

Town Hall Commission Chambers 247 Edwards Lane Palm Beach Shores, FL 33404

DEVELOPMENT REVIEW COMMITTEE MEETING AGENDA

Chairman – Mayor Alan Fiers Planning and Zoning Board Representative –

Town Attorney Dylan Brandenburg Zoning Official Josh Nichols Town Engineer Rob Rennebaum Resident Member Bob Stanton Town Clerk Jude M. Goudreau Town Fire Chief Trevor Steedman

Meeting link:

https://townofpalmbeachshores.my.webex.com/townofpalmbeachshores.my/j.php?MTID=mb86760c04628d149 b65959321017b5d6 Meeting number: 2631 806 3718 Password: 0207

Join by phone +1-408-418-9388 United States Toll Access code: 263 180 63718

1. CALL TO ORDER

2. ACTION ITEMS:

- a. **SPR24-03/AAR24-03** Larry and Ellen Waltz, owners of 126 Tacoma Lane, requests Site Plan Review and Architectural & Aesthetic Review Approval to enclose the currently open pool deck.
- b. **SPR24-04/AAR24-04** Barbara Dawson, owner of 221 Linda Lane, requests Site Plan Review and Architectural Review & Aesthetic Review approval to add an extension on to the garage.

3. ADJOURNMENT

PLEASE TAKE NOTICE AND BE ADVISED, that if any interested person desires to appeal any decision made by the Town Commission with respect to any matter considered at this meeting or hearing, such interested person will need a record of the proceedings, and for such purpose may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based. The meeting/hearing will be continued from day to day, time to time, place to place, as may be found necessary during the aforesaid meeting.IN ACCORDANCE WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA), THIS DOCUMENT CAN BE MADE AVAILABLE IN AN ALTERNATE FORMAT (LARGE PRINT) UPON REQUEST AND SPECIAL ACCOMODATIONS CAN BE PROVIDED UPON REQUEST WITH THREE (3) DAYS ADVANCE NOTICE. FOR HEARING ASSISTANCE: If any person wishes to use a hearing device, please contact the Town Clerk.



PROJECT NAME: 126 Tacoma, Pool Bath

Reviewed By:	
Date:	
Fee Paid:	
Town Receipt No:	

SUBMITTAL CHECKLIST

	submittals <u>must</u> include ten (10) paper sets (folded & sorted into complete packet sets) and an electronic copy cd or thumb drive) of the following:
	Completed Development Application (complete all fields, use N/A when not applicable).
	Architectural & Aesthetic Review Request (pg. 11, all submittals)
	Variance Request (pg. 13, if applicable)
	Special Exception Request (pg. 14, if applicable)
	Boundary Survey (Dated to within 6 months of application submission).
	Signed and Sealed Schematics depicting building on site, setbacks, grading, drainage and elevations, as well as the relationship of the site to the neighboring sites (e.g. Site Plan, Drainage and Grading Plan, Roof Plan, Landscape Plan, Elevations).
	Tabular Data showing compliance with all lot coverage, floor area, building height, grade and landscaping requirements.
	SITE PLAN CHECKLIST
Plea	se be sure to include the following on the <u>Site Plan</u> :
	Depict and label 10' Town Strip (front of property) and 5' utility easement (rear of property), and all other applicable easements.
Ш	Depict and label all setbacks and Code required setback lines (front, rear, side, pool, etc.).
	Provide a tabular data table reflecting data from the tables on pgs. 7-8 of this development application.
	For renovations and/or additions, please shade proposed addition area(s) to differentiate from existing.
	Include all a/c equipment, pool equipment and emergency generators and label as proposed or existing.
	Ensure that beam height and top of roof are dimensioned on all elevation drawings submitted.
	Provide a construction schedule for the proposed project (including calendar dates).
	LANDSCAPE PLAN CHECKLIST
Pleas	se be sure to include the following on the <u>Landscape Plan</u> :
	Depict and label the 10' Town Strip (front of property) and 5' utility easement (rear of property).
	Include and label both existing (to remain) and proposed landscaping on the subject property.
	Provide a species legend/key including the height of all landscaping to be provided at installation.
	Ensure that the requirements for 10' Town Strip and front yard trees are met.
	For multi-story construction, ensure that the requirements for privacy screening are met.
	Ensure screening is provided for all ground mounted mechanical equipment (e.g. a/c compressors, pool equipment, emergency generators).

NOTE: Checklists are <u>not</u> comprehensive. They are provided solely to remind Applicants to include items commonly omitted from plans submitted to the Town.



DEVELOPMENT APPLICATION

TOWN OF PALM BEACH SHORES 247 EDWARDS LANE PALM BEACH SHORES, FL 33404 (561) 844-3457

OWNER/APPLICANT: Larry W.	9/tz
PROJECT ADDRESS: 126 Tacoma	PalmBeach Shores, FL 33404
APPLICATION NO.:	SUBMITTAL DATE:

TYPE OF APPROVAL(S) REQUESTED (Check box(es) ☑)

ADMINISTRATIVE APPEAL	SITE PLAN MODIFICATION (14-62)	
ARCHITECTURAL AND AESTHETIC REVIEW (Pf. 14-86)	SITE PLAN REVIEW (14-62)	V
COMPREHENSIVE PLAN AMENDMENT (Pf. 17.3(B))	SPECIAL EXCEPTION (Pf. 15.8)	
PLAT APPROVAL	VARIANCE (Pf. 15.4)	
REZONING (Pf. 17.3(B))	ZONING TEXT AMENDMENT (Pf. 17.3(B))	

	PROPERTY OWNER(S)	APPLICANT (If different than Owner(s))
NAME:	Larry & Ellen Waltz	
ADDRESS:	126 Facoma Lane PBS FL 33404	
PHONE:	847 274:53 94	
EMAIL:	Larry F Waltz@gmail.com	

	AGENT (If different than Owner(s))	CURRENT OCCUPANT (If different than Owner(s))
NAME:	James R White	
ADDRESS:	13928 - 82 Nd Lane N West Palm Beach Fl 33412	
PHONE:	561 856-2888	
EMAIL:	JWhite 55@ Bellsouth. Net	

	PLANNER	DEVELOPER
NAME:		
ADDRESS:		
PHONE:		
EMAIL:		
	ARCHITECT	LANDSCAPE ARCHITECT
NAME:	Ziel Design Group	
ADDRESS:	8174 Cypress Point Road West Palm Beach FL 33412	
PHONE:	561 693-8352	
EMAIL:	greggz@zieldesigngroup.com	
	SURVEYOR	ATTORNEY
NAME:	Tanget Surveying, LLC	
ADDRESS:	West Palm Beach, FL 33407	
PHONE:	561 640-4800	
EMAIL:		
	ENGINEER (USE ADD'L. SHEET FOR MULTIPLE ENGINEERS)	
NAME:		
ADDRESS:		
PHONE:		
EMAIL:		

OWNER ACKNOWLEDGMENT & CERTIFICATION

I (We) affirm and certify that I (We) understand and will comply with all provisions and regulations of the Town of Palm Beach Shores, Florida. I (We) understand that if this Application is approved by the Town, the aforementioned real property described herein will be considered, in every respect, to be a part of the Town of Palm Beach Shores and will be subjected to all applicable laws, regulations, taxes and police powers of the Town including the Comprehensive Plan and Zoning Ordinance. I (We) further certify that all statements and diagrams submitted herewith are true and accurate to the best of my (our) knowledge and belief. Further, I (We) understand that this Application and attachments become part of the Official Records of the Town of Palm Beach Shores, Florida and are not returnable. I (We) acknowledge that no permit will be issued before all fees associated with Application are paid.

- 1. Owner acknowledges and understands that the fee for site plan review, architectural/aesthetic review, variance, special exception, rezoning, etc. *may not cover all review costs*. A final statement of any outstanding costs (covering advertising costs, legal, architectural and other consultant costs) will be sent to the applicant upon completion of the review process. Owner accepts financial responsibility for all costs incurred as a result of this Application.
- 2. A construction schedule is required of all developers during the development process. The Planning and Zoning Board must approve your proposed construction schedule.
- 3. The Town requires payment of impact fees for floor area added during the development, redevelopment or renovation of a property. These impact fees will be used to pay for capital improvements relative to Fire Protection, Police Protection, Parks & Recreation and Public Buildings. Impact fees must be paid to the Town before a Certificate of Occupancy will be issued.
- 4. Roll-off dumpsters for construction/demolition debris and solid waste must be rented through the Town's contracted solid waste hauler, Waste Management.
- 5. Final as-built plans must be submitted to the Town in digital form, preferably in PDF format.

By signing below, I acknowledge that I have read and understan	d the five (5) items listed above.
Signature of Owner	January 16, 2023
Larry Waltz Printed Name of Owner	
Trinted Ivanic of Owner	
STATE OF FLORIDA PALM BEACH COUNTY:	
The foregoing instrument was acknowledged before me by means notarization this 16 day of 2024,	of physical presence or online
by who produced who produced bruitype of identification.	is personally known to me or has
(Name - type, stamp or print clearly)	(Signature)
CHRISTINA MACMULLEN MY COMMISSION # HH 404685 EXPIRES: September 27, 2027	OTARY'S SEAL

AUTHORIZATION OF AGENT & ACKNOWLEDGEMENT OF FINANCIAL RESPONSIBILITY

Consent to an agent is required from the property owner(s) and contract purchaser, if applicable, if the property owner(s) or contract purchaser does not intend to attend all meetings and public hearings and submit it person all material pertaining to the Application. Consent to a firm shall be deemed consent for the entire firm, unless otherwise specified.

This form shall serve as consent for the agent identified below to prepare or have prepared all documents for the Application affecting property I (We) have an ownership interest in.

I (We) hereby designate and authorize the below-signed person to act as my (our) agent in regard to this Application and accept financial responsibility for any costs incurred by the agent as a result of this Application. Further, I (We) acknowledge that no permit will be issued before all fees associated with Application are paid.

Signature of Owner or Trustee	1/18/2024 Date
STATE OF FLORIDA PALM BEACH COUNTY:	
The foregoing instrument was acknowledged b notarization this 18 day of 10004	efore me by means of physical presence or online
produced IL Schicense (type of identific	who is personally known to me or has
(Name - type, stamp or print clearly)	(Signature)
CHRISTINA MACMULLEN MY COMMISSION # HH 404685 EXPIRES: September 27, 2027	NOTARY'S SEAL
Agent Information:	O OF M
Printed Name of Agent	Name of Firm
Signature of Agent	Date 18 2024

PROCEDURES AND TIMELINES

All development applications required to be submitted to the Planning and Zoning Board for review (Site Plan Review, Site Plan Modification, Architectural and Aesthetic Review, Special Exceptions and Variances) will be subject to the following procedures:

- 1. Development Review Committee ("DRC") review is regularly scheduled for the first Wednesday of each month at 2:00 pm. In order to be placed on the DRC agenda, a complete application must be submitted to the Town Clerk by the close of business on Monday of the week prior to the regularly scheduled DRC meeting. Incomplete applications and late submittals will not be placed on a DRC agenda.
- If, as a result of the initial DRC review, it is determined by the DRC that a subsequent DRC meeting is necessary, the complete revised application must be submitted to the Town Clerk by the close of business on Monday of the week prior to the regularly scheduled DRC meeting. Applications that fail to include all revisions required by the DRC, or that are submitted late will not be placed on a DRC agenda until they have been corrected and are timely.
- If, as a result of the initial DRC review, it is determined by the DRC that the project can proceed to the Planning and Zoning Board, a complete Planning and Zoning Board application must be submitted to the Town Clerk including all revisions noted by the DRC. A sufficiency review will be performed by the Town to confirm that all comments provided by the DRC have been addressed and a complete revised application submitted. Once all DRC comments have been adequately addressed and a complete revised application submitted, the submittal will be placed on the agenda for the next available Planning and Zoning Board, subject to legal advertising requirements. Planning and Zoning Board review is regularly scheduled for the fourth Wednesday of each month. Applications that fail to include all revisions required by the DRC or that are incomplete will not be placed on a Planning and Zoning Board agenda.

APPLICATION FEE INFORMATION

Administrative Appeal	\$250.00
Site Plan Review	\$350.00
Site Plan Modification Review	\$350.00
Variance Request	\$350.00
Special Exception Request	\$250.00
Telecom Site Plan Review or Modification	\$500.00
Plat Approval Request	\$600.00
Comprehensive Plan Amendment	\$750.00
Zoning Text Amendment / Rezoning	\$750.00
Sufficiency Review	Zoning Official (rate per hour)

NUMBER OF COPIES REQUIRED

Development Review Committee	Ten (10) paper sets (folded & sorted into complete packet sets), including one (1) sealed original with original signatures and nine (9) copies, three (3) of which are sealed by a licensed engineer, architect and/or surveyor, and an electronic copy of all documents (on cd or thumb drive).
Planning and Zoning Board	Ten (10) paper sets (folded & sorted into complete packet sets), including one (1) sealed original with original signatures and nine (9) copies, three (3) of which are sealed by a licensed engineer, architect and/or surveyor, and an electronic copy of all documents (on cd or thumb drive).
Local Planning Agency	Ten (10) copies (folded & sorted into complete packet sets).
Town Commission	Ten (10) paper sets (folded & sorted into complete packet sets), including one (1) sealed original with original signatures and nine (9) copies, three (3) of which are sealed by a licensed engineer, architect and/or surveyor (as applicable), and an electronic copy of all documents (on cd or thumb drive).

Applicant acknowledges and understands that the fee for Site Plan Review, Architectural/aesthetic Review, Variance, Special Exception, Rezoning, etc. may not cover all review costs. A final statement of any outstanding costs (covering advertising costs, legal, architectural, and other consultants) will be sent to the Applicant upon completion of the review process.

landscaping requirements must be provided on all submitted plans (Town Code § 14-62).

PROJECT NAME:

PROJECT ADDRESS:

PROJECT LEGAL DESCRIPTION:

Tabular data showing compliance with all lot coverage, floor area, building height, grade and

*** All boxes <u>must</u> be completed, use N/A where appropriate ***

GENERAL DATA	CODE REQUIREMENT	EXISTING	PROPOSED
COMPREHENSIVE PLAN DESIGNATION: (SF-5, MF-21, MF-30, MF-42, P, ROS)	None		
LAND USE: (Residential, Commercial, Recreational, Marina, Public, etc.)	None		
ZONING DISTRICT: (A, B, C, D, P, ROS, designated at Pf. 3.1, Zoning Ordinance)	None		
FLOOD ZONE CATEGORY:	None		
LOT COVERAGE, LANDSCAPING & PARKING	CODE REQUIREMENT	EXISTING	PROPOSED
TOTAL LOT SIZE: (sq. ft.)	None		
TOTAL COVERAGE OF A LOT BY BUILDINGS: (Pf. 5.4, 6.4, 7.5 or 8.5, Zoning Ordinance)	N/A		
TOTAL LANDSCAPE COVERAGE: (Pf. 5.4.3, Zoning Ordinance)	N/A		
OFF-STREET PARKING: (Pf. 5.13, 6.12, 7.13 or 8.14, Zoning Ordinance)	N/A		
SETBACKS	CODE REQUIREMENT	EXISTING	PROPOSED
FRONT YARD: (Pf. 5.5, 6.6, 7.7 or 8.7, Zoning Ordinance)	N/A		
REAR YARD: (Pf. 5.6, 6.7, 7.9 or 8.9, Zoning Ordinance)	N/A		
SIDE YARD: (Pf. 5.7, 6.8, 7.8 or 8.8, Zoning Ordinance)	N/A N/A		

FLOOR AREA	CODE REQUIREMENT	EXISTING	PROPOSED
FIRST FLOOR AREA (sq. ft.):	None		
SECOND FLOOR AREA (sq. ft.): (Pf. 5.4.2, Zoning Ordinance)	N/A		
TOTAL FLOOR AREA (sq. ft.): (Pf.2.23, Zoning Ordinance)	None		
FLOOR AREA RATIO: (Pf. 5.4.2, Zoning Ordinance)	NIA		
DWELLING UNIT DENSITY: (Pf. 6.5, 7.6 or 8.6, Zoning Ordinance)	30 30 30		
IMPERVIOUS AREA	NET INCREASE	EXISTING	PROPOSED
BUILDING FIRST FLOOR AREA (sq. ft.):		354459.ft.	Enclose 6459.tt. Currenty opendeck
OTHER IMPERVIOUS AREA (sq. ft.): (Decks, Patios, Walkways, Driveways, Pool Deck & Pool Surface Areas)			
TOTAL IMPERVIOUS AREA (sq. ft.):		3544 59.Ft.	360859.Pt.
ELEVATIONS	CODE REQUIREMENT	EXISTING	PROPOSED
GRADE ELEVATION (NAVD): (Pf. 4.6, Zoning Code)	N/A		
ESTABLISHED 1 ST FLOOR ELEVATION (NAVD): (Pf. 4.6, Zoning Code)	N/A N/A		
MEAN CROWN OF ROAD ELEVATION (NAVD):	None		
BUILDING HEIGHT	CODE REQUIREMENT	EXISTING	PROPOSED
TOTAL BUILDING HEIGHT (NAVD): (Pf. 5.2, 6.2, 7.3 or 8.3, Zoning Ordinance)	N/A		
TOP OF BEAM HEIGHT (NAVD): (Pf. 5.2, 6.2, 7.3 or 8.3, Zoning Ordinance)	N/A N/A N/A		
ROOF PITCH: (Pf. 5.2, 6.2 or 7.3, Zoning Ordinance)	N/A		
FLAT ROOF PERCENTAGE: (Pf. 5.2, Zoning Ordinance)	NIA		

JUSTIFICATION STATEMENT

Provide a summary of the proposed project, describing in detail the construction, phasing and proposed development to occur as part of this application (attach additional sheets if needed):
Note: Construction Schedule is due as part of site plan review and before building permit issuance. (Town Code §14-63). A signed and notarized contract (signed by owner) must be provided before building permit issuance. (Town Code §14-108).
Provide an estimate of construction costs:
Describe the existing improvements located on the subject property (attach additional sheets if needed):
Provide a project history for the subject property, including any prior development approvals filed within the last year in connection with the subject property. Please include the date of previous site plan approval by the Planning and Zoning Board for this property (attach additional sheets if needed):
Provide the justification, special reasons, or basis for the approval of this application. Explain why this application is consistent with good planning and zoning practice, will not be contrary to the Town's Comprehensive Development Plan, and will not be detrimental to the promotion of public appearance, comfort, convenience, general welfare, good order, health, morals, prosperity, and safety of the Town. Additionally, all standards set forth in the Town Code of Ordinances for Special Exceptions, Variances, Administrative Appeals, etc. must be addressed. (attach additional sheets if needed):
Provide any other pertinent information related to the subject property to support the proposed request.
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DRAINAGE REQUIREMENTS

(For projects proposing additional on-site impervious area)

For proposed renovations/modifications to existing projects that result in <u>LESS THAN</u> a 50% increase in total site imperviousness, retain 1" of stormwater volume from the total additional impervious area.

For proposed new construction, or renovations/modifications to existing projects that result in a <u>GREATER</u> THAN a 50% increase in total site imperviousness, retain 1" of stormwater volume over the entire site.

Submit a Survey with topographic elevations and existing improvements.

A Drainage and Grading Plan and drainage calculations are required to be submitted with the application package for new construction projects and substantial modifications to existing projects. The Drainage Plan must show the following:

- a. Existing and proposed elevations.
- b. Location of sodded swales, sodded depressed retention areas, underground exfiltration trench and/or other proposed stormwater treatment/retention methods.
- c. Underground piping and inlets and other drainage system improvements proposed.
- d. Drainage calculations showing the retention of the volume of 1" of stormwater from addition impervious areas (or overall site).
- e. Show drainage improvements and underground piping, including water and sewer services, on the Landscape Plans to show no conflicts exist.
- f. Include note that no runoff may be directed to adjacent properties and all storm flows and runoff must be retained on-site prior to discharge into the adjacent roadway right-of-way following retention of required stormwater volume.
- g. Provide engineering details of gutter and downspout dry wells, if proposed.
- h. Provide engineering detail of exfiltration trench, if proposed.
- i. Provide engineering detail of sodded swales, if proposed.
- j. Provide engineering detail of depressed dry retention areas, if proposed.
- k. Provide Geotechnical Report or engineering assumptions/justification for coefficient of permeability (K Factor) for exfiltration trench design, if proposed.
- 1. Engineering details/cross sections at property lines demonstrating no runoff will flow to adjacent properties may be required.

Project Engineer or Architect shall be responsible for insuring the drainage improvements are completed in substantial accordance with the approved plan.

Prior to C.O., Project Engineer or Architect to provide final signed and sealed certification that the drainage improvements and grading have been completed in substantial accordance with the approved plan.

Upon receipt of final Certification from Project Engineer or Architect, Town Engineer to visit site and ensure conformance of Town requirements prior to issuance of final C.O.

REQUEST FOR ARCHITECTURAL AND AESTHETIC REVIEW

Please be advised that pursuant to Sec. 14-86 and 14-87 of the Town Code of Ordinances, the Town Planning and Zoning Board uses the following criteria in order to complete its Architectural and Aesthetic Review. Each criteria must be addressed by the applicant prior to the application being processed.

1. Relationship of building to site: (Explain transition from streetscape; placement of parking and service areas; and compatibility of building height and scale with site):
N/A
2. Relationship of building and site to adjoining area(s): (Explain how structures and landscaping are consistent with established neighborhood character and will enhance the surrounding area. Include description of architectural style, as well as textures, materials and colors to be utilized):
N/A
3. Landscape and site treatment: (Explain how landscaping, exterior lighting and other site elements will be used to enhance architectural features, buffer the mass of buildings as appropriate, and enhance the privacy of the owner and neighbors. Describe the use of native species and xeriscaping as appropriate.):
NJA
4. Building design: (Explain proposed building design and style, and how components such as roofs, windows doors, eaves and parapets are balanced in proportion to each other; address harmoniousness of colors, visual interest and compatibility):
Please provide all documentation and/or samples necessary to address all architectural review criteria as applicable. Attach additional pages as necessary.

REQUEST FOR SITE PLAN MODIFICATION

1.	Prev	viously approved (Original) site plan information:
	a.	Original Project Name: NAM
		Original Site Plan Application No.:
	c.	Original Site Plan Approval Date:
	d.	List of all other relevant information on file with original application:
2.	Req	uested Modification(s):
	•	

Please provide all documentation necessary to describe the proposed modification and to explain the reason(s) for the proposed modification(s), including a survey, if applicable. Attach additional pages as necessary.

REQUEST FOR VARIANCE

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10	///

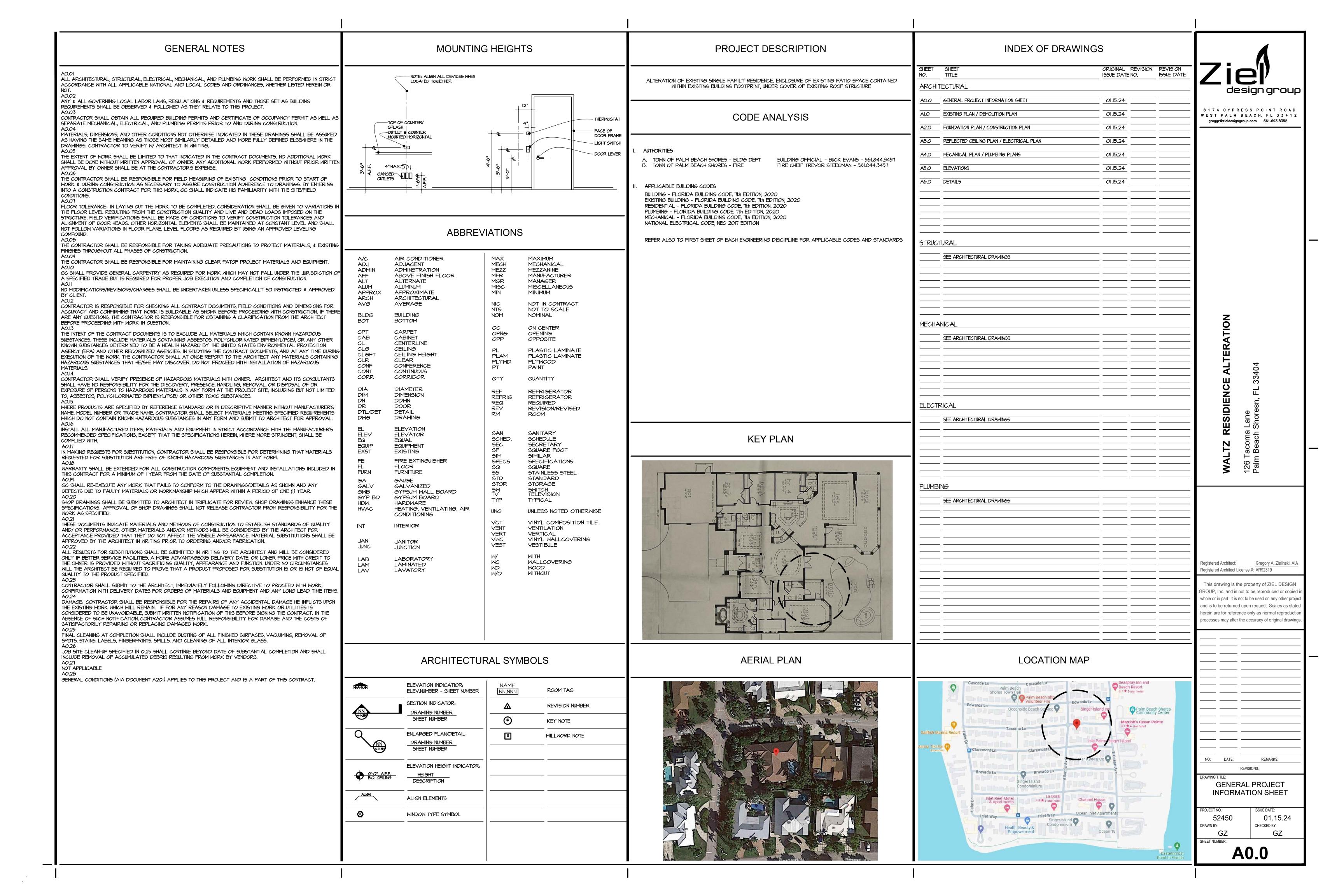
The Applicant is requesting a variance from the Town Code Section(s)to permit the following:
Please be advised that a variance from the terms of the Zoning Code shall not be recommended by the Planning and Zoning Board, nor granted by the Town Commission, unless the Applicant is able to demonstrate the following:
1. Explain the special conditions and circumstances which exist that are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or building in the same zoning district:
2. Explain how the special conditions and circumstances that exist do not result from the actions of the Applicant:
3. Explain how the literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant o rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Code and would work unnecessary and undue hardship on the Applicant:
4. Explain how the variance requested is the minimum variance that will make possible a reasonable use of the land, building or structure:
5. Explain how the granting of the requested variance will not confer on the Applicant any special privilege that is denied by the Zoning Code to other lands, structures, or buildings in the same zoning district:
6. Explain how the grant of the requested variance will be in harmony with the general intent and purpose of the Zoning Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare:

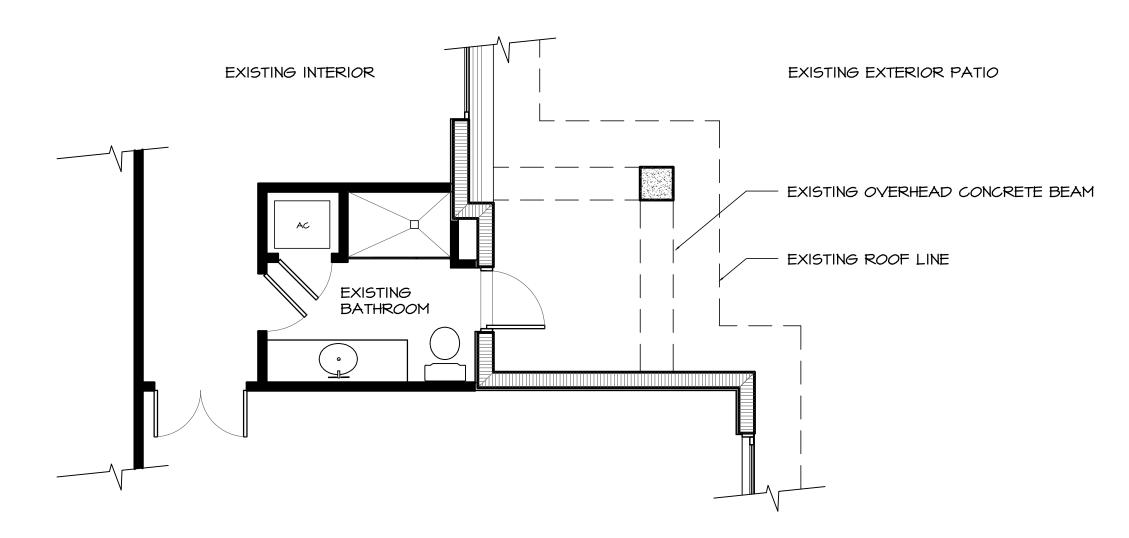
The burden of meeting the standards as set forth above is upon the Applicant. Please provide all documentation necessary to prove your case, including a survey, if applicable. Attach additional pages as necessary.

REQUEST FOR SPECIAL EXCEPTION

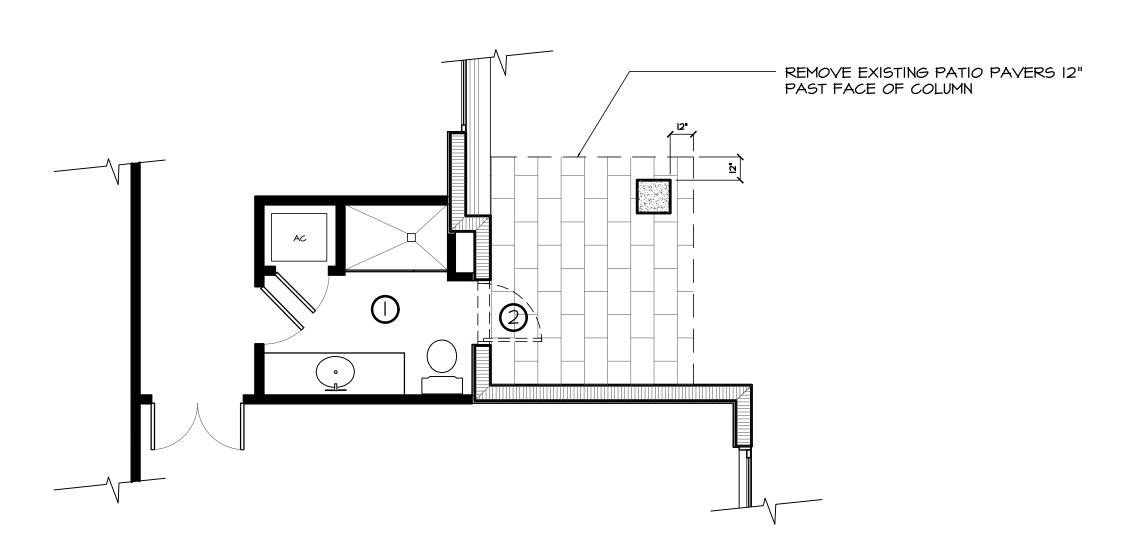
A Special Exception shall not be recommended by the Town Planning and Zoning Board, nor granted by the Town Commission, unless the Applicant is able to demonstrate the following: 1. Explain how all structures will be separated from adjacent and nearby uses by appropriate screening devices: 2. Explain whether or not excessive vehicular traffic will be generated on surrounding residential streets: 3. Explain whether or not a vehicular parking or traffic problem is created: 4. Explain where on the site appropriate drives, walkways and buffers will be installed: 5. Explain how the proposed use will make a substantial contribution to the neighborhood environment and will not infringe on the rights of properties in the vicinity: 6. Explain how the proposed use will not endanger, restrict or impair public safety:	he	Applicant is requesting a special exception pursuant to Town Code Section(s)to permit the following:
3. Explain whether or not a vehicular parking or traffic problem is created: 4. Explain where on the site appropriate drives, walkways and buffers will be installed: 5. Explain how the proposed use will make a substantial contribution to the neighborhood environment and will not infringe on the rights of properties in the vicinity:	To	wn Commission, unless the Applicant is able to demonstrate the following:
 Explain where on the site appropriate drives, walkways and buffers will be installed: Explain how the proposed use will make a substantial contribution to the neighborhood environment and will not infringe on the rights of properties in the vicinity: 	 2.	Explain whether or not excessive vehicular traffic will be generated on surrounding residential streets:
5. Explain how the proposed use will make a substantial contribution to the neighborhood environment and will not infringe on the rights of properties in the vicinity:	3.	Explain whether or not a vehicular parking or traffic problem is created:
not infringe on the rights of properties in the vicinity:	 4.	Explain where on the site appropriate drives, walkways and buffers will be installed:
6. Explain how the proposed use will not endanger, restrict or impair public safety:		
	6.	Explain how the proposed use will not endanger, restrict or impair public safety:

The initial burden of meeting the standards as set forth above is upon the Applicant. Please provide all documentation necessary to prove your case, including a survey, if applicable. Attach additional pages as necessary.





| EXISTING PLAN SCALE: 1/4" = 1'-0"



2 DEMOLITION PLAN SCALE: 1/4" = 1'-0" O.O GENERAL DEMOLITION NOTES:

O.O.I DEMOLITION CONSISTS OF PERFORMING ALL DEMOLITION OF EXISTING CONSTRUCTION WHICH IN ITS PRESENT POSITION WILL INTERFERE WITH THE COMPLETED NEW CONSTRUCTION AND TO PERFORM ANY OTHER CUTTING OR PATCHING OF EXISTING CONSTRUCTION AS SHOWN ON THE DRAWINGS.

0.0.2 CLEAN BASE BUILDING CURTAIN WALL GLASS, FRAMES AND SILLS OR DRIPS, SPILLS AND DEBRIS. REPAIR ANY DAMAGE CAUSED BY DEMOLITION.

0.0.3 ALL EXISTING DOORS, FRAMES, DOOR HARDWARE, LIGHT FIXTURES, SWITCHES NOT BEING REUSED FOR THIS PROJECT SHALL BE STORED FOR THE TENANT OR OWNER AS REQUIRED. CONSULT WITH ARCHITECT FOR VERIFICATION.

O.O.4 PATCH ALL FLOOR, CEILING AND WALL SURFACES AS WELL AS ALL ADJACENT SURFACES EFFECTED BY DEMOLITION WITH SIMILAR MATERIALS AS NECESSARY TO ACHIEVE UNIFORM, NEW APPEARANCE (I.E. GWB PERIMETER WALLS, DEMISING WALLS, CORE ETC.). PATCHES SHALL BE INPERCEPTIBLE.

0.0.5 IN ALL AREAS WHERE DEMOLITION (REMOVAL OF PARTITIONS, ETC.) CAUSES UNEVENNESS IN THE FLOOR. THE CONTRACTOR SHALL PATCH TO LEVEL THE FLOOR TO RECIEVE FINISHED FLOORING.

O.I DEMOLITION INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:

I.O.I FURTHER DEMOLITION ADMINISTRATIVE REQUIREMENTS ARE TO BE PROVIDED PER SPECIFICATIONS SHEET OR MANUAL. IF NEITHER IS PROVIDED, PLEASE CONTACT ARCHITECT IMMEDIATELY FOR VERIFICATION.

A. REMOVAL OF EXISTING PARTITIONS, INCLUDING DOORS, FRAMES, AND THERMOSTATS, ELECTRICAL WITHIN PARTITIONS SHALL BE REMOVED AS INDICATED ON THE DRAWINGS. GC TO RELOCATE ANY THERMOSTAT TO A LOCATION SUITABLE BY ARCHITECT AND MEP ENGINEER.

B. ALL EXISTING DOORS DESIGNATED FOR REMOVAL INCLUDING FRAMES SHALL BE REUSED WHERE THE SAME TYPE DOOR IS APPLICABLE U.N.O., ALL REUSED DOORS TO BE REFINISHED / REPAINTED AS SPECIFIED WITH BLEMISHES REPAIRED. ALL EXISTING HARDWARE SHALL BE RETAINED FOR REUSE AS NOTED IN THE DEMOLITION PLAN STANDARDS. ANY MATERIALS SHALL BE GROUPED AND STACKED NEATLY IN ONE LOCATION, PROTECT ALL ITEMS FROM DAMAGE. IF ITEMS REMOVED ARE NOT REQUIRED BY EITHER OWNER OR TENANT THEY SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE AS WORK PROGRESSES.

A. REMOVE SPECIFIED LIGHTS (REFER TO CEILING PLAN IF REQUIRED). B. REMOVE EXISTING CEILING TILE AND GRID. REUSE GRID AS NOTED IN THE DEMOLITION PLAN STANDARDS. REPAIR ANY DAMAGE TO EXISTING GRID IF IT IS

C. EXISTING LIGHT FIXTURES, DIFFUSERS, EXIT SIGNS, ETC. SHALL BE REUSED AS NOTED IN DEMOLITION PLAN STANDARDS IF IN GOOD CONDITION. PROTECT AND NUMBER IN ONE LOCATION. COORDINATE WITH ARCHITECT.

3 EXISTING PLAN / DEMOLITION PLAN GENERAL NOTES

DEMOLISH EXISTING FLOORING AS REQUIRED TO LOCATE EXISTING PLUMBING SANITARY DRAIN LINES

REMOVE EXISTING IMPACT RESISTANT DOOR. STORE FOR REUSE IN NEW DOOR LOCATION

O.I.3 FINISHES A. REMOVE EXISTING WALLCOVERINGS U.N.O.

O.I.4 POWER AND COMMUNICATION A. ALL ELECTRICAL, TELEPHONE, DATA AND PLUMBING ITEMS NOT TO REMAIN IN

EXISTING LOCATION SHALL BE REMOVED 1/2" BEHIND THE FINISH FACE OF SURFACE. REMAINING HOLES SHALL BE CAPPED AND PATCHED TO PROVIDE A FLUSH SURFACE THAT WILL MATCH ADJACENT SURFACES.

A. SALVAGE FOR REUSE DIFFUSERS (INCLUDING SLOT DIFFUSERS) AS NOTED ON

DEMOLITION PLAN STANDARDS. B. LEAVE PERIMETER SLOT AND ANY ASSOCIATED DUCTWORK INTACT. C. LEAVE MAIN DISTRIBUTION TRUNK INTACT. TEMPORARILY SUSPEND SECONDARY

O.I.6 PLUMBING A. SPRINKLER MAIN, PIPING AND HEADS ARE TO REMAIN FOR FUTURE RELOCATION.

0.2.0 DEBRIS REMOVAL

O.2.I CONDUCT DEMOLITION OPERATION AND THE REMOVAL OF DEBRIS AND EQUIPMENT TO INSURE MINIMUM INTERFERENCE WITH EXISTING BUSINESS OPERATION. CONSULT WITH BUILDING OWNER FOR ANY RULES AND REGULATIONS REGARDING HOURS, DUMPSTERS AND REMOVAL. ELEVATOR MUST BE PROTECTED AND TIMING MUST BE COORDINATED WITH BULIDING OWNER. INSURE PROTECTION OF PERSONS AROUND THE DEMOLITION AREA. USE TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST PRACTICAL LEVEL. CONTRACTOR SHALL KEEP DEMOLITION DEBRIS OUT OF THE BUILDING CORRIDORS.

0.2.2 RELOCATION OF ITEMS INVOLVED IN THE WORK IS SUBJECT TO THE CONTRACTOR'S ABILITY TO DO SO WITHOUT PERMANENTLY DAMAGING OR MARRING THE ITEMS TO BE RELOCATED. IF THE CONTRACTORS IS UNABLE TO RELOCATE THE ITEMS AS PRESCRIBED. SUBSTITUTION OF NEW MATERIAL IN LIEU OF RELOCATION IS ACCEPTABLE. CONTRACTOR MAY ELECT TO USE NEW MATERIALS TO MATCH EXISTING IN LIEU OF RELOCATION AT HIS OWN CONVENIENCE FOR NO ADDITIONAL COST.

0.2.3 DEBRIS RESULTING FROM THE DEMOLITION AND CONSTRUCTION SHALL BE REMOVED FROM THE BUILDING SITE ON A DAILY BASIS.

0.2.4 CLEAN ADJACENT WORK OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CLEAN CONDITION (SIMILAR TO PRIOR DEMOLITION) AFTER COMPLETION.

0.3.0 MISCELLANEOUS REQUIREMENTS

O.3.1 IF CONTRACTOR DISCOVERS EXISTING CONDITIONS WHICH ARE NOT INDICATED ON THE DRAWINGS. CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY BOTH VERBALLY AND IN WRITING PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK.

0.3.2 EACH SPECIFIC ITEM OF CUTTING, PATCHING OR FITTING IS NOT NECESSARILY DESCRIBED INDIVIDUALLY HEREIN. ABSENCE OF A SPECIFIC INSTRUCTION FOR CUTTING, PATCHING OR FITTING SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY TO PERFORM AS REQUIRED COMPLETING THE

design group

8174 CYPRESS POINT ROAD

WEST PALM BEACH, FL 33412

greggz@zieldesigngroup.com 561.693.8352

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4	EXIS	TING PLAN / DEMOLITION PLAN CODED NO	TES
SYMBO)	DESCRIPTION	RFMARKS

EXISTING PLAN / DEMOLITION PLAN LEGEND

STRIDUL	DESCRIPTION	
	EXISTING CMU WALL TO REMAIN	
	 -	
	EXISTING PARTITION TO REMAIN	
=====	EXISTING PARTITION TO BE DEMOLISHED	
-	EXISTING DOOR TO BE REMOVED	
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	THE THE DOOD TO DEVINE	 NO: DA
	EXISTING DOOR TO REMAIN	
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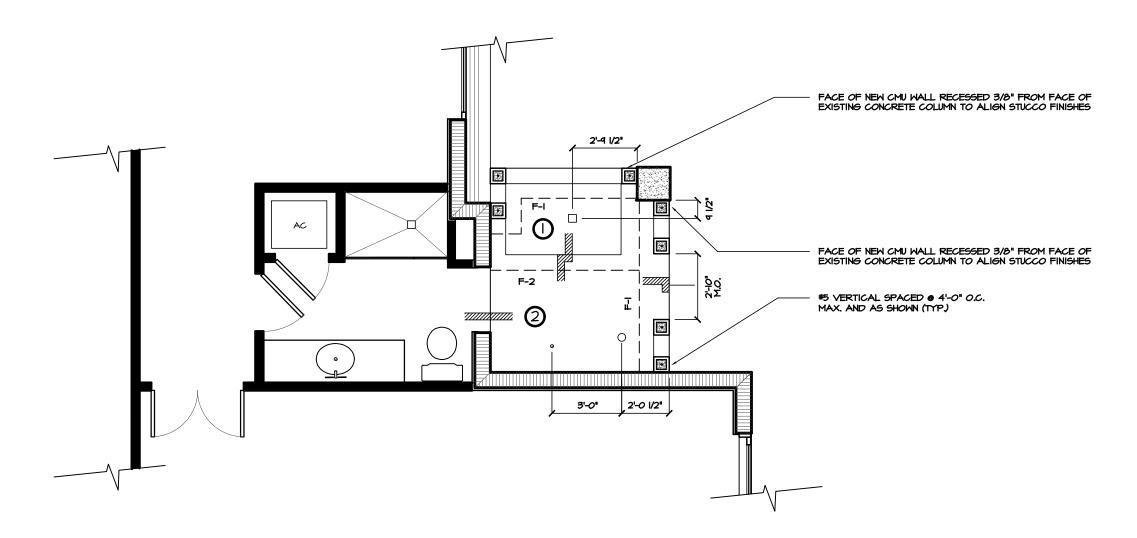
EXISTING PLAN / **DEMOLITION PLAN**

REVISIONS:

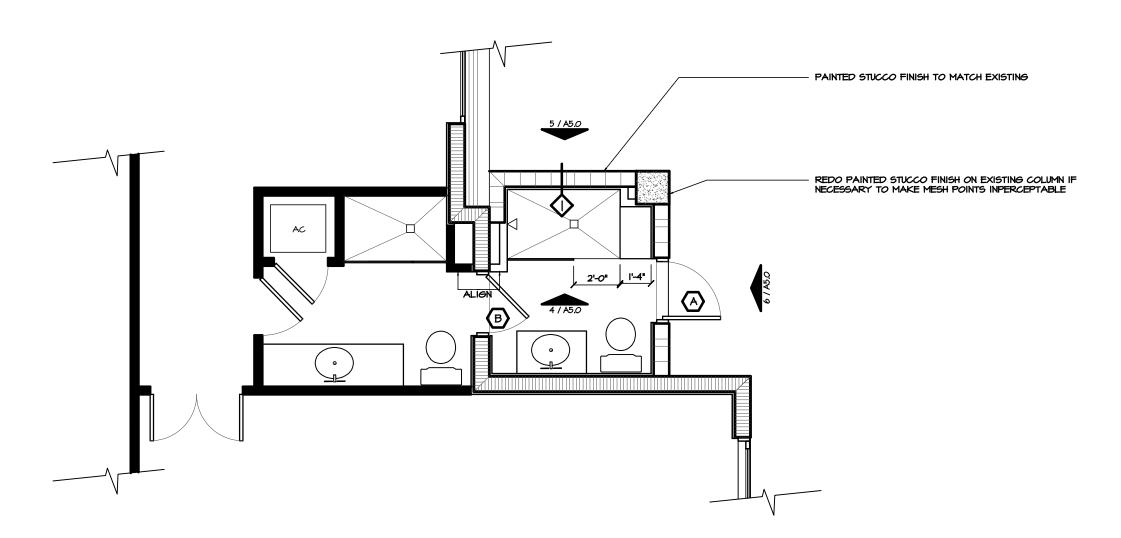
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PROJECT NO.: ISSUE DATE: 52450 01.15.24 DRAWN BY: CHECKED BY: GΖ GΖ

A1.0



| | FOUNDATION PLAN SCALE: 1/4" = 1'-0"



2 CONSTRUCTION PLAN SCALE: 1/4" = 1'-0" GENERAL FOUNDATION NOTES

CONCRETE SHALL BE A MINIMUM OF 4" THICK OVER CLEAN, COMPACTED, TERMITE TREATED FILL AND 6 MIL POLYETHYLENE VAPOR BARRIER.

IF CONCRETE SLAB CONTAINS 6" X 6" IO/IO WWM PROVIDE I" COVERAGE CONCRETE SHALL HAVE AT MINIMUM COMPRESSIVE STRENGTH OF NOT LESS THAN 2500 P.S.I.

ALL 90 DEG. HOOKS ARE TO BE EXTENDED 10" MINIMUM BEYOND THE TURN. FIELD BENDS ARE TO BE DONE COLD AND THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT TO BE LESS THAN SIX BAR DIAMETERS. MINIMUM COVERAGE FOR REBAR SHALL BE 3" IN FOOTINGS AND I I/2" IN BOND BEAMS. HOOKS MAY BE ROTATED HORIZONTALLY IF REQUIRED TO ACHIEVE MINIMUM

REBAR OVERLAP SHALL BE 48 BAR DIAMETERS. 30" FOR #5 REBAR

THE FOUNDATION DESIGN ASSUMES THAT THE SOIL HAS A MINIMUM LOAD CARRYING CAPACITY OF 2000 P.S.F. IN THE EVENT THE SOIL BEARING CAPACITY FALLS BELOW 2000 P.S.F. THIS FOUNDATION PLAN MAY BE SUPERCEDED BY FOUNDATION DESIGN ENGINEER.

SATISFACTORY COMPACTION TEST OF FILL DOES NOT VERIFY LOWER SOILS ARE ADEQUATE.

FORMWORK & SHORING

NO STRUCTURAL CONCRETE SHALL BE STRIPPED UNTIL IT HAS REACHED AT LEAST 80% OF THE 28 DAY DESIGN STRENGTH. DESIGN, ERECTION, & REMOVAL OF ALL FORM WORK, SHORES, & RESHORES SHALL MEET MEET THE ACI STANDARDS 347 AND 301

CONTRACTOR TO VERIFY ALL BUILDING SETBACKS PRIOR TO THE START OF CONSTRUCTION. A FORM BOARD SURVEY SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO POURING CONCRETE.

FOUNDATION HAS BEEN DESIGNED FOR A SOIL BEARING CAPACITY OF 2000 P.S.F. FILL SHALL BE LAID IN LAYERS OF 6". EACH LAYER TO BE COMPACTED TO 95%

IF THE CONTRACTOR ENCOUNTERS, WHILE DIGGING THE FOUNDATION, ANY DISCREPANCY TO SUGGEST THE SOIL MAY BE INADECUATE, HE MUST IMMEDIATELY REPORT IT TO THE OWNER AND THE ARCHITECT OR ENGINEER SO AS TO ORDER A SOIL BORING TEST.

DOWEL ROD REPAIR NOTE

IN THE EVENT VERTICAL STEEL HAS BEEN OMITTED FROM THE DOWN POUR LOCATIONS, DRILL 5" INTO CONCRETE (NO CLOSER THAN 3 3/4" FROM EDGES AND 5" FROM ENDS OF CAP WALLS) REMOVE DUST PER MANUFACTURERS INSTRUCTIONS AND USE TWO PART EPOXY TO ANCHOR THE #5 REBAR IN PLACE. USE EITHER "HILTI C-100" OR SIMPSON EPOXY-TIE.

PLUMBER TO CONSULT WITH CONTRACTOR AND EQUIPMENT ORDERED FOR ROUGH IN DIMENSIONS.

VERIFY ALL DIMENSIONS WITH THE FLOOR PLAN. THE FLOOR PLAN DIMENSIONS DICTATES ALL OTHER DIMENSIONS ON OTHER SHEETS. DO NOT SCALE DRAWINGS, IF ANY CONFLICTS ARISE, CONTACT THE ARCHITECT OR ENGINEER FOR CLARIFICATION PRIOR TO CONSTRUCTION.

ALL SANITARY LINES 2" OR LESS SHALL HAVE A SLOPE OF 1/4" PER FOOT MINIMUM.

ALL SANITARY LINES ABOVE 2" SHALL HAVE A SLOPE OF 1/8" PER FOOT MINIMUM. PROVIDE ANTI-SCALDING VALVE IN ALL SHOWERS.

LOWEST LIVING AREA FLOOR ELEVATION (REFERRED AS 0.00') TO BE SET BY A PROFESSIONAL LAND SURVEYOR TO THE REQUIRED BUILDING DEPARTMENT ELEVATION, BUT NOT LESS THAN 18" ABOVE THE CROWN OF THE ROAD.

I.O.I CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHOP DRAWINGS AND SUBMITTALS REQUIRED BY JURISDICTION FOR PERMITTING AND FINAL INSPECTIONS. THESE MAY INCLUDE BUT ARE NOT LIMITED TO FIRE ALARM, SPRINKLER, LOW VOLTAGE WORK ETC. ALL LIGHT FIXTURES AND FINISH MATERIALS WILL REQUIRE FULL PRODUCT

1.0.2 INSTALLATION, SUBMITTAL REQUIREMENTS AND ADMINISTRATIVE REQUIREMENTS ARE TO BE PROVIDED PER SPECIFICATIONS SHEET OR MANUAL. IF NEITHER IS PROVIDED, PLEASE CONTACT ARCHITECT IMMEDIATELY FOR VERIFICATION.

I.O.3 CONTRACTOR TO THOROUGHLY FIELD VERIFY SPACE PRIOR TO PRICING TO INSURE FIELD CONDITIONS, DIMENSIONS AND QUANTITIES ARE CONSIDERED IN

PREPARATION OF FINAL COSTS. I.O.4 CONTRACTOR TO VERIFY PENETRATIONS THROUGH PARTITIONS (SUCH AS DUCTWORK ETC.) TO INSURE THAT ADEQUATE BRACING AND REINFORCEMENT ARE

I.O.5 CONTRACTOR SHALL PROVIDE LABOR + MATERIAL AS REQUIRED FOR WORK WHICH MAY NOT FALL INTO JURISDICTION OF A SPECIFIC TRADE BUT IS REQUIRED

FOR PROPER JOB EXECUTION AND COMPLETION OF CONSTRUCTION. I.O.6 CONTRACTOR AND VENDORS SHALL DETERMINE AVAILABILITY OF ALL MATERIALS. ANY DELIVERY SCHEDULE THAT POTENTIALLY MAY CAUSE COORDINATION

PROBLEMS DURING THE CONSTRUCTION / INSTALLATION SCHEDULE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT EARLY ON, FOR POSSIBLE REEVALUATION OF MATERIAL DESIGNATION.

I.I GENERAL PARTITION NOTES:

I.I.I REFER TO GENERAL PARTITION STANDARDS FOR TYPICAL INFORMATION.

I.I.2 THE PARTITION ABOVE DOORS SHALL BE OF SAME CONSTRUCTION AS THE ADJACENT PARTITION.

I.I.3 CAULK GAPS WHERE INTERSECTIONS OF CONSTRUCTION ELEMENTS ARE NOT CRISP AND CONSISTENT. COORDINATE CAULKING & SEALING WITH SPECIFICATIONS SHEET OR MANUAL, INSTALL PER MANUFACTURERS INSTRUCTIONS.

1.1.4 FLOOR LEVEL AT DOORWAYS SHALL BE PROVIDED TO INSURE TOLERANCES IN DOOR DETAILS. GC SHOULD ORDER DOORS AND FRAMES FOR SCRIBE TO INSURE THAT UNDERCUT CLEARANCE PER DETAILS.

1.1.5 CONTRACTOR SHALL VERIFY EXISTING WALL / DEMISING WALL / CORE WALLS TO INFILL AND PATCH ANY OPENING TO MEET REQUIRED FIRE RATINGS.

A. SCALES AS STATED ARE VALID ON THE ORIGINAL DRAWING ONLY. DO NOT SCALE FROM THESE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC

PRESENTATION. DETAIL DIMENSIONS TAKE PRECEDENCE OVER PLAN DIMENSIONS. B. NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES. ANY MODIFICATIONS OR DEVIATION TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR REVIEW

C. ALL VERTICAL DIMENSIONS SHALL BE TAKEN FROM A "BENCH MARK" OR OTHER SIMILAR GUIDE ESTABLISHED PRIOR TO THE START OF CONSTRUCTION. HIGH POINTS, LOW POINTS, IRREGULARITIES IN FLOOR SLAB WHICH COULD AFFECT FABRICATION / INSTALLATION, WORK OF OTHER TRADES OR VENDORS SHALL BE BROUGHT TO THE

ATTENTION OF ARCHITECT. I.I.7 MATERIALS: A. INSTALL MOISTURE RESISTANT GNB AT AREAS EXPOSED TO MOISTURE INCLUDED BUT NOT LIMITED TO TOILETS, BREAKROOM COUNTERS AND OTHER SINK LOCATIONS. B. ALL NECESSARY WOOD BLOCKING / GROUNDS ETC. ARE TO BE FIRE RETARDANT TREATED. GC SHALL FULLY COORDINATE SETTING AND PLACEMENT TO THESE

ELEMENTS AND INSURE THAT LOCAL CODE / BUILDING REQUIREMENTS ARE MET.

C. GROUNDS / BLOCKING MAY NOT BE WHOLLY SHOWN ON DRAWING. GOOD CONSTRUCTION PRACTICE SHALL GOVERN / DETERMINE SAID USE. D. INTERNAL WOOD BLOCKING SHALL BE PROVIDED FOR STURDY ANCHORAGE AT INTERSECTIONS OF WOOD / GLASS BORROWED LIGHT PARTITIONS AND ADJACENT

FOUNDATION PLAN / CONSTRUCTION PLAN GENERAL NOTES

DEPRESSED SLAB FOR WALK IN SHOWER

4" 2500# FIBERMIX CONC. OVER .006 VAPOR BARRIER ON CLEAN, COMPACTED, TERMITE TREATED FILL. NEW SLAB ELEVATION TO ALIGN WITH EXISTING INTERIOR SLAB ELEVATION

(A) RELOCATED 2680 EXTERIOR IMPACT RESISTANT FRENCH DOOR

(B) NEW 2680 INTERIOR PANELED SC DOOR TO MATCH EXISTING

FOUNDATION PLAN / CONSTRUCTION PLAN CODED NOTES DETAIL NO./ REMARKS DESCRIPTION EXISTING CMU WALL EXISTING INTERIOR PARTITION TO REMAIN NEW INTERIOR PARTITION 3 / A6.0

WINDOW / DOOR TAG

FOUNDATION PLAN / CONSTRUCTION PLAN LEGEND



8174 CYPRESS POINT ROAD WEST PALM BEACH, FL 33412 greggz@zieldesigngroup.com 561.693.8352

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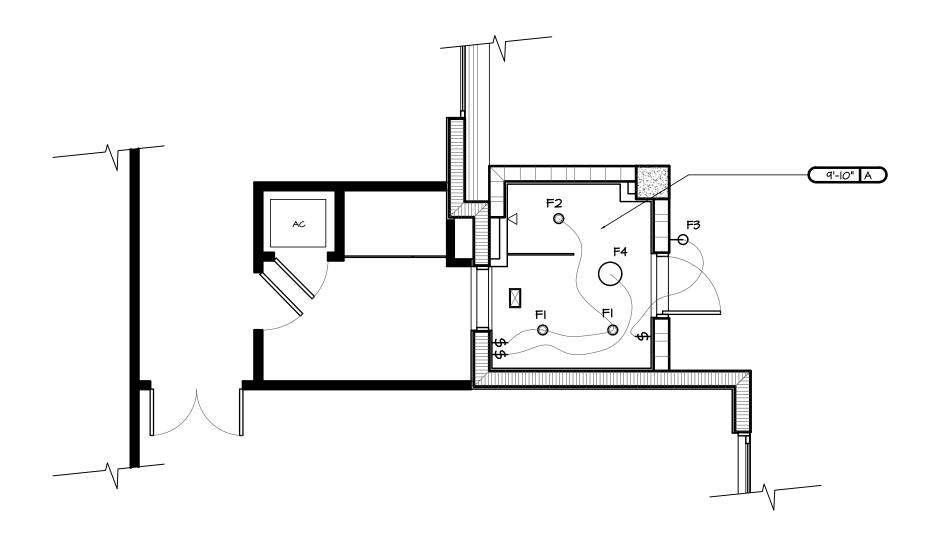
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FOUNDATION PLAN

CONSTRUCTION PLAN

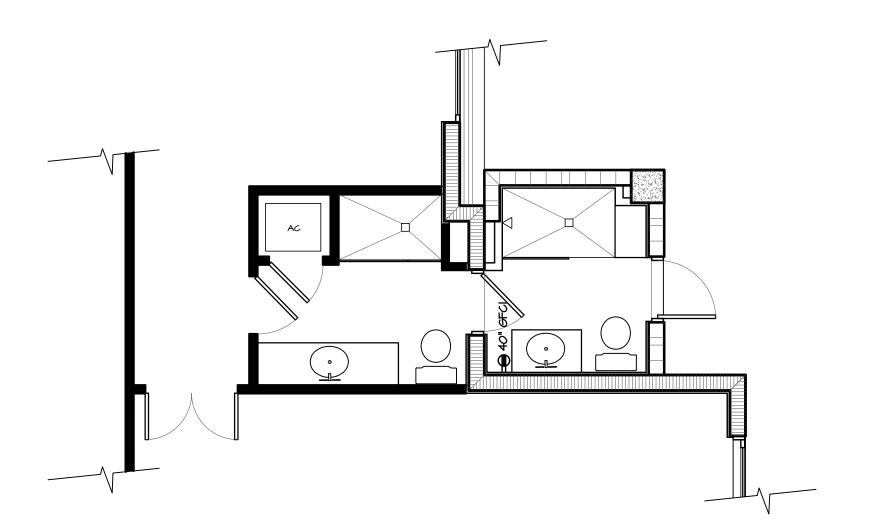
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A2.0



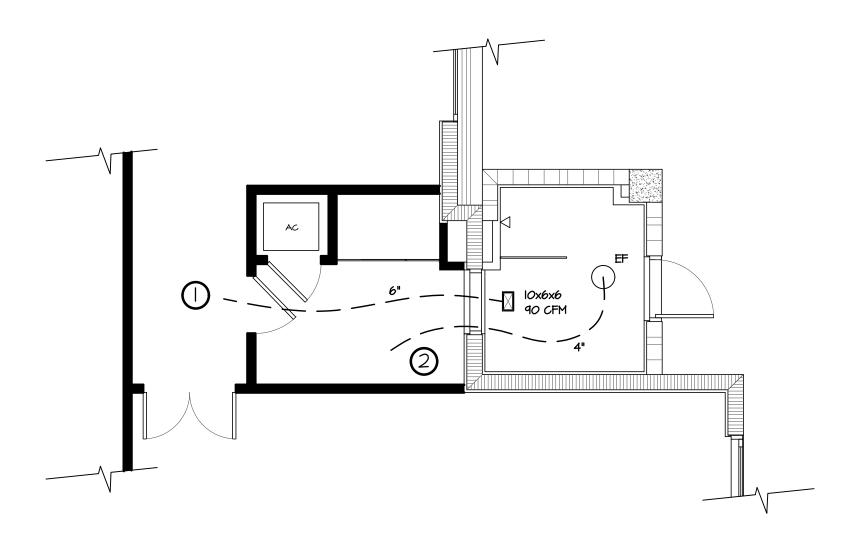
I REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



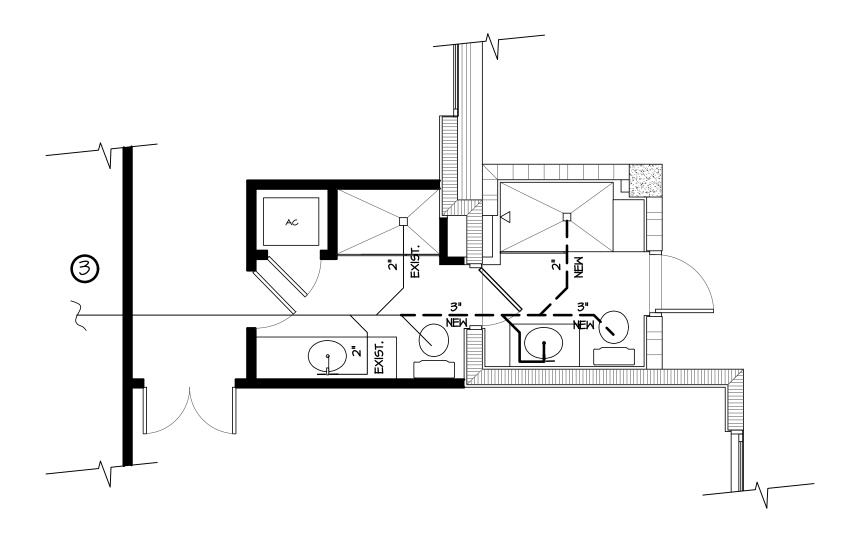
2 ELECTRICAL PLAN SCALE: I/4" = I'-O"

	L REQUIREMENTS TO PARTITION PLAN	FOR TYPICAL GENERA	AL REQUIREMENTS INCLUDING SUBMITTAL RE	EQUIREME	NTS.		
2.I.I REFER TO 2.I.2 INSPECT 2.I.3 CEILING 2.I.4 FASCIAS	FIONS AS REQUIRED E PLANE SHALL BE LE S / SOFFITS SHALL E	BY LOCAL AUTHORITIE EVEL AND TRUE AND IN BE LEVEL AND TRUE, FI	REE OF SURFACE DISTORTION AND DIMENS	HVAC AND SIONED A	O OTHER ELEMENTS INCORPORATED IN ITS CONSTRUCTION	Zi	esign group
2.1.6 DIMENSI A. SCALES A GRAPHIC PRI	AS STATED ARE VALI ESENTATION. DETAIL	DIMENSIONS TAKE PR	RECEDENCE OVER PLAN DIMENSIONS.		NGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER	8 1 7 4 C Y P	RESS POINT ROAD
AND APPROV C. LIGHTS SH D. CONTRACT 2.1.7 PROVIDE 2.1.8 CONTRA	VAL. HOWN IN 2x2 CEILING TOR TO COORDINATE E SEMI-RIGID SOUND ACTOR SHALL VERIFY	TILES SHALL BE CENT E WITH ARCHITECT IF A ATTENUATION BLANKE Y WITH BUILDING MANA	TERED U.N.O. ANY LOCATION OF LIGHT FIXTURES OR DEV ETS WHERE INDICATED ON DETAILS OR PLA	/ICES ARI AN. 1 IS IN USE	E AND IF TENANT SYSTEMS ARE REQUIRED TO BE TIED INTO	# L 5 1 1 A L M	BEACH, FL 3 3 4 1 2 gngroup.com 561.693.8352
2.2 COORDIN 2.2.1 ACCESS CEILING PLEN MAINTENANCE	NATION ACCESS: 5 SHALL BE PROVIDE NUM AND AS REQUIRE E.	ED BY <i>G</i> C AS REQUIRE ED BY CODE, THIS ACC	ED FOR INSTALLATION AND MAINTENANCE O CESS SHALL BE REVIEWED WITH THE BASE I	OF MECHA BUILDING	ANICAL, ELECTRICAL, DATA AND OTHER ELEMENTS WITHIN SENGINEER TO CONFIRM SUITABILITY FOR GENERAL		
MECHANICAL ARCHITECT S 2.2.3 PROVID	. SYSTEMS AND VALY 50 THAT ACCESS HA DE LINED "Z" BOOTS	VES ETC REQUÍRING A TCHES ARE NOT REQUI AT ALL TRANSFER DU	ACCESS ABOVE GWB OR HARD CEILINGS SI	SHALL BE REQUIRED			
SHALL BE RE	ESPONSIBLE FOR VER	RIFICATION OF QUANTI	ITIES (NEW OR EXISTING) INDICATED ON PLA	ANS.	LOCATIONS FOR FIXTURES, DEVICES ETC. CONTRACTOR		
2.3 LAMPING 2.3.1 WHEN EN ALL DOWNLIG ALL WALL W CONSULT WITH	6 / SMITCHING: NGINEERING DOCUMEN SHTS (INCANDESCENT ASHERS SHALL BE O TH ARCHITECT FOR QI	NTS DO NOT EXIST: FOR LOW VOLTAGE) S IN DIMMERS PER ARCH UANTITY IN A GIVEN R			ions and overall scope of work.		
4.0 GENERAL	SHALL BE SWITCHED REQUIREMENTS:		I DECILIDEMENTS				
4.I GENERAL I 4.I.I REFER TO 4.I.2 INSPECTI 4.I.3 REFER TO	POWER AND COMMUN O GENERAL POWER A IONS AS REQUIRED E O REFLECTED CEILIN	AND COMMUNICATION S BY LOCAL AUTHORITIES NG PLAN FOR NOTES F	STANDARDS FOR TYPICAL INFORMATION. S SHALL BE COMPLETED PRIOR TO CLOSIN REGARDING REQUIREMENTS.		Y WALLS OR CEILINGS. TIONS AND DIMENSIONS BEFORE BEGINNING WORK.	N O	
4.1.5 COORDIN	NATION OF ELECTRIC	CAL WORK WITH HVAC,	JATE FOR CABLE/SERVICE SPECIFIED. CABINET WORK, CARPENTRY, SHALL BE AS				
	FLECTED	CEILING PL	.AN / ELECTRICAL PL	<u>-AN (</u>	GENERAL NOTES		94
	IG SOFFIT HEADER IG BUILDING FOIRE AI	LARM AND ANNUNCIAT	TION DEVICES ARE EXISTING TO REMAIN.		NOTE: ALIGN ALL DEVICES WHEN LOCATED TOGETHER	CE A	L 33404
3 RETURN	I AIR SLOT ABOVE SO	OFFIT EDGE			TOD OF COUNTRY		sn, FL
					TOP OF COUNTER/ SPLASH OUTLET @ COUNTER MOUNTED HORIZONTAL THERMOSTAT FACE OF DOOR FRAME	RESIDIEN	Lane Shoresn,
				\	LIGHT SWITCH	N N	acoma Beach (
			- - -	3'-6" AFF.	4"MAX. 7 - 7 - 7 - 7 - 7 - 7 - 7 - 7 - 7 - 7	WALT	126 Tac Palm Be
				,	MOUNTING DIAGRAM		
4 RC	P / EP CO	DED NOTE	5	5	EP TYPICALS	_	
PE INDICA		CEILING DESCRIPTION NEW 5/8" GYPSUM BOM METAL ERAMING CEIL	N ARD DROP SOFFIT CEILING SYSTEM ON 3-5 LING HEIGHT TO MATCH HEIGHT IN EXISTING	5/8" 20g	а ОМ	<u> </u>	
			ARD CEILING SYSTEM ON 1-5/8" 20ga META	DATINO	O(1)		
· _		SEE DETAIL IO/ A6.I	ARD CEILING STSTEM ON 1-3/0 2000 META	AL EDAM	INC.		
; <u> </u>				AL FRAM	ING	Registered Architect: Registered Architect	Gregory A. Zielinski, AIA License #: AR92319
		SKIM COATED OVERH	-	AL FRAM	ING	Registered Architect This drawing is GROUP, Inc. and is	License #: AR92319 the property of ZIEL DESIGN s not to be reproduced or copied in
		CEILING HEIGHT FROM	EAD CONCRETE SLAB	AL FRAM	ING	This drawing is GROUP, Inc. and is whole or in part. It is and is to be returned.	the property of ZIEL DESIGN s not to be reproduced or copied in s not to be used on any other project ed upon request. Scales as stated
CEILING SYMBOL	[EAD CONCRETE SLAB	AL FRAM	ING	This drawing is GROUP, Inc. and is whole or in part. It is and is to be returned herein are for reference.	the property of ZIEL DESIGN s not to be reproduced or copied in s not to be used on any other project
SYMBOL ([CEILING HEIGHT FROM EXISTING CONDITION) CEILING TYPE	EAD CONCRETE SLAB	AL FRAM	ING	This drawing is GROUP, Inc. and is whole or in part. It is and is to be returned herein are for reference.	the property of ZIEL DESIGN s not to be reproduced or copied in s not to be used on any other project ed upon request. Scales as stated rence only as normal reproduction
3 CEIL	ING TYPE S	CEILING HEIGHT FROM EXISTING CONDITION) CEILING TYPE CHEDULE	EAD CONCRETE SLAB	AL FRAM	REMARKS	This drawing is GROUP, Inc. and is whole or in part. It is and is to be returned herein are for reference.	the property of ZIEL DESIGN s not to be reproduced or copied in s not to be used on any other project ed upon request. Scales as stated rence only as normal reproduction
3 CEIL	DESCRIPTION LOW VOLTAGE 4" DIA. LIGHT F LOW VOLTAGE	CEILING HEIGHT FROM EXISTING CONDITION) CEILING TYPE CHEDULE LED EIXTURE LED	EAD CONCRETE SLAB I A.F.F. (VERIFY ALL MANUFACTURER: SERIES/MODEL OR	AL FRAM		This drawing is GROUP, Inc. and is whole or in part. It is and is to be returned herein are for reference.	the property of ZIEL DESIGN s not to be reproduced or copied in s not to be used on any other project ed upon request. Scales as stated rence only as normal reproduction
3 CEIL YMBOL • FI	DESCRIPTION LOW VOLTAGE 4" DIA. LIGHT F	CEILING HEIGHT FROM EXISTING CONDITION) CEILING TYPE CHEDULE LED EIXTURE LED EIXTURE	EAD CONCRETE SLAB I A.F.F. (VERIFY ALL MANUFACTURER: SERIES/MODEL OR	AL FRAM	REMARKS	This drawing is GROUP, Inc. and is whole or in part. It is and is to be returned herein are for reference.	the property of ZIEL DESIGN s not to be reproduced or copied in s not to be used on any other project ed upon request. Scales as stated rence only as normal reproduction
3 CEIL YMBOL • FI • F2 • F3 • F4	DESCRIPTION LOW VOLTAGE 4" DIA. LIGHT F LOW VOLTAGE 4" DIA. LIGHT F EXTERIOR WALL TOILET EXHAUS	CEILING HEIGHT FROM EXISTING CONDITION) CEILING TYPE CHEDULE LED EIXTURE LED EIXTURE LED EIXTURE SCONCE	EAD CONCRETE SLAB I A.F.F. (VERIFY ALL MANUFACTURER: SERIES/MODEL OR	AL FRAM	REMARKS WET AREA FIXTURE	This drawing is GROUP, Inc. and is whole or in part. It is and is to be returned herein are for reference.	the property of ZIEL DESIGN s not to be reproduced or copied in s not to be used on any other project ed upon request. Scales as stated rence only as normal reproduction
3 CEIL YMBOL o FI o F2 o F3	DESCRIPTION LOW VOLTAGE 4" DIA. LIGHT F LOW VOLTAGE 4" DIA. LIGHT F EXTERIOR WALL	CEILING HEIGHT FROM EXISTING CONDITION) CEILING TYPE CHEDULE LED EIXTURE LED EIXTURE LED EIXTURE SCONCE	EAD CONCRETE SLAB I A.F.F. (VERIFY ALL MANUFACTURER: SERIES/MODEL OR	AL FRAM	REMARKS WET AREA FIXTURE TO MATCH EXISTING	This drawing is GROUP, Inc. and is whole or in part. It is and is to be returned herein are for reference.	the property of ZIEL DESIGN s not to be reproduced or copied in s not to be used on any other project ed upon request. Scales as stated rence only as normal reproduction
3 CEIL YMBOL O FI O F2 O F3 O F4 P5	DESCRIPTION LOW VOLTAGE 4" DIA. LIGHT F LOW VOLTAGE 4" DIA. LIGHT F EXTERIOR WALL TOILET EXHAUST	CEILING HEIGHT FROM EXISTING CONDITION) CEILING TYPE CHEDULE LED EIXTURE LED EIXTURE LED EIXTURE SCONCE	EAD CONCRETE SLAB I A.F.F. (VERIFY ALL MANUFACTURER: SERIES/MODEL OR	AL FRAM	REMARKS WET AREA FIXTURE TO MATCH EXISTING	This drawing is GROUP, Inc. and is whole or in part. It is and is to be returned herein are for reference.	the property of ZIEL DESIGN s not to be reproduced or copied in s not to be used on any other project ed upon request. Scales as stated rence only as normal reproduction
3 CEIL 1MBOL • FI • F2 • F3 ○ F4 □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □	DESCRIPTION LOW VOLTAGE 4" DIA. LIGHT F LOW VOLTAGE 4" DIA. LIGHT F EXTERIOR WALL TOILET EXHAUST WALL SCONCE SWITCH 3-WAY SWITCH	CEILING HEIGHT FROM EXISTING CONDITION) CEILING TYPE CHEDULE LED EIXTURE LED EIXTURE L SCONCE T FAN	MANUFACTURER: SERIES/MODEL OR BUILDING STANDARD WHITE DEVICE W/ WHITE COVER	AL FRAM	REMARKS WET AREA FIXTURE TO MATCH EXISTING	This drawing is GROUP, Inc. and is whole or in part. It is and is to be returned herein are for reference.	the property of ZIEL DESIGN s not to be reproduced or copied in s not to be used on any other project ed upon request. Scales as stated rence only as normal reproduction
3 CEIL YMBOL	DESCRIPTION LOW VOLTAGE 4" DIA. LIGHT F LOW VOLTAGE 4" DIA. LIGHT F EXTERIOR WALL TOILET EXHAUST WALL SCONCE SWITCH 3-WAY SWITCH	CEILING HEIGHT FROM EXISTING CONDITION) CEILING TYPE CHEDULE LED EIXTURE LED EIXTURE LED T FAN DUPLEX POWER	MANUFACTURER: SERIES/MODEL OR BUILDING STANDARD	AL FRAM	REMARKS WET AREA FIXTURE TO MATCH EXISTING	Registered Architect This drawing is GROUP, Inc. and is whole or in part. It is and is to be returned herein are for refer processes may altered. No: DATE: DRAWING TITLE: REFLECTE	the property of ZIEL DESIGN is not to be reproduced or copied in a not to be used on any other project ed upon request. Scales as stated rence only as normal reproduction or the accuracy of original drawings.
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| MECHANICAL PLAN

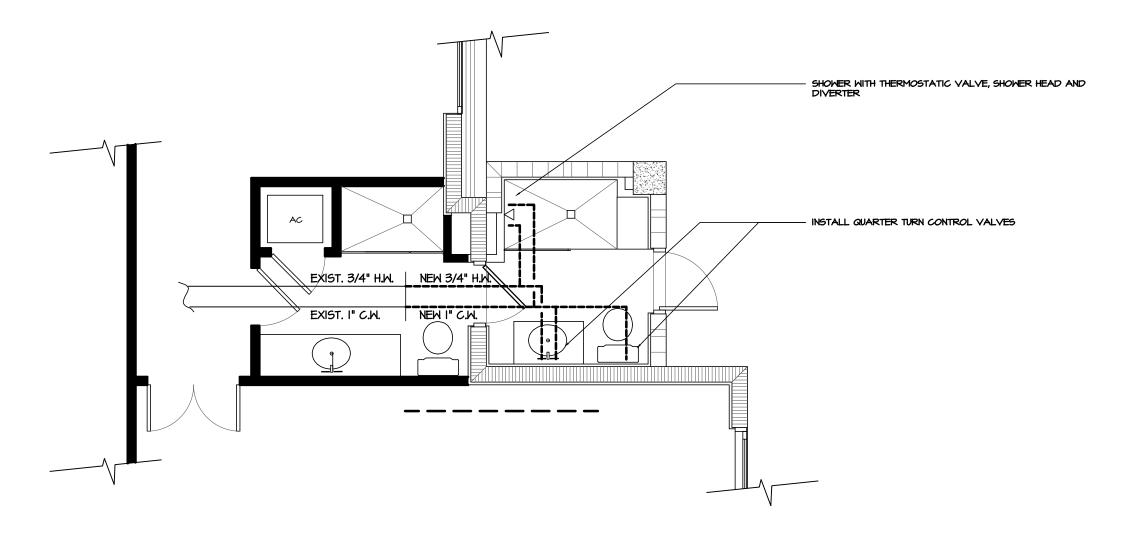
SCALE: 1/4" = 1'-0"



2 PLUMBING SANITARY PLAN

3 PLUMBING SUPPLY PLAN

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY FOR THE INSTALLATION OF A COMPLETE SYSTEM IN ACCORDANCE WITH THESE DRAWINGS, THE FLORIDA BUILDING CODE 2020 AND ALL OTHER APPLICABLE STATE, COUNTY AND LOCAL ORDINANCES AND THE LATEST EDITION OF THE FOLLOWING PUBLICATIONS; SMACNA-85, 95, 03, 05; ASHRAE 15-04, 34-04, 62-04; NFPA 70-08, 72-07, 90A-02, 90B-02, 91-04, 96-04, 101-06; ANSI ZIO.1-98, ZIO.3-98, Z21.8-94, Z21.83-98.

TEMPERATURE CONTROLS/THERMOSTAT: CONTRACTOR SHALL PROVIDE A FULLY INTEGRATED BUILDING CONTROL SYSTEM. PROVIDE EMS INTERFACE FOR ALL HVAC EQUIPMENT, WHERE APPLICABLE AS REQUIRED BY THE EXISTING CONTROLS

NEW UNITS SHALL BE COMBINATION COOLING/HEATING, WITH SYSTEM "COOL-AUTO- HEAT-OFF" AND FAN "ON-AUTO" SELECTOR SWITCHES. PROVIDE PROGRAMMABLE TYPE AS RECOMMENDED BY MANUFACTURER, HONEYWELL OR EQUAL. PROVIDE TAMPER PROOF COVERS.

THE CONTRACTOR SHALL PAY ALL COSTS OF PERMIT, INSPECTIONS AND ALL OTHER COSTS INCIDENTAL TO THE COMPLETION AND TESTING OF THIS WORK.

ALL MATERIAL SHALL BE NEW OF U.S. MANUFACTURER OF GOOD QUALITY.

ALL WORK SHALL BE PERFORMED AT INDUSTRY STANDARD QUALITY LEVEL BY CERTIFIED PROFESSIONALS.
ALL EQUIPMENT SHALL BE UL OR ETL LISTED.

ALL INSTALLATIONS SHALL COMPLY WITH FMC 2020, CH. 3, GENERAL REGULATIONS.

FOR BUILDINGS LOCATED WITHIN 3,000 FT FROM THE OCEAN, CONTRACTOR SHALL UTILIZE NON-FERROUS MATERIALS OR PROVIDE CORROSION COATING FOR ALL OUTDOOR EXPOSED METAL/STEEL EQUIPMENT, SUPPORTS, STANDS, FASTENERS, ETC. BY 3RD PARTY AS APPLIED BY BLYGOLD, LUVATA, ADVANCOAT (ENSEAL CR) OR APPROVED EQUAL WITH STANDARD 5-YEAR WARRANTY.

THERMOSTAT LOCATION SHALL BE APPROVED BY OWNER AND ENGINEER BEFORE INSTALLATION. INSTALL THERMOSTAT PER A.D.A REQUIREMENTS WHERE APPLICABLE; MAX. 46" HIGH FOR FORWARD REACH, MAX. 54" HIGH FOR SIDE REACH. MECHANICAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR ALL REQUIREMENTS FOR JUNCTION BOXES, CONDUITS, CONTROL WIRING, POWER, ETC. AND DEFINE RESPONSIBILITIES AND SCOPE OF WORK FOR EACH TRADE PRIOR TO PURCHASING/INSTALLATION.

"ARMAFLEX" OR EQUAL INSULATION SHALL BE USED FOR SUCTION REFRIGERANT LINES WITH THICKNESS PER FLORIDA ENERGY CODE TABLE 503.2.6. FILTER/DRYER AND SIGHT GLASS SHALL BE PROVIDED AT LIQUID LINES.

MECHANICAL PLANS IN GENERAL, ARE DIAGRAMMATIC IN NATURE, AND ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, PLUMBING, ELECTRICAL, FIRE SPRINKLER, AND STRUCTURAL PLANS AND SHALL BE CONSIDERED AS ONE SET OF DOCUMENTS. DUCT AND PIPING OFFSETS, BENDS AND TRANSITIONS SHALL BE REQUIRED TO PROVIDE AND INSTALL A COMPLETE FUNCTIONAL SYSTEM AND SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. CHANGES IN DUCTWORK SIZE AND ROUTE WILL BE REQUIRED TO AVOID STRUCTURAL, PLUMBING, FIRE SPRINKLER AND ARCHITECTURAL BUILDING FEATURES. DUCTWORK CHANGES MAY BE MADE BY CONTRACTOR USING EQUIVALENT SIZED DUCT. CONTACT ENGINEER IF DUCT AREA WILL NOT FIT.

ALL BRANCH TAKE-OFFS TO BE PROVIDED W MANUAL VOLUME DAMPERS. PROVIDE RADIUS ELBOWS WHERE FEASIBLE, SQUARE ELBOWS AND TEE'S SHALL BE FURNISHED W/SINGLE FOIL TURNING VANES. PROVIDE MANUAL VOLUME DAMPERS WITH EXTRACTOR AT ALL FLEX TAKE-OFFS.
PROVIDE REMOTE, CABLE OPERATED VOLUME DAMPERS IN INACCESIBLE AND HARD CEILING AREAS, "YOUNG REGULATOR" OR EQUAL.

THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BIDDING, ORDERING, FABRICATION OR INSTALLATION OF MATERIALS OR EQUIPMENT. ANY DISCREPANCY BETWEEN EXISTING CONDITIONS AND PLANS, OR ADDITIONAL CLARIFICATION REQ'D SHALL BE BROUGHT TO THE ATTENTION OF ENGINEER PRIOR TO FINAL BIDDING AND WORK.

ALL INSULATION WILL HAVE FIRE/SMOKE RATING LESS THAN 25/50.

FURNISH AND INSTALL MECHANICAL SYSTEMS TO MEET ALL CURRENT REQUIREMENTS OF NATIONAL, STATE AND MUNICIPAL CODES, RULES, REGULATIONS, LAWS, AND STANDARDS AS THEY ARE ADOPTED BY THE GOVERNING AGENCY AND AS THEY MAY APPLY.

THE MECHANICAL WORK INDICATED ON THIS PLAN SHALL COMPLY WITH THE LATEST EDITION OF THE FLORIDA BUILDING CODES: RESIDENTIAL, BUILDING, MECHANICAL, PLUMBING, ACCESSIBILITY, ENERGY CONSERVATION, THE FLORIDA FIRE PREVENTION CODE, UNDERWRITERS LABORATORIES (UL) AND THE STANDARD FOR THE INSTALLATION OF AIR CONDITIONING AND VENTILATION SYSTEMS, NEPA 90A.

SECURE AND PAY FOR ALL PERMITS AND LICENSES BEFORE ACTUAL WORK IS STARTED AND OBSERVE ANY REQUIREMENT STIPULATED THEREON.

COORDINATE WITH AND GIVE ALL NECESSARY NOTICES FOR INSPECTION OF THE WORK TO THE GOVERNMENTAL AUTHORITY HAVING JURISDICTION.

COORDINATE LOCATION OF AIR DEVICE WITH ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED CLEARANCE TO SMOKE DETECTORS.

CONSTRUCT DUCT IN ACCORDANCE WITH SMACNA REQUIREMENTS.

VERIFY DUCT TIGHTNESS IN ACCORDANCE WITH THE FLORIDA ENERGY CONSERVATION CODE. TESTING SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF ASHRAF STANDARD 152.

PROVIDE AN UNCONDITIONAL, ONE (I) YEAR WARRANTY FROM DATE OF SUBSTANTIAL COMPLETION ON ALL PRODUCTS AND WORKMANSHIP PROVIDED FOR THIS PROJECT.

NOTE: ALL WET AREA TO HAVE CEMENT BOARD OR EQUIVALENT AS PER FBC R702.4.2

A SKIM COAT OF ADHESIVE COMPLYING WITH ANSI A 136.1. AMERICAN NATIONAL STANDARD FOR ORGANIC ADHESIVES FOR INSTALLATION OF CERAMIC TILE TYPE I OR TYPE II, SHALL BE APPLIED OVER ALL SURFACE AREAS THAT HAVE BEEN FINISHED WITH JOINT COMPOUND AND ALLOWED TO CURE BEFORE THE APPLICATION OF TILE BEGINS

CUT EDGES AND OPENINGS AROUND PIPES AND FIXTURES SHALL BE CALKED FLUSH WITH WATERPROOF, FLEXIBLE SEALANT OR ADHESIVE COMPLYING WITH ANSI A 136.I. AMERICAN NATIONAL STANDARD FOR ORGANIC ADHESIVES FOR INSTALLATION OF CERAMIC TILE, TYPE I OR TYPE II. THE TILE, WALL PANEL, OR OTHER SURFACING MATERIAL MANUFACTURERS SPECIFICATIONS SHALL BE FOLLOWED.

TILE OR WALL PANELS SHALL BE APPLIED DOWN TO THE TOP SURFACE OR EDGE OF THE FINISHED SHOWER FLOOR, RETURN, OR TUB AND SHALL OVERLAP THE TOP LIP OF THE RECEPTOR, SUB-PAN OR TUB AND SHALL COMPLETELY COVER THE AREAS SPECIFIED IN SECTIONS A 1.2.3 (a) (SEE FIGURE)

(A) SHOWER STALL SURFACING MATERIAL SHALL EXTEND NOT LESS THAN 6 FEET ABOVE THE SHOWER DAM OR 6 INCHES ABOVE THE HEIGHT OF THE SHOWER HEAD

(B) GYPSUM BOARD WIDOW SILLS AND JAMBS IN SHOWER OR TUB ENCLOSURES SHALL BE COVERED TO A HEIGHT NOT LESS THAN AS SPECIFIED FOR THE WALL

(C) SURFACING MATERIAL SHALL BE APPLIED TO THE FULL SPECIFIED HEIGHT FOR A DISTANCE OF NOT LESS THAN 4 INCHES (100mm) NTS BEYOND AN OUTSIDE CORNER ARE EXCLUDED

ALL FIXTURES SHALL COMPLY WITH THE STANDARDS AND WITH THE FLORIDA BUILDING CODE PLUMBING 406 THRU 421

-		ECHANICAL PLAN / PLUMBING PLAN GENERAL NOTES
(<u> </u>	NEW 6" DIAMETER INSULATED FLEX DUCT LINE TO RUN CONNECTED TO NEAREST AIR DISTRIBUTION BOX

2 NEW 4" DIAMETER EXHAUST LINE. CONNECT TO ADJACENT BATHROOM VENT LINE AND ROOF PENETRATION

3 EXISTING 4" DIAMETER SANITARY DRAIN LINE

5 MECHANICAL PLAN / PLUMBING PLAN CODED NOTES

DESCRIPTION	REMARKS
EXISTING CMU WALL	
NEW CMU WALL	
EXISTING INTERIOR PARTITION TO REMAIN	
NEW INTERIOR PARTITION	
NEW SUPPLY CEILING DIFFUSER	
NEW FLEX DUCT	
NEW PLUMBING SANITARY DRAIN LINE	
NEW PLUMBING SUPPLY LINE	
	EXISTING CMU WALL NEW CMU WALL EXISTING INTERIOR PARTITION TO REMAIN NEW INTERIOR PARTITION NEW SUPPLY CEILING DIFFUSER NEW FLEX DUCT NEW PLUMBING SANITARY DRAIN LINE

MECHANICAL PLAN / PLUMBING PLAN LEGEND

Ziel design group

8 1 7 4 CYPRESS POINT ROAD WEST PALM BEACH, FL 3 3 4 1 2 greggz@zieldesigngroup.com 561.693.8352

oma Lane

Registered Architect: Gregory A. Zielinski, AIA
Registered Architect License #: AR92319

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REVISIONS:

ING TITLE:

MECHANICAL PLAN

PLAN

REVISIONS:

PROJECT NO.: ISSUE DATE:

NO: DATE:

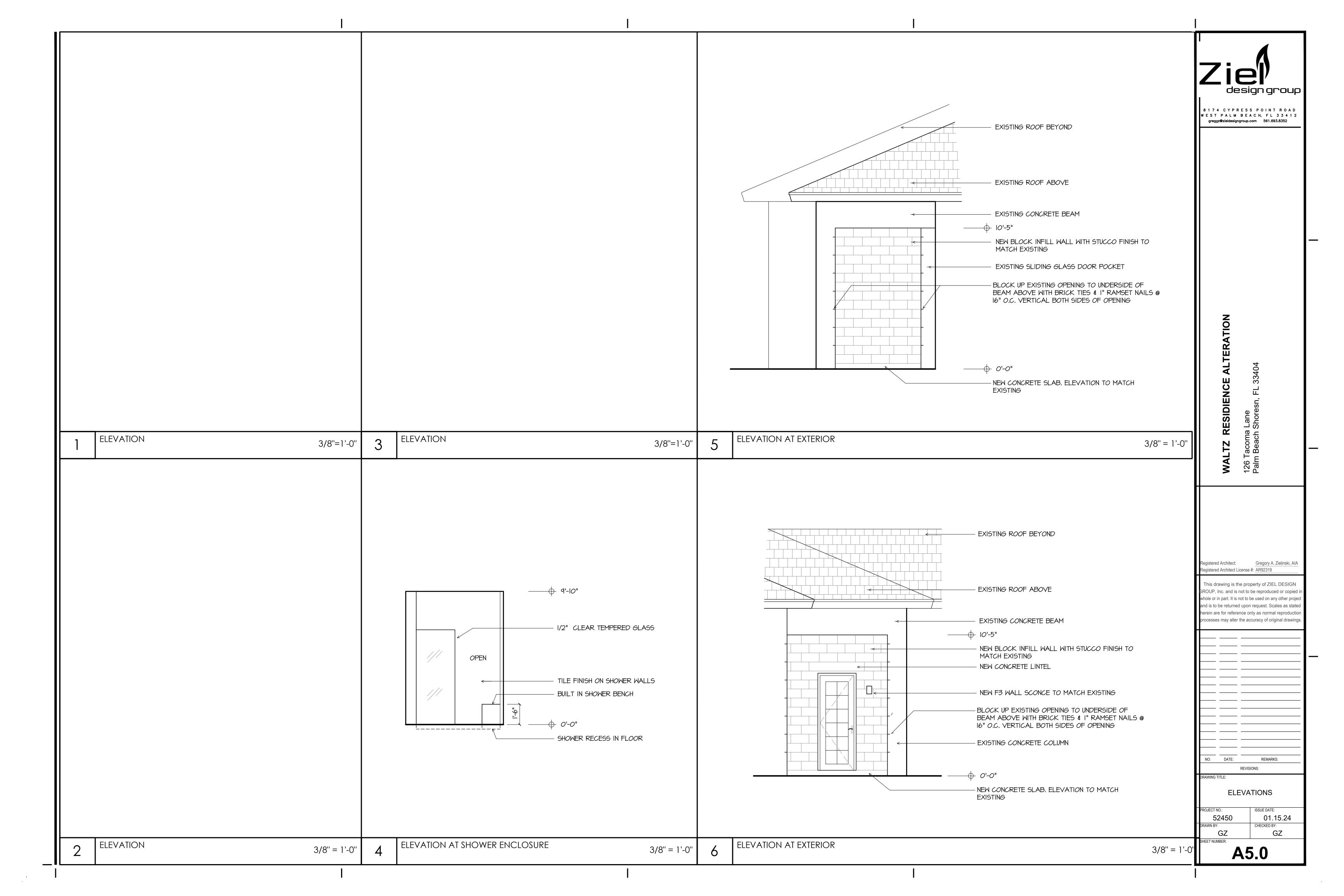
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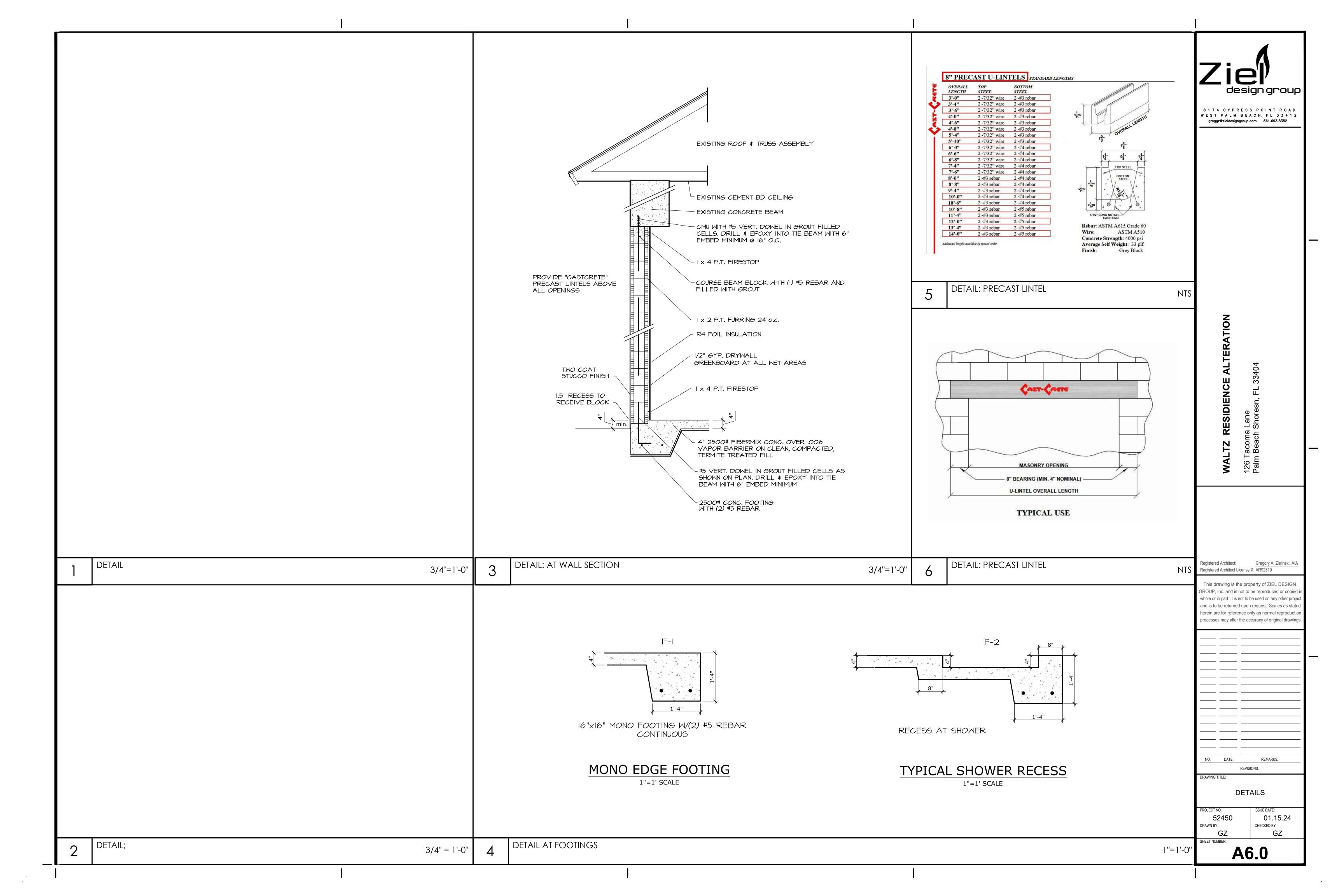
DRAWN BY: CHECKED BY:

GZ GZ

SHEET NUMBER:

A4.0









Reviewed By	
Date	
Fee Paid:	
Town Receipt No:	

SUBMITTAL CHECKLIST

	submittals must include ten (10) paper sets (folded & sorted into complete packet sets) and an electronic copy ed or thumb drive) of the following:
	Completed Development Application (complete all fields, use N/A when not applicable).
Name of Street	Architectural & Aesthetic Review Request (pg. 11, all submittals)
	Architectural & Aesthetic Review Request (pg. 11, all submittals) Variance Request (pg. 13, if applicable) JAN 2 9 2024
	Special Exception Request (pg. 14, if applicable)
	Boundary Survey (Dated to within 6 months of application submission).
	Signed and Sealed Schematics depicting building on site, setbacks, grading, drainage and elevations, as well as the relationship of the site to the neighboring sites (e.g. Site Plan, Drainage and Grading Plan, Roof Plan, Landscape Plan, Elevations).
	Tabular Data showing compliance with all lot coverage, floor area, building height, grade and landscaping
	requirements. SITE PLAN CHECKLIST
Dla	ease be sure to include the following on the Site Plan:
110	Depict and label 10' Town Strip (front of property) and 5' utility easement (rear of property), and all other
	applicable easements.
	Depict and label all setbacks and Code required setback lines (front, rear, side, pool, etc.).
	Provide a tabular data table reflecting data from the tables on pgs. 7-8 of this development application.
	For renovations and/or additions, please shade proposed addition area(s) to differentiate from existing.
	Include all a/c equipment, pool equipment and emergency generators and label as proposed or existing.
	Ensure that beam height and top of roof are dimensioned on all elevation drawings submitted.
	Provide a construction schedule for the proposed project (including calendar dates).
	LANDSCAPE PLAN CHECKLIST
Ple	ease be sure to include the following on the <u>Landscape Plan</u> :
	Depict and label the 10' Town Strip (front of property) and 5' utility easement (rear of property).
	Include and label both existing (to remain) and proposed landscaping on the subject property.
	Provide a species legend/key including the height of all landscaping to be provided at installation.
	Ensure that the requirements for 10' Town Strip and front yard trees are met.
	For multi-story construction, ensure that the requirements for privacy screening are met.
	Ensure screening is provided for all ground mounted mechanical equipment (e.g. a/c compressors, pool equipment, emergency generators).

NOTE: Checklists are \underline{not} comprehensive. They are provided solely to remind Applicants to include items commonly omitted from plans submitted to the Town.

Cover Page



DEVELOPMENT APPLICATION

TOWN OF PALM BEACH SHORES 247 EDWARDS LANE PALM BEACH SHORES, FL 33404 (561) 844-3457

OWNER/	APPLICANT: Box b	na Do	w Sen	
PROJECT	ADDRESS: 221	Linda	Lane	
APPLICATION NO.:		SUBMITTAL DATE:		
	TYPE OF APPROV	AL(S) REQUE	STED (Check box(es) ☑)	
ADMINISTRA	TIVE APPEAL		SITE PLAN MODIFICATION (14-62)	
ARCHITECTURAL AND AESTHETIC REVIEW (Pf. 14-86)			SITE PLAN REVIEW (14-62)	
COMPREHENSIVE PLAN AMENDMENT (Pf. 17.3(B))			SPECIAL EXCEPTION (Pf. 15.8)	
PLAT APPROVAL			VARIANCE (Pf. 15.4)	
REZONING (Pf. 17.3(B))			ZONING TEXT AMENDMENT (Pf. 17.3(B))	
PROPERTY OWNER(S)		APPLICANT (If different than Owner(s))		
NAME:				
ADDRESS:	Borbara Doc 221 Linda	Long		
PHONE:				
EMAIL:	Covios espinoza 230	a smill com		
AGENT (If different than Owner(s))		CURRENT OCCUPANT (If differe	ent than Owner(s))	
NAME:	AME: Covios respinosa			
ADDRESS:	,			
PHONE:	561349082	7		
EMAIL:	Coulos es aincomo	30 a gmail	Cen	

	PLANNER	DEVELOPER
NAMI	Town of Palm Beach Shores Planning & Zening 247 Edwards Lane	
ADDRI-SS.	247 Edwards Lone Palm Bench Shores, FL 33404	VA
PHONE	561 844 3457	/ 4// "
LMAIL	•	
	ARCHITECT	LANDSCAPE ARCHITECT
NAME:	Atelier of Architecture AIA 645 Beach land Blad Swite Seach, FL 32963	
ADDRESS:	645 Beach land Blad Suite Feach FL 32963	N/A
PHONE:	772 766-1611	
EMAIL:	JLRay @ Atelier darch. com	
	SURVEYOR	ATTORNEY
NAME:	Pinnacle Surveying	Δ
ADDRESS:	1547 Prosperity Farms Rd. West Palm Beach FL 33403	N/X
PHONE:	561 508 5472	
EMAIL:		
	ENGINEER (USE ADD'L. SHEET FOR MULTIPLE ENGINEERS)	
NAME:	T.E. Schlitt	
ADDRESS:	1555 Endtan River Blod. Suite 13-145 Vero Deach, FL 32960	
PHONE:	772 360 4998	
EMAIL:	Inform schlittensineeling. com	

OWNER ACKNOWLEDGMENT & CERTIFICATION

I (We) affirm and certify that I (We) understand and will comply with all provisions and regulations of the Town of Palm Beach Shores, Florida. I (We) understand that if this Application is approved by the Town, the aforementioned real property described herein will be considered, in every respect, to be a part of the Town of Palm Beach Shores and will be subjected to all applicable laws, regulations, taxes and police powers of the Town including the Comprehensive Plan and Zoning Ordinance. I (We) further certify that all statements and diagrams submitted herewith are true and accurate to the best of my (our) knowledge and belief. Further, I (We) understand that this Application and attachments become part of the Official Records of the Town of Palm Beach Shores, Florida and are not returnable. I (We) acknowledge that no permit will be issued before all fees associated with Application are paid.

- 1. Owner acknowledges and understands that the fee for site plan review, architectural/aesthetic review, variance, special exception, rezoning, etc. *may not cover all review costs*. A final statement of any outstanding costs (covering advertising costs, legal, architectural and other consultant costs) will be sent to the applicant upon completion of the review process. Owner accepts financial responsibility for all costs incurred as a result of this Application.
- 2. A construction schedule is required of all developers during the development process. The Planning and Zoning Board must approve your proposed construction schedule.
- 3. The Town requires payment of impact fees for floor area added during the development, redevelopment or renovation of a property. These impact fees will be used to pay for capital improvements relative to Fire Protection, Police Protection, Parks & Recreation and Public Buildings. Impact fees must be paid to the Town before a Certificate of Occupancy will be issued.
- 4. Roll-off dumpsters for construction/demolition debris and solid waste must be rented through the Town's contracted solid waste hauler, Waste Management.
- 5. Final as-built plans must be submitted to the Town in digital form, preferably in PDF format.

By signing below, I acknowledge that I have read and understand the five (5) items listed above. 01/10/24 Date Signature of Owner Printed Name of Owner STATE OF FLORIDA PALM BEACH COUNTY: The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 10 day of anwary Banbara c who is personally known to me or has (type of identification) as identification. produced and vonal (Name - type, stamp or print clearly) (Signature) MARVIA N CARDENAS NOTARY PUBLIC STATE OF FLORIDA NO. GG 9645280TARY S SEAL MY COMMISSION EXPIRES MAR. 02, 2024

AUTHORIZATION OF AGENT & ACKNOWLEDGEMENT OF FINANCIAL RESPONSIBILITY

Consent to an agent is required from the property owner(s) and contract purchaser, if applicable, if the property owner(s) or contract purchaser does not intend to attend all meetings and public hearings and submit it person all material pertaining to the Application. Consent to a firm shall be deemed consent for the entire firm, unless otherwise specified.

This form shall serve as consent for the agent identified below to prepare or have prepared all documents for the Application affecting property I (We) have an ownership interest in.

I (We) hereby designate and authorize the below-signed person to act as my (our) agent in regard to this Application and accept financial responsibility for any costs incurred by the agent as a result of this Application. Further, I (We) acknowledge that no permit will be issued before all fees associated with Application are paid.

Application are paid.	
Signature of Owner or Trustee	19 29 Date
STATE OF FLORIDA PALM BEACH COUNTY:	
produced (type of ide (Name - type, stamp or print clearly)	who is personally known to me or has entification) as identification. MARVIA N CARDENAS NOTARY PUBLIC STATE OF FLORIDA NO. GG 964528 MY COMMISSION EXPIRES MAR. 02, 2024
Agent Information:	
COVIDS ESPINACE	
Printed Name of Agent	Name of Firm
M	
Signature of Agent	Date

PROCEDURES AND TIMELINES

All development applications required to be submitted to the Planning and Zoning Board for review (Site Plan Review, Site Plan Modification, Architectural and Aesthetic Review, Special Exceptions and Variances) will be subject to the following procedures:

- 1. Development Review Committee ("DRC") review is regularly scheduled for the first Wednesday of each month at 2:00 pm. In order to be placed on the DRC agenda, a complete application must be submitted to the Town Clerk by the close of business on Monday of the week prior to the regularly scheduled DRC meeting. Incomplete applications and late submittals will not be placed on a DRC agenda.
- 2. If, as a result of the initial DRC review, it is determined by the DRC that a subsequent DRC meeting is necessary, the complete revised application must be submitted to the Town Clerk by the close of business on Monday of the week prior to the regularly scheduled DRC meeting. Applications that fail to include all revisions required by the DRC, or that are submitted late will not be placed on a DRC agenda until they have been corrected and are timely.
- If, as a result of the initial DRC review, it is determined by the DRC that the project can proceed to the Planning and Zoning Board, a complete Planning and Zoning Board application must be submitted to the Town Clerk including all revisions noted by the DRC. A sufficiency review will be performed by the Town to confirm that all comments provided by the DRC have been addressed and a complete revised application submitted. Once all DRC comments have been adequately addressed and a complete revised application submitted, the submittal will be placed on the agenda for the next available Planning and Zoning Board, subject to legal advertising requirements. Planning and Zoning Board review is regularly scheduled for the fourth Wednesday of each month. Applications that fail to include all revisions required by the DRC or that are incomplete will not be placed on a Planning and Zoning Board agenda.

APPLICATION FEE INFORMATION

Administrative Appeal	\$250.00
Site Plan Review	\$200.00
Site Plan Modification Review	\$200.00
Variance Request	\$ 250.00
Special Exception Request	\$ 250.00
Telecom Site Plan Review or Modification	\$ 500.00
Plat Approval Request	\$ 600.00
Comprehensive Plan Amendment	\$ 750.00
Zoning Text Amendment / Rezoning	\$ 750.00
Sufficiency Review	Zoning Official (rate per hour)

NUMBER OF COPIES REQUIRED

Development Review Committee Ten (10) paper sets (folded & sorted into complete packet

sets), including one (1) sealed original with original

signatures and nine (9) copies, three (3) of which are sealed by a licensed engineer, architect and/or surveyor, and an

electronic copy of all documents (on cd or thumb drive).

Planning and Zoning Board Ten (10) paper sets (folded & sorted into complete packet

> sets), including one (1) sealed original with original signatures and nine (9) copies, three (3) of which are sealed by a licensed engineer, architect and/or surveyor, and an

electronic copy of all documents (on cd or thumb drive).

Local Planning Agency Ten (10) copies (folded & sorted into complete packet sets).

Town Commission Ten (10) paper sets (folded & sorted into complete packet

> sets), including one (1) sealed original with original signatures and nine (9) copies, three (3) of which are sealed

by a licensed engineer, architect and/or surveyor (as applicable), and an electronic copy of all documents (on cd or

thumb drive).

Applicant acknowledges and understands that the fee for Site Plan Review. Architectural/aesthetic Review, Variance, Special Exception, Rezoning, etc. may not cover all review costs. A final statement of any outstanding costs (covering advertising costs, legal, architectural, and other consultants) will be sent to the Applicant upon completion of the review process.

Fabular data showing compliance with all lot coverage, floor area, building height, grade and landscaping requirements must be provided on all submitted plans (Town Code § 14-62).

PROJECTNAME Babac Dowson

PROJECTADORESS 221 Zinda Zane

PROJECTIEGAL DESCRIPTION: Borage extertion *** All boxes must be completed, use N/A where appropriate ***

GENERAL DATA	CODE REQUIREMENT	EXISTING	PROPOSED
COMPREHENSIVE PLAN DESIGNATION: (SF-5, MF-21, MF-30, MF-42, P, ROS)	None		
LAND USE: (Residential, Commercial, Recreational, Marina, Public, etc.)	None	Residential	Residentia 1
ZONING DISTRICT: (A, B, C, D, P, ROS, designated at Pf. 3.1, Zoning Ordinance)	None	A	A
FLOOD ZONE CATEGORY:	None	×	X
LOT COVERAGE, LANDSCAPING & PARKING	CODE REQUIREMENT	EXISTING	PROPOSED
TOTAL LOT SIZE: (sq. ft.)	None	8,238 sf	-
TOTAL COVERAGE OF A LOT BY BUILDINGS: (Pf. 5.4, 6.4, 7.5 or 8.5, Zoning Ordinance)			34.5%
TOTAL LANDSCAPE COVERAGE: (Pf. 5.4.3, Zoning Ordinance)			
OFF-STREET PARKING: (Pf. 5.13, 6.12, 7.13 or 8.14, Zoning Ordinance)	_		
SETBACKS	CODE REQUIREMENT	EXISTING	PROPOSED
FRONT YARD: (Pf. 5.5, 6.6, 7.7 or 8.7, Zoning Ordinance)	251	55'	251
REAR YARD: (Pf. 5.6, 6.7, 7.9 or 8.9, Zoning Ordinance)	101	10'	10'
SIDE YARD: Pf. 5.7, 6.8, 7.8 or 8.8, Zoning Ordinance)	5'	5'	5-1

FLOOR AREA	CODE REQUIREMENT	EXISTING	PROPOSED
IRST IT OOR ARLA (sq. ff.)	None	2,64054	2,84958
SECOND FLOOR AREA (sq. ft.) Pf. 5.4.2, Zoning Ordinance)			
TOTAL FLOOR ARFA (sq. ft.): Pf.2 23, Zoning Ordinance)	None	2,64054	z, 349 st
FLOOR AREA RATIO: Pf. 5.4.2, Zoning Ordinance)		N/A	MA
DWELLING UNIT DENSITY: Pf. 6.5, 7.6 or 8.6, Zoning Ordinance)	< 21	single Family	Single Family
IMPERVIOUS AREA	NET INCREASE	EXISTING	PROPOSED
BUILDING FIRST FLOOR AREA (sq. ft.):	20954	2,64058	2,84954
OTHER IMPERVIOUS AREA (sq. ft.): (Decks, Patios, Walkways, Driveways, Pool Deck & Pool Surface Areas)	04f	3,390 st	3,390 st
TOTAL IMPERVIOUS AREA (sq. ft.):	20951	4,23954	6,239 54
ELEVATIONS	CODE REQUIREMENT	EXISTING	PROPOSED
GRADE ELEVATION (NAVD): (Pf. 4.6, Zoning Code)	Flood Zone X N/A	6.4 70 7.6	6.4 to 7.6
ESTABLISHED 1 ST FLOOR ELEVATION (NAVD): (Pf. 4.6, Zoning Code)	18" House crown of Road	51,8	8,17
MEAN CROWN OF ROAD ELEVATION (NAVD):	None	4.61	6.61
BUILDING HEIGHT	CODE REQUIREMENT	EXISTING	PROPOSED
TOTAL BUILDING HEIGHT (NAVD): (Pf. 5.2, 6.2, 7.3 or 8.3, Zoning Ordinance)	z4' Max.	tr-12-7"	t/- 13 L411
TOP OF BEAM HEIGHT (NAVD): (Pf. 5.2, 6.2, 7.3 or 8.3, Zoning Ordinance)	6 //	61-011	10-811
ROOF PITCH: (Pf. 5.2, 6.2 or 7.3, Zoning Ordinance)	<1/12	3/128	3/12
FLAT ROOF PERCENTAGE: (Pf. 5.2, Zoning Ordinance)	10% max	37% Existing	37% Existing S In Rear of

Page 8 of 14 In Rear of Building In Rear of

JUSTIFICATION STATEMENT

	the proposed project, describing in detail the construction, phasing and proposed development application (attach additional sheets if needed):
Small C	ragge Extension Addition - CMU
Concrete	stut, New Same Door, 1 Hinged Door & I wholew
New Ra	Stub, New Snrge Door, 1 Hinged Door & I wholew of - Clay Bainel Tile
Note: Construction Sch igned and notarized co	edule is due as part of site plan review and before building permit issuance. (Town Code §14-63). A entract (signed by owner) must be provided before building permit issuance. (Town Code §14-108).
rovide an estimate of	construction costs:
Describe the existing i	improvements located on the subject property (attach additional sheets if needed):
LIVING a DIOJECT HIST	ry for the subject property, including any prior development approvals filed within the last year
n connection with the	bry for the subject property, including any prior development approvals filed within the last year a subject property. Please include the date of previous site plan approval by the Planning and a property (attach additional sheets if needed):
n connection with the	◆ year ◆ year ◆ or ★ or a construction of the description of the desc
Provide the justification is consistent with good Plan, and will not be order, health, morals Ordinances for Specisheets if needed):	e subject property. Please include the date of previous site plan approval by the Planning and property (attach additional sheets if needed): on, special reasons, or basis for the approval of this application. Explain why this application of planning and zoning practice, will not be contrary to the Town's Comprehensive Development detrimental to the promotion of public appearance, comfort, convenience, general welfare, good, prosperity, and safety of the Town. Additionally, all standards set forth in the Town Code of cial Exceptions, Variances, Administrative Appeals, etc. must be addressed. (attach additional
Provide the justification is consistent with good plan, and will not be order, health, morals Ordinances for Specisheets if needed):	on, special reasons, or basis for the approval of this application. Explain why this application of planning and planning and zoning practice, will not be contrary to the Town's Comprehensive Developmen detrimental to the promotion of public appearance, comfort, convenience, general welfare, good, prosperity, and safety of the Town. Additionally, all standards set forth in the Town Code of cial Exceptions, Variances, Administrative Appeals, etc. must be addressed. (attach additional and all the promotion of public appearance, comfort, convenience, general welfare, good and Exceptions, Variances, Administrative Appeals, etc. must be addressed. (attach additional and all the promotion of public appearance).
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Provide the justification is consistent with good plan, and will not be order, health, morals Ordinances for Specisheets if needed): ('lient to callo The Gadd.	esubject property. Please include the date of previous site plan approval by the Planning and property (attach additional sheets if needed): on, special reasons, or basis for the approval of this application. Explain why this application of planning and zoning practice, will not be contrary to the Town's Comprehensive Development detrimental to the promotion of public appearance, comfort, convenience, general welfare, good, prosperity, and safety of the Town. Additionally, all standards set forth in the Town Code of cial Exceptions, Variances, Administrative Appeals, etc. must be addressed. (attach additional world like to have the Small Crarge Extended to the Pankthy in Guilke For Two Cars,

DRAINAGE REQUIREMENTS

(For projects proposing additional on-site impervious area)

For proposed renovations/modifications to existing projects that result in <u>LESS THAN</u> a 50% increase in total site imperviousness, retain 1" of stormwater volume from the total additional impervious area.

For proposed new construction, or renovations/modifications to existing projects that result in a <u>GREATER</u> THAN a 50% increase in total site imperviousness, retain 1" of stormwater volume over the entire site.

Submit a Survey with topographic elevations and existing improvements.

A Drainage and Grading Plan and drainage calculations are required to be submitted with the application package for new construction projects and substantial modifications to existing projects. The Drainage Plan must show the following:

- Existing and proposed elevations.
- b. Location of sodded swales, sodded depressed retention areas, underground exfiltration trench and/or other proposed stormwater treatment/retention methods.
- c. Underground piping and inlets and other drainage system improvements proposed.
- d. Drainage calculations showing the retention of the volume of 1" of stormwater from addition impervious areas (or overall site).
- e. Show drainage improvements and underground piping, including water and sewer services, on the Landscape Plans to show no conflicts exist.
- f. Include note that no runoff may be directed to adjacent properties and all storm flows and runoff must be retained on-site prior to discharge into the adjacent roadway right-of-way following retention of required stormwater volume.
- g. Provide engineering details of gutter and downspout dry wells, if proposed.
- h. Provide engineering detail of exfiltration trench, if proposed.
- i. Provide engineering detail of sodded swales, if proposed.
- j. Provide engineering detail of depressed dry retention areas, if proposed.
- k. Provide Geotechnical Report or engineering assumptions/justification for coefficient of permeability (K Factor) for exfiltration trench design, if proposed.
- Engineering details/cross sections at property lines demonstrating no runoff will flow to adjacent properties may be required.

Project Engineer or Architect shall be responsible for insuring the drainage improvements are completed in substantial accordance with the approved plan.

Prior to C.O., Project Engineer or Architect to provide final signed and sealed certification that the drainage improvements and grading have been completed in substantial accordance with the approved plan.

Upon receipt of final Certification from Project Engineer or Architect, Town Engineer to visit site and ensure conformance of Town requirements prior to issuance of final C.O.

REQUEST FOR ARCHITECTURAL AND AESTHETIC REVIEW

Please be advised that pursuant to Sec. 14-86 and 14-87 of the Town Code of Ordinances, the Town Planning and Zoning Board uses the following criteria in order to complete its Architectural and Aesthetic Review. Each criteria must be addressed by the applicant prior to the application being processed.

1. Relationship of building to site: (Explain transition from streetscape; placement of parking and service areas; and compatibility of building height and scale with site):
Frank Goorge extention
2. Relationship of building and site to adjoining area(s): (Explain how structures and landscaping are consistent with established neighborhood character and will enhance the surrounding area. Include description of architectural style, as well as textures, materials and colors to be utilized):
/// A
3. Landscape and site treatment: (Explain how landscaping, exterior lighting and other site elements will be used to enhance architectural features, buffer the mass of buildings as appropriate, and enhance the privacy of the owner and neighbors. Describe the use of native species and xeriscaping as appropriate.):
V/A
4. Building design : (Explain proposed building design and style, and how components such as roofs, windows, doors, eaves and parapets are balanced in proportion to each other; address harmoniousness of colors, visual interest and compatibility):
x10, wir dows, fort Some Caller as existent
Please provide all documentation and/or samples necessary to address all architectural review criteria as applicable. Attach additional pages as necessary.
all paper) in.

REQUEST FOR VARIANCE

The Applicant is requesting a variance from the Town Code Section(s)to permit the following:	
Please be advised that a variance from the terms of the Zoning Code shall not be recommended by the Planning as Zoning Board, nor granted by the Town Commission, unless the Applicant is able to demonstrate the following:	nd
1. Explain the special conditions and circumstances which exist that are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or building in the same zoning district:	g
2. Explain how the special conditions and circumstances that exist do not result from the actions of the Applicant:	
3. Explain how the literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Co and would work unnecessary and undue hardship on the Applicant:	
4. Explain how the variance requested is the minimum variance that will make possible a reasonable use of the land building or structure:	i,
5. Explain how the granting of the requested variance will not confer on the Applicant any special privilege that is denied by the Zoning Code to other lands, structures, or buildings in the same zoning district:	S
6. Explain how the grant of the requested variance will be in harmony with the general intent and purpose of the Zoning Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare:	e —

The burden of meeting the standards as set forth above is upon the Applicant. Please provide all documentation necessary to prove your case, including a survey, if applicable. Attach additional pages as necessary.

REQUEST FOR SPECIAL EXCEPTION

	a special exception pursuant to Town Code Section(s)	to permit the following:
	l not be recommended by the Town Planning and Zoning the Applicant is able to demonstrate the following:	g Board, nor granted by the
	es will be separated from adjacent and nearby uses by approp	
	excessive vehicular traffic will be generated on surrounding t	
	vehicular parking or traffic problem is created:	
- / 1	e appropriate drives, walkways and buffers will be installed:	
5. Explain how the propose not infringe on the rights o	ed use will make a substantial contribution to the neighborho f properties in the vicinity:	od environment and will
/ 2	ed use will not endanger, restrict or impair public safety:	

The initial burden of meeting the standards as set forth above is upon the Applicant. Please provide all documentation necessary to prove your case, including a survey, if applicable. Attach additional pages as necessary.

Town of Palm Beach Shores

247 Edwards Lane Palm Beach Shores FL 33404

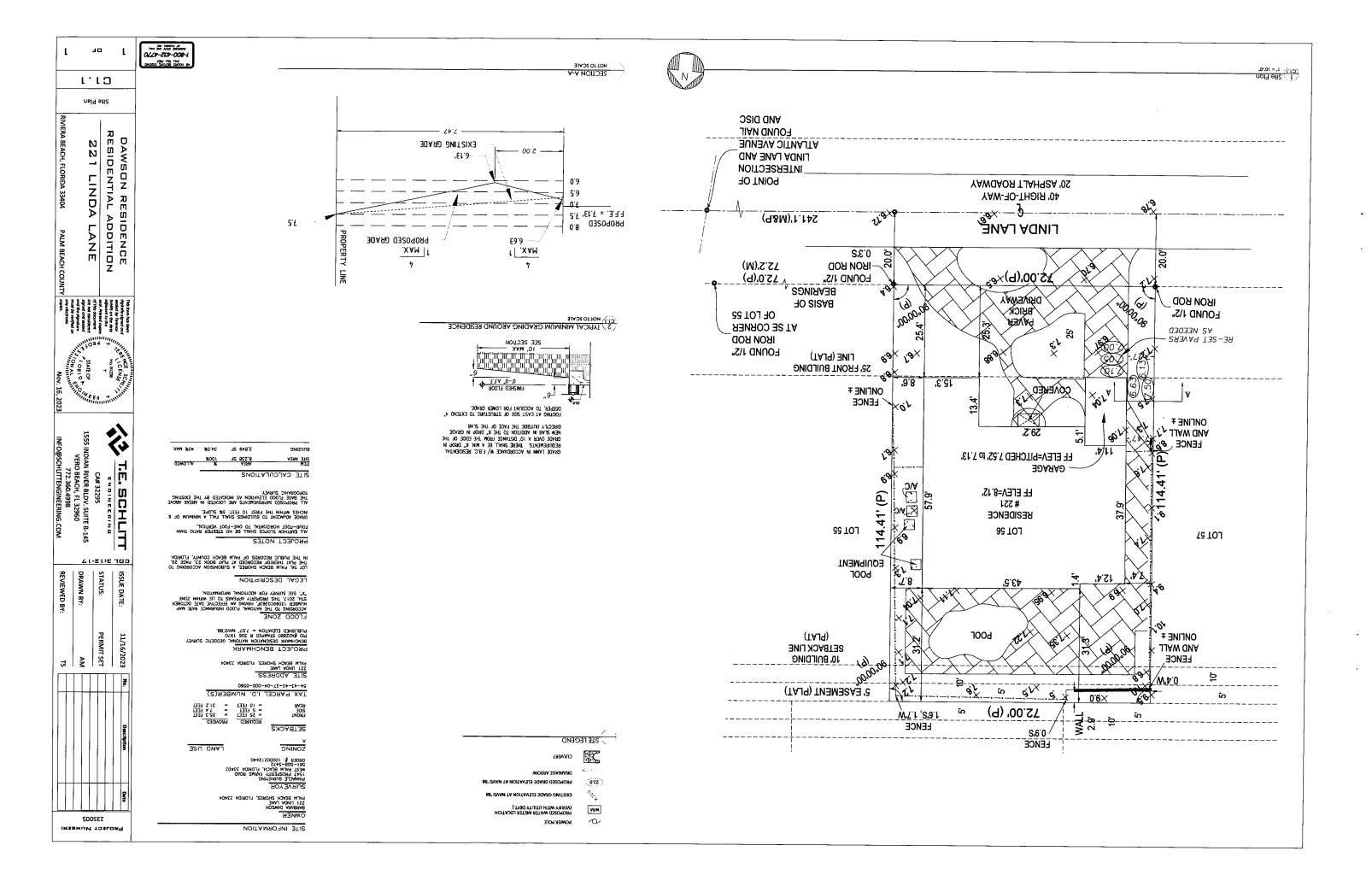
> Carlos E. Inc 4284 Beech Dr. WPB 221 Linda Lane, PBS

Town of Palm Beach Shores

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Thank you.

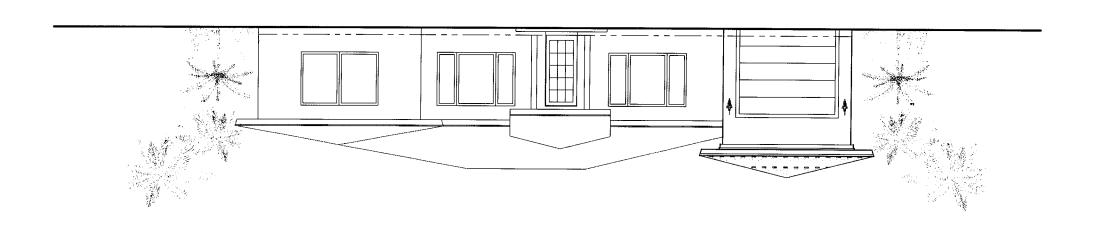




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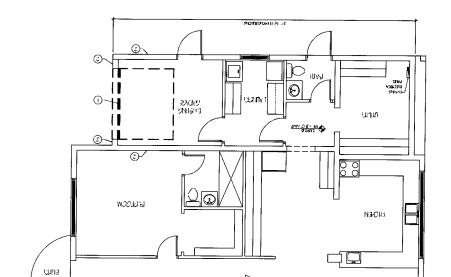
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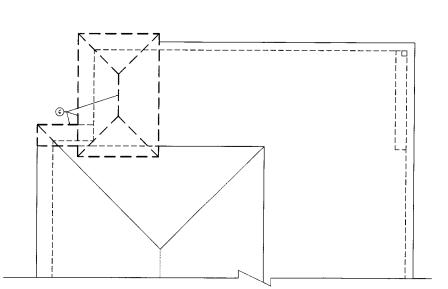
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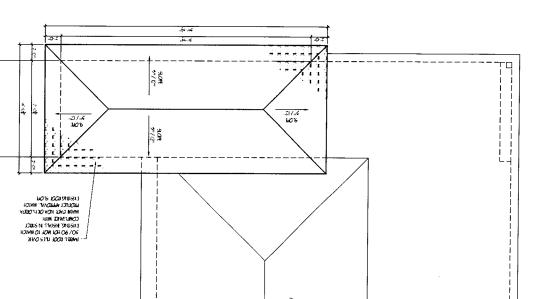
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PROPOSED FLOOR PLAN

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PROPOSED ROOF PLAN



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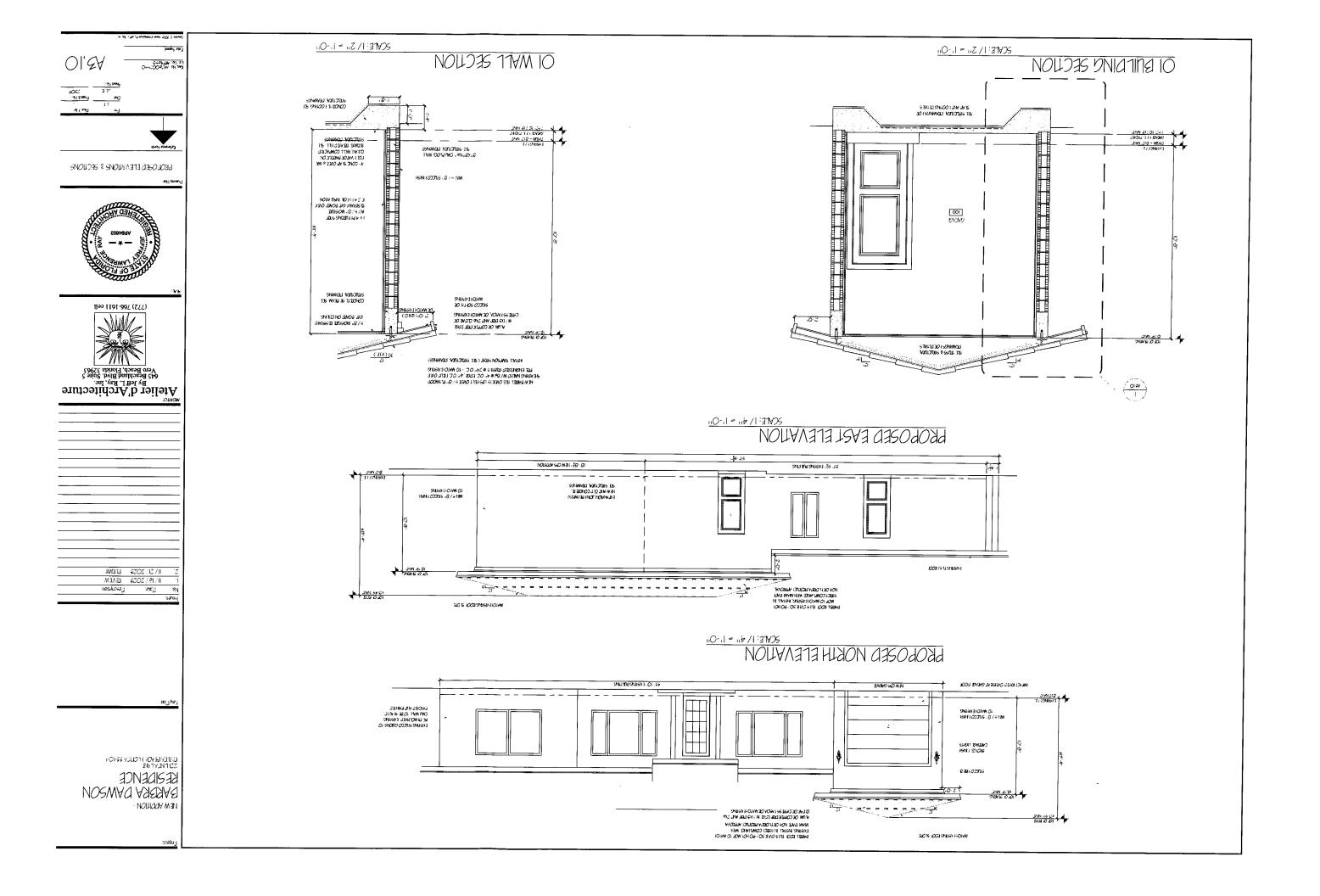


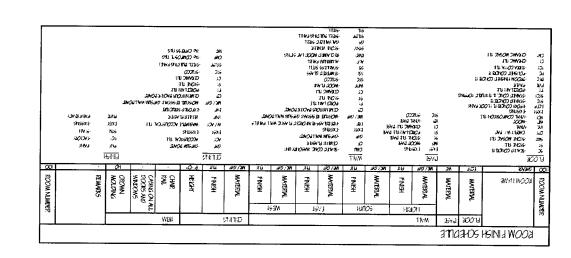
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Atelier d'Architecture By leff L Ray, fac. 645 Beachtand Blyd, Suite 5 Vero Beach, Florida 32963

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 - COCKDIANTE COLFILL CONFERENCION MUH CONVERE WID CYCE MOCK STE-CONFERENCIOS LECOL CONFERENCION TO BECLEFA INCLETA INCLUST. AND STEIN LECOLETA COLFILE MUH LIFE COLFILE MUH LIFE CYCE MOCK STE-CONFERENCIOS LECOLETA COLFILE MUH LIFE COLFILE MUH LIFE CYCE MOCK STE-CONFERENCIOS LECOLETA COLFILE MUH LIFE COLFILE MUH LIFE COLFILE MOCK STE-CONFERENCIOS LECOLETA COLFILE MUH LIFE COLFILE MUH LIFE COLFILE MOCK STE-CONFERENCIOS LECOLETA COLFILE MOCK STE-CONFERENCIOS LECOLETA COLFILE MUH LIFE COLFILE MUH LIFE COLFILE MOCK STE-CONFERENCIOS LECOLETA COLFILE MUH LIFE COLFILE MUH LIFE COLFILE MOCK STE-CONFERENCIOS LECOLETA COLFILE MUH LIFE COLFILE MUH LIFE COLFILE MOCK STE-CONFERENCIOS LECOLETA COLFILE MUH LIFE COLFILE MOCK STE-CONFERENCIOS LECOLETA CONFERENCIOS LECOLETA COLFILE MOCK STE-CONFERENCIOS LECOLETA COLFILE MOCK STE-CONFERENCIOS LECOLETA COLFILE MOCK STE-CONFERENCIOS LECOLETA LICAL COLFILE MOCK STE-CONFERENCIOS LECOLETA LICAL COLFILE MOCK STE-CONFERENCIOS LECOLETA LICAL COLFILE MOCK STE-CONFERENCIOS LICAL COLFILE MOC COGRODARE MICHOR LONG TO INSTALLING ALL ELECTRICA. PECEPTAGES, LIECTRICA, ELECTRICA, ELECTRICA, SAMIORES, AND AUTOMATED SYSTEM FOUND. FASS
 - COOKDINATE ALL FINISHES AND FINISH PATTERINS WITH OMALE.
 - - COOKDINATE ALL SHOWER ENCLOSURES.
 - COGESTIVATE ALL SHOWER NICHES WITH OWNER.
 COGESTIVATE WITH OWNER DOCK HARDWARE FROM INCHINES WITH STELLT AN EXPLICATION OF CRETTER
 - COORDINATE WITH OWNER AND KITCHEN BESIGNER ALL APPLIANCES, PLUMBING FIXILUES AND PLUMEING HARDWAY.
 - COOKDINGUE MUH OWNER YET INUTRIOR FINISHER VAR FINISH FOCULORS.

- 1/1 yet exercicis docke 8 maindoms to hyvra indyce o'lysis o'lywes o'lywes o'lysis condect be maindom of the lockidy bini bind code? 19" DOOGE LELLWEEN CHEVOE WICHOUSE LO DE SOUD CORE 1-3/4" THICK WITH 2 X 4 SOUD EVELEFUED JAME - 1 HE EVIED.
 - FE WIT HATTMAN DOCKES TO BE MON-FOCKWERE (LIGHWAEN MENNES OF ESCAND)
- HE PRECERVISION DOOR FOOK SHAT DE DESCRED TO DEFANL THE OPENING OF THE LOCKED ROOF FROM THE OMETER IN CASE OF AN EMERGRACE AS FREE FROM
- PARE EMPLOYMENCE OF THAT HE REPORT OF THAT HE STORMEN CAN CHEN CHENCE HE CONCERNED FOR ELECTRIC CHENCE HE HAVE LESS THAT HE STORMEN CAN CHENCE HE DOCK HEN WINDER HE CONCERNED HE HAVE LESS THAT HE STORMEN CAN CHENCE HE CONCERNED HE RECONCERNED HE
 - ALL WINDOW AND DOOR INSTALLANDING MUST MEET THE REQUIREMENTS OF THE EMERGIN CONSERVATION CODE
 - 10. HIGNER FALL DEDICTION LEEK AL MANDOMA LOCKED ALL 72", OR MOOR FLOW LINISED GLADE WERE LEE MINION ALT IS LOCKED MUHIN 54", OL HE FINISED L'OCK TROVIDE FIMAY AAMA, 200 WATERFROOPING AT WAIROW & POOR OPENINGS FER THE LATEST PLORIDA FULL PING CODE
 - CONIECCIOE IO ECONIE MINDOM VAD DOCK HEVEHING, MEATHER STRIFFING AND SEALAND MAI PET WINDOM VAD 1000R MANUA ACTURERS STRICHCATIONS
 - MINDOM AND DOOG WANTE VOLUME TO REGIE WHOOM AND DOOF CLEMINGE LEGOL TO IT VET WENT. MINDOM AND DOOG WANTE VOLUME TO REGIE DOOF AND MINDOM OLENINGE LEGOL TO OLERGING HE MINDOME AND DOOFE
 - CONTRACTOR TO VEH WINDOW AND DOOR HE AT HEIGHES TO HEAVING LEGER INSTITUTION AND ATTOMINENT INTERES DOOD OF WINDOW IS SIZED AND HOURD OFFERINGE
 - CONTRACTOR TO VERIET ALL WILLOW SIZES, EDOP SIZES, AUP MASOURS OFFES TO PROVIDE PROPRE HISTORIA. OF TERUITED WOOD FLUCKS
 - GENERAL OF SEASONS / GENERALOW E INSTEALED INVOCTOR SES (MISCLED ROLM OF 1529 OF 1940 LIFE AND 174 AND 174 OF 1940 OF
 - LENGTH HANGED BOOKS / GEVEN ONE INSTRUMENT IN SEVEN OF SEVEN OF SEVEN OF SEVEN OF A SHOOT AND THE VOLOR 0.56 / 340C 0.55 / 340C

 - MINIDOMS / CTEVELLOW E INSTITUTED INVESTIGATION (WHELLER ECONT OUT ESSENDING TRACEOUT 0.86 / 34CC 0.35)

SOOK ECHEDITE NOLES:







Atelier d'Architecture

MBABI STOT/PI/II

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Afelier d'Architecture

Steller d'Architecture

645 Beachland Blvd. Suic.

75 Vero Beach, Florida 32963

76 (7772) 766-1611 cell

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ELECTRICAL PLAN

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THE CONTRACTOR SHELL MAKE NO STRUCTURAL CHANGES OR MODIFICATIONS WITHOUT EXPRESSED WRITTEN APPROVAL OF THE ENGINEER OF RECORD IN ADVANCE. HE COMINACION STATIOT WAVE BYO SEINCLINEY CHAMBER ON WOODICKYLLOON, INCHING THE WASHINGTON CHAMBER ON THE WOODING THE WASHINGTON CHAMBER ON WOODICKYLLOON ON THE CONTRIBUTION CHAMBER ON THE WOODING T INE COMENCIOS RAPIT FINTIN KERT MIT LENGE CODEI/MENTO IN LINE CONTROLLOGI RAPIT FONDERVANTI COODERVANCE IN DATES OF CONTROLLOGIA FOR CONTROLLO P. TAP ALL JOHN TS IN WELDED WIRE MESH SHALL BE 2.1 LBS PER CUBIC YARD UNLESS NOTED OTHERWISE.

TAP ALL JOHN TS IN WELDED WIRE MESH SHALL BE 2.1 LBS PER CUBIC YARD UNLESS NOTED OTHERWISE. HE COMESTICAL SHIFT KEREA WIT DIRENGATION IN HER EXCICULION REGISTRATE MADEA LINE DEFICIAL OF SECONDATION OF SCOOLERS AND AND ADDRESS AND SUPPORTS AT SPACING NOT TO EXCEED THREE FEET ON CENTER OR IN ACCORDANCE WITH THE MAN RESE PLANS SHALL REMAIN ON THE PROJECT AT ALL THINES. ADDREWNÄE ON DRYMINGE? SOOPLE(FORM DIE EWER! HE SEG FART ESE IN YCCOBDYNCE MUIN YEJN WAR VIND SHYTI ESE EWE-MJT EWIJT (INTERE NOLI SOOPLE(FORM DIE) WARD SHOWEN SHE KLINDTHE REGELEN WARDENEEL GOOTNOWJOND NAW "SHOW SHOWEN SHE WARD FAN SHE SEG FANT ESE LYMEN LO WIND EXPOSURE CATEGORY: ENCLOSURE CLASSIFICATION: COUNTEET PLACE AND SUPPORT REINFORCING WITH CHAIRS, BAR SUPPORTS, SPACERS, OR HANGERS AS RECOI BUILDING OCCUPANCY CATEGORY: CONSTRUCTION TYPE: ATTIC LIVE LOAD (LIGHT STORAGE): b. BOTTOM CHORD (CEILING)
DEAD LOAD FOR UNIT CALCULATION
ATTIC LIVE LOAD (NO STORAGE); च्टाद प्रस्थ CONCRETE EXPOSED TO EARTH OR WEATHER - 1.5"

CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND - 3/4" HINIMUM LAP SPLICE (UNLESS NOTED OT P CONFISEE PROGRED LO PRULI ON METABLE VIT.

P CONFISEE PROGRED LO PRULI ON METABLE 17.

NOICY LES IN LEE REWINDER WAS REWINDENLY ENDOGE DO FRUIL 13.

REMINDENDE SHOTT BE LIVEED IN CORRESE LO ROWLIES IN MINIMUM COALERVEE IN YCCORDYNCE MULTI PCI 378 ON VZ

REMINDENDE SHOTT BE LIVEED IN COALES LO DUTIES BOND REDUCKING COPULING? AMERICAN MOOD PRACTICE FOR HANDLING INSTITUTION STANDARDS.

AMERICAN MOOD PRACTICE FOR HANDLING INSTITUTION STANDARDS.

(TTP)

TO WOOD PROTICE FOR HANDLING INSTITUTION STANDARDS.

(TTP) CHAIRMACINES SHALL DON PARTINE GROUND STREAM STREET AND DEATH OF STREAM TUTITZEN STAMBARD FOR METAL PLATE CONNECTED WOOD TRUSSES (ANSI:TH-1 8Y TRUSS PLATE HUSTITITY SROUT SHALL BE IN ACCORDANCE WITH ASTIM CAZE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI EORITORIA BERESENTED DOCUMENTAL.

REINFORCING STEET SKYTT BE IN ACCORDANCE WITH THE LATEST EDITIONS LISTED IN THE FLORIDA BUILDING CODE OF THE
REINFORCING STEEL SKYLL BE IN ACCORDANCE WITH THE LATEST EDITIONS LISTED IN THE FLORIDA BUILDING CODE OF THE SUBMIT TEST RESULTS TO ENGINEER OF RECORD WITHIN FIVE DAYS OF RESULTS. LEZ I VICE SACCILEZ/UDORZ

TO ONE CATHOGRE SENT EE BROXEN Y 1.3 DVIZ VID ONE Y 1.5 BY DVIZ VEZENEC ELINGEM ANIT BE NEEDED IN SECOND
YZAM CT93] SAVIT EE KRECKNED AND SECONDED LOW EVCH BYLGY ONE Y 1.1 DIE BEGINNING WAD ONE Y 1.1 DEE BROY
HABER EATHER SENTEMEN TO BE AND SECONDED LOW EVER DAY ONE Y 1.1 DEE BROY
BEGINDUS ANTE ER SAMPHLES FANT EE WAS DEENED AND SECONDED TO INSTRUCTION SENDER DEENED AND SETONDE LEZE ONE Y 2020 FORBING RELIEVED AND STREET BY THE PROJECT BY STREET BY THE STREET BY S THE SECRET OF CHARMINATE THE MIX DESIGN.

WATER SHALL UNT BE RIDGE TO THE MIX DESIGN.

WATER SHALL UNT BE EDGE TO THE MIX DESIGN.

WATER SHALL UNT BE EDGE TO THE MIX DESIGN.

WATER SHALL UNT BE EDGE TO THE MIX DESIGN.

WATER SHALL UNT BE FREE OF CONTAINMENTS. CLEAN AND POTABLE.

WATER SHALL UNT BE FREE OF CONTAINMENTS.

CHARMING. ON EXCED THE REQUIREMENTS OF THE TRANSPORT HOTES AND DETAILS TO ACCOMPANY THE FLORIDA STATUTES. THESE DOCUMENTS MEET TO THE EXCENDING THE STATUTE OF THE STA MATERIAL FOR CONCRETE SHALL CONFORM TO THE FOLLOWING: WELEVIS EXPONENT CONTINUES AND ACCOUNTS OF A WALEVERY CONTINUES ON SECURIOR AND ACCOUNTS OF A WALEVERY CONTINUES OF A WALEVERY ALL WORK SHALL BE INITED, PLACED, AND CURED IN ACCORDANCE WITH THE CONCRETE SHALL HAVE THE FOLLOWING SPECIFICATIONS UNLESS MOTED OTH APPEARES.

ADDA STREWGTH IPS? Structural Details nely galment took NIT CORRODED ON BRJEED WELVY MY MYLER IN THALE ROWWINGED WELVELEN SHOWN OF "MAY ELEC" MICTIDINGE BIT NOT TIMILED TO
BENOME DEMONGRAINED ORGONERS, MY MYLEREN THALL IS DAWNINGED BENOW NOTE "MAYLE ELE" MICTIDINGE BIT NOT TIMILED TO
BENOME WE SHOELED WELVY MY MYLER IN THALE ROWNINGE MY LEFT, MICTIDINGE BIT NOT TIMILED TO Sheet List ANTER CONDITION OF THE STREET MASONRY KIPS PER SOLLARE INCH THE SEARCHMENT MERSON REMEMBERS IN CONTRACT IN THE PARTY ON SPRESSION OF PROMISE OF CONTRACT IN SECURIOR OF CONTRACT IN THE ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL CODE AND ORDINANCES.

PLANUING AND EXECUTING OF DEMOLITION SHALL BE DONE IN ACCORDANCE WITH APPLICABLE ANSI-RID STANDARDS. MOCKET CONTROLL OF STANDARD OF LOOKER YND RECEIVED ACTUAL TO ACTUAL MILITY JERVILLE MAD SET JOHN THE BE ON A SIES OND DESIJN HALT ENIMINATE THE DIZINBRANCE OF SOIL AFTER SET STEMPLY REPORTED THE OND ON THE PROPERTY OF SET STEMPLY ON THE PROPERTY ON THE PROPERT

SILE WORK:

ANY FILL BROUGHT TO THE SITE SHALL WEET PROJECT REQUIREMENTS OF THE GEOTECHNICAL ENGINEER. ATMENT

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OLE PRITCHING

P. HIGHOW, AND ARMERTER SQLEARY INCITOME OFFI RESERVE AND DABLY HAVIOR SHOTT ROLL BE INCLUDING MULHIN TO,

OLONGOWING A SHARMERTER SHOTT MAY BOUND SO AND ARMY HAVIOR SHOTT ME.

MY LER WANNERSELLE DAVING WHO BOODS DO AND ARMY BOOD AND ARMY HAVIOR SHOTT ME.

OUR SHAPPING AND ARMY HE REPROCED BOTT ME BEED AND ARMY HOLD ARMY HAVE AND ARMY HAVE ARE COLOUR AND ARMY AREA AREA ARMY HAVE AREA ARMY HAVE AREA ARMY HAVE AREA ARMY HAVE ARRESTED ARE SHAPPEN AND ARMY HAVE AREA ARMY HAVE ARRESTED ARE AREA ARMY HAVE ARRESTED AREA ARRESTED AREA ARMY HAVE ARRESTED AREA ARMY HAVE ARRESTED AREA ARRESTED AREA ARRESTED ARRESTED AREA ARRESTED AREA ARRESTED AREA ARRESTED ARRESTED AREA ARRESTED ARREST

L WORK SHALL CONFORM TO THE FINAL GEOTECHNICAL REPORT AND THE FINAL GRADING PLAN ACCEPTED BY THE

.0 - .8 PRIOR TO INSTALLATION, ALL FRAMES AND BUCKS SHALL BE CHECKED FOR RACK, TWIST, AND OUT OF SQU DOWS MUST WITHSTAND THE IMPACT OF WIND BORNE MISSILES, OR SH HUTTERS (IF INSTALLED) SHALL MEET FBC-R 301.2.1.2. THE DESIGN PRESSURES FOR THE DOORS AND WINDOWS SHALL BE NOT LESS THAN THE VALUES SHOWN IN THE SCHEDULE OR PLAN, THESE DESIGN PRESSURES ARE LISTED IN ALLOWABLE (ASD) WIND PRESSURES, Note: See architectural plans for locations of openin Design Pressure (PSF Min.) (CONTREATHING SHALL HER FASTENED AS SPECIFIED IN THE DRAWINGS. ADD BLOCKING AT ALL EDGES UNIESS IN ZONE 3 SOOF SHEATHINGS. "SHEATHINGS SHALL HER FASTENED AS SPECIFIED IN THE DRAWINGS. ADD BLOCKING AT ALL EDGES UNIESS IN ZONE 3 "CONTREAS." MOOF SHEATHING SHALL BE 24/16 SPAN RATED STRUCTURAL SHEATHING.
WALL SHEATHING SHALL BE 24/16 SPAN RATED STRUCTURAL SHEATHING. SHEATHING SHALL NOT EXCEED 19% MOISTURE CONTENT WHEN INSTALLED, DO NOT INSTALL ON SHEATHING RETER A RAIN EVENT UNTIL THE MOISTURE CONTENT DROPS BELOW 19%, obenings) between bottom of Floor Sheathing and top of walt below. Squash blocks shall be of the saw NO BOWNINGS.

YE DATE OF STANDAY COTONIN SHOTT BE INSTAUTED INDEE CRIBGER? VAID \OB BEGWE! AN BEYGRIPC MAYTE? YE NO LED

ORDLEEN HIME BY OR ORD FAWARD HAVENER SHORTED THOUSE CRIBGER? WAYD \OB ORDLEEN HAVENER SHOTTED HAVENER SHOTTED HAVENER SHOTTED BY THE ORDLEEN HAVENER SHOTTED HAVE SHOTTED HAVENER SHOTTED HAVE 2.-0. 8.-0. 15.-0. 72.-0. 73.-0. 3×4 2Ab 5×6 2Ab 5×8 2Ab 5×10 2Ab WILLER Y PAR 2M STREAM IN LENOW BEVRIME VAID EXLEROR MOOD ERVINED MYTT? ZHYTF BE NOWINYF Y INCHE? MIDE SKYCED YL TE, ON CEALE! EVZLENING NOT SECRECYTH IDEALLEED ON DRYMING? ZHYTF COMETA MILH LHE BEGNIBEMENL? OE LHE BNIFDNIC CO PATE SHET BY AND EXTERIOR MOOD EXPINED WHIT SHIFT BE SEE IS! ON BELIEF IMPRESS MOLED DISERNEE ON ANY BOOK LIFE CETHOR HENTER SOUTHERN ANSE TS SEELES! MONEY SHOULD SHEEL WITE SET SHEELES! WONNIEST INFORMENTE SET SHEELES! WONNIEST INFORMENTE SET SHEELES! WONNIEST INFORMENTE SET SHEELES! WONNIEST INFORMENT SHEELES WONNIEST WONNIEST WONNIEST SHEELES SHEELES! THE ELBE OF RELIVITY RECORDING SHEELES WONNIEST SHEELES S THE MOOD WAD MOOD CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING SPECIFICATIONS AND THE TIE OR BOND BEAM, FORM WALL AND POUR SOLID WITH GROUT, CONSOLIDATING AS NECESSARY. INE. BE GO BOND REPWY FLOWN WATER WIND DOING SCHOOL CONCONDINING VER RECEIVENANT

7. HE WAND TA, MICKE US HE BEFOOD FROM THOSE DOON, TO CONCONDINE WORK FROM THE VERY THAT WE REEM THAT WE REEM THAT WE REEM THAT WE REEM THE VERY THAT WE RECEIVE THE PROPERTY OF THE PROPERT LEMONGRAE REVINER, WE SEE CHIEF OF CHIE c. VERTICAL REINFORCING AT OPENINGS SHALL BE AS INDICATED ON DRAWINGS. TIE-BEAMS SHALL BE REINFORCED AND POURED SOLID WITH CONCRETE erien Repreze, comres salto. Over all angoinn's develores as undicated du dramaice. Beams, or cither relacibeis as indicated du dramainge. ytt dueriob wyzonba myttz zhytt nake 8 gyinge "Tyddeb lake, hobisonayt beinlobgemena tocaled eara te, di Ytt concbele myzonba nhilz zhytt be fydd in lint telling bed ynd in sinming bond nitezz noled on dbymingz OCHARASSENE STEREGY FOR LIL CONCRETE MASONIVE UNITS (CANJ) SHALL BE 2000 PSI MININIUM SIASED ON THE NET CROSS SECTIONAL AREA. BONDITHA SHALL BE AS SPECIFIED IN WOTES. BONDITHA SHALL BE AS SPECIFIED IN WOTES. LI HOLLOW LOAD BEARING CONCRETE BLOCK SHALL CONFORM TO ASTM C90, GRADE N, TYPE II. CURE CONCRETE FOR THREE DAYS TO MINIMIZE SHRINKAGE CRACKS.

PROVIDE SURFACE FINISH REQUIRED FOR INTENDED FINAL APPLICATION.
SILL PLATE ANCHORS SHALL BE AS SPECIFIED IN SPECIFICATIONS.
CONSOLIDATE CONCRETE THOROUGHLY DURING CONCRETE OPERATIONS.

SAWCUT JOHNTS SHALL BE 1/3 THE DEPTH OF THE SLAB. ANY SLAB EXCEEDING 20 FEET SHALL BE DIVIDED AT ALL CORNERS AND SHALL EXTE DINECTION.

P. SYMCHI TOWNS SHIFT BE STANDAY OF THE STANDAY

NUMP SET.

CONCRETE EXAMPLES PRINCED DURING WHIN FORTOWING PRINCEMENT ON CONCRETE. BY DETOMINED THE REPORT OF THE

PLACE ALL EMBEDDED ITEMS (ANCHOR BOLTS, DOWELS, ETC.) IMMEDIATELY PRIOR TO PLACEMENT OF CONCRETE OR DURING

INCHES MINIMUM MILH ATT SEVWS LAPED DINFESS NOLED OLHERMISE.

Door Design Pressure Schedule Window Design Pressure Schedule CONNECTORS FOR TRUSS TO TRUSS COMPONENTS SHALL BE SPECIFIED PRENTHE WEATHER SHALL BE HOT IC CONNECTORS AND CONNECTORS USED ON UN-TREATED WOOD EXPOSED TO THE WEATHER SHALL BE HOT IC TO STAIN ICE STEEL COMICCIONE FOR BILLY DIRFCE COMPLOMENT SHAFT OF SECRETARY DIRFCE STATES OF MANINEVILLIBLES.

COORDICIONE FOR MAINTENUTURE RESCOMMENDIATIONS PART STEEV AND DIRFCETIONS VAIR SAFETED ON NATIONAL DESIGNATIONS OF MAINTENUTURE RESPONSAL OF SECRETARY DIRFCE STATES AND DIRFCETIONS VAIR SAFETED AND ADMINISTRATION OF MAINTENUTURE RESPONSAL OF SECRETARY DIRFCE STATES AND DIRFCETIONS VAIR SAFETED AND ADMINISTRATION OF SECRETARY DIRFCETIONS AND SAFETED AND ADMINISTRATION OF SECRETARY DIRFCETION OF SAFETED AND ADMINISTRATION PAYS GREATER THAM 10", BRACING SHALL BE NAILED WITH (2) 10d NAILS AT EACH TRUSS AND SPACED NO MORE THAM 10" THEOREM AND PERMANENT BRACING, TRUSSES SHALL BE MAINTAINED IN PROPER ALIGNMENT AND SHALL NOT BE ERECTION OF TRUSSES SHALL BE IN ACCORDANCE WITH THE BUILDING COMPONENTS SAFETY INFORMATION PUBLICATIOI BCS1 2-15, THE ERECTION CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER WOOD TRUSS NANIXLING AND FOR PROPER PIGGYBACK INSTALLATION DETAILS
CONVENTIONAL FRAMED VALLEY DETAIL
TOE WAIL DETAIL FOR JACK TRUSSES
TWO PLY CONNECTION DETAIL

BRACING AND RESTRAINT DETAILS

STATION REQUIREMENTS

SOURCE (SERVICE)

1. GENERAL

1. GENERAL

'RUSS MANUFACTURER TO FOLLOW GABLE END DETRIL FOR ADDITIONAL LOADING REQUIREMENTS (AS OCCURS).

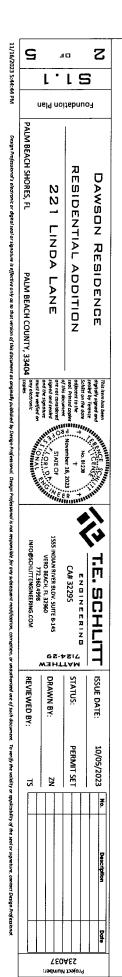
MODIFICATIONS TO THE TRUSS LAYOUT SHOWN ON THIS PLAN SHALL BE MADE WITHOUT THE RPROVAL OF THE GINEER OF RECTION

RESIDI O N AWSON N ENTIAL 73 FT ō Ď Þ DDITION ENCE This iren has been digitally signed and serble by levence schift on the dote schief on the dote schief on the dote schief on the dote schief on the dote in the document are not considered and streted and the signed and streted and the signed and on yet the verified on any effection if CA#3 32295 H L T 6Z-7Z14 MATTHEW DRAWN BY:
REVIEWED BY: DATE ᅜ Z LL TRUSSES AND TRUSS DETAILS SHALL BE DESIGNED, SPECIFIED, AND CERTIFIED BY THE REGISTERED ENGINEER OF THE TRUSS

TEOAES

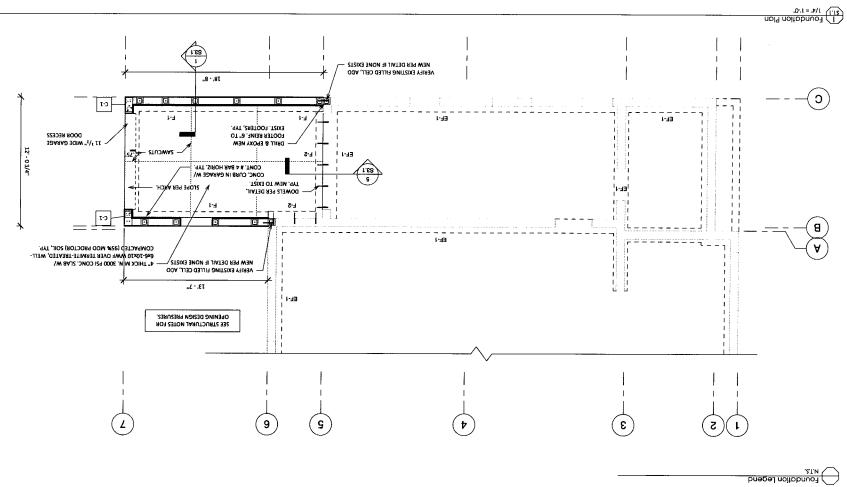
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a D r.os Structural Notes



Foundation Schedule								
 AnamasoniniaA	Τγpe	N×D×I	Mark					
 Britsix3	8nitsix3	Existing	I-43					
3nitsix3	Existing .	8niteix3	Z-43					
(2) #5 Bars Cont.	Monolithic	16" x 20" x Cont.	1-:					
(1) #5 Bars Cont.	Monolithic	8" x 8" x Cont.	₹-:					

	(6) #5 Bars Vert. & #3 Ties at 8" O.C. Max.	"× 16"	Concrete	1-3							
Comments	zznammoD eqyT	Ţγpe	laboM	Mark							
	Structural Column Schedule										



EAJS NI NWOO 93T2 LINE OF FOUNDATION 9. FORC NO BE-ENTRANT BAR IN MIDDLE OF SLAB

#S BAR VERTICAL IN FILLED CELL

#5 BAR VERTICAL IN FILLED CELL UNDER WINDOW

