified. We recommend that the applicant prepare a revised site plan addressing all issues identified above before the project is scheduled for Planning Commission review.

Please do not hesitate to contact us with any questions.

Respectfully submitted,

McKENNA

Mario A. Ortega, AICP
Principal Planner

Administrative review checklist for Marijuana site applications.

Application #: MJ21-10

Review Date: 12/16/2021 Reviewed by: JM Madore

App.#

- 1 Preliminary State License Approval. A letter from the Marijuana Regulatory Agency of the State of Michigan (or any designated successor) granting preliminary state license approval for the Applicant to operate a marijuana facility that the Applicant is requesting for approval within the Village of Oxford. The burden to obtain any and all State approvals shall be on the Applicant.

<input checked="" type="checkbox"/>		
Provided	Missing	other

- 2 Documentatation showing tenancy, ownership or authorization for this use on the site.

<input checked="" type="checkbox"/>		
Provided	Missing	other

- 3 Provide proof of company legal status, proof of registration with the State of Michigan and certificate of good standing.

<input checked="" type="checkbox"/>		
Provided	Missing	other

- 4 Provide copy of valid ,unexpired drivers license, State ID for all owners, officers and managers of the proposed facility *manager only*

<input checked="" type="checkbox"/>		
Provided	Missing	other

- 5 Provide evidence of valid State sales tax license if required. *About to Expire*

<input checked="" type="checkbox"/>		
Provided	Missing	other

- 6 Provide non-refundable application fee by Certified check: \$5,000.00

<input checked="" type="checkbox"/>		
Provided	Missing	other

- 7 A Business and Operations Plan, showing in detail the Marijuana Business's proposed plan of operation, including without limitation, the following information:

- ☒ a. A written and complete description of the type of Marijuana Facility proposed and the anticipated or actual number of employees. The name of the proposed Manager of the Marijuana Facility. The days and hours the Marijuana Facility will be open and or in operation.

<input checked="" type="checkbox"/>		
Provided	Missing	other

- A security plan meeting the requirements of the Ordinance which shall include a general
- b. description of the security systems(s) and/or lighting plan showing the lighting outside of the Marijuana Facility.

<input checked="" type="checkbox"/>		
Provided	Missing	other

N/A

- A list of Material Safety Data Sheets for all nutrients, pesticides, and other chemicals and/or
- c. compounds proposed for use in the Marijuana Facility. A copy of a procedural plan for periodic testing of contaminants, including mold and pesticides.

Provided	Missing	other

- A description and plan of all equipment and methods that will be employed to stop any impact to adjacent properties and uses, including enforceable assurances that no odor will be detected
- d. from outside the Facility location property lines. State of the Art proposed odor control technology should be described in detail.

<input checked="" type="checkbox"/>		
Provided	Missing	other

- A plan for the disposal of Marijuana and related by-products that will be used at the Facility which includes, at a minimum, how the Facility will protect against any marijuana being ingested
- e. by any person or animal, indicating how the waste will be stored and disposed of, and how any marijuana will be rendered unusable upon disposal. Disposal by on-site burning or introduction to the sewage system is strictly prohibited.

	<input checked="" type="checkbox"/>	
Provided	Missing	other

- 8 The identification of any business, other than the Applicant, that will be directly or indirectly involved in the operations at the Facility.

<input checked="" type="checkbox"/>		
Provided	Missing	other

- A signed attestation in a form approved by the State of Michigan indicating all prior applications, approvals or denials in other jurisdictions and a statement describing the facts and
- 9 circumstances concerning the application, denial, restriction, suspension, revocation, or nonrenewal, including the licensing authority, the date each action was taken and the reason for each action.

<input checked="" type="checkbox"/>		
Provided	Missing	other

10

A Site Plan for the Facility. The site plan shall include an interior floor plan as well as a scale diagram illustrating the Facility location upon which the Facility (s) is to be operated, including all available parking spaces and specifying which parking spaces, if any, are handicapped accessible. A location area map of the Marijuana Facility and the surrounding area that identifies that the location of the Facility is situated. The Site Plan shall comply with the applicable and controlling Village of Oxford ordinances in terms of scope, copies and submittal process.

✓		<i>not complete, will need add'l info</i>
Provided	Missing	other

11

Information regarding any other Marijuana Business Facility that the Applicant/Licensee is currently authorized to operate in any other jurisdiction within the State of Michigan, or another State, and the Applicant's involvement in each Facility identified.

✓		
Provided	Missing	other

12

Proof of Insurance. Any Licensee in the Village of Oxford shall, at all times, maintain in full force and effect for duration of the License, worker's compensation insurance as required by state law, and general liability insurance with minimum limits of \$1,000,000 per occurrence and a \$2,000,000 aggregate limit issued from a company licensed to do business in Michigan. A Licensee shall provide proof of insurance to the Village Clerk in the form of a certificate of insurance evidencing the existence of a valid and effective policy which discloses the limits of each policy, the name of the insurer, the effective date and expiration date of each policy, the policy number and the names of the additional insureds. The policy shall name the Village of Oxford and its appointed and elected officials and employees as additional insureds to the limits required by this section. A License or its insurance broker shall notify the Village of any cancellation or reduction in coverage within seven (7) days of receipt of insurers' notification to that effect. The license Holder shall forthwith obtain and submit proof of substitute insurance to the Village Clerk within five (5) business days in the event of expiration or cancellation of coverage.

✓		<i>Add'l Insured Village of Oxford</i>	<i>Missing</i>
Provided	Missing	other	



OXFORD FIRE DEPARTMENT

96 N. Washington St. • Oxford, Michigan, 48371
Ph. (248) 969-9483 • Fax. (248) 969-9489

February 1, 2022

Re: Site Plan
Skimint Provisioning Center
400 S. Glaspie St.
Oxford, Mi 48371

The Oxford Fire Department has received and reviewed the plans that have been submitted for the above address. The plans are **Approved** with the following comments.

- The Address Shall be legible and placed in a position that is visible from the street.
- A Knox Box will be required to be mounted to right or left side of the main entrance to the building

Please forward further questions to Lieutenant Frantz

Lieutenant BJ Frantz
Fire inspector
Office: 248 969-9483
Cell: 248 916-8600



THE VILLAGE

OF

Oxford

MICHIGAN



INSPECTORS: POLICE

Attached are a full set of plans that have been checked in and stamped received.

Please review 400 S. GLASPIE for:

(M.S. RETAIL)

- Completeness
- Current code
- Life and safety issues

Please make any notes in the space below, sign and date this form below.

PROPER ILLUMINATION ON ALL SIDES OF BUILDING
AUDIO/VISUAL SECURITY SYSTEM

Signed: [Signature]

Date: 1/15/11