

**PLANNING AND ZONING BOARD
MEETING AGENDA**

**June 4, 2020 – Immediately following the 6:30 Reorganization Meeting
247 Edwards Lane / Palm Beach Shores, FL 33404**

Janet Kortenhaus, Member
Jerald Cohn, Member
Tim Blash, Member
Tracy Larcher, Member
Kevin Banks, Member
Jason Prince, Alternate
Nina Lammert, Alternate

Mitty Barnard, Attorney
Josh Nichols, Zoning Official
Rob Rennebaum, Engineer
Laura Brown, Building Dept. Supervisor
Evyonne Browning, Town Clerk

PLEASE NOTE:
DUE TO MANDATES BY GOVERNOR DESANTIS,
THIS MEETING WILL BE CONDUCTED USING
COMMUNICATION MEDIA TECHNOLOGY.

You can join virtually by installing the Webex app and entering the ID and password below.

You can join the meeting by phone by dialing +1-408-418-9388 entering the access code followed by the # key and password below once promoted. If participating by phone you will need to follow along with the printed agenda packet available for download at

http://www.palmbeachshoresfl.us/government/agendas_and_minutes/commission.php#outer-287

Number: +1-408-418-9388

Access code: 791 214 737

Password: 0604

Additional ways to join

MOBILE: Apple iPhone/iPad – download WebEx from AppStore
Android Smartphone – download WebEx from Play Store
Open the WebEx application
Click Join Meeting

COMPUTER

Meeting link:

<https://townofpalmbeachshores.my.webex.com/townofpalmbeachshores.my/j.php?MTID=m375eeb9ceb3919bfed8f0f618be8470a> (click or copy this link into your internet browser)

1. CALL TO ORDER

a. Roll call

2. APPROVAL OF MEETING AGENDA (Additions, substitutions, deletions)

3. CONSENT AGENDA

4. ACTION ITEMS

- a) **SPR20-2/AAR20-3**, Eric and Tammy Emerson, Owners of 215 Linda Lane, request Site Plan Review and Architectural and Aesthetic Review to construct a new 98 linear foot pool with travertine deck in the rear of the subject property.

- b) **SPM19-11/AAR19-2**, Douglas Owen, Owner of 222 Edwards Lane, requests a Site Plan Modification and Architectural and Aesthetic Review to enlarge the pool deck, add rain gutters and downspouts to the roof eave, construct a retaining wall along the east and west property lines to control erosion and give support for the approved fence, and modify the previously approved landscaping for the site.
- c) **SPM19-13/AAR19-14**, Joseph and Brenda Battaglia, Owners of 230 Blossom Lane, request Site Plan Modification and Architectural and Aesthetic Review to remove an existing concrete driveway and replace with porcelain pavers, install a new entry gate walkway, install a pergola and modify the previously approved landscaping onsite.
- d) **SPM20-1/AAR20-1**, Great American Life Insurance Company, Owner of 98 Lake Drive, requests Site Plan Modification and Architectural and Aesthetic Review to install a new transitory marginal dock adjacent to the seawall, west of the existing tiki bar.
- e) **SPM20-3/AAR20-8**, Great American Life Insurance Company, Owner of 98 Lake Drive, requests Site Plan Modification and Architectural and Aesthetic Review to construct a 660 square foot restroom building and a 14 foot x 245 foot paver walkway adjacent and connecting to the Tiki Bar.
- f) **SPM20-2/AAR20-2**, Benjamin Sharfi Trust, Owner of 142 Lake Drive, requests Site Plan Modification and Architectural and Aesthetic Review to enlarge a dining patio to provide access to and enclose with CMU knee wall similar to dining patio, install a 574 square-foot shallow pond water feature around the perimeter of dining patio, and replace the existing concrete sidewalks and gravel parking area with new pervious concrete pavement.

5. PUBLIC COMMENT

6. STAFF REPORTS

- a. Building Department update (*Laura Brown, Building Dept. Supervisor*)

7. ADJOURNMENT

PLEASE TAKE NOTICE AND BE ADVISED, that if any interested person desires to appeal any decision made by the Planning & Zoning Board with respect to any matter considered at this meeting or hearing, such interested person will need a record of the proceedings, and for such purpose may need to insure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based. The meeting/hearing will be continued from day to day, time to time, place to place, as may be found necessary during the aforesaid meeting. IN ACCORDANCE WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA), THIS DOCUMENT CAN BE MADE AVAILABLE IN AN ALTERNATE FORMAT (LARGE PRINT) UPON REQUEST AND SPECIAL ACCOMMODATIONS CAN BE PROVIDED UPON REQUEST WITH THREE (3) DAYS ADVANCE NOTICE. FOR HEARING ASSISTANCE: If any person wishes to use a hearing device, please contact the Town Clerk.



POOL APPLICATION CHECKLIST (See separate checklist for Spas/Hot Tubs) **Town of Palm Beach Shores** **Building Department**

Applicant must submit the following items:

Please indicate items submitted with a checkmark (✓)

Workclass: In Ground (not to exceed six (6) inches above ground level)

1. Permit application (check appropriate trade) completed and signed ✓
 Pool only _____ Pool w/Deck ✓ Pool w/Spa _____ Pool w/Deck/Spa _____
2. Copy of completed contract signed by both parties ✓
3. Owner/Builder affidavit; if applicable _____
4. Acknowledgment of Owner Responsibility - **NOTARIZED** ✓
5. Completed Drainage Certification Form ✓
6. Plumbing permit application to be submitted with original permit package ✓
7. Electrical permit application by certified electrician to be submitted with original permit package ✓
8. Survey showing location of pool and setbacks ✓
 - a. Must have printed legal description and flood zone ✓
 - b. Indicate distance from power lines, septic system and structures ✓
 - c. Drainage plan/survey including flow arrows representing the proposed site drainage ✓

	Front		Rear		Side		Side	
Required Setback	Pool	Deck	Pool	Deck	Pool	Deck	Pool	Deck
	8'		10'		7'		7'	
Proposed Setback	Pool	Deck	Pool	Deck	Pool	Deck	Pool	Deck
	N/A		10'		7'-7"	4'-7"	33'-8"	28'-8"

9. Engineer **signed/sealed** plans, include designer name and address
10. Plans must:
 - a. Include water velocity for pressure, suction piping & TDH ✓
 - b. Show location of proposed pool equipment on property ✓
 - c. Show the proposed net increase in impervious surface area on property ✓
11. Pool Heater: _____ Gas _____ Electric _____ None ✓
 (Requires separate gas permit)
12. Provide Load Calculation including proposed pool equipment ✓
13. Provide pump curve charts from manufacturer ✓
 - Provide inspector with a final "as-built" drainage plan at final inspection
 - Temporary 4 ft. high fence required during construction!



Craft Master Custom
POOLS

8233-20 Gator Lane • West Palm Beach, FL 33411
Phone (561) 798-7928 • Fax (561) 798-7930
www.craftmastercustom.com

SWIMMING POOL CONTRACT

Craft Master Custom Pools, (Contractor) agrees to build a swimming pool, furnish and install all additional items as listed in this contract.

(Owner): Tammy Emerson Date: 11-14-19
Address: 215 Linda Lane City: Palm Beach Shores Zipcode: 33404
Home Phone: _____ Bus. PH: _____ Cell: 561-799-7056 Cell: Tammy 561-762-5560
County: Palm Beach Lot: _____ Block: _____ Plat Book: _____ Email: _____
Subdivision: Palm Beach Shores Build. Dept: Palm Beach Shores Folio # _____

SPECIFICATIONS: Pool Structure shall be reinforced gunite/shotcrete construction. All construction and mechanical details covered by this contract shall conform to standard Contractor's Structural and Mechanical Specifications and/or working Drawings unless otherwise noted.

POOL ITEMS:

Max Width 16' Max Length 30'
Depth 3' To 4'11" 98 L. ft
Pool Lin Ft. _____
Pile Caps (yes ☐ n/a ☒ qty _____)
Demuck (yes ☐ n/a ☒
Small Machine (up to 8hrs.) (yes ☐ n/a ☒
Shuttle Dig (up to 4hrs.) (yes ☐ n/a ☒
Backfill (yes ☐ n/a ☒
Final Clean-up (yes ☐ n/a ☒
Neg. Edge Basin Per. (yes ☐ n/a ☒
Dig & Drop ☐ Haul ☒
Demo Existing Pool (yes ☐ n/a ☒
COPING ITEMS:
Bullnose Brick (yes ☐ n/a ☒
Old Chicago (yes ☐ n/a ☒
Marble Turkey Red (yes ☐ n/a ☒ size 6x12
Pre-Cast Travertine (yes ☐ n/a ☒
Overspour (yes ☐ n/a ☒
Crab Orchard (yes ☐ n/a ☒
TILE ITEMS:
Waterline (\$5.00 sq. ft. allow) (yes ☐ n/a ☒
Cap Sun shelf (yes ☐ n/a ☒
Cap Steps (yes ☐ n/a ☒
Cap Bench (yes ☐ n/a ☒
Cap Swim-Out (yes ☐ n/a ☒ size _____
Inserts (yes ☐ n/a ☒
RAISED ELEVATION POOL & SPA ITEMS:
6" (l.f.) (yes ☐ n/a ☒
6" (finished both side l.f.) (yes ☐ n/a ☒
12" (l.f.) (yes ☐ n/a ☒
12" (finished both side l.f.) (yes ☐ n/a ☒
18" (l.f.) (yes ☐ n/a ☒
18" (finished both side l.f.) (yes ☐ n/a ☒
24" (l.f.) (yes ☐ n/a ☒
24" (finished both side l.f.) (yes ☐ n/a ☒
WATER FEATURE ITEMS:
Sheer Descant (Size) (yes ☐ n/a ☒ qty _____)
Lighted Bubbler or Lion Head (yes ☐ n/a ☒ qty _____)
Rosettes (yes ☐ n/a ☒ qty _____)
Deck Jets (yes ☐ n/a ☒ qty _____)
Bubblers (yes ☐ n/a ☒ qty _____)
Waterfall yes ☐ n/a ☒ Size _____
Pan for Waterfall yes ☐ n/a ☒ Size _____
Other: _____
ELECTRIC ITEMS:
Base electrical hook up time Clock, J-Box, Light Switch and Transformer (yes ☒ n/a ☐
Extra charge for upgrade in electric panel or sub panel if needed by H/O (yes ☐ n/a ☒
STEP & BENCH ITEMS:
Steps (yes ☒ n/a ☐
Swim-out Bench (yes ☐ n/a ☒
Bench (yes ☐ n/a ☒ qty _____)
Sun Shelf (yes ☐ n/a ☒
Bench Entry (yes ☐ n/a ☒
Umbrella Sleeve (yes ☐ n/a ☒
SPA & SPA EQUIP. ITEMS:
w/4 Jets (yes ☐ n/a ☒
Extra Jets (yes ☐ n/a ☒ qty _____)
Glass Block (yes ☐ n/a ☒ qty _____)
Spillway Size _____ ft (yes ☐ n/a ☒ qty _____)
Blower (yes ☐ n/a ☒ H.P. _____)
White Light (yes ☐ n/a ☒ qty _____)
LED Color Light (yes ☐ n/a ☒ qty _____)
DECK ITEMS:
Barn Concrete Deck (yes ☐ n/a ☒ type _____)
Travertine Marble Deck (yes ☐ n/a ☒ size 6x12
Paver Deck (yes ☐ n/a ☒ type _____)
Spray or Kool Deck (yes ☐ n/a ☒ type _____)
Deck Bonding (yes ☐ n/a ☒
Capping (yes ☐ n/a ☒ type _____)
Risers (yes ☐ n/a ☒ type _____)
Remove Exist deck/ped (yes ☐ n/a ☒ Sqft _____)
Deck Grade (yes ☐ n/a ☒
If C.M. is not installing deck, H/O is responsible for grading & compaction H/O Initial _____
Deck Footer (yes ☐ n/a ☒ Size _____)
Thickened Footer (yes ☐ n/a ☒ Size _____)
Deco Drain (yes ☐ n/a ☒
Expansion Joint (yes ☐ n/a ☒
Handrail (yes ☐ n/a ☒
Ladder (yes ☐ n/a ☒
Concrete Pump (yes ☐ n/a ☒
PLUMBING ITEMS:
Skimmer w/line (yes ☒ n/a ☐ qty 1)
Main Drain w/line Pool (yes ☒ n/a ☐ qty 1)
Main Drain Spa (yes ☐ n/a ☒ qty _____)
Clean Line (yes ☐ n/a ☒
Fountain Line (yes ☐ n/a ☒ size _____)
of Returns (yes ☐ n/a ☒ qty 4)
Auto Fill (yes ☐ n/a ☒
Jets on Bench (yes ☐ n/a ☒ qty _____)
Overflow line (yes ☐ n/a ☒
ADDITIONAL ITEMS:
Extra fill supplied by H/O (yes ☐ n/a ☒
Sod and sprinklers by H/O (yes ☐ n/a ☒
Stump removal (qty _____) (yes ☐ n/a ☒
Relocate tree (yes ☐ n/a ☒
CM is not responsible if tree does not survive relocation.
Soil report by H/O ☐ CM ☐ (yes ☐ n/a ☒
Chemically treat water & clean pool (yes ☐ n/a ☒
POOL EQUIP. ITEMS:
Pump (yes ☒ n/a ☐ Make Hoxy size 1.65 HP
Pump Type Makeflo VS Variable speed
Filter (yes ☐ n/a ☒ type C2005)
Off Line Chlorinator (yes ☐ n/a ☒ type _____)
Salt System (yes ☐ n/a ☒ Make Auto Pilot
Pool Vac (yes ☐ n/a ☒
Q.H. Light White (yes ☐ n/a ☒ qty _____)
LED Light Color (yes ☐ n/a ☒ qty 1 white 5000)
Spa Side Control (yes ☐ n/a ☒
Salt Cell only (yes ☐ n/a ☒
Extra Pump (yes ☐ n/a ☒ type _____ size _____)
Automation system (yes ☐ n/a ☒ Make _____
Model: _____
Controls: Hard Wire ☐ Remote ☐ Table Top ☐
Smartphone Interface ☐
HEATER ITEMS:
5 HP Heat Pump (yes ☐ n/a ☒ BTU _____)
5 HP Heat/Cool (yes ☐ n/a ☒ BTU _____)
250,000 BTU Gas Heater (yes ☐ n/a ☒
400,000 BTU Gas Heater (yes ☐ n/a ☒
LP ☐ Nat ☐
Gas hook up by H/O (yes ☐ n/a ☒ initial _____)
INTERIOR FINISH ITEMS:
Std Quartz Colors (yes ☒ n/a ☐
Upgrade
Quartz Colors (yes ☐ n/a ☒
Pebble Make _____ (yes ☐ n/a ☒
Pebble Make _____ (yes ☐ n/a ☒
ENCLOSURE:
Remove existing screen by H/O (yes ☐ n/a ☒
Screen by H/O (yes ☐ n/a ☒
Fence by H/O ☒ CM ☐ N/A ☐
Baby fence by H/O ☐ CM ☐ N/A ☒
Door alarms by H/O ☒ CM ☐ N/A ☐
Existing fence (yes ☒ n/a ☐
Type: Wood Height: 4' ☐
☐ Chain Link 5' ☐
☐ Aluminum 6' ☒
H/O responsible to bring fence up to current codes if being used as primary barricade before pool will be plastered.
Permit (yes ☒ n/a ☐
Termite Treatment (yes ☐ n/a ☒
Shoring (yes ☐ n/a ☒
Repair sidewalk if CM breaks (yes ☐ n/a ☒
Backflow Preventer by H/O ☐ CM ☐ (yes ☐ n/a ☒
Backflow Preventer Existing (yes ☐ n/a ☒
Cut & Cap Sprinklers in pool area prior to excavation by CM (yes ☐ n/a ☒
COMMENTS:

TERMS OF PAYMENT: It is understood that the terms are cash and payments as set forth below are due on billing unless special arrangements are otherwise made and herein set forth. One Year Warranty on labor and materials from Date of Plaster.

Contract Price Thirty five thousand four hundred 00 Dollars (\$ 35,450)
SCHEDULE OF BILLING: 1. Deposit 10% 3545 2. Day of Excavation 25% 8862 3. Day of Gunite 25% 8862
4. Day of Tile 15% 5318 5. Day of Deck 20% 7090 6. Day of Plaster 5% 1773

It is understood that C.M.C.P. reserves the right to stop all construction if progress payments are not paid when due. If Contractor incurs any expense in collection of payments or enforcing the terms of this agreement, whether suit be brought or not, the Owner agrees to pay all such costs and expenses including reasonable attorney's fees, interests, court costs and incidental expenses.

This agreement and the provisions on the reverse side hereof shall be binding upon the parties hereto, heirs, successors, and assigns, where signed by the parties hereto or their officers or agents except as otherwise provided. There are no promises, agreements, or understandings between the undersigned parties which are not expressed in this contract (no verbal agreements between purchaser and salesman).

Representative _____
(Subject to Acceptance by H/O Office of Craft Master Custom Pools)

Approved by _____
(Office of Craft Master Custom Pools)

PURCHASER

X
PURCHASER

White - Construction • Yellow - Purchaser • Pink - Office



CFN 20200042227

OR BK 31198 PG 0470
 RECORDED 02/03/2020 08:41:59
 Palm Beach County, Florida
 Sharon R. Bock, CLERK & COMPTROLLER
 Pg 0470f (1pg)

PERMIT NUMBER: _____

NOTICE OF COMMENCEMENT

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

- DESCRIPTION OF PROPERTY** (Legal description of the property & street address, if available) TAX PARCEL NO.: 54-43-42-27-04-000-0556
 SUBDIVISION Palm Beach Shores BLOCK _____ TRACT _____ LOT 55 BLDG _____ UNIT _____
215 Linda Lane, Palm Beach Shores, FL 33404
- GENERAL DESCRIPTION OF IMPROVEMENT:**
Swimming pool with travertine deck
- OWNER INFORMATION OR LESSEE INFORMATION IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:**
 a. Name and address: Eric & Tammy Emerson: 215 Linda Lane, Palm Beach Shores, FL 33404
 b. Interest in property: Owners
 c. Name and address of fee simple titleholder (if different from Owner listed above): _____
- CONTRACTOR'S NAME:** Craft Master Custom Pools
 Contractor's address: 8233 20 Gator Lane, WPB, FL 33411 b. Phone number: 561-798-7929
- SURETY** (if applicable, a copy of the payment bond is attached):
 a. Name and address: _____
 b. Phone number: _____ c. Amount of bond: \$ _____
- LENDER'S NAME:** _____
 Lender's address: _____ b. Phone number: _____
- Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:**
 a. Name and address: _____
 b. Phone numbers of designated persons: _____
- In addition to himself or herself, Owner designates _____ of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.**
 b. Phone number of person or entity designated by Owner: _____
- Expiration date of notice of commencement** (the expiration date will be 1 year from the date of recording unless a different date is specified): _____, 20____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Tammy Emerson
 (Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager)

Tammy Emerson
 (Print Name and Provide Signatory's Title/Office)

State of FloridaCounty of Palm Beach

The foregoing instrument was acknowledged before me this 14 day of January, 2020
 by Tammy Emerson as owner
 (name of person) (type of authority, ...e.g. officer, trustee, attorney in fact)
 for _____
 (name of party on behalf of whom instrument was executed)

Personally Known _____ or Produced Identification ☒ Type of Identification Produced DL



NOAH STRASSER
 Commission # GG 257981
 Expires December 18, 2022
 Bonded Three Budget Notary Services

[Signature]
 (Signature of Notary Public)
 (Print, Type, or Stamp Commissioned Name of Notary Public)

Rev. 10-15-17



STATE OF FLORIDA - PALM BEACH COUNTY
 I hereby certify that the foregoing is a true copy of the record in my office with redactions, if any as required by law.
 THIS 3 DAY OF February 2020
 SHARON R. BOCK
 CLERK & COMPTROLLER
 By _____
 DEPUTY CLERK





Created by: Palm Beach County May 5, 2020

54434227040000550

1:1,128

0 0.0075 0.015 0.03 mi

0 0.0125 0.025 0.05 km

Palm Beach County

None

AUTHORIZATION OF AGENT & ACKNOWLEDGEMENT OF FINANCIAL RESPONSIBILITY

Consent to an agent is required from the property owner(s) and contract purchaser, if applicable, if the property owner(s) or contract purchaser does not intend to attend all meetings and public hearings and submit it person all material pertaining to the Application. Consent to a firm shall be deemed consent for the entire firm, unless otherwise specified. This form shall serve as consent for the agent identified below to prepare or have prepared all documents for the Application affecting property I (We) have an ownership interest in.

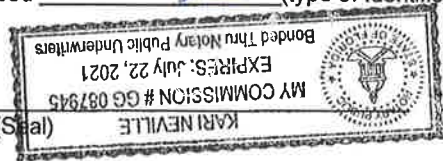
I (We) hereby designate and authorize the below-signed person to act as my (our) agent in regard to this Application and accept financial responsibility for any costs incurred by the agent as a result of this Application. Further, I (We) acknowledge that no permit will be issued before all fees associated with Application are paid.

Eric and Tammy Emerson
Signature of Owner or Trustee

4/23/20
Date

STATE OF FLORIDA
PALM BEACH COUNTY:

The foregoing instrument was acknowledged before me by means of ☐ physical presence or ☐ online notarization this 23 day of April 2020, by Eric and Tammy Emerson, who is personally known to me or has produced DL (type of identification) as identification and who did/did not take an oath (circle response).



Kari Neville
NOTARY PUBLIC, State of Florida

Agent Information:

James Hockett
Printed Name of Agent

[Signature]
Signature of Agent

HSL Planning & Dev.
Name of Firm

4/27/20
Date

ACKNOWLEDGEMENT OF OWNER RESPONSIBILITY FOR POOL SAFETY

Permit No.: _____

Owner: ERIC J EMERSON / TAMMY Z EMERSON Address: 215 Linda Lane Palm Beach Shores
(Print name)

When a pool permit is issued, I understand that it is my responsibility as owner of the property to provide safety enclosures and barriers pursuant to Florida Building Code Chapter 454, Florida Statutes 515 and ANSI/NSPI-8.

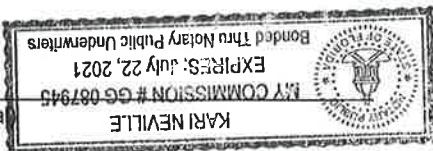
These safety enclosures and barriers will be installed and in working order at time of final pool inspection.

Eric and Tammy Emerson
Signature of Owner or Trustee

4/23/20
Date

STATE OF FLORIDA
PALM BEACH COUNTY:

The foregoing instrument was acknowledged before me by means of ☐ physical presence or ☐ online notarization this 23 day of April 2020, by Eric and Tammy Emerson, who is personally known to me or has produced DL (type of identification) as identification and who did/did not take an oath (circle response).



Kari Neville
NOTARY PUBLIC, State of Florida



**ACKNOWLEDGEMENT OF
OWNER RESPONSIBILITY FOR POOL SAFETY**

**Town of Palm Beach Shores
Building Department**

Permit No. _____

Owner ERIC J. & TAMMY Z. EMERSON
(Print name)

Address 215 Linda Lane Palm Beach Shores

When a pool permit is issued, I understand that it is my responsibility as owner of the property to provide safety enclosures and barriers pursuant to Florida Building Code Chapter 424, Florida Statute 515 and ANSI/NSPI-8.

These safety enclosures and barriers will be installed and in working order at time of final pool inspection.

[Signature]
Signature of Owner

THIS DOCUMENT MUST BE NOTARIZED

**STATE OF FLORIDA
PALM BEACH COUNTY**

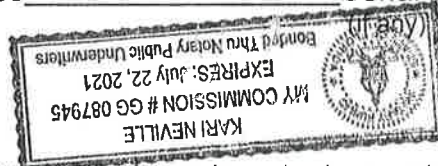
The foregoing instrument was acknowledged before me by means of ☐ physical presence or ☐ online notarization this 23 day of April, 2020, (Year), by Eric + Tammy Emerson, who is personally known to me _____ or has produced DL as identification and who did or did not take an oath.

NOTARY PUBLIC

Signature [Signature]
Printed Kari Neville

My Commission Expires _____ Serial # _____

Official Stamp / Seal:



For information on pool enclosure and barrier requirements, please contact the Palm Beach Shores Building Dept, Monday through Friday, 8:30 AM to 4:30 pm.

TOWN OF PALM BEACH SHORES
247 Edwards Lane,
Palm Beach Shores, Florida 33404
Phone: (561) 844-3457 Fax: (561) 863-1350
Rev: 01/28/2020



OWNER ACKNOWLEDGEMENTS AND CERTIFICATIONS

Town of Palm Beach Shores Building Department

I (We) affirm and certify that I (We) understand and will comply with all provisions and regulations of the Town of Palm Beach Shores, Florida. I (We) understand that if this Application is approved by the Town, the aforementioned real property described herein will be considered, in every respect, to be a part of the Town of Palm Beach Shores and will be subjected to all applicable laws, regulations, taxes and police powers of the Town including the Comprehensive Plan and Zoning Ordinance. I (We) further certify that all statements and diagrams submitted herewith are true and accurate to the best of my (our) knowledge and belief. Further, I (We) understand that this Application and attachments become part of the Official Records of the Town of Palm Beach Shores, Florida and are not returnable. I (We) acknowledge that no permit will be issued before all fees associated with Application are paid.

1. Owner acknowledges and understands that the fee for site plan review, architectural/aesthetic review, variance, special exception, rezoning, etc. **may not cover all review costs**. A final statement of any outstanding costs (covering advertising costs, legal, architectural and other consultant costs) will be sent to the applicant upon completion of the review process. Owner accepts financial responsibility for all costs incurred as a result of this Application.
2. A construction schedule is required of all developers during the development process. The Planning and Zoning Board must approve your proposed construction schedule.
3. The Town requires payment of impact fees for floor area added during the development, re-development or renovation of a property. These impact fees will be used to pay for capital improvements relative to Fire Protection, Police Protection, Parks & Recreation and Public Buildings. Impact fees must be paid to the Town before a Certificate of Occupancy will be issued.
4. Roll-off dumpsters for construction/demolition debris and solid waste must be rented through the Town's contracted solid waste hauler, Waste Management.
5. Final as-built plans must be submitted to the Town in digital form, preferably in PDF format.

By signing below, I acknowledge that I have read and understand the five (5) items listed above.


Signature of Owner


4/23/20
Date

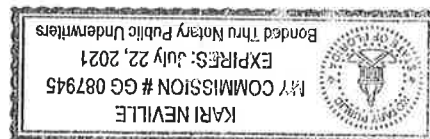
ERIC J. & TAMMY Z. EMERSON
Printed Name of Owner

STATE OF FLORIDA
PALM BEACH COUNTY:

The foregoing instrument was acknowledged before me by means of ☐ physical presence or ☐ online notarization this 23 day of April 2020, by Eric and Tammy Emerson, who is personally known to me or has produced DL (type of identification) as identification and who did/did not take an oath (circle response).

(Seal)


NOTARY PUBLIC, State of Florida



TOWN OF PALM BEACH SHORES
247 Edwards Lane
Palm Beach Shores, Florida 33404
Phone: (561) 844-3457 Fax: (561) 863-1350



DRAINAGE CERTIFICATION FORM

Town of Palm Beach Shores
Building Department

Permit # _____

(Print Name) I, James Hansen intending to be legally bound, hereby certify the lot drainage will be installed in accordance with the approved site drainage plans and details.

At said property 215 Linda Lane Date: 4/23/20

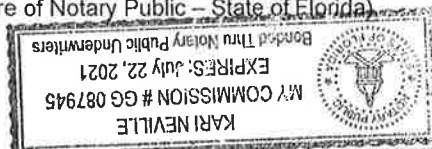
Signature, Permit Qualifier: [Signature] James Hansen

License # CPC 1458570

STATE OF FLORIDA
PALM BEACH COUNTY

The foregoing instrument was acknowledged before me by means of ☐ physical presence or ☐ online notarization this 27 day of April, 2020, (Year), by James Hansen, who is
(Name of Person Acknowledging)
personally known to me ☒ or who has produced
_____ as identification.

[Signature]
(Signature of Notary Public – State of Florida)



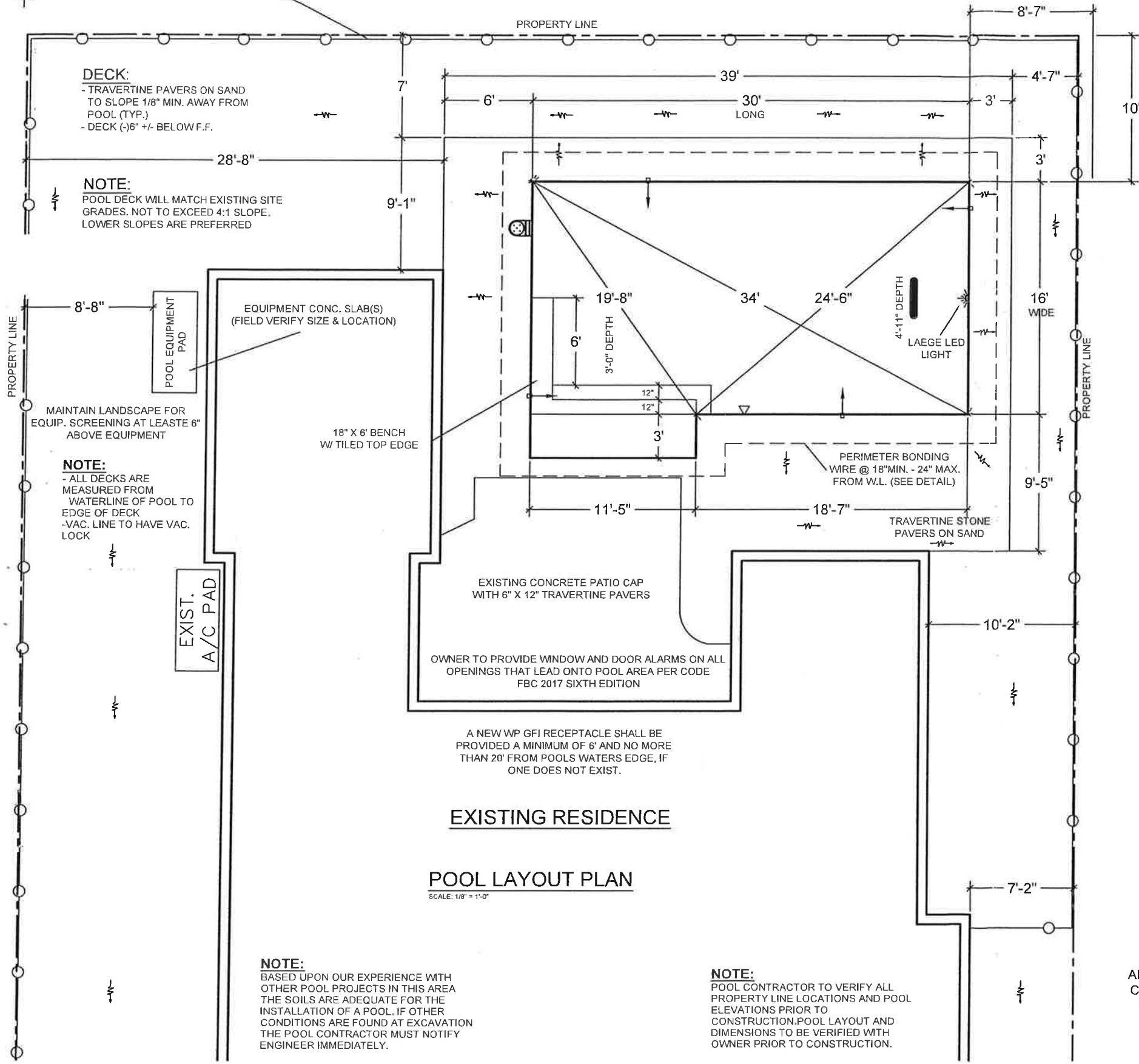
(Print, Type or Stamp Commissioned Name of Notary Public)



EXISTING 6' HIGH WOOD FENCE WITH SELF-CLOSING, SELF-LATCHING GATE THAT SWINGS OUT AWAY FROM THE POOL AREA. INSPECTOR TO VERIFY THE FENCE IS IN COMPLIANCE WITH CHILD SAFETY BARRIER REQUIREMENTS PER FBC SIXTH EDITION (2017)

NOTE:
FINAL YARD GRADES TO BE FLUSH WITH EDGE OF POOL DECK (OR POOL WHERE NO DECK IS PROVIDED) AND TO SLOPE AWAY FROM POOL/DECK AT 1":12" MAXIMUM FOR THE FIRST 6' FROM EDGE.

NOTE:
THIS PLAN IS FOR POOL AND SPA STRUCTURES, PLUMBING, EQUIPMENT/ELECTRICAL & DECK ONLY. ALL OTHER FEATURES SHOWN ON PLANS ARE DESIGNED AND ARE BY OTHERS



POOL LAYOUT PLAN
SCALE: 1/8" = 1'-0"

NOTE:
BASED UPON OUR EXPERIENCE WITH OTHER POOL PROJECTS IN THIS AREA THE SOILS ARE ADEQUATE FOR THE INSTALLATION OF A POOL. IF OTHER CONDITIONS ARE FOUND AT EXCAVATION THE POOL CONTRACTOR MUST NOTIFY ENGINEER IMMEDIATELY.

NOTE:
POOL CONTRACTOR TO VERIFY ALL PROPERTY LINE LOCATIONS AND POOL ELEVATIONS PRIOR TO CONSTRUCTION. POOL LAYOUT AND DIMENSIONS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.

POOL SPECIFICATIONS	
POOL SIZE: 16' X 30'	POOL DEPTH: 3'-0" TO 4'-11"
POOL CAPACITY: 15,378 GAL.	TURN OVER RATE 6.0 HR. MIN.
POOL AREA: 514 S.F.	POOL PERIMETER 98 L.F.
POOL EQUIPMENT	
PUMP SIZE: HAYWARD 1.65 HP	MODEL: SP2300 VSP
FILTER SIZE: 200 S.F. / CARTRIDGE	MODEL: HAYWARD 2005
CHLORINATOR: AUTO PILOT	MODEL: NANO 28,000 GAL.
POOL RETURNS: 4 @ POOL	SKIMMER: 1
CLEANING LINE: YES	LIGHT: (1) LED WHITE
HEATER TYPE: NONE	MODEL-SIZE: NONE
WATER FEATURES	
ROSETTE: NONE	LION HEADS: NONE
SHEER DESCENT: NONE	DECK JETS: NONE
SPRITZER: NONE	JET ON S-O: NONE
FEED LINE(S): NONE	BUBBLER: NONE
FINISHING ITEMS	
COPING: 6X12 TRAVERTINE SQ. EDGE	HANDHOLD TYPE: NONE
TILE: 6"	TYPE OF NEW DECK: 6X12 TRAVERTINE
SWIMMOUT-BENCH SIZE: NONE	CAPPING: NONE
EXISTING RAILINGS: NONE	REMOVAL EXIST. DECK: NONE
AUTOMATION: NONE	BENCH SIZE: 6'
INTERIOR FINISH: STANDARD QUARTZ	DECK-O-DRAIN: NONE
ADDITIONAL FEATURES	
SCREEN ENCL: NONE	FOOTER: NONE
SPA SPECIFICATIONS	
SPA SIZE:	DEPTH:
SPA PUMP:	SPA PERIMETER:
JETS:	SPA S.F.
SPA CAPACITY:	TURNOVER RATE:
RAISED:	LIGHT:
GLASS BLOCK:	BLOWER:
SPILLWAY SIZE:	ENTRY STEP:
NOTES: PERIMETER BARRIER: REFER PG.3 FOR RESIDENTIAL SWIMMING POOL MUST MEET SAFETY FEATURES PER FBC 2017 6TH EDT. CHAPTER 45,R4501.17.1 THROUGH R4501.17.14 AND TO BE INSTALLED BY OWNER	

FINAL DRAWING

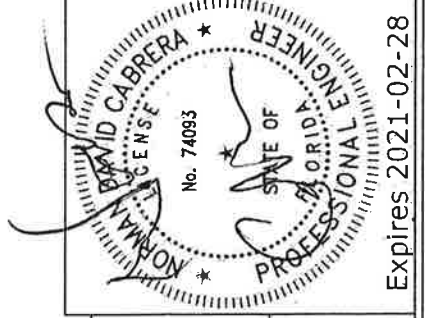
APPROVED FOR LAYOUT, DIMENSIONS & EQUIPMENT. I/WE UNDERSTAND THAT ANY CHANGES WILL INVOLVE AN ADDITIONAL CHARGE OF \$350.00 FOR EVERY CHANGE MADE. ALSO NO ENGINEERED PLANS WILL BE PROCESSED WITHOUT ORIGINAL SIGNED SALES DRAWINGS. NO EXCEPTIONS

X _____ DATE: _____

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND OTHER INFORMATION. ANY DISCREPANCIES MUST BE REPORTED TO THE ENGINEER OF RECORD.

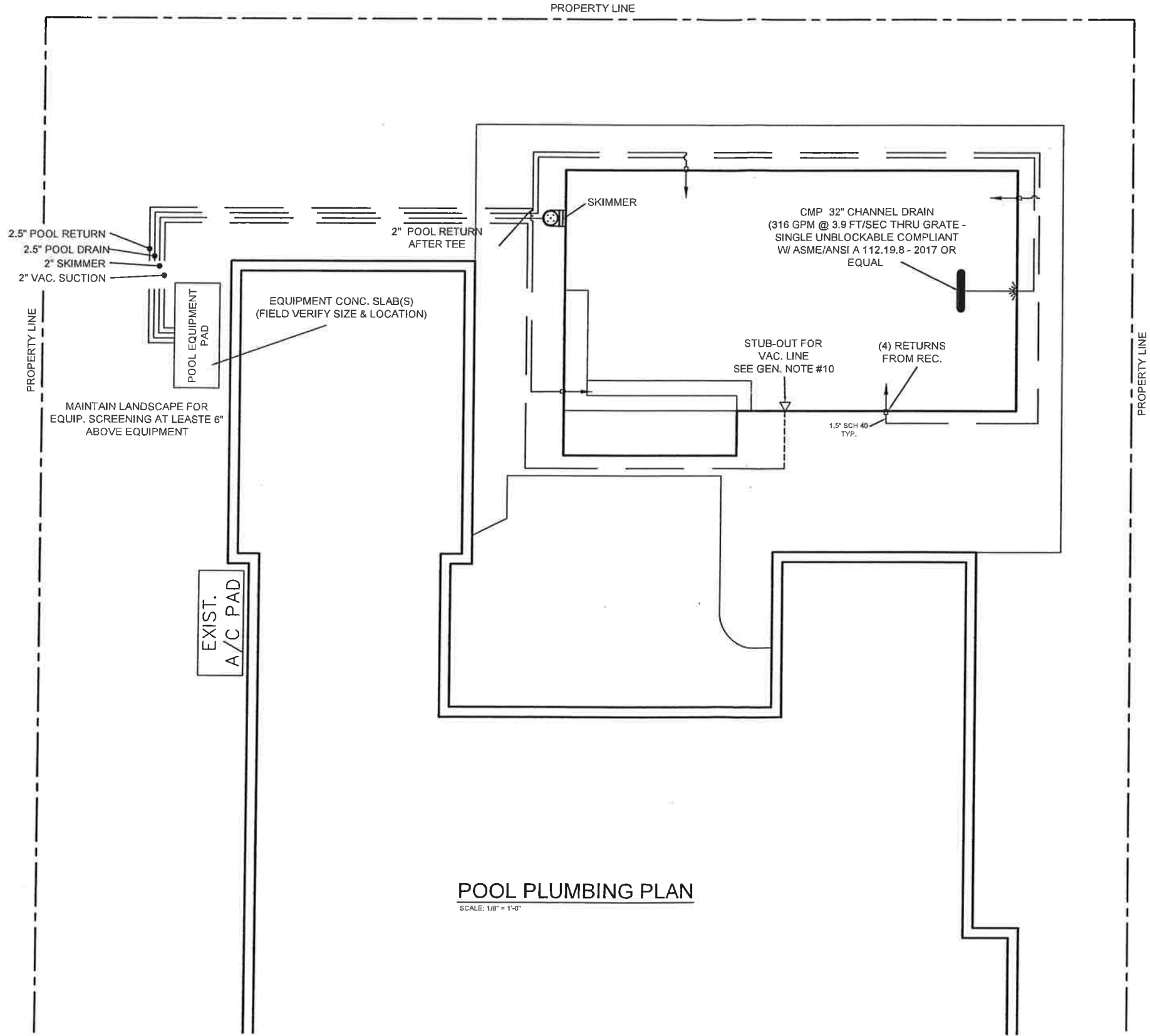


Coral Key Design, Inc.
605 BELVEDERE ROAD, SUITE 7
West Palm Beach, FL 33405
561-722-3890



DAVID CABRERA
No. 74093
STATE OF FLORIDA
PROFESSIONAL ENGINEER
Expires 2021-02-28

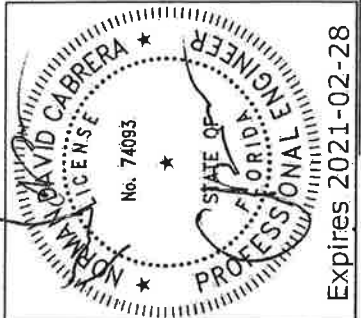
8233-20 GATOR LANE WEST PALM BEACH FLORIDA 33411 PHONE: (561) 798-7929		NORMAN D. CABRERA, P.E. FL REG. ENGINEER # 74093 605 BELVEDERE ROAD SUITE # 7 WEST PALM BEACH 561-249-1212	
<i>Craft Master Custom</i> POOLS		EMERSON RESIDENCE 215 LINDA LANE PALM BEACH SHORES, FL	
RDER #	00-813	SHEET	1 OF 7
DATE:	12-05-19	D.D. #	



POOL PLUMBING PLAN
SCALE: 1/8" = 1'-0"

DEC 06 2019

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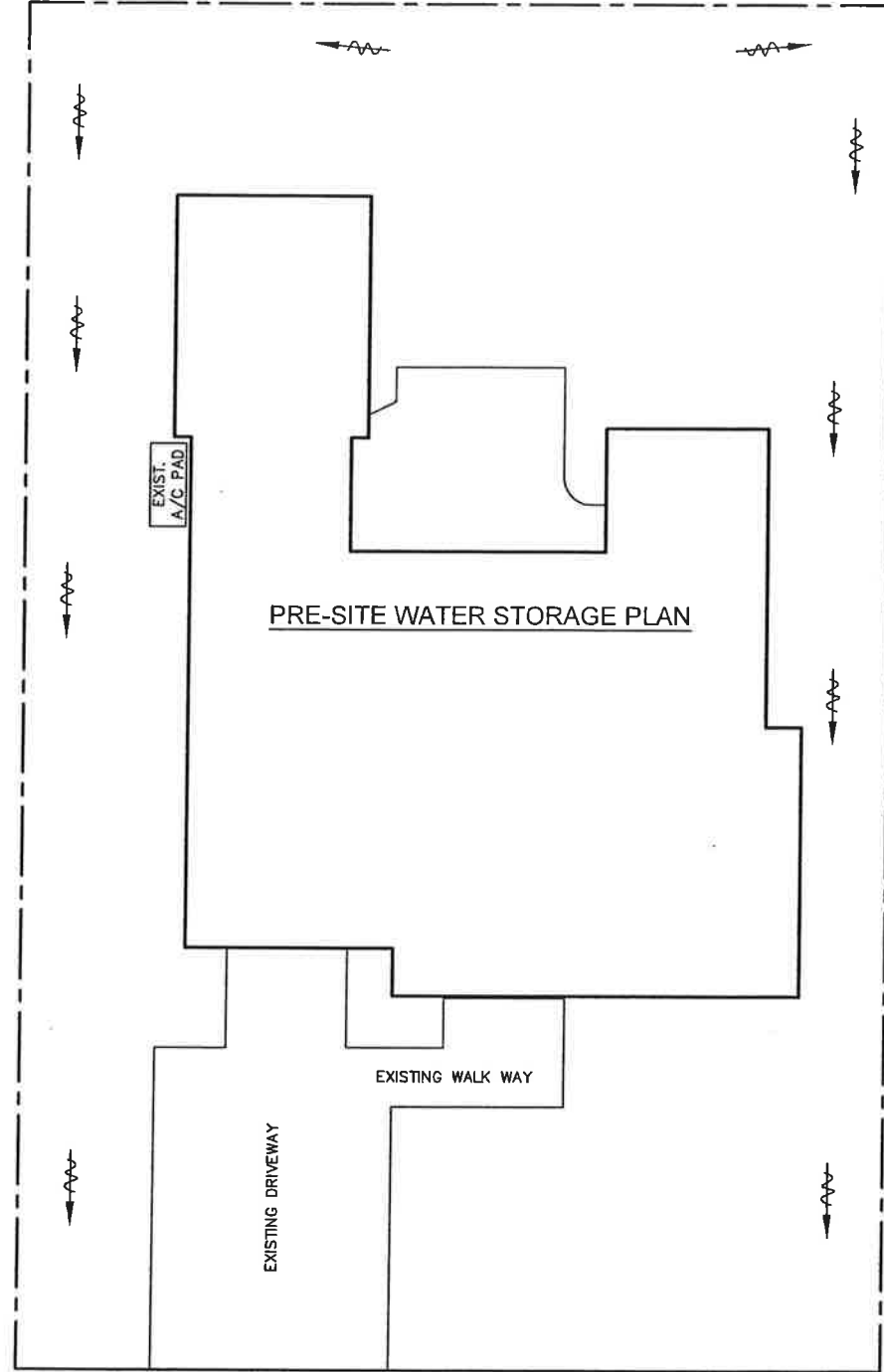
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605 BELVEDERE ROAD
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Craft Master Custom
POOLS

EMERSON RESIDENCE
215 LINDA LANE
PALM BEACH SHORES, FL

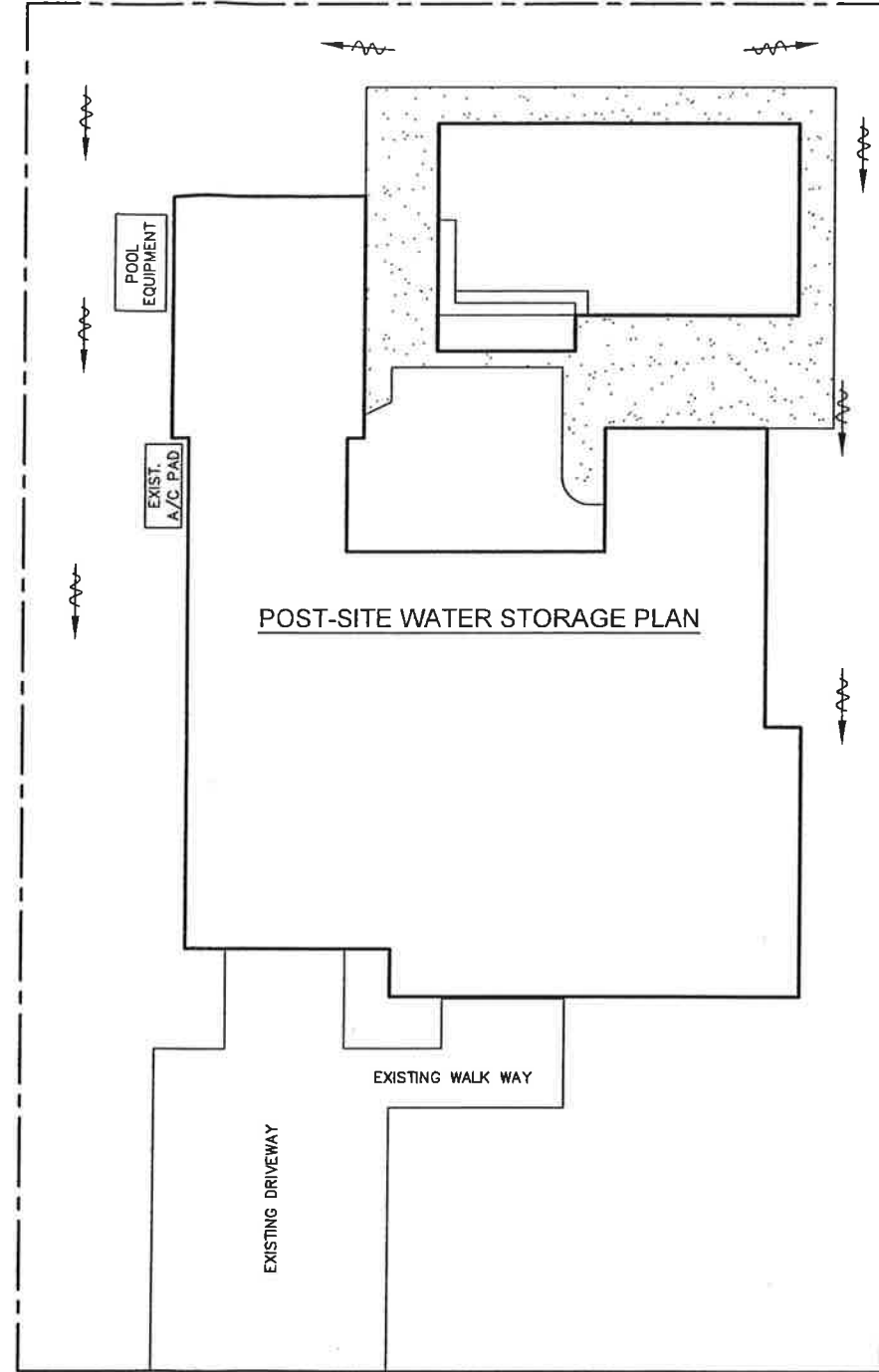
ORDER #	DATE:
00-813	12-05-19
D.D. #	SHEET
	2 OF 7

Coral Key Design, Inc.
605 BELVEDERE ROAD, SUITE 7
West Palm Beach, FL 33405
561-722-3890



PERVIOUS
TOTAL LOT 8,271 S.F.
IMPERVIOUS
RESIDENCE 2,000 S.F.
EXISTING AC PAD 21 S.F.
DRIVEWAY/ WALK WAY 729 S.F.
TOTAL IMPERVIOUS 2,750 S.F.

TOTAL % OF IMPERVIOUS = 33%

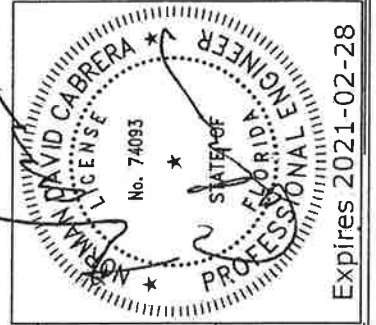


PERVIOUS
TOTAL LOT 8,271 S.F.
IMPERVIOUS
PROPOSED POOL 514 S.F.
PROPOSED POOL DECK 813 S.F.
PROPOSED POOL EQUIPMENT PAD 33 S.F.
RESIDENCE 2,000 S.F.
EXISTING AC PAD 21 S.F.
DRIVEWAY/ WALK WAY 729 S.F.
TOTAL IMPERVIOUS 4,110 S.F.

TOTAL % OF IMPERVIOUS = 49%

DEC 06 2019

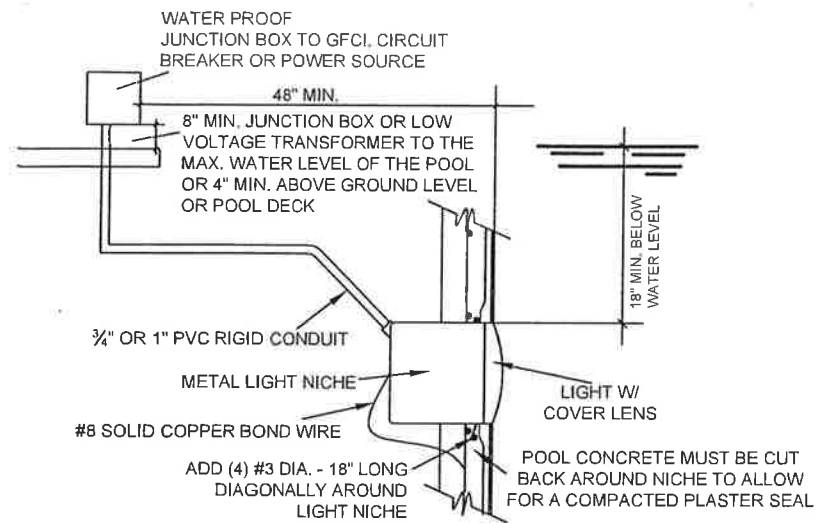
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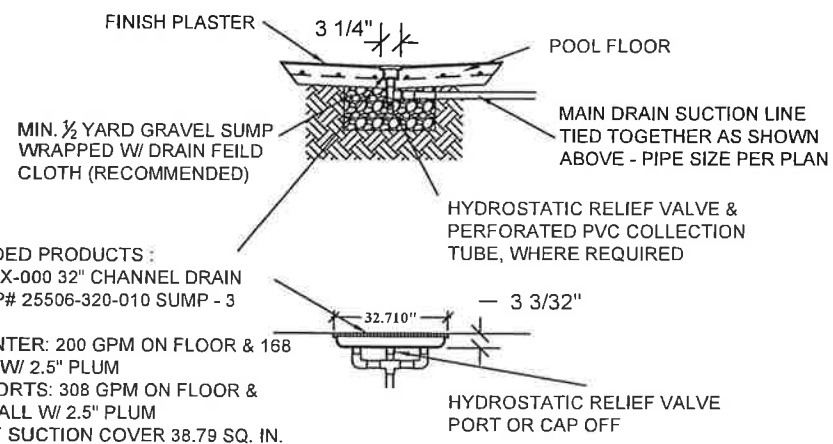
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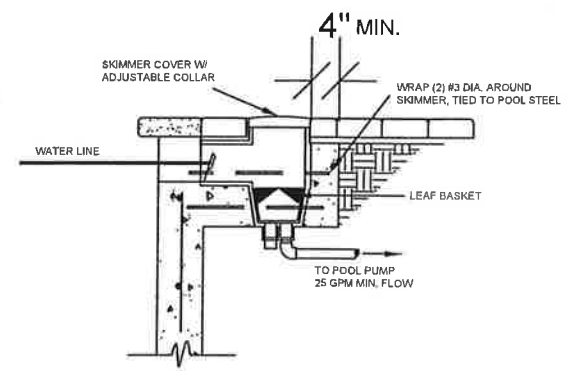
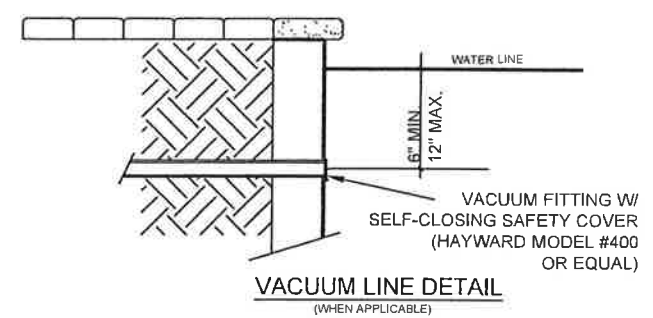
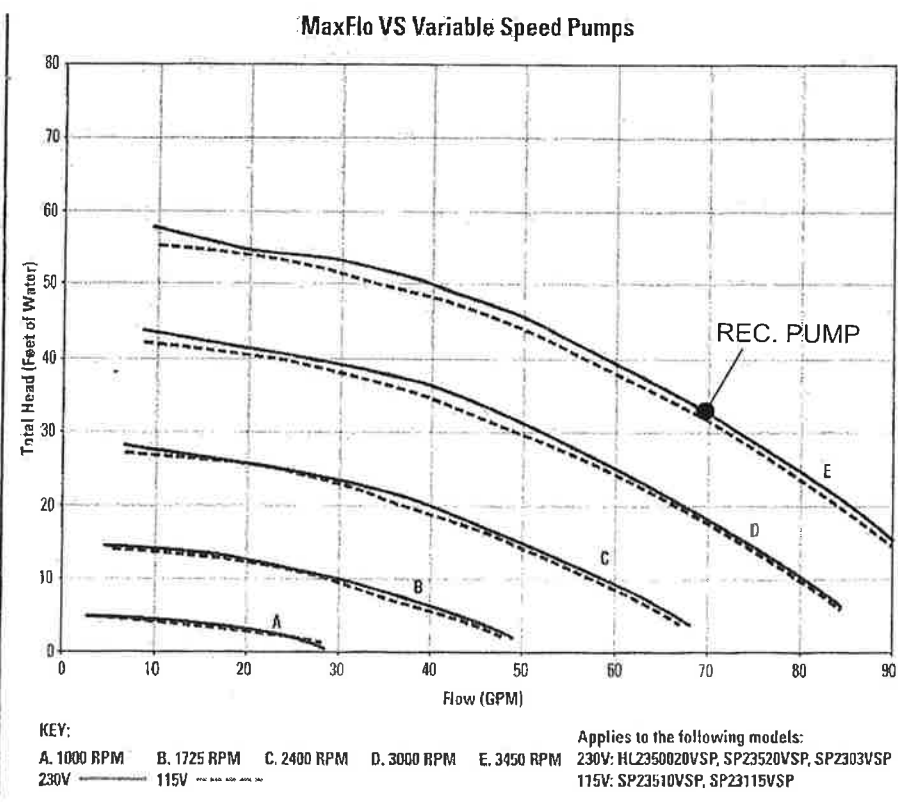
ORDER #	DATE:	<i>Craft Master Custom</i> POOLS	8233-20 GATOR LANE WEST PALM BEACH FLORIDA 33411 PHONE: (561) 798-7929
00-813	12-05-19		
D.D. #	SHEET	EMERSON RESIDENCE 215 LINDA LANE PALM BEACH SHORES, FL	NORMAN D. CABRERA, P.E. FL REG. ENGINEER # 74093 605 BELVEDERE ROAD SUITE # 7 WEST PALM BEACH 561-249-1212
	3 OF 7		



LIGHT DETAIL



Channel Main Drain Detail
SCALE : N.T.S.



SKIMMER DETAIL

POOL SYSTEM T.D.H. CALCULATION:

RECIRCULATION PUMP =
REC. PUMP = HAYWARD MAX FLO VS
VARIABLE SPEED - LOW SPEED = 36 GPM MAX.
HIGH SPEED = 70 GPM @ 33.26 TDH

PIPING (PIPE LENGTH INCLUDES FITTINGS)

Pipe Size	Flow (GPM)	Head (ft)
00 L.F. OF 3" PIPE	132 GPM @ 3.49 FT/100FT	0.00 FT
109 L.F. OF 2.5" @ 99 GPM	6.76 FT/SEC.	7.36 FT
80 L.F. OF 2" PIPE	58 GPM @ 6.43 FT/100FT	5.14 FT
20 L.F. OF 1.5" PIPE	33 GPM @ 5.33 FT/100FT	1.06 FT
		13.56 FT

CARTRIDGE FILTER: 8.5 PSI X 2.31 = 19.7 FT
CARTRIDGE FILTER = 132 GPM
@ 1 GPM/SQ. FT. = 132 SQ. FT. MIN.
FILTER AREA

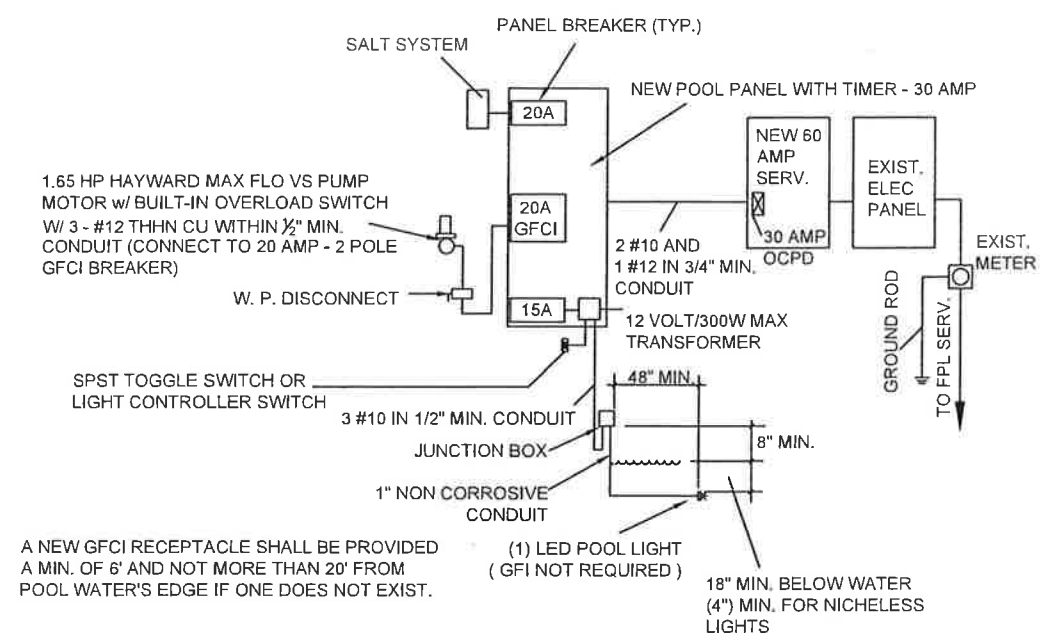
HEATER: 5.98 PSI X 2.31 = NO
(MFG. SPEC. FLOW - 50 GPM)

CHLORINE GENERATOR = NO

PIPE FLOW VELOCITIES:

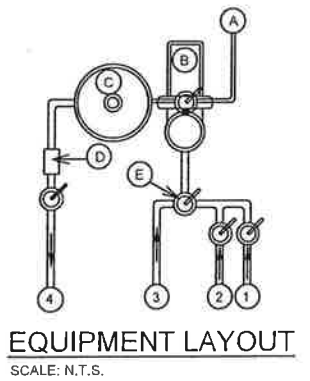
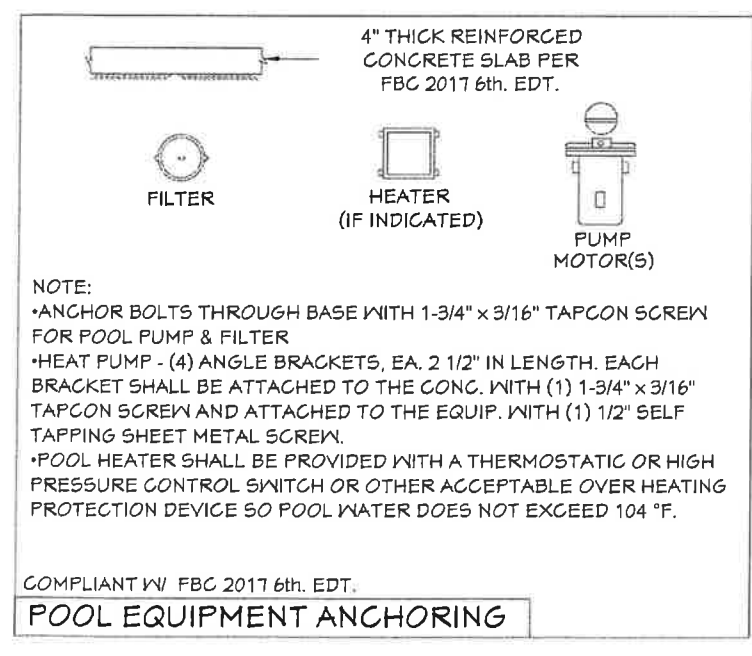
Flow (GPM)	Head (ft)
3" @ 132 GPM	3.49 FT/SEC.
2.5" @ 99 GPM	6.76 FT/SEC.
2" @ 66 GPM	6.43 FT/SEC.
1.5" @ 33 GPM	5.33 FT/SEC.

(CODE MAXIMUM VELOCITY: 8 FT/SEC.)



1. ALL ELECTRICAL TO COMPLY WITH FBC 2017 6TH ED., CHAPTER 42, SEC E4202 THROUGH E4206 2. NEC ARTICLE 680
2. ALL POOL PUMPS TO BE GFCI PROTECTED PER NEC 680.22(B).
3. IN ACCORDANCE WITH 680.27(C): POOL WATER SHALL BE IN DIRECT CONTACT WITH AN APPROVED CORROSION-RESISTANT CONDUCTIVE SURFACE THAT EXPOSES NOT LESS THAN 9 INCHES (5800 mm) OF SURFACE AREA TO THE POOL WATER AT ALL TIME
4. A CONTINUOUS SINGLE #8 AWG BARE COPPER WIRE SHALL BE BURIED TO A MIN. 4" TO 6" BELOW SUBGRADE, 18" TO 24" FROM INSIDE THE WALL OF SWIMMING POOL/SPA AROUND THE SWIMMING POOL/SPA PERIMETER, AND SHALL BE CONNECTED TO THE POOL STEEL REINFORCEMENT AT A MIN. 4 DIFFERENT LOCATIONS
5. ALL BOXES,LIGHTS,MOTORS SHALL BE GROUNDED WITH #8 SOLID, BARE COPPER
6. LOAD CALCULATIONS FOR EXISTING SERVICE AND PANEL (IF REQUIRED) - BY OTHERS
7. ELECTRICAL CONTRACTOR TO VERIFY ADEQUATE CAPACITY AT POINT OF CONNECTION.

ELECTRICAL DIAGRAM
N.T.S.



- LEGEND**
- A. 1.5" TO WASTE OR DISCHARGE TO GROUND
 - B. 1.65 HP HAYWARD MAX FLO VS REC PUMP W/ APPR HAIR & LINT STRAINER
 - C. CARTRIDGE FILTER WITH PRESURE GAUGE AND AIR RELIEF VALVE
 - D. SALT GENERATOR
 - E. VALVES (TYPICAL)
1. 2.5" POOL MAIN DRAIN LINE
2. 2" SKIMMER LINE
3. 2" VACUUM LINE
4. 2.5" POOL RETURN LINE (UP TO FIRST TEE)

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Craft Master Custom
POOLS

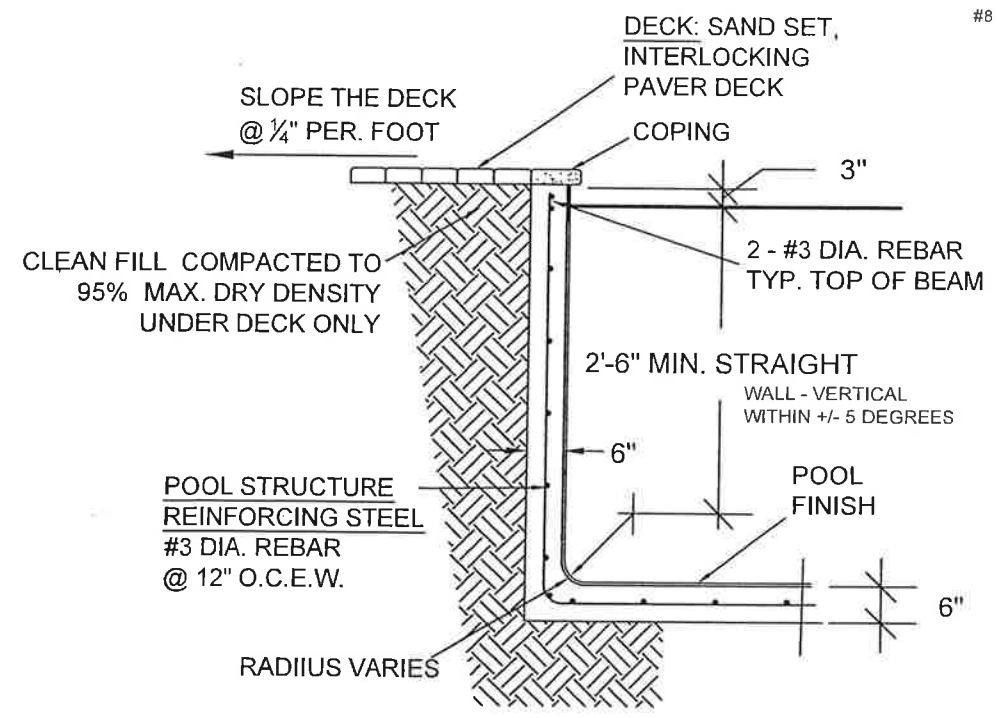
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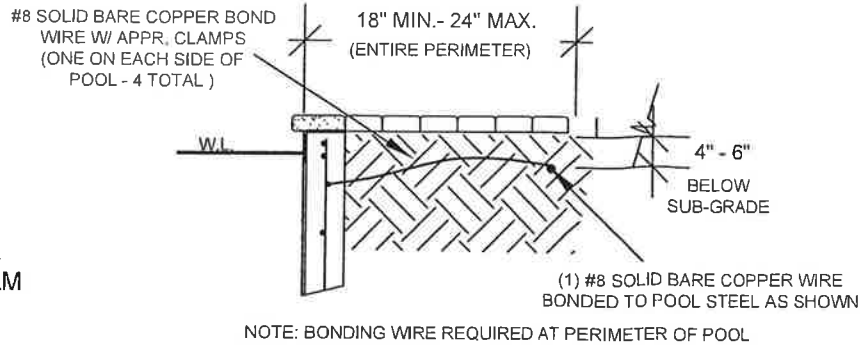
SHEET 4 OF 7

D.D. #

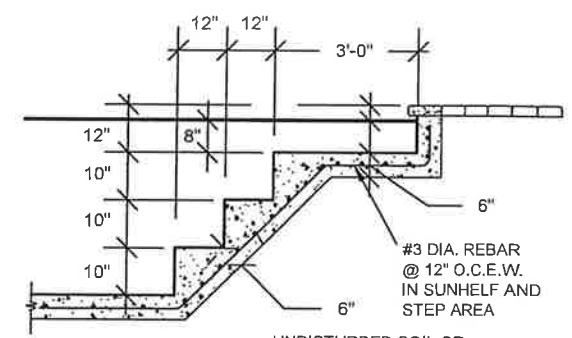
EMERSON RESIDENCE
215 LINDA LANE
PALM BEACH SHORES, FL



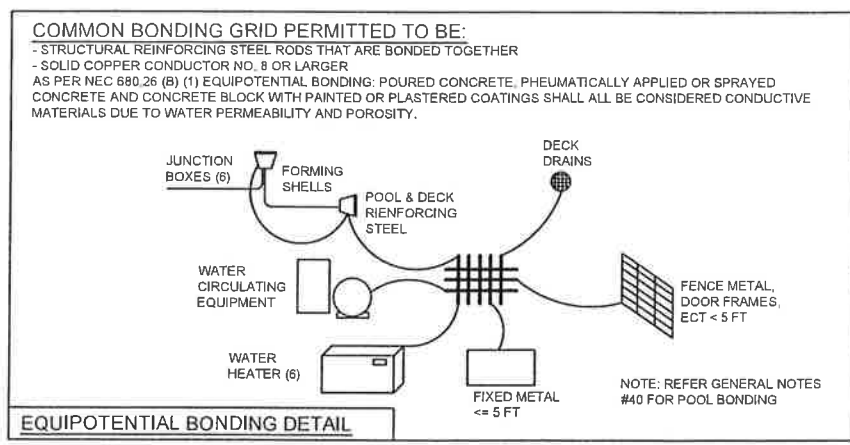
TYPICAL WALL SECTION



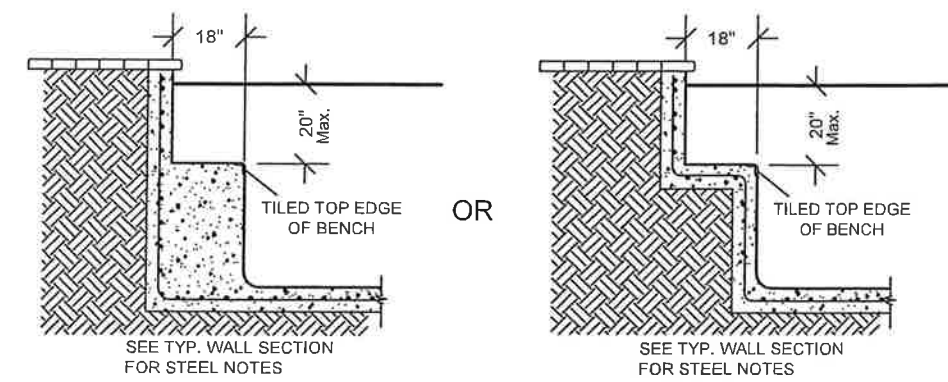
EQUIPOTENTIAL BONDING DETAIL
PER FLORIDA BUILDING CODE ADAPTATION OF
N.E.C. 2011 SEC. 680.26



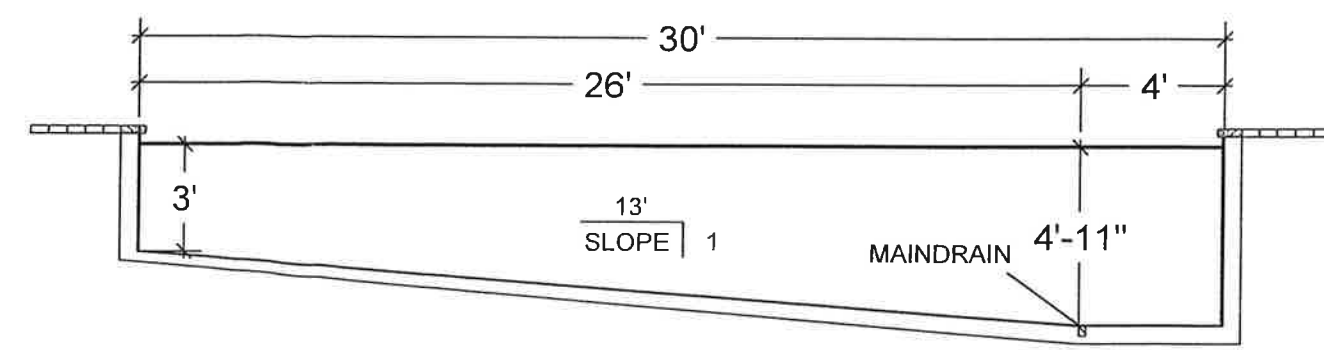
SUN SHELF STEP SECTION



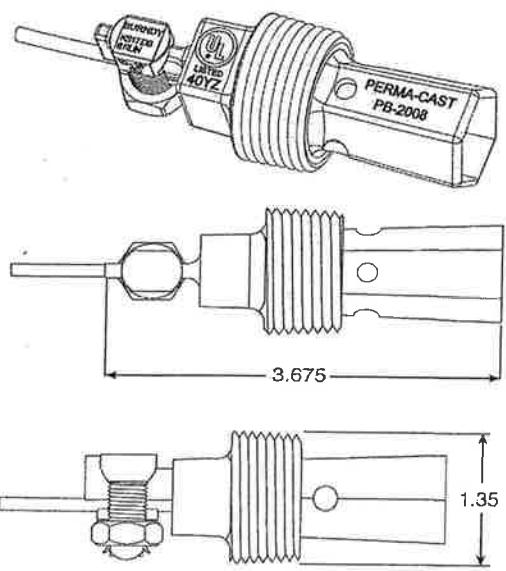
EQUIPOTENTIAL BONDING DETAIL



BENCH/ SWIMOUT SECTION
(WHEN APPLICABLE)



POOL SECTION
TYPE "O" POOL SCALE: 1/4" = 1'-0"



POOLBOND PB-2008
WATER BONDING FITTING

- COMPLIES WITH NEC 680.26 (C)
- UL LISTED
- 1" NPT WATER BONDING FITTING
- 10.6 TOTAL SQUARE INCHES

NEW 680 REQUIREMENTS FOR BONDING SWIMMING POOL WATER :

IN ACCORDANCE WITH 680.26(C) POOL WATER SHALL BE IN DIRECT CONTACT WITH AN APPROVED CORROSION RESISTANT CONDUCTIVE SURFACE THAT EXPOSES NOT LESS THAN 9 SQUARE INCH OF SURFACE AREA TO THE POOL WATER AT ALL TIMES. THE CONDUCTIVE SURFACE SHALL BE LOCATED WHERE IT IS NOT EXPOSED TO PHYSICAL DAMAGE OR DISLODGE MENT DURING USU AL POOL ACTIVITIES AND IT SHALL BE BONDED IN ACCORDANCE WITH 680.26 (B)

WATER BONDING DETAIL

DEC 06 2019

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND OTHER INFORMATION. ANY DISCREPANCIES MUST BE REPORTED TO THE ENGINEER OF RECORD.

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Craft Master Custom
POOLS

EMERSON RESIDENCE
215 LINDA LANE
PALM BEACH SHORES, FL

DATE: 12-05-19

SHEET 5 OF 7

ORDER #
3.D.D. #

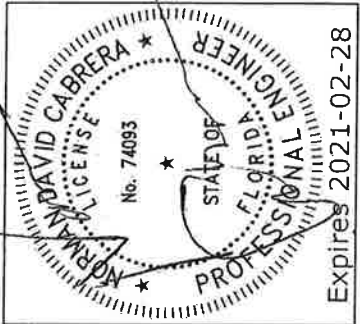
- 1- **CODE REQUIREMENTS :**
PRIVATE SWIMMING POOL AND SPAS MUST COMPLY WITH FBC 2017 6th. EDT., CHAPTER 45.
- 2- **MECHANICAL REQUIREMENTS :**
ALL PIPING EQUIPMENT AND MATERIALS USED IN THE PLUMBING SYSTEM OF SWIMMING POOLS AND SPAS THAT ARE BUILT IN PLACE SHALL CONFORM TO FBC 2017 6th. EDT, MECHANICAL REQUIREMENTS R4501.3. ALL PIPING MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION STANDARDS.
- 3- **COMPLIANCE :**
ALL MATERIALS, PIPING, VALVES, EQUIPMENT OR APPLIANCES ENTERING INTO THE CONSTRUCTION OF SWIMMING POOLS-SPAS OR PORTIONS THEREOF SHALL BE OF A TYPE COMPLYING WITH THE CODE OR OF A TYPE RECOMMENDED AND APPROVED BY A NATIONALLY RECOGNIZED TESTING AGENCY OR CONFORMING TO OTHER RECOGNIZED STANDARDS ACCEPTABLE TO ADMINISTRATIVE AUTHORITY.
- 4- **ENGINEERING DESIGN :**
DESIGN, CONSTRUCTION AND WORKMANSHIP SHALL BE IN CONFORMITY WITH FBC 2017 6th. EDT., CHAPTER 45. PRIVATE SWIMMING POOLS, ALSO, ANSI/APSP/ICC3; ANSI/APSP/ICC 4; ANSI/APSP/ICC 5; ANSI/APSP/ICC 6; ANSI/APSP/ICC 7, PUBLISHED BY THE INTERNATIONAL AQUATICS FOUNDATION OR OTHER ACCEPTED ENGINEERING PRACTICES.
- 5- **TESTING AND CERTIFICATION :**
ALL POOL AND SPA SUCTION INLETS SHALL BE PROVIDED WITH A COVER THAT HAS BEEN TESTED AND ACCEPTED BY A RECOGNIZED TESTING FACILITY AND COMPLY WITH ANSI/ASME A112.19.6M " SUCTION FITTINGS FOR USE IN SWIMMING POOLS, SPAS, HOT TUBS AND WHIRPOOL BATHTUB APPLIANCES". EXCEPTION : SURFACE SKIMMERS.
- 6- **SAFETY NOTE :**
DO NOT USE OR OPERATE POOL OR SPA IF THE SUCTION INLET FITTING IS BROKEN, MISSING OR LOOSE.
- 7- **WATER VELOCITY PER FBC 2017 6th. EDT., R4501.6.3 & ANSI/APSP-7 2013 #4.4**
WATER VELOCITY IN FIELD FABRICATED PIPING IS BASED ON THE MAX. SYSTEM FLOW RATE. MAX. WATER VELOCITY IN BRANCH PIPING (THE PIPING BETWEEN THE DRAINS) SHALL BE LIMITED TO 6 FEET PER SECOND /FPS WHEN ONE OF A PAIR IS BLOCKED. IN NORMAL OPERATION THEN, THE BRANCH SUCTION PIPING VELOCITY IS 3 FEET PER SECOND /FPS. ALL OTHER SUCTION PIPING VELOCITIES SHALL BE 6 FPS FOR PUBLIC POOLS OR 8 FPS FOR RESIDENTIAL POOLS.
- 8- **MAX. SYSTEM FLOW RATE PER ANSI/APSP-7 2013**
THE MAXIMUM SYSTEM FLOW RATE SHALL BE DETERMINED PER ANSI /APSP-7 2013 SECTION 4.4.9.
- 9- **PUMP :**
PER FBC 2017 6th. EDT., SECTION R4501.7.1 STRAINER. POOL CIRCULATING PUMPS SHALL BE EQUIPPED ON THE INLET SIDE WITH AN APPROVED TYPE HAIR AND LINT STRAINER WHEN USED WITH A PRESSURE FILTER. PER R4501.7.2 INSTALLATION TO BE COMPLETED IN ACCORDANCE MANUF'S RECOMMEDATIONS. PER R4501.7.3 CAPACITY ; PUMPS SHALL HAVE DESIGN CAPACITY AT THE FOLLOWING HEADS; 1) PRESSURE DIATOMACEOUS EARTH-A LEAST 60 FEET, 2) VACUUM D.E. 20 INCH VACUUM ON THE SUCTION SIDE AND 40 FEET TOTAL HEAD. 3) RAPID SAND - AT LEAST 45 FEET, 4) HIGH RATE SAND- AT LEAST 60 FEET. PER R4501.7.4 PUMP IMPELLERS, SHAFT, WEAR RINGS AND OTHER WORKING PARTS SHALL BE CORRISION RESISTANT MATERIALS.
- 10- **CLEANER FITTINGS :**
PER ANSI/NSPI-5 9.12.10, THE VACUUM OR PRESSURE CLEANER FITTING(S) SHALL BE LOCATED IN AN ACCESSIBLE POSITION AT LEAST 6 INCHES AND NOT GREATER THAN 18 INCHES BELOW THE MINIMUM OPERATING WATER LEVEL, OR AS AN ATTACHMENT TO THE SKIMMER. ALL CLEANER SUCTION INLETS SHALL BE PROTECTED BY AN APPROVED, PERMANENTLY INSTALLED, SELF CLOSING FLAPPER ASSEMBLY.
- 11- **VALVE :**
PER FBC 2017 6th. EDT., SECTION R4501.8 VALVES SHALL BE MADE OF MATERIALS THAT ARE APPROVED IN THE FLORIDA BUILDING CODE, PLUMBING. VALVES LOCATED UNDER CONCRETE SLABS SHALL BE SET IN A PIT HAVING A LEAST DIMENSION OF FIVE PIPE DIAMETERS, MINIMUM 10 INCHES, FITTED WITH A SUITABLE COVER. ALL VALVES SHALL BE LOCATED WHERE THEY WILL BE READILY ACCESSIBLE FOR MAINTENANCE AND REMOVAL.
- 12- **WASTE WATER DISPOSAL :**
PER FBC 2017 6th. EDT., SECTION R4501.10 DIRECT OR INDIRECT CONNECTIONS CANNOT BE MADE TO EXISTING FACILITIES UNLESS APPROVED BY THE ADMINISTRATIVE AUTHORITY.
- 13- **PIPING :**
PIPING SHALL BE SCH. 40 BEARING NSF APPROVAL . PIPING CAN BE (IF NEEDED) ENGAGED IN THE CONCRETE OF THE POOL SHELL.
- 14- **TESTS :**
ALL POOL PIPING SHALL BE INSPECTED AND APPROVED BEFORE COVER OR CONCEALMENT. IT SHALL BE TESTED AND PROVEN TIGHT UNDER A STATIC WATER OR AIR PRESSURE TEST OF NOT LESS THAN 35 PSI FOR 15 MINUTES. PER MANUFACTURER'S RECOMMENDATIONS, NO AIR TEST SHALL BE APPROVED FOR PVC PIPE AND FITTINGS. CHAPTER 45, SECTION R4501.12 PRESSURE TEST.
- 15- **WATER HEATING EQUIPMENT :**
SWIMMING POOL WATER HEATING EQUIPMENT SHALL CONFORM TO THE DESIGN CONSTRUCTION AND INSTALLATION REQUIREMENTS IN ACCORDANCE WITH FBC 2017 6th. EDT., CHAPTER 45, SECTION R4501.14 AND ACCEPTED ENGINEERING PRACTICES AND SHALL BEAR THE LABEL OF A RECOGNIZED TESTING AGENCY AND SHALL INCLUDE A CONSIDERATION OF COMBUSTION AIR, VENTING AND GAS SUPPLY REQUIREMENTS FOR WATER HEATERS SEC. R4501.14.1. IT MUST CONTAIN A THERMOSTATIC OR HIGH PRESSURE CONTROL SWITCH SO THE POOL WATER DOES NOT EXCEED 104 DEGREES F. ALL WATER HEATING EQUIPMENT SHALL BE INSTALLED WITH FLANGES OR UNION CONNECTIONS ADJACENT TO THE HEATER. ALL HEATERS MUST HAVE AN INTERNAL CHECK VALE. PER FBC 13-612.1.ABC.2.3.2 THE POOL AND SPA SHALL BE PROVIDED WITH A COVER TO REDUCE HEAT LOSS (IF REQUIRED BY THE CITY). HEATER EFFICIENCY : GAS/OIL FIRED 78% MIN., HEAT PUMP COP 4.0 MIN.
- 16- **GAS PIPING :**
GAS PIPING SHALL COMPLY WITH FBC 2017 6th. EDT., CHAPTER 45, SECTION R4501.15
- 17- **ELECTRICAL :**
POOL LOCATION AND ELECTRICAL WIRING AND EQUIPMENT SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE 2014, SPECIFICALLY SECTION 680.
- 18- **LADDERS AND STEPS :**
PER FBC 2017 6th. EDT., CHAPTER 45, SECTION R4501.18 ALL POOLS SHALL BE PROVIDED WITH A LADDER OR STEPS IN THE SHALLOW END WHERE WATER EXCEEDS 24 INCHES. WHERE WATER DEPTH EXCEEDS 5 FEET, THERE SHALL BE LADDERS, STAIRS OR UNDERWATER BENCHES/SNIOMOUTS IN THE DEEP END.
- 19- **FILTERS :**
PER FBC 2017 6th. EDT., CHAPTER 45, SECTION R4501.20 THE ENTIRE DESIGN OF MATCHED COMPONENTS SHALL HAVE SUFFICIENT CAPACITY TO PROVIDE A COMPLETE TURNOVER OF POOL WATER IN 12 HOURS OR LESS.
- 20- **POOL FITTINGS :**
PER FBC 2017 6th. EDT., CHAPTER 45, POOL FITTINGS SHALL BE OF AN APPROVED TYPE AND DESIGN AS TO BE APPROPRIATE FOR THE SPECIFIC APPLICATION. PER SECTION R4501.21.1. JOINTS AND C CONNECTIONS, FBC PLUMBING SEC. 605.21, PURPLE PRIMER REQUIRED ON PVC PIPING
- 21- **SKIMMERS :**
PER FBC 2017 6th. EDT., CHAPTER 45., SECTION R4501.21.2 SKIMMERS SHALL BE INSTALLED ON THE BASIS OF ONE PER 800 SF OF SURFACE AREA OR FRACTION THEREOF.
- 22- **HYDROSTATIC RELIEF DEVICE :**
PER FBC 2017 6th. EDT., CHAPTER 45., SECTION R4501.21.4 IN AREAS OF ANTICIPATED WATER TABLE, AN APPROVED HYDROSTATIC RELIEF DEVICE SHALL BE INSTALLED. EXCEPTION IS PLASTIC LINER POOLS.
- 23- **CONCRETE / STEEL :**
CONCRETE IS TO BE A MIX DESIGNED IN ACCORDENCE WITH ASTM C-94 BY A RECOGNIZED TESTING LABORATORY TO ACHIEVE A STRENGTH OF 3000 PSI, AT 28 DAYS (UNLESS OTHERWISE NOTED) WITH A PLASTIC AND WORKABLE MIX. PNEUMATICALLY APPLIED CONCRETE AND/OR SHOTCRETE SHALL BE PLACED IN ACCORDANCE WITH ACI 304.2R-04 AND ACI 506.2-04, RESPECTIVELY. ALL OTHER CONCRETE SHALL BE PLACED IN ACCORDANCE WITH ACI 304R-04. A CERTIFICATE OF MANUFACTURER'S MIX AND STRENGTH IS TO BE PROVIDED. NO WATER IS TO BE ADDED AFTER TRUCK LEAVES PLANT WITHOUT APPROVAL OF ENGINEER. PLANT CONTROL IS REQUIRED. MAXIMUM MIX TIME AT POINT OF DEPOSIT IS 90 MINUTES. CONCRETE WORK SHALL BE AS PER REQUIREMENTS AND RECOMMENDATIONS OF ACI 301-04. REINFORCING, DEFORMED STEEL BARS SHALL BE A615 GRADE 60 (UNLESS OTHERWISE NOTED), FREE FROM OIL, LOOSE SCALE AND LOOSE RUST. REINFORCING, DEFORMED STEEL BARS SHALL BE BENT, LAPPED, PLACED, SUPPORTED AND FASTENED ACCORDING TO THE MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES (ACI 315-04) AND THE BUILDING CODE REQUIREMENTS FOR REINFORCING CONCRETE (ACI 318-04). IN CASE OF CONFLICT, THE MORE CONSERVATIVE VALUE(S) SHALL BE USED.
- 24- **SOIL STATEMENT :**
IN ACCORDANCE WITH FBC SECTION 1818, HVHZ BEARING CAPACITY OF SOIL ; BASED UPON RATIONAL ANALYSIS AND KNOWN VALUES IN THE VICINITY, THE IN-PLACE BEARING CAPACITY OF THE SOIL BENEATH THE POOL AND RELATED STRUCTURES SHOWN WITHIN THESE PLANS IS 2500 PSF AFTER EXCAVATION AND COMPACTION IN ACCORDANCE WITH CURRENT EDITION OF FBC. SHOULD ANY MUCK, MARL OR OTHER ORGANIC SOILS BE DISCOVERED ON EXCAVATION, THEY SHOULD BE REMOVED IN THEIR ENTIRETY. ALL CONSTRUCTION SHALL STOP AND THE ENGINEER OF RECORD SHALL BE CONTACTED TO CONDUCT AN INSPECTION, STRUCTURAL ELEMENTS ARE DESIGNED WITH A REQUIRED BEARING CAPACITY OF 2500 PSF, UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL PROVIDE BUILDING DEPARTMENT SOIL REPORT TO VERIFY BEARING CAPACITY FOR ALL STRUCTURES BUILT WITHIN 15 FEET OF CANAL, LAKES OR OTHER BODIES OF WATER.

DEC 06 2019

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND OTHER INFORMATION. ANY DISCREPANCIES MUST BE REPORTED TO THE ENGINEER OF RECORD.



605 BELVEDERE ROAD, SUITE 7
West Palm Beach, FL 33405
561-722-3890



8233-20 GATOR LANE
WEST PALM BEACH
FLORIDA 33411
PHONE: (561) 798-7929

NORMAN D. CABRERA, P.E.
FL REG. ENGINEER # 74093
605 BELVEDERE ROAD
SUITE # 7
WEST PALM BEACH
561-249-1212

Craft Master Custom
POOLS

EMERSON RESIDENCE
215 LINDA LANE
PALM BEACH SHORES, FL

DATE:
12-05-19

SHEET
6 OF 7

ORDER #
I.D.D. #

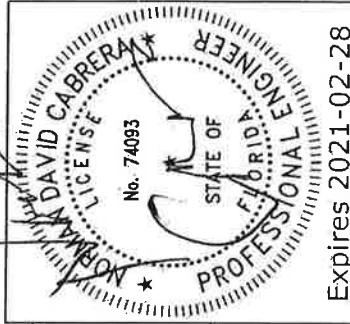
- 25- POOL STAKING :**
THIS DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR POOL CONSTRUCTION IN EASEMENT OR REQUIRED SETBACKS AREAS, PLOT PLANS NOT PREPARED FROM LEGAL SURVEYS OF THE EXISTING LOT AND RESIDENCE ARE SO INDICATED. THE POOL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND ESTABLISH LOT LINES & LOCATION OF UTILITIES AT THE SITE AND CONTACT THE H.C.E. IF DIFFERENT THAN INDICATED ON PLAN. MINIMUM GLEARENCE DIMENSIONS SHALL BE HELD AS REQUIRED BY THE LOCAL REGULATORY AGENCY.
- 26- EXISTING STRUCTURES :**
THE POOL CONTRACTOR SHALL ALWAYS TAKE ALL PRECAUTIONS TO PROTECT EXISTING STRUCTURES FROM FAILURE BY SHEETING AND/OR SHORING OR OTHER METHODS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE SAFETY OF EXISTING STRUCTURES. IN CASE OF FOOTINGS UNDERMINING, CONTRACTOR SHALL POUR CONCRETE BETWEEN POOL AND FOOTING. TOP OF CONCRETE SHALL BE BOTTOM OF FOOTING, WIDTH OF POURED CONCRETE SHALL BE FOOTING WIDTH AT A MINUMUM
- 27- WATER SERVICE :**
PER FBC 2017 6th. EDT., SECTION 54.2.9 UNLESS AN APPROVED TYPE OF FILLING SYSTEM IS INSTALLED, ANY WATER SUPPLY WHICH IN THE JUDGMENT OF THE ADMINISTRATIVE AUTHORITY MAY BE USED TO FILL THE POOL, SHALL BE EQUIPPED WITH BACKFLOW PROTECTION, NO OVER THE RIM FILL SPOUT SHALL BE ACCEPTED UNLESS LOCATED UNDER A DIVING BOARD OR PROPERLY GUARDED.
- 28- CONCRETE SLABS :**
ALL POOL EQUIPMENT SLABS SHALL COMPLY WITH SECTION 1820.3 OF PER FBC 2017 6th. EDT.
- 29- HANDHOLD :**
ANSI-NSPI-5 ARTICLE XV SECTION 15.13. A SECURED ROPE OR CERAMIC HANDHOLDS MUST BE PLACED AT OR NO MORE THAN 12" ABOVE THE NORMAL WATERLINE OF THE POOL
- 30- POWER LINE :**
OVERHEAD ELECTRIC LINES MUST BE LOCATED 10 FEET AND UNDERGROUND ELECTRIC LINES MUST BE LOCATED 5 FEET FROM POOL WATER EDGE.
- 31- BACKFILL & COMPACTION**
REMOVE FROM EXCAVATION ALL FORMS, WOOD, DEBRIS, AND OTHER DELETERIOUS MATERIALS. BACKFILL CONSTRUCTION AREAS TO PROPER ELEVATION, AS NEEDED USING PROPERLY COMPACTED CLEAN GRANULAR MATERIAL FREE OF ORGANICS AND OTHER DELETERIOUS MATERIALS.
- 32- WARNING :**
TO EMPTY POOL AFTER CONSTRUCTION, FOR REPAIRS OR ANY OTHER REASON, THE HYDROSTATIC UPLIFT PRESSURES BENEATH THE POOL MUST BE ELIMINATED TO PREVENT THE POOL FROM FLOATING UPWARD. THE OWNER MUST CONSULT A POOL CONTRACTOR OR POOL REPAIR CONTRACTOR EXPERIENCED IN ELIMINATING UPLIFT PRESSURES.
- 33- NOTE 1 :**
THIS PLAN IS NOT TRANSFERABLE FROM ONE CONTRACTOR TO ANOTHER
- 34- NOTE 2 :**
UNLESS OTHERWISE SPECIFIED, ALL DETAILS SHOWN ARE NOT TO SCALE.
- 35- NOTE 3 :**
POOL WALL SHALL BE REINFORCED WITH #3@6" O.C.E.W. WHERE LESS THAN 5 FEET FROM ANY EXISTING STRUCTURE OR PATIO (SEE SHEETING & SHORING DETAIL)
- 36- NOTE 4 :**
POOL AND DECK ELEVATION SHALL BE LOWER THAN FINISH FLOOR ELEVATION OF THE HOUSE
- 37- NOTE 5 :**
THERE IS ALWAYS THE POSSIBILITY THAT CONDITIONS IN THE FIELD MAY BE DIFFERENT FROM THOSE INDICATED IN AN ENGINEERING PERMIT DRAWINGS; THEREFORE, IF DIFFERENT CONDITIONS ARE ENCOUNTERED BEFORE OR DURING CONSTRUCTION, THE ENGINEER OF RECORD SHALL BE NOTIFIED TO REVIEW THE FINDINGS AND MAKE RECOMMENDATIONS AS NEEDED.
- 38- NOTE 6 :**
STRUCTURAL ENGINEER MUST CERTIFY OR DESIGN REPLACEMENT ANCHOR AND DEADMAN SYSTEM FOR SEAWALL WITH IN 15 FEET OF POOL SEAWALL ANCHOR SYSTEM INSTALLATION MUST BE COMPLETE PRIOR TO START OF POOL CONSTRUCTION.
- 39- NOTE 7 :**
NO DIVING BOARD AND NO DIVING IS ALLOW ON ANY POOL LESS THAN 8 FEET DEEP AND SPECIALLY DESIGN FOR DIVING
- 40- BONDING**
CONTINUOUS SINGLE #8 AVG BARE COPPER WIRE SHALL BE BURIED TO A MIN. 4" TO 6" BELOW SUBGRADE, 18" TO 24" FROM INSIDE THE WALL OF SWIMMING POOL- SPA AROUND THE SWIMMING POOL-SPA PERIMETER, AND SHALL BE CONNECTED TO THE POOL STEEL REINFORCEMENT AT A MIN. 4 DIFFERENT LOCATIONS, EQUALLY SPACED.
- 41- NOTE 8 :**
THIS LAYOUT HAS BEEN REPRODUCED USING A LEGAL SURVEY PROVIDED BY POOL CONTRACTOR. POOL AND SPA DESIGNS SHALL NOT BE HELD RESPONSIBLE FOR INACCURATE OR ILLEGIBLE INFORMATION REPRESENTED ON THE SURVEY PROVIDED BY THE POOL CONTRACTOR. ALL LOT LINES AND EASEMENT LINES SHALL BE LOCATED IN FIELD PRIOR TO CONSTRUCTION. THE DIMENSIONS SHOWN IN THIS LAYOUT SHALL ALSO BE CONFIRMED FOR ACCURACY. POOL AND SPA DESIGNS, INC. SHALL NOT BE HELD LIABLE FOR ANY CONSTRUCTION ERRORS RESULTING IN FAILURE TO COMPLY WITH THIS RECOMMENDATION.
- 42- GFCI PROTECTION**
GFCI PROTECTION ; OUTLETS SUPPLYING POOL PUMP MOTORS FROM BRANCH CIRCUITS WITH SHORT-CIRCUIT AND GROUND -FAULT PROTECTION RATED 15 OR 20 AMPERES, 125 VOLT OR 240 VOLT, SINGLE PHASE, WHETHER BY RECEPTACLE OR DIRECT CONNECTION SHALL BE PROVIDED WITH GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL PER NEC 2011 680.22 (B)
- 43-ENERGY EFFICIENCY COMPLIANCE**
THE ENERGY REQUIREMENTS FOR RESIDENTIAL POOLS AND INGROUND SPAS SHALL BE AS SPECIFIED IN FBC 2017 6TH EDITION
- 44-BARRIER NOTE**
OUTDOOR SWIMMING POOLS AND SPAS SHALL BE PROVIDED WITH A PERMANENT BARRIER THAT SHALL BE INSTALLED, INSPECTED &APPROVED PRIOR TO PLASTERING OR FILING WITH WATER. SUCH PERMANENT BARRIER SHALL BE IN ACCORDANCE WITH FBC 2017 6TH EDITION
- 45- BONDING SWIMMING POOL WATER**
IN ACCORDANCE WITH 680.27(C) : POOL WATER SHALL BE IN DIRECT CONTACT WITH AN APPROVED CORROSION-RESISTANT CONDUCTIVE SURFACE THAT EXPOSES NOT LESS THAN 9 inch² (5800 mm²) OF SURFACE AREA TO THE POOL WATER AT ALL TIMES. THE CONDUCTIVE SURFACE SHALL BE LOCATED WHERE IT IS NOT EXPOSED TO PHYSICAL DAMAGA OR DISLODGEEMENT DURING USUAL POOL ACTIVITIES AND IT SHALL BE BONDED IN ACCORDANCE WITH NEC 680.26(B).
- 46-EXISTING STRUCTURES**
CONTRACTOR MUST APPLY PROPER MEANS AND METHODS OF CONSTRUCTION TO PROTECT ALL EXISTING STRUCTURES. UNLESS OTHERWISE NOTED, THE DESIGN ENGINEER HAS NOT BEEN ENGAGED TO CONDUCT, NOR HAS HE CONDUCTED ANY FIELD TESTS, EVALUATIONS OR SITE VISITS WITH RESPECT TO CONDITIONS AS THEY MAY EXIST AT THE SITE. THEREFORE, THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR, AND ASSUMES NOT LIABILITY FOR, EXISTING STRUCTURES, INCLUDING THE CONDITION OF EXISTING SEAWALLS AND APPLICABILITY FOR EXCAVATION IN ITS PROXIMITY. SHOULD ANY EXISTING STRUCTURE BE ENCOUNTERED, STOP CONSTRUCTION AND IMMEDIATELY NOTIFY THE DESIGN ENGINEER AND BUILDING OFFICIAL PRIOR TO PROCEEDING. THIS INCLUDES BUT IS NOT LIMITED TO ENCOUNTERING THE FOLLOWING:
*WALL ANCHOR RODS
*FOUNDATIONS OF SEAWALLS, BUILDINGS, POWER POLES
*BURIED VAULTS AND DRAINAGE STRUCTURES, AND OTHER BELOW GROUND STRUCTURES.
- SHOULD THE CONTRACTOR COMPROMISE THE INTEGRITY OF A SEAWALL, THE CONTRACTOR SHALL IMMEDIATELY ENGAGE IN CORRECTIVE MEASURES AS DIRECTED BY A LICENSED QUALIFIED SEAWALL CONTRACTING SPECIALIST. THESE PROCEDURES SHALL BE IN FULL COMPLIANCE WITH ALL RECOMMENDATIONS MADE BY THE DESIGN ENGINEER AND LOCAL BUILDING OFFICIAL. THE CONTRACTOR SHALL SECURE THE STRUCTURE WITHIN 48 HOURS, BASED ON SAID RECOMMENDATIONS; TO INCLUDE, BUT NOT LIMITED TO, THE EMERGENCY INSTALLATION OF HELICAL PILES OR BATTER PILES.

DEC 06 2019

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Coral Key Design, Inc.
605 BELVEDERE ROAD, SUITE 7
West Palm Beach, FL 33405
561-722-3890



8233-20 GATOR LANE
WEST PALM BEACH
FLORIDA 33411
PHONE: (561) 798-7929

NORMAN D. CABRERA, P.E.
FL REG. ENGINEER # 74093
605 BELVEDERE ROAD
SUITE # 7
WEST PALM BEACH
561-249-1212

ORDER #	DATE: 12-05-19	<i>Craft Master Custom</i> POOLS	
		EMERSON RESIDENCE 215 LINDA LANE PALM BEACH SHORES, FL	
I.D.D. #	SHEET 7 OF 7		



**215 Linda Lane
New Pool Construction
Town Council Approval
Town of Palm Beach Shores, Florida
Revised May 5, 2020**

Introduction

On March 4, 2020, the Palm Beach Shores Development Review Committee approved the construction of a new 98 linear foot pool at 215 Linda Lane. Pursuant to the DRC meeting, the applicant is providing additional information with the current request. The applicant has included an additional site plan which indicated the proposed pool as well as a survey that shows current conditions. Additionally, the engineering consultant requested clarification on who exactly was James Hansen. James Hansen is the owner of Craft Master Custom pools and the pool contractor.

The Emerson Family, (the “Applicant”) is currently seeking Town Council approval to construct new pool in the rear yard of the subject property. As noted above, the property is located at 215 Linda Lane within the town limits of Palm Beach Shores. The proposed pool construction is consistent with the Town’s Zoning Ordinance and meets all property development regulations. All required information and material has been included with this application request.

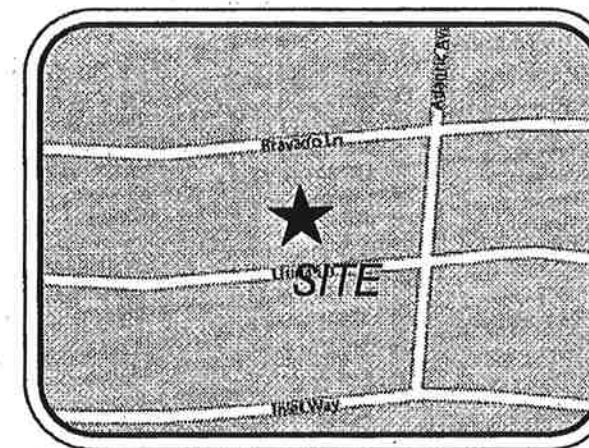
On behalf of the Applicant, H&L Planning and Development Consultants request approval of the request to construct a new pool. We look forward to working with Staff and receiving final approval as quickly as possible. We are available to answer any questions Staff might have and/or provide necessary information to supplement the information provided in the submittal. Please do not hesitate to contact James Hackett of H&L Consultants should you require additional information.



GRAPHIC SCALE (In Feet)
1 inch = ft20

EXISTING 6' HIGH WOOD FENCE WITH
SELF-CLOSING, SELF-LATCHING GATE THAT SWINGS OUT AWAY
FROM THE POOL AREA INSPECTOR TO VERIFY THE FENCE IS IN
COMPLIANCE WITH CHILD SAFETY BARRIER REQUIREMENTS
PER FBC SIXTH EDITION (2017)

FLOOD ZONE: X
COMMUNITY NUMBER: 125137
PANEL: 12099C0393
SUFFIX: F
BASE FLOOD ELEVATION: NAVD88
FIRM DATE: 10/05/2017



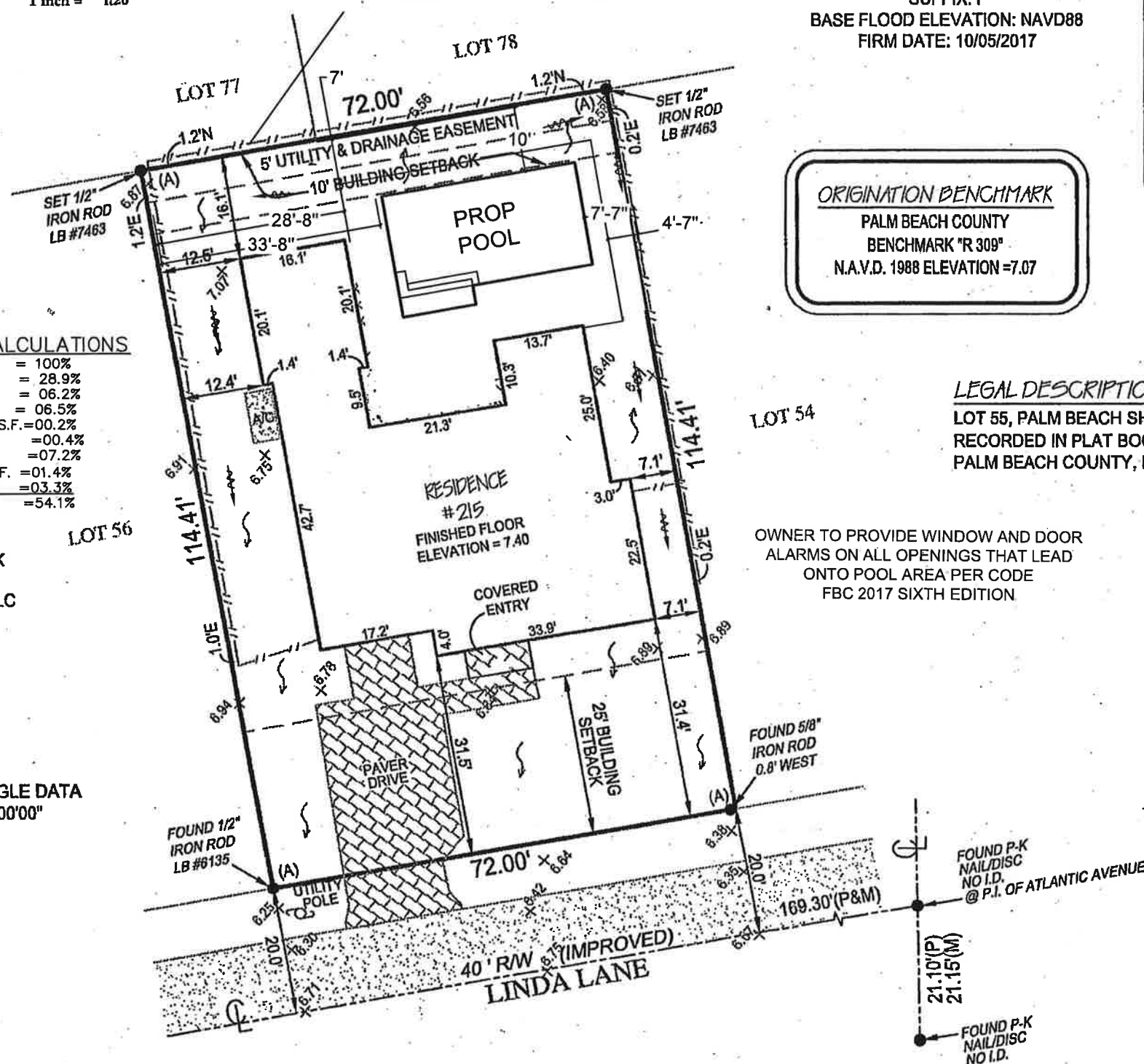
BOUNDARY SURVEY WITH TOPOGRAPHY OF
215 LINDA LANE
PALM BEACH SHORES, FL 33404
PREPARED FOR
RUTHERFORD H. SPESARD

LOT COVERAGE CALCULATIONS

TOTAL LOT 8,238 S.F.	= 100%
HOUSE 2,385 S.F.	= 28.9%
POOL 514 S.F.	= 6.2%
POOL DECK 540 S.F.	= 6.5%
POOL EQUIPMENT PAD 21 S.F.	= 0.2%
AC PAD 33 S.F.	= 0.4%
DRIVEWAY 600 S.F.	= 7.2%
FRONT WALK/PATIO 121 S.F.	= 1.4%
REAR PATIO 273 S.F.	= 3.3%
TOTAL:	= 54.1%

ORIGINAL FIELD WORK
COMPLETED BY:
TARGET SURVEYING, LLC
DATED: 12/10/2008
SURVEY #381892

CORNER ANGLE DATA
(A) = 90°00'00"



ORIGINATION BENCHMARK
PALM BEACH COUNTY
BENCHMARK "R 309"
N.A.V.D. 1988 ELEVATION = 7.07

LEGAL DESCRIPTION:

LOT 55, PALM BEACH SHORES, ACCORDING TO THE PLAT THEREOF, AS
RECORDED IN PLAT BOOK 23, PAGES 29-32, OF THE PUBLIC RECORDS OF
PALM BEACH COUNTY, FLORIDA.

OWNER TO PROVIDE WINDOW AND DOOR
ALARMS ON ALL OPENINGS THAT LEAD
ONTO POOL AREA PER CODE
FBC 2017 SIXTH EDITION

ABBREVIATION DESCRIPTION:

A/C	AIR CONDITIONER
C/L	CENTERLINE
I.D.	IDENTIFICATION
LB	LICENSED BUSINESS
N.A.V.D.	NORTH AMERICAN VERTICAL DATUM
P	PLAT
M	MEASURED
P.I.	POINT OF INTERSECTION
R/W	RIGHT OF WAY
X	TOPOGRAPHIC ELEVATION

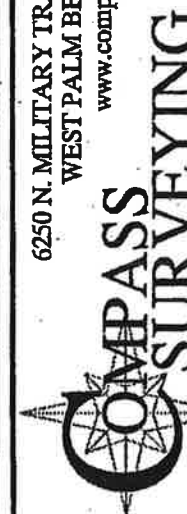
NOTES:

- LEGAL DESCRIPTION PROVIDED BY CLIENT
- NO SEARCH OF THE PUBLIC RECORD FOR THE PURPOSE OF ABSTRACTING TITLE WAS PERFORMED BY THIS OFFICE
- NO SUBSURFACE IMPROVEMENTS WERE LOCATED AS PART OF THIS SURVEY
- ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED

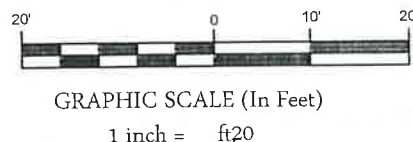
Kenneth J. Osborne PSM #6415
THIS SURVEY IS NOT VALID WITHOUT
THE SIGNATURE AND THE ORIGINAL RAISED SEAL
OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

Project
C-11123
Date
03-25-2020
Scale
1" = 20'
1 OF 1

6250 N. MILITARY TRAIL, SUITE 102
WEST PALM BEACH, FL 33407
www.compassurveying.net



LB. 7463 PHONE: 561.640.4800 FAX: 561.640.0576



FLOOD ZONE: X
COMMUNITY NUMBER: 125137
PANEL: 12099C0393
SUFFIX: F
BASE FLOOD ELEVATION: NAVD88
FIRM DATE: 10/05/2017



BOUNDARY SURVEY WITH TOPOGRAPHY OF
215 LINDA LANE
PALM BEACH SHORES, FL 33404
PREPARED FOR
RUTHERFORD H. SPESARD

ORIGINATION BENCHMARK
PALM BEACH COUNTY
BENCHMARK "R 309"
N.A.V.D. 1988 ELEVATION = 7.07

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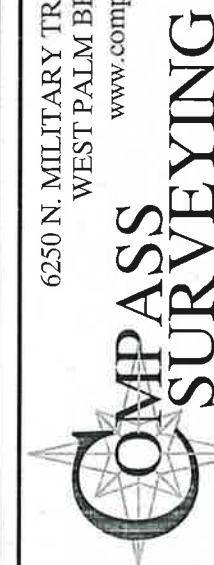
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Project C-11123	Sheet
Date 03-25-2020	1 OF 1
Scale 1" = 20'	

6250 N. MILITARY TRAIL, SUITE 102
WEST PALM BEACH, FL 33407
www.compassurveying.net



LB. 7463 PHONE: 561.640.4800 FAX: 561.640.0576

ORIGINAL FIELD WORK
COMPLETED BY:
TARGET SURVEYING, LLC
DATED: 12/10/2008
SURVEY #381892

CORNER ANGLE DATA
(A) = 90°00'00"

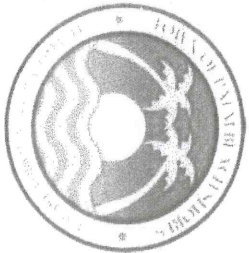
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Kenneth J. Osborne

Kenneth J. Osborne PSM #6415
THIS SURVEY IS NOT VALID WITHOUT
THE SIGNATURE AND THE ORIGINAL RAISED SEAL
OF A FLORIDA LICENSED SURVEYOR AND MAPPER

TOWN ORIGINAL



DEVELOPMENT APPLICATION
TOWN OF PALM BEACH SHORES
247 EDWARDS LANE
PALM BEACH SHORES, FL 33404
(561) 844-3457

RECEIVED
FEB 10 2020
BY: _____

OWNER/APPLICANT: Douglas Owen

PROJECT ADDRESS: 222 EDWARDS LANE

APPLICATION NO.: SA19-11/AAR 19-12 SUBMITTAL DATE: 28 OCTOBER 2019
AAR 19-6 2019 10 FEB 2020

TYPE OF APPROVAL(S) REQUESTED (Check box(es) ☒)

ADMINISTRATIVE APPEAL	<input type="checkbox"/>	SITE PLAN MODIFICATION (14-62)	<input type="checkbox"/>
ARCHITECTURAL AND AESTHETIC REVIEW (Pf 14-86)	<input type="checkbox"/>	SITE PLAN REVIEW (14-62)	<input type="checkbox"/>
COMPREHENSIVE PLAN AMENDMENT (Pf 17.3(B))	<input type="checkbox"/>	SPECIAL EXCEPTION (Pf 15.8)	<input type="checkbox"/>
PLAT APPROVAL	<input type="checkbox"/>	VARIANCE (Pf 15.4)	<input type="checkbox"/>
REZONING (Pf 17.3(B))	<input type="checkbox"/>	ZONING TEXT AMENDMENT (Pf 17.3(B))	<input type="checkbox"/>

PROPERTY OWNER(S)	APPLICANT (If different than Owner(s))
NAME: <u>PEACOCK REALTY ENTERPRISES LLC</u> <u>Douglas Owen - Agent</u>	
ADDRESS: <u>222 EDWARDS LANE</u> <u>P.B. SHORES, FL 33404</u>	
PHONE: <u>1-339-225-1417</u>	
EMAIL: <u>OPF585@yahoo.com</u>	

AGENT (If different than Owner(s))	CURRENT OCCUPANT (If different than Owner(s))
NAME: <u>Anthony M. Ziaja</u>	
ADDRESS: <u>4375 Daffodil Circle N.</u> <u>PBG, FL, 33410</u>	
PHONE: <u>561-624-0395</u>	
EMAIL: <u>AZiaja@aol.com</u>	

PLANNER		DEVELOPER	
NAME:			
ADDRESS:			
PHONE:			
EMAIL:			

ARCHITECT		LANDSCAPE ARCHITECT	
NAME:	John Nossal		
ADDRESS:	410 Ziaja International Assoc 4375 Daffodil Circle N P.B.G., FLA. 335110		
PHONE:	561-624-0395		
EMAIL:	AZIAJA@aol.com		

SURVEYOR		ATTORNEY	
NAME:			
ADDRESS:			
PHONE:			
EMAIL:			

ENGINEER (USE ADD'L SHEET FOR MULTIPLE ENGINEERS)			
NAME:			
ADDRESS:			
PHONE:			
EMAIL:			

OWNER ACKNOWLEDGMENT & CERTIFICATION

I (We) affirm and certify that I (We) understand and will comply with all provisions and regulations of the Town of Palm Beach Shores, Florida. I (We) understand that if this Application is approved by the Town, the aforementioned real property described herein will be considered, in every respect, to be a part of the Town of Palm Beach Shores and will be subjected to all applicable laws, regulations, taxes and police powers of the Town including the Comprehensive Plan and Zoning Ordinance. I (We) further certify that all statements and diagrams submitted herewith are true and accurate to the best of my (our) knowledge and belief. Further, I (We) understand that this Application and attachments become part of the Official Records of the Town of Palm Beach Shores, Florida and are not returnable. I (We) acknowledge that no permit will be issued before all fees associated with Application are paid.

1. Owner acknowledges and understands that the fee for site plan review, architectural/aesthetic review, variance, special exception, rezoning, etc. *may not cover all review costs*. A final statement of any outstanding costs (covering advertising costs, legal, architectural and other consultant costs) will be sent to the applicant upon completion of the review process. Owner accepts financial responsibility for all costs incurred as a result of this Application.
2. A construction schedule is required of all developers during the development process. The Planning and Zoning Board must approve your proposed construction schedule.
3. The Town requires payment of impact fees for floor area added during the development, re-development or renovation of a property. These impact fees will be used to pay for capital improvements relative to Fire Protection, Police Protection, Parks & Recreation and Public Buildings. Impact fees must be paid to the Town before a Certificate of Occupancy will be issued.
4. Roll-off dumpsters for construction/demolition debris and solid waste must be rented through the Town's contracted solid waste hauler, Waste Management.
5. Final as-built plans must be submitted to the Town in digital form, preferably in PDF format.

By signing below, I acknowledge that I have read and understand the five (5) items listed above.

Signature of Owner

Douglas Owen

Date

10-25-19

Printed Name of Owner

DOUGLAS OWEN

STATE OF FLORIDA
PALM BEACH COUNTY:

The foregoing instrument was acknowledged before me this 25

day of

October

20

by

who is personally known to me or has produced

(Type of identification) as identification and why did/did not take an oath (circle response).

Letitia J. GNAZZO

(Signature)

Letitia J. GNAZZO



AUTHORIZATION OF AGENT & ACKNOWLEDGEMENT OF FINANCIAL RESPONSIBILITY

Consent to an agent is required from the property owner(s) and contract purchaser, if applicable, if the property owner(s) or contract purchaser does not intend to attend all meetings and public hearings and submit it person all material pertaining to the Application. Consent to a firm shall be deemed consent for the entire firm, unless otherwise specified.

This form shall serve as consent for the agent identified below to prepare or have prepared all documents for the Application affecting property I (We) have an ownership interest in.

I (We) hereby designate and authorize the below-signed person to act as my (our) agent in regard to this Application and accept financial responsibility for any costs incurred by the agent as a result of this Application. Further, I (We) acknowledge that no permit will be issued before all fees associated with Application are paid.

Douglas Owen Trustee
Signature of Owner or Trustee

10-25-19
Date

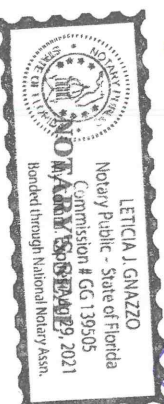
PEACE REALTY TRUST LLC

STATE OF FLORIDA
PALM BEACH COUNTY:

The foregoing instrument was acknowledged before me this 25 day of October 2019 by _____ who is personally known to me or has produced response). _____ (type of identification) as identification and who did/did not take an oath (circle)

Leticia J. GNAZZO
(Name - type, stamp or print clearly)

Leticia J. GNAZZO
(Signature)



Agent Information:

Anthony M. Ziaja
Printed Name of Agent

ZIAJA INTERNATIONAL
Name of Firm

ASSOCIATES

[Signature]
Signature of Agent

25 OCTOBER 2019
Date



PEACOCK REALTY ENTERPRISE LLC

Florida Department Of State Business Registration • Updated 2/16/2018

Peacock Realty Enterprise LLC is a Florida Domestic Limited-Liability Company filed on July 1, 2016. The company's filing status is listed as Active and its File Number is L16000126242.

The Registered Agent on file for this company is Owen Douglas and is located at 1281 North Ocean Drive, Singer Island, FL 33404. The company's principal address is 14 Blair Drive, Kingston, MA 02364 and its mailing address is C/O Douglas Owen 1281 North Ocean Drive, Singer Island, FL 33404.

The company has 1 principal on record. The principal is Douglas Owen from Kingston MA.

Company Information

Company Name: PEACOCK REALTY ENTERPRISE LLC

File Number: L16000126242

Filing State: Florida (FL)

Filing Status: Active

Filing Date: July 1, 2016

Company Age: 3 Years, 7 Months

Registered Agent:  Owen Douglas
1281 North Ocean Drive
Singer Island, FL 33404

Principal Address:  14 Blair Drive
Kingston, MA 02364

Mailing Address:  C/O Douglas Owen
1281 North Ocean Drive
Singer Island, FL 33404

PROCEDURES AND TIMELINES

All development applications required to be submitted to the Planning and Zoning Board for review (Site Plan Review, Site Plan Modification, Architectural and Aesthetic Review, Special Exceptions and Variances) will be subject to the following procedures:

1. Development Review Committee ("DRC") review is regularly scheduled for the first Wednesday of each month at 2:00 pm. In order to be placed on the DRC agenda, a complete application must be submitted to the Town Clerk by the close of business on Monday of the week prior to the regularly scheduled DRC meeting. **Incomplete applications and late submittals will not be placed on a DRC agenda.**
2. If, as a result of the initial DRC review, it is determined by the DRC that a subsequent DRC meeting is necessary, the complete revised application must be submitted to the Town Clerk by the close of business on Monday of the week prior to the regularly scheduled DRC meeting. **Applications that fail to include all revisions required by the DRC, or that are submitted late will not be placed on a DRC agenda until they have been corrected and are timely.**
3. If, as a result of the initial DRC review, it is determined by the DRC that the project can proceed to the Planning and Zoning Board, a complete Planning and Zoning Board application must be submitted to the Town Clerk including all revisions noted by the DRC. A sufficiency review will be performed by the Town to confirm that all comments provided by the DRC have been addressed and a complete revised application submitted. Once all DRC comments have been adequately addressed and a complete revised application submitted, the submittal will be placed on the agenda for the next available Planning and Zoning Board, subject to legal advertising requirements. Planning and Zoning Board review is regularly scheduled for the fourth Wednesday of each month. **Applications that fail to include all revisions required by the DRC or that are incomplete will not be placed on a Planning and Zoning Board agenda.**

APPLICATION FEE INFORMATION

Administrative Appeal	\$250.00
Site Plan Review	\$200.00
Site Plan Modification Review	\$200.00
Variance Request	\$ 250.00
Special Exception Request	\$ 250.00
Telecom Site Plan Review or Modification	\$ 500.00
Plat Approval Request	\$ 600.00
Comprehensive Plan Amendment	\$ 750.00
Zoning Text Amendment / Rezoning	\$ 750.00
Sufficiency Review	Zoning Official (rate per hour)

NUMBER OF COPIES REQUIRED

Development Review Committee

Ten (10) paper sets (folded & sorted into complete packet sets), including one (1) sealed original with original signatures and nine (9) copies, three (3) of which are sealed by a licensed engineer, architect and/or surveyor, and an electronic copy of all documents (on cd or thumb drive).

Planning and Zoning Board

Ten (10) paper sets (folded & sorted into complete packet sets), including one (1) sealed original with original signatures and nine (9) copies, three (3) of which are sealed by a licensed engineer, architect and/or surveyor, and an electronic copy of all documents (on cd or thumb drive).

Local Planning Agency

Ten (10) copies (folded & sorted into complete packet sets).

Town Commission

Ten (10) paper sets (folded & sorted into complete packet sets), including one (1) sealed original with original signatures and nine (9) copies, three (3) of which are sealed by a licensed engineer, architect and/or surveyor (as applicable), and an electronic copy of all documents (on cd or thumb drive).

Applicant acknowledges and understands that the fee for Site Plan Review, Architectural/aesthetic Review, Variance, Special Exception, Rezoning, etc. *may not cover all review costs*. A final statement of any outstanding costs (covering advertising costs, legal, architectural, and other consultants) will be sent to the Applicant upon completion of the review process.

Tabular data showing compliance with all lot coverage, floor area, building height, grade and landscaping requirements must be provided on all submitted plans (Town Code § 14-62).

PROJECT NAME: GUERO RESIDENCE

PROJECT ADDRESS: 222 EDWARDS LANE

PROJECT LEGAL DESCRIPTION:

LOT 201 OF PALM BEACH SHORES ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RETURNED IN PLAT BOOK 23, *** All boxes must be completed, use N/A where appropriate *** Page 29

GENERAL DATA	CODE REQUIREMENT	EXISTING	PROPOSED
COMPREHENSIVE PLAN DESIGNATION: (SF-5, MF-21, MF-30, MF-42, P, ROS)	None	Single Family	Single Family
LAND USE: (Residential, Commercial, Recreational, Marina, Public, etc.)	None	Single family Residence	Single family Residence
ZONING DISTRICT: (A, B, C, D, P, ROS, designated at Pt. 3.1, Zoning Ordinance)	None	District 'A'	District 'A'
FLOOD ZONE CATEGORY:	None	Flood Zone 'X'	Flood Zone 'X'
LOT COVERAGE, LANDSCAPING & PARKING	CODE REQUIREMENT	EXISTING	PROPOSED
TOTAL LOT SIZE: (sq. ft.)	None	8248 SQ FT	8248 SQ. FT
TOTAL COVERAGE OF A LOT BY BUILDINGS: (Pt. 5.4, 6.4, 7.5 or 8.5, Zoning Ordinance)	22886.8 sq ft 235%		
TOTAL LANDSCAPE COVERAGE: (Pt. 5.4.3, Zoning Ordinance)	20%		
OFF-STREET PARKING: (Pt. 5.13, 6.12, 7.13 or 8.14, Zoning Ordinance)	2	—	2
SETBACKS	CODE REQUIREMENT	EXISTING	PROPOSED
FRONT YARD: (Pt. 5.5, 6.6, 7.7 or 8.7, Zoning Ordinance)	25' First Floor 30' Second Floor	—	25' First Floor 30' Second Floor
REAR YARD: (Pt. 5.6, 6.7, 7.9 or 8.9, Zoning Ordinance)	25' First Floor 30' Second Floor	—	25' First Floor 30' Second Floor
SIDE YARD: (Pt. 5.7, 6.8, 7.8 or 8.8, Zoning Ordinance)	9'-0"	9'-0"	9'-0"

JUSTIFICATION STATEMENT

Provide a summary of the proposed project, describing in detail the construction, phasing and proposed development to occur as part of this application (attach additional sheets if needed):

THIS PROJECT IS CURRENTLY UNDER PERMIT. WE ARE SEEKING
APPROVAL TO ENLARGE THE POOL DECK, AND ADD RAIN GUTTERS
AND DOWNSPOUTS TO THE ROOF GABLE. WE ALSO SEEK APPROVAL
FOR A RETAINING WALL ALONG THE EAST AND WEST PROPERTY LINES
TO CONTROL EROSION AND GIVE SUPPORT FOR THE APPROVED FENCE

Note: Construction Schedule is due as part of site plan review and before building permit issuance. (Town Code §14-63). A signed and notarized contract (signed by owner) must be provided before building permit issuance. (Town Code §14-108).

Provide an estimate of construction costs:

\$ 500,000.00

Describe the existing improvements located on the subject property (attach additional sheets if needed):

~~PERMIT HAS BEEN ISSUED. ARCHITECT HAS BEEN REPLACED~~
PERMIT # 19 PBS 0032 - BLDG ISSUED 21 FEB 19
CONSTRUCTOR OF A NEW SINGLE FAMILY RESIDENCE, WITH
SWIMMING POOL, LANDSCAPING AND DRIVEWAY

Provide a project history for the subject property, including any prior development approvals filed within the last year in connection with the subject property. Please include the date of previous site plan approval by the Planning and Zoning Board for this property (attach additional sheets if needed):

PERMIT HAS BEEN ISSUED. ^{ORIGINAL} ARCHITECT HAS BEEN REPLACED
PERMIT # 19 PBS-0032 - BLDG ISSUED 21 FEB 19

Provide the justification, special reasons, or basis for the approval of this application. Explain why this application is consistent with good planning and zoning practice, will not be contrary to the Town's Comprehensive Development Plan, and will not be detrimental to the promotion of public appearance, comfort, convenience, general welfare, good order, health, morals, prosperity, and safety of the Town. Additionally, all standards set forth in the Town Code of Ordinances for Special Exceptions, Variances, Administrative Appeals, etc. must be addressed. (attach additional sheets if needed):

MOST IMPORTANT IS TO PROTECT THE NEIGHBOR'S PROPERTY BY
CONTROLLING EROSION AND WATER RUNOFF BY USE OF A
LOW RETAINING WALL. THIS WILL ALSO SERVE TO SUPPORT THE FENCE,
THE INCREASE OF THE POOL DECK WILL BE WITHIN THE REQUIREMENTS
FOR LANDSCAPE, AS WELL AS GIVE THE OWNER BETTER USE OF IT.

Provide any other pertinent information related to the subject property to support the proposed request.

THE BUILDING MASS OR SHAPE DOES NOT MATTER. THE PROBLEM
TO THE EAST IS AT A HIGHT ELEVATION THAN THIS PROPERTY. THE WEST
PROPERTY IS LOWER THAN THIS PROPERTY. THE RETAINING WALLS
WILL SERVE ALL THREE PROPERTIES BY STOPPING WATER RUNOFF

DRAINAGE REQUIREMENTS

(For projects proposing additional on-site impervious area)

For proposed renovations/modifications to existing projects that result in LESS THAN a 50% increase in total site imperviousness, retain 1" of stormwater volume from the total additional impervious area.

For proposed new construction, or renovations/modifications to existing projects that result in a GREATER THAN a 50% increase in total site imperviousness, retain 1" of stormwater volume over the entire site.

Submit a Survey with topographic elevations and existing improvements.

A Drainage and Grading Plan and drainage calculations are required to be submitted with the application package for new construction projects and substantial modifications to existing projects. The Drainage Plan must show the following:

- a. Existing and proposed elevations.
- b. Location of sodded swales, sodded depressed retention areas, underground exfiltration trench and/or other proposed stormwater treatment/retention methods.
- c. Underground piping and inlets and other drainage system improvements proposed.
- d. Drainage calculations showing the retention of the volume of 1" of stormwater from addition impervious areas (or overall site).
- e. Show drainage improvements and underground piping, including water and sewer services, on the Landscape Plans to show no conflicts exist.
- f. Include note that no runoff may be directed to adjacent properties and all storm flows and runoff must be retained on-site prior to discharge into the adjacent roadway right-of-way following retention of required stormwater volume.
- g. Provide engineering details of gutter and downspout dry wells, if proposed.
- h. Provide engineering detail of exfiltration trench, if proposed.
- i. Provide engineering detail of sodded swales, if proposed.
- j. Provide engineering detail of depressed dry retention areas, if proposed.
- k. Provide Geotechnical Report or engineering assumptions/justification for coefficient of permeability (K Factor) for exfiltration trench design, if proposed.
- l. Engineering details/cross sections at property lines demonstrating no runoff will flow to adjacent properties may be required.

Project Engineer or Architect shall be responsible for insuring the drainage improvements are completed in substantial accordance with the approved plan.

Prior to C.O., Project Engineer or Architect to provide final signed and sealed certification that the drainage improvements and grading have been completed in substantial accordance with the approved plan.

Upon receipt of final Certification from Project Engineer or Architect, Town Engineer to visit site and ensure conformance of Town requirements prior to issuance of final C.O.

REQUEST FOR ARCHITECTURAL AND AESTHETIC REVIEW

Please be advised that pursuant to Sec. 14-86 and 14-87 of the Town Code of Ordinances, the Town Planning and Zoning Board uses the following criteria in order to complete its Architectural and Aesthetic Review. Each criteria must be addressed by the applicant prior to the application being processed

1. Relationship of building to site: (Explain transition from streetscape; placement of parking and service areas; and compatibility of building height and scale with site):

NO CHANGE TO PERMIT

2. Relationship of building and site to adjoining area(s): (Explain how structures and landscaping are consistent with established neighborhood character and will enhance the surrounding area. Include description of architectural style, as well as textures, materials and colors to be utilized):

THE POOL WILL BE ON THE POOL SETBACK LINE IN THE
REAR YARD, AND BE INSIDE THE WEST 5.00 YARD POOL
SETBACK, 7'-0" IN LINE OF THE REQUIRED 7'-0" SETBACK

3. Landscape and site treatment: (Explain how landscaping, exterior lighting and other site elements will be used to enhance architectural features, buffer the mass of buildings as appropriate, and enhance the privacy of the owner and neighbors. Describe the use of native species and xeriscaping as appropriate.):

REVISED SITE DRAINAGE PLAN, SITE PLAN AND LANDSCAPE

PLANS ARE ATTACHED. MODIFICATIONS WERE MADE FOR
SIMPLICITY, WHILE STILL PROVIDING AESTHETICS AND
BUFFERS WITH ADJACENT PROPERTIES

4. Building design: (Explain proposed building design and style, and how components such as roofs, windows, doors, eaves and parapets are balanced in proportion to each other, address harmoniousness of colors, visual interest and compatibility):

RAIN GUTTERS ARE BEING ADDED TO THE ROOF EAVE TO
CONTROL RAIN WATER DISTRIBUTION, IMPROVE RANDOM
SPACING, AND DIRECT RAIN WATER APPROPRIATELY

Please provide all documentation and/or samples necessary to address all architectural review criteria as applicable. Attach additional pages as necessary.

NO CHANGE TO PERMIT

REQUEST FOR SITE PLAN MODIFICATION

Revised
10 Feb 20

1. Previously approved (Original) site plan information:

- a. Original Project Name: OWEN RESIDENCE
- b. Original Site Plan Application No.: SPR 18-13
- c. Original Site Plan Approval Date: AUGUST 29, 2018
- d. List of all other relevant information on file with original application: ORIGINAL CASE NO.

APR 18-13 AND SPR 18-13 ORDER APPROVING ARCHITECTURAL AND AESTHETIC REVIEW, AND A PROVING SITE PLAN REVIEW, STIPULATE AIR CONDITIONING AND POOL EQUIPMENT MUST BE RELOCATED FROM THE SIDE YARD TO THE REAR YARD. THIS IS REPRESENTED ON THE SITE PLAN, DRAINAGE PLAN AND LANDSCAPE PLAN.

2. Requested Modification(s): ADDITION OF RAIN GUTTERS, DOWNSPOUTS AND SPLASH BLOCKS TO THE BUILDING ENDS; ENLARGE POOL DECK AND RE-POSITION POOL FOR MORE FUNCTIONAL DECK AREA AND A SLIGHTLY LARGER POOL, ALL WITHIN THE POOL SETBACKS AS DIRECTED BY THE TOWN OF PALM BEACH SHORES; RETAINING WALL TO CONTROL RAIN WATER AND SERVICE LANDSCAPING
- Please provide all documentation necessary to describe the proposed modification and to explain the reason(s) for the proposed modification(s), including a survey, if applicable. Attach additional pages as necessary.

- PLEASE SEE ATTACHED LANDSCAPE PLAN AND SITE DRAINAGE PLAN.

- THE DRAINAGE PLAN HAS BEEN SIMPLIFIED TO INCORPORATE A SYSTEM OF SWALES TO RETAIN THE REQUIRED 1" OF RAIN FALL

REQUEST FOR VARIANCE

The Applicant is requesting a variance from the Town Code Section(s) _____ to permit the following:

N/A

Please be advised that a variance from the terms of the Zoning Code shall not be recommended by the Planning and Zoning Board, nor granted by the Town Commission, unless the Applicant is able to demonstrate the following:

1. Explain the special conditions and circumstances which exist that are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or building in the same zoning district.

2. Explain how the special conditions and circumstances that exist do not result from the actions of the Applicant:

3. Explain how the literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Code and would work unnecessary and undue hardship on the Applicant.

4. Explain how the variance requested is the minimum variance that will make possible a reasonable use of the land, building or structure:

5. Explain how the granting of the requested variance will not confer on the Applicant any special privilege that is denied by the Zoning Code to other lands, structures, or buildings in the same zoning district:

6. Explain how the grant of the requested variance will be in harmony with the general intent and purpose of the Zoning Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare:

The burden of meeting the standards as set forth above is upon the Applicant. Please provide all documentation necessary to prove your case, including a survey, if applicable. Attach additional pages as necessary.

REQUEST FOR SPECIAL EXCEPTION

The Applicant is requesting a special exception pursuant to Town Code Section(s) _____ to permit the following:

N/A

A Special Exception shall not be recommended by the Town Planning and Zoning Board, nor granted by the Town Commission, unless the Applicant is able to demonstrate the following:

1. Explain how all structures will be separated from adjacent and nearby uses by appropriate screening devices:

2. Explain whether or not excessive vehicular traffic will be generated on surrounding residential streets:

3. Explain whether or not a vehicular parking or traffic problem is created:

4. Explain where on the site appropriate drives, walkways and buffers will be installed:

5. Explain how the proposed use will make a substantial contribution to the neighborhood environment and will not infringe on the rights of properties in the vicinity:

6. Explain how the proposed use will not endanger, restrict or impair public safety:

The initial burden of meeting the standards as set forth above is upon the Applicant. Please provide all documentation necessary to prove your case, including a survey, if applicable. Attach additional pages as necessary.



Department of State / Division of Corporations / Search Records / Detail By Document Number /

Detail by Entity Name

Florida Limited Liability Company
PEACOCK REALTY ENTERPRISE LLC

Filing Information

Document Number L16000126242

FEE/EIN Number 81-3240873

Date Filed 07/01/2016

State FL

Status ACTIVE

Last Event REINSTATEMENT

Event Date Filed 10/23/2017

Principal Address

14 BLAIR DRIVE
KINGSTON, MA 02364

Mailing Address

C/O DOUGLAS OWEN
1281 NORTH OCEAN DRIVE
SUITE 106
SINGER ISLAND, FL 33404

Changed: 12/19/2016

Registered Agent Name & Address

OWEN, DOUGLAS
1281 NORTH OCEAN DRIVE
106
SINGER ISLAND, FL 33404

Name Changed: 10/23/2017

Address Changed: 02/21/2018

Authorized Person(s) Detail

Name & Address

Title MGR

Use by Entity Name

Florida Limited Liability Company
PEACOCK REALTY ENTERPRISE LLC

Filing Information

Document Number L16000126242
FEI/EIN Number 81-3240873
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OWEN, DOUGLAS
1281 NORTH OCEAN DRIVE
106
SINGER ISLAND, FL 33404

Name Changed: 10/23/2017

Address Changed: 02/21/2018

Authorized Person(s) Detail

Name & Address

Title MGR

OWEN, DOUGLAS
14 BLAIR DRIVE
KINGSTON, MA 02364

Annual Reports

Report Year	Filed Date
2017	10/23/2017
2018	02/21/2018
2019	04/17/2019

2019 FLORIDA LIMITED LIABILITY COMPANY ANNUAL REPORT

DOCUMENT# L16000126242

Entity Name: PEACOCK REALTY ENTERPRISE LLC

Current Principal Place of Business:

14 BLAIR DRIVE
KINGSTON, MA 02364

FILED
Apr 17, 2019
Secretary of State
0453246990CC

Current Mailing Address:

C/O DOUGLAS OWEN
1281 NORTH OCEAN DRIVE SUITE 106
SINGER ISLAND, FL 33404 US

FBI Number: 81-3240873

Name and Address of Current Registered Agent:

OWEN, DOUGLAS
1281 NORTH OCEAN DRIVE
106
SINGER ISLAND, FL 33404 US

Certificate of Status Desired: No

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE: DOUGLAS OWEN

Electronic Signature of Registered Agent

04/17/2019

Date

Authorized Person(s) Detail :

Title	MGR
Name	OWEN, DOUGLAS
Address	14 BLAIR DRIVE
City-State-Zip:	KINGSTON MA 02364

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath, that I am a managing member or manager of the limited liability company or the receiver or trustee empowered to execute this report as required by Chapter 605, Florida Statutes, and that my name appears above, or on an attachment with all other like empowered.

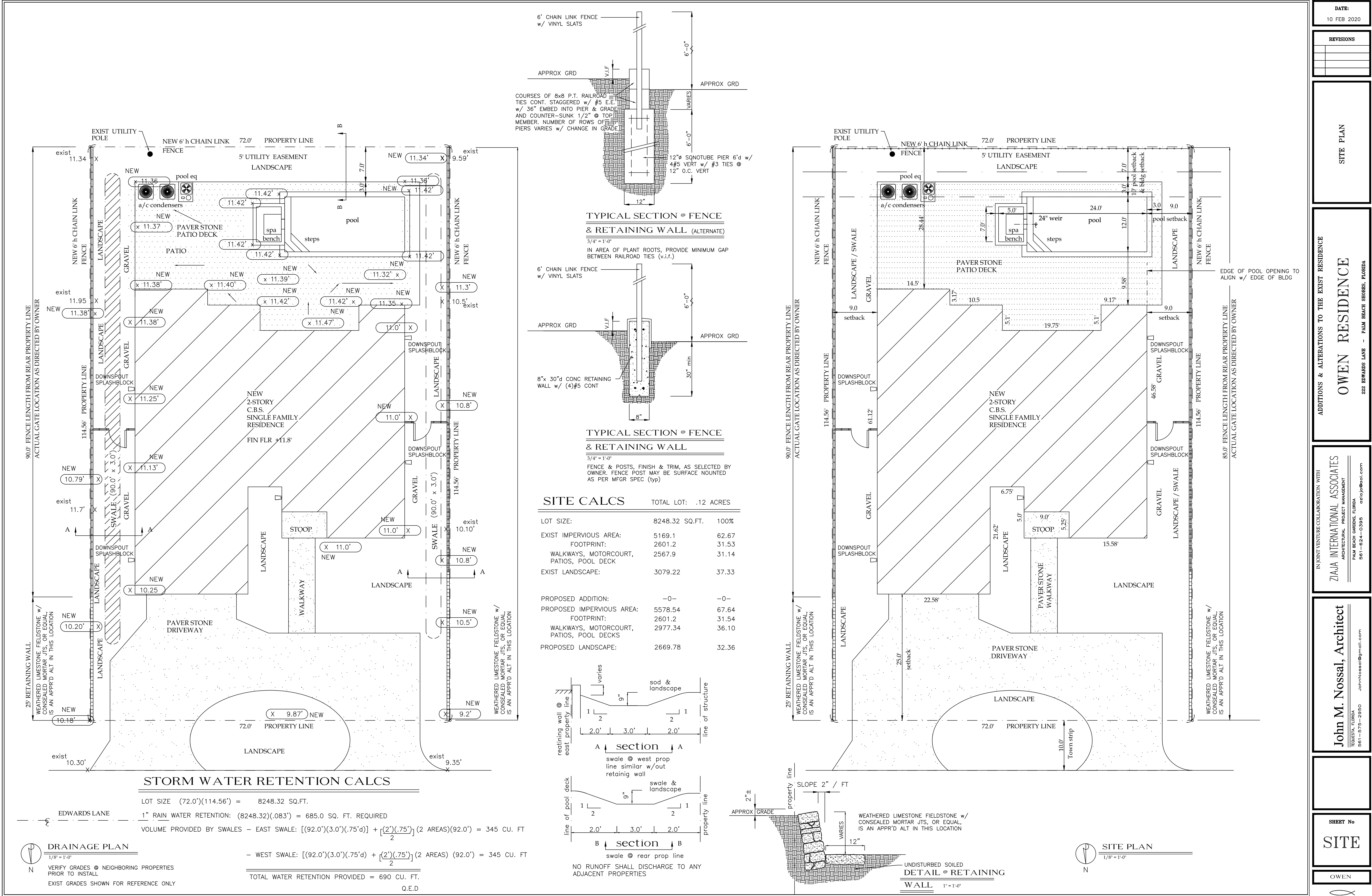
SIGNATURE: DOUGLAS OWEN

Electronic Signature of Signing Authorized Person(s) Detail

MANAGER

04/17/2019

Date



DATE:
10 FEB 2020

REVISIONS

SITE PLAN

ADDITIONS & ALTERATIONS TO THE EXIST RESIDENCE
OWEN RESIDENCE
222 EDWARDS LANE - PALM BEACH SHORES, FLORIDA

IN JOINT VENTURE COLLABORATION WITH
ZIAJA INTERNATIONAL ASSOCIATES
ARCHITECTURAL PROJECT MANAGEMENT
PALM BEACH GARDENS, FLORIDA
561-624-0395
ozi@ziaja.com

John M. Nossal, Architect
TEQUESTA, FLORIDA
561-575-2950
JohnNossal@gmail.com

SHEET No
SITE

OWEN

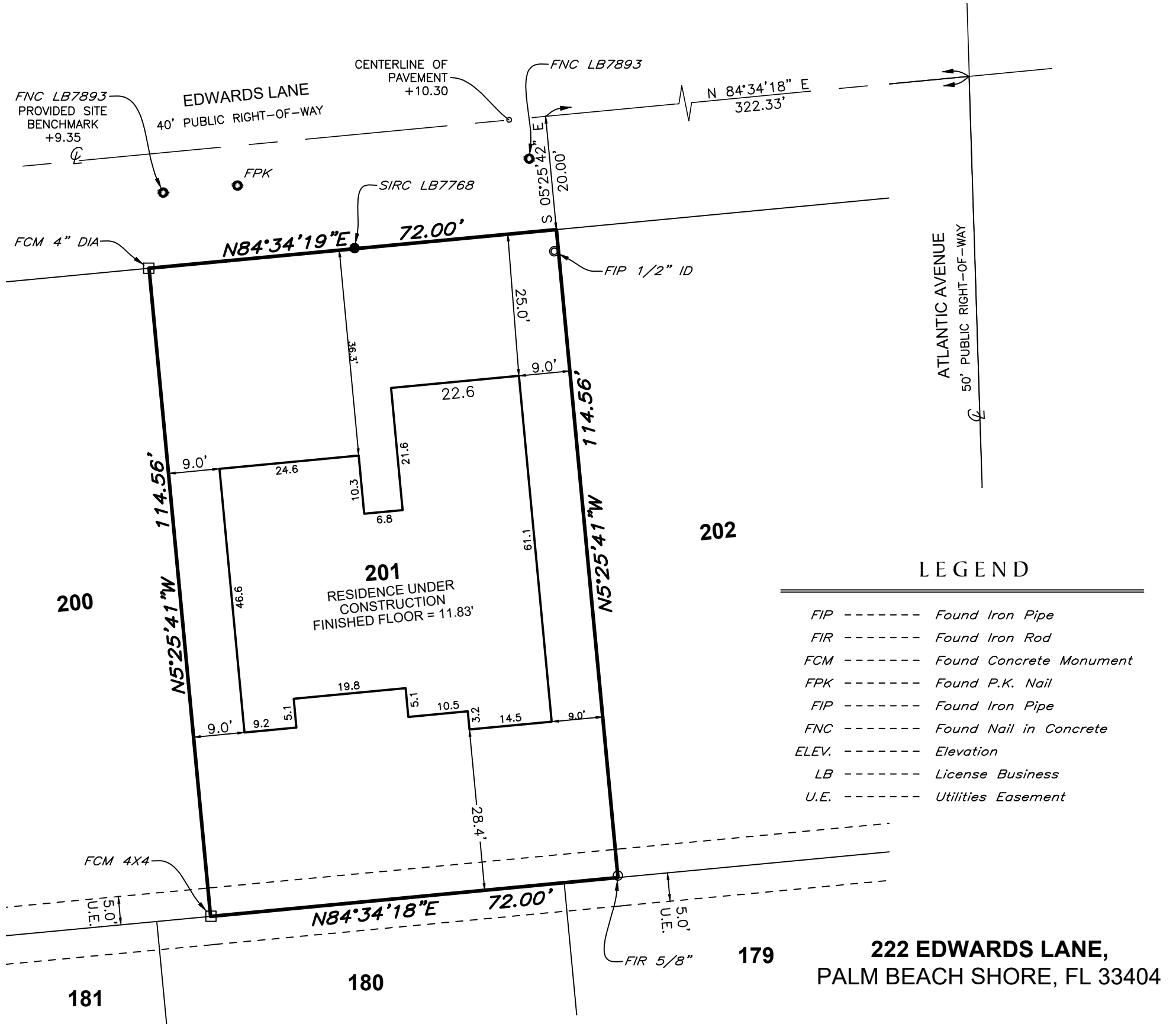
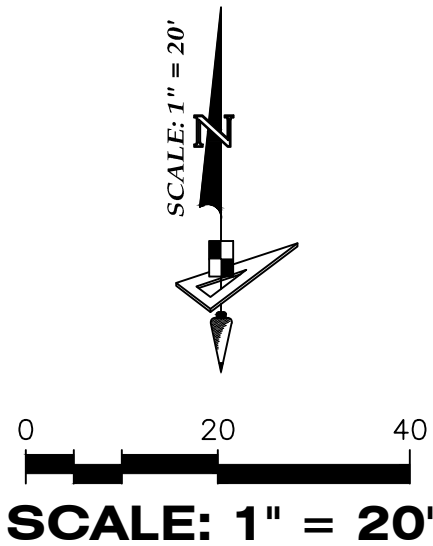
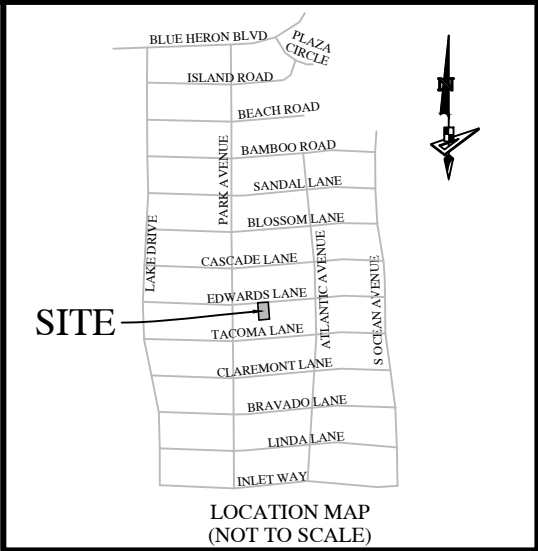
DESCRIPTION: Lot 201, PALM BEACH SHORES, as recorded in Plat Book 23, Pages 29 through 32, inclusive, of the Public Records of Palm Beach County, Florida.

FLOOD ZONE:

The property shown hereon is on the Federal Emergency Management Agency's Flood Insurance Rate Map Panel Number 12099C0393 E dated 10/05/2017, and appears to lie in Zone "X"

SURVEYOR'S NOTES:

1. This is As-Built Survey prepared for the propose of showing the Residence under-construction.
2. Current title information on the subject property had not been furnished to GeoPoint Surveying, Inc. at the time of this survey.
3. Bearings are subject to field survey by GeoPoint Surveying, Inc.
4. Elevations are based on North American Vertical Datum of 1988 (NAVD88), Palm Beach County Benchmark "W309", ELEVATION: 8.88
5. All Bearing, Distances and Easements are platted unless otherwise noted.
6. Boundary established 3-12-19
7. The proposed finished floor elevation =+11.80



LEGEND

- FIP ----- Found Iron Pipe
- FIR ----- Found Iron Rod
- FCM ----- Found Concrete Monument
- FPK ----- Found P.K. Nail
- FIP ----- Found Iron Pipe
- FNC ----- Found Nail in Concrete
- ELEV. ----- Elevation
- LB ----- License Business
- U.E. ----- Utilities Easement

222 EDWARDS LANE
AS-BUILT SURVEY

REVISIONS			
No.	Date	Description	Dwn.
1	02/04/20	UPDATE	GAR

Prepared For: MIKE ODUM

Last Date of Field Survey: 02/04/2020

SURVEYOR'S CERTIFICATE

This certifies that a survey of the hereon described property was made under my supervision and meets the Standards of Practice set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17.050, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Gary A. Rager

FLORIDA PROFESSIONAL SURVEYOR & MAPPER NO. LS4828

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

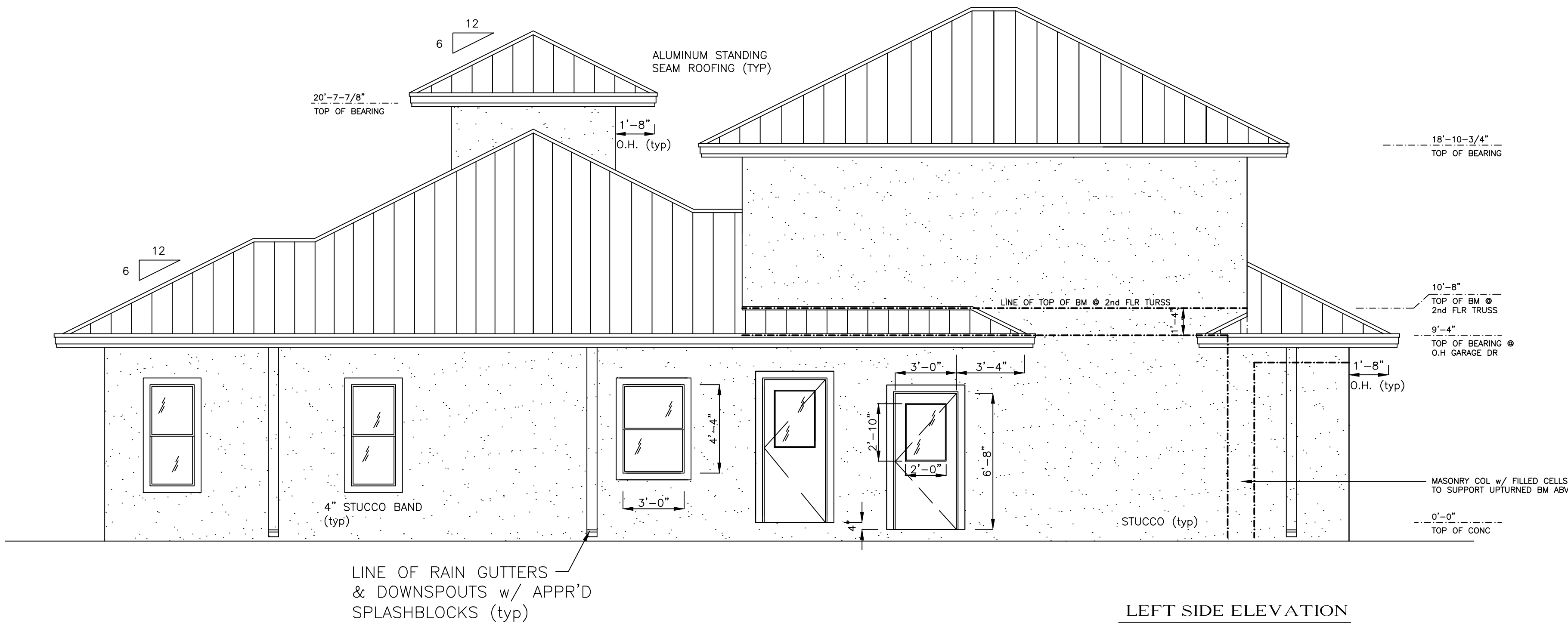
4152 W. Blue Heron Blvd.
Suite 105
Riviera Beach, FL 33404

Phone: (561) 444-2720
www.geopointsurvey.com
Licensed Business Number LB 7768

Drawn:DJS Date:03/13/19 Data File: ~

Check:GAR P.C.:JS Field Book:2019-09W/32

Section: 27 Twn. 42S Rng. 43E Job #:PBS Lot201 Surv



LEFT SIDE ELEVATION

1/4" = 1'-0"



FRONT ELEVATION

1/4" = 1'-0"

PROVIDE APPR'D RAIN GUTTER SYSTEM @ ROOF EAVE,
IN AREA OF DINING ROOM, FRONT ENTRY & FRONT
BEDROOM. SEE ROOF PLAN

THIS DRAWING IS SUBMITTED TO SHOW
RAIN GUTTERS & DOWNSPOUTS ONLY

DATE:
22 APRIL 2019

REVISIONS
7 JUNE 2019

ELEVATIONS

ADDITIONS & ALTERATIONS TO THE EXIST RESIDENCE
OWEN RESIDENCE
222 EDWARDS LANE - PALM BEACH SHORES, FLORIDA

IN JOINT VENTURE COLLABORATION WITH
ZIAJA INTERNATIONAL ASSOCIATES
ARCHITECTURAL PROJECT MANAGEMENT
PALM BEACH GARDENS, FLORIDA
561-424-0395 oiaja@aol.com

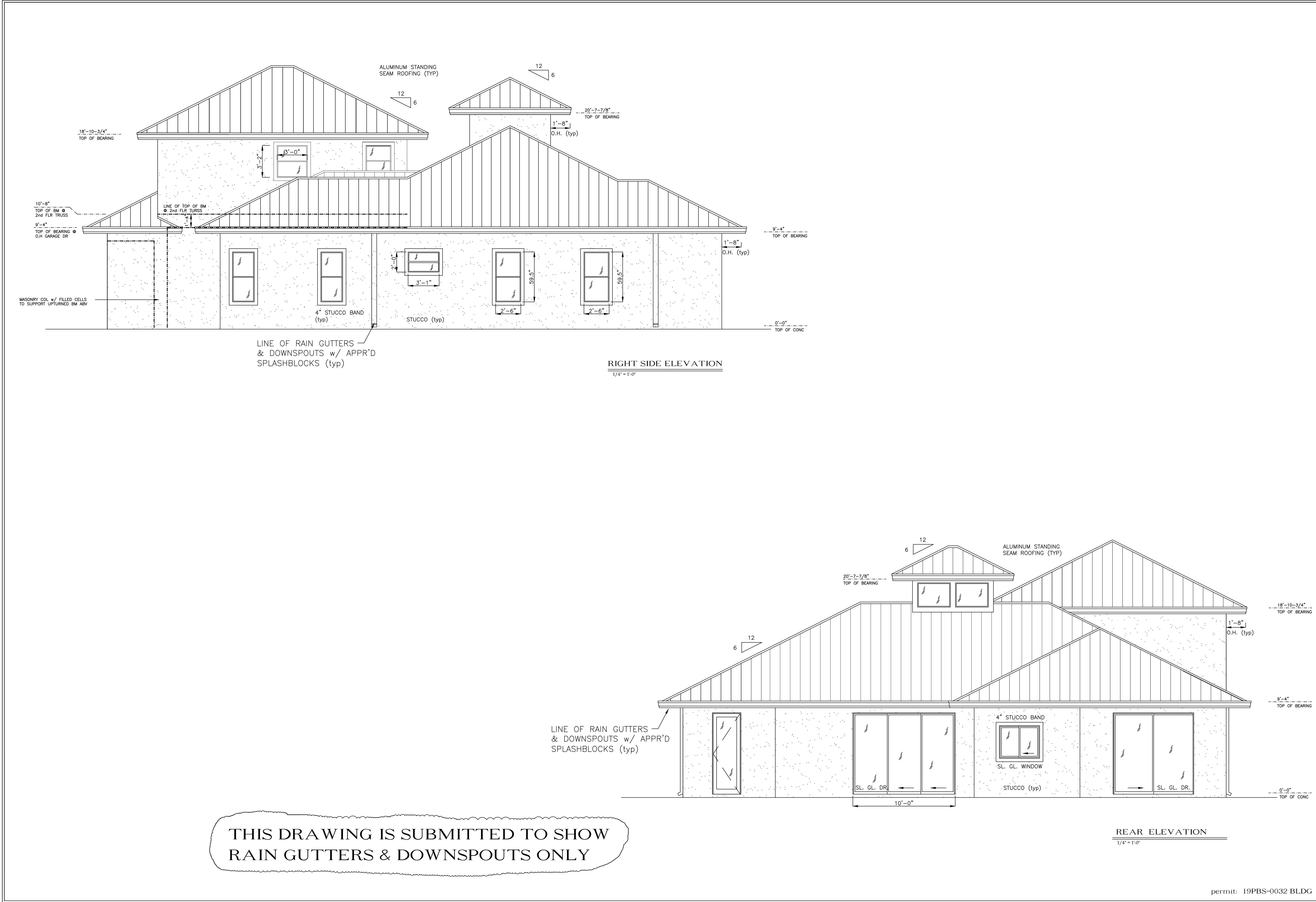
John M. Nossal, Architect
TEQUESTA, FLORIDA
561-575-2950 JohnNossal@gmail.com

SHEET No

A5.1

OWEN

permit: 19PBS-0032 BLDG



DATE:
22 APRIL 2019

REVISIONS	
7 JUNE 2019	

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ADDITIONS & ALTERATIONS TO THE EXIST RESIDENCE
OWEN RESIDENCE
222 EDWARDS LANE - PALM BEACH SHORES, FLORIDA

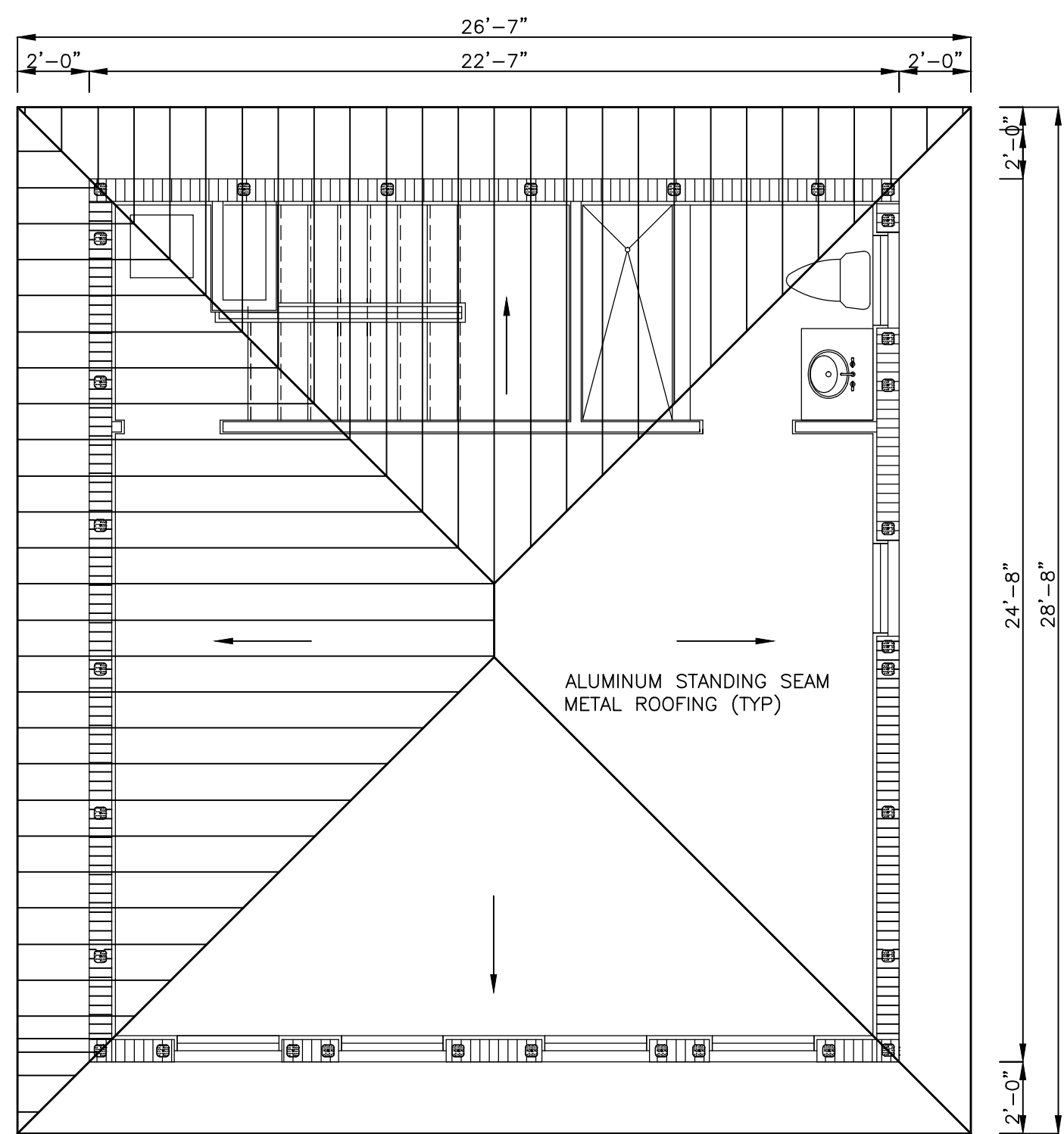
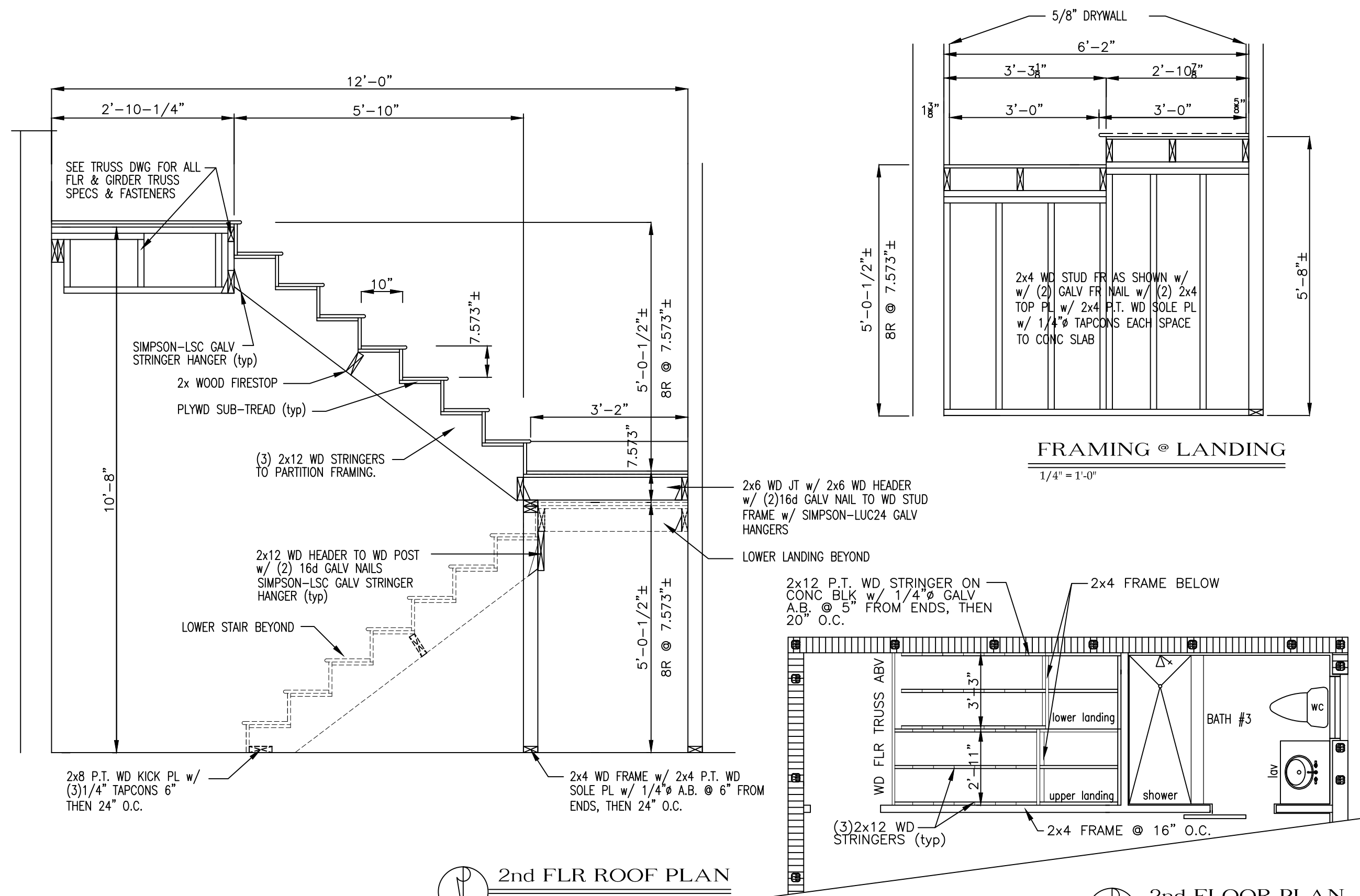
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SHEET No
A5.2

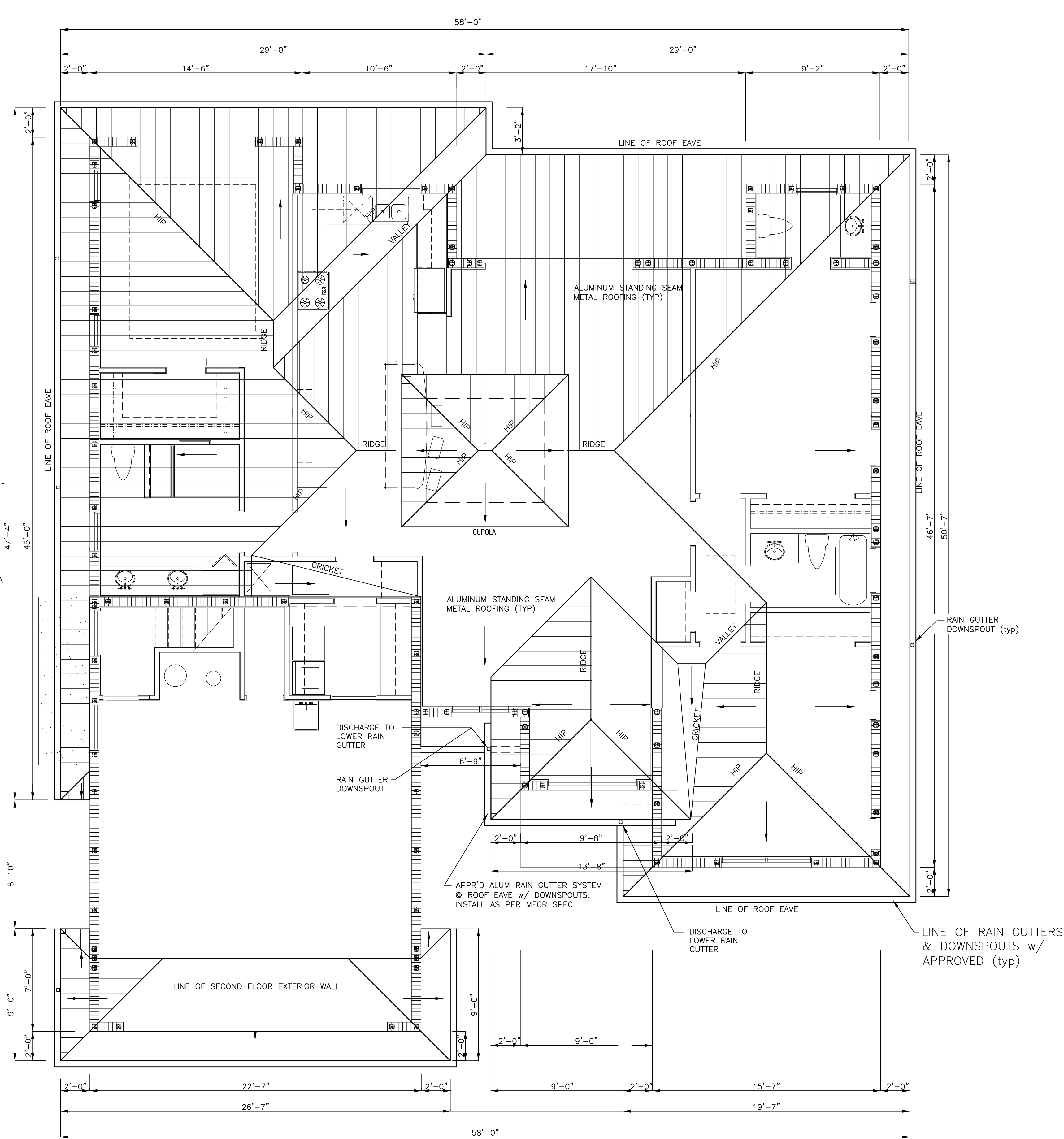
OWEN

permit: 19PBS-0032 BLDG



2nd FLR ROOF PLAN
1/4" = 1'-0"

THIS DRAWING IS SUBMITTED TO SHOW
RAIN GUTTERS & DOWNSPOUTS ONLY



ROOF PLAN
1/4" = 1'-0"

PROVIDE NEEDED ALUM RAIN WATER DIVERTERS AND SPLASH GUARDS AS NEEDED TO PROTECT FRONT ENTRY FROM RAIN WATER DISCHARGE OFF OF ADJACENT ROOF AREAS

REVISIONS
7 JUNE 2019
25 JUNE 2019
28 OCT 2019

ADDITIONS & ALTERATIONS TO THE EXIST RESIDENCE

IN JOINT VENTURE COLLABORATION WITH
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561-575-2950 JohnNossal@gmail.com

SHEET No
A4.1
OWEN

ROOF PLANS

OWEN RESIDENCE

ARCHITECTURAL PROJECT MANAGEMENT

permit: 19PBS-0032 BLDG

PLANT LIST

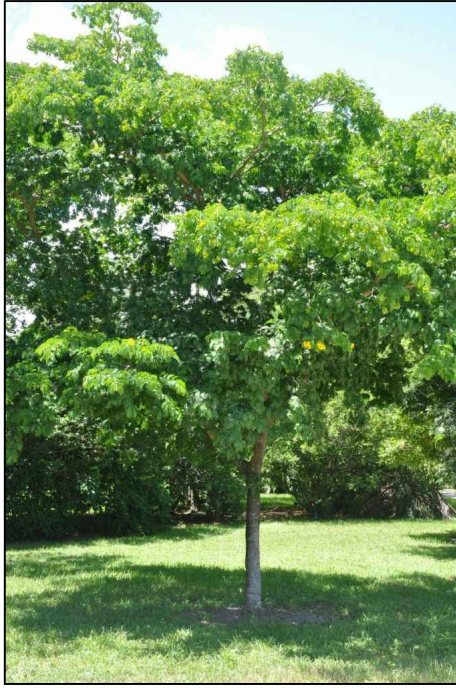
TREES, PALMS AND ACCENTS

QTY	NAME	SPECIFICATION
3	CHRISTMAS PALMS (Adonia merilli)	12' OA HT SGL
3	VERAWOD TREE (Bulnesia arborea)	14' OA HT
1	EUROPEAN FAN PALM (Chamaerops humilis)	5'-6' OA HT MULTI
3	SHERBET TI PLANT (Cordylne fruticosa 'Shervbet')	7 GALLON
2	MEXICAN CYCAD (Dioon spinulosum)	30" OA HT

SHRUBS AND GROUNDCOVERS

QTY	NAME	SPECIFICATION
20	DRAGONWING BEGONIA (Begonia 'Dragonwing')	3 GALLON
9	MS. ALICE BOUGAINVILLEA (Bougainvillea 'Ms. Alice')	3 GALLON
44	RED TIP COCOPLUM (Chrysobalanus icaco 'Red Tip')	3 GALLON
45	DWARF CLUSIA (Clusia guttifera 'Nana')	3 GALLON
24	SILHOUETTE BOUGAINVILLEA (Bougainvillea 'Silhouette')	3 GALLON
13	PANAMA ROSE (Rondeletia leucophylla)	3 GALLON
12	SLOPPY PAINTER CROTON (Codaieum variegatum 'Sloppy Painter')	3 GALLON
9	BLUE REGINA IRIS (Neomarica carulea 'Regina')	3 GALLON
30	FIESTA HIBISCUS (Hibiscus 'Fiesta')	3 GALLON
30	FIREBALL BROMELIAD (Neoregelia 'Fireball')	1 GALLON
6	BOSSA NOVA BROMELIAD (Neoregelia 'Bossa Nova')	1 GALLON

PLANT PICTURES



VERAWOOD TREE



CHRISTMAS PALM



MEXICAN CYCAD



EUROPEAN FAN PALM



DRAGONWING BEGONIA



MS. ALICE BOUGAINVILLEA



BLUE REGINA IRIS



SLOPPY PAINTER CROTON



SHERBET TI PLANT



RED TIP COCOPLUM



SILHOUETTE BOUGAINVILLEA



DWARF CLUSIA



FIREBALL BROMELIAD



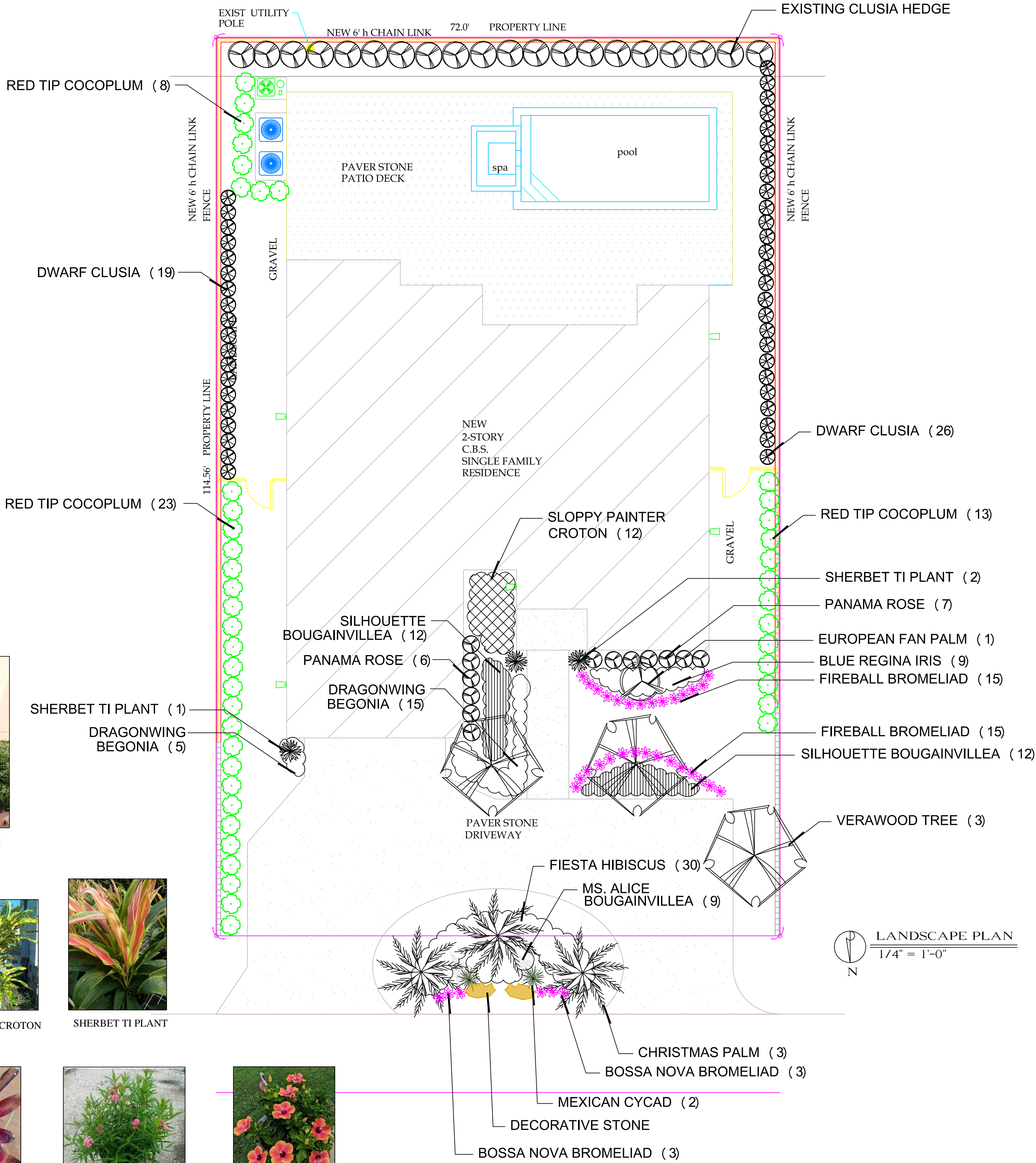
PANAMA ROSE



FIESTA HIBISCUS



BOSSA NOVA BROMELIAD



GENERAL NOTES

- ALL UNDERGROUND UTILITIES SHALL BE LOCATED PRIOR TO LANDSCAPE INSTALLATION
- LANDSCAPE MATERIAL INSTALLED SHALL BE FIELD ADJUSTED TO AVOID CONFLICTS WITH UNDERGROUND UTILITIES AS NEEDED
- TREES, PALMS AND FOUNDATION PLANTING SHOWN PER TOWN OF PALM BEACH SHORES DESIGN GUIDELINES SEC. 78-77.1
- LANDSCAPE PLANS PROVIDED ARE THE PROPERTY OF ORGANIC SOLUTIONS AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION

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STUART, FL 34997
772-419-8141
WWW.LIVEORGANICSOLUTIONS.COM

DATE:

REVISIONS

LANDSCAPE PLAN

ADDITIONS & ALTERATIONS TO THE EXIST RESIDENCE

OWEN RESIDENCE
222 EDWARDS LANE - PALM BEACH SHORES, FLORIDA

IN JOINT VENTURE COLLABORATION WITH
ZIAJA INTERNATIONAL ASSOCIATES
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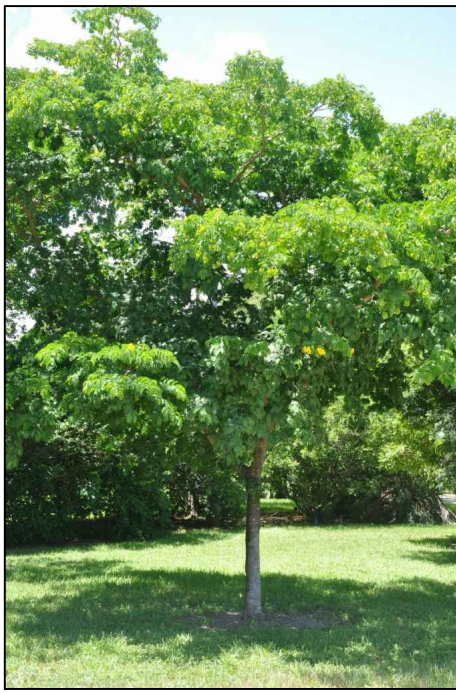
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PLANT PICTURES



VERAWOOD TREE



CHRISTMAS PALM



MEXICAN CYCAD



EUROPEAN FAN PALM



DRAGONWING BEGONIA



MS. ALICE BOUGAINVILLEA



BLUE REGINA IRIS



SLOPPY PAINTER CROTON



SHERBET TI PLANT



RED TIP COCOPLUM



SILHOUETTE BOUGAINVILLEA



DWARF CLUSIA



FIREBALL BROMELIAD



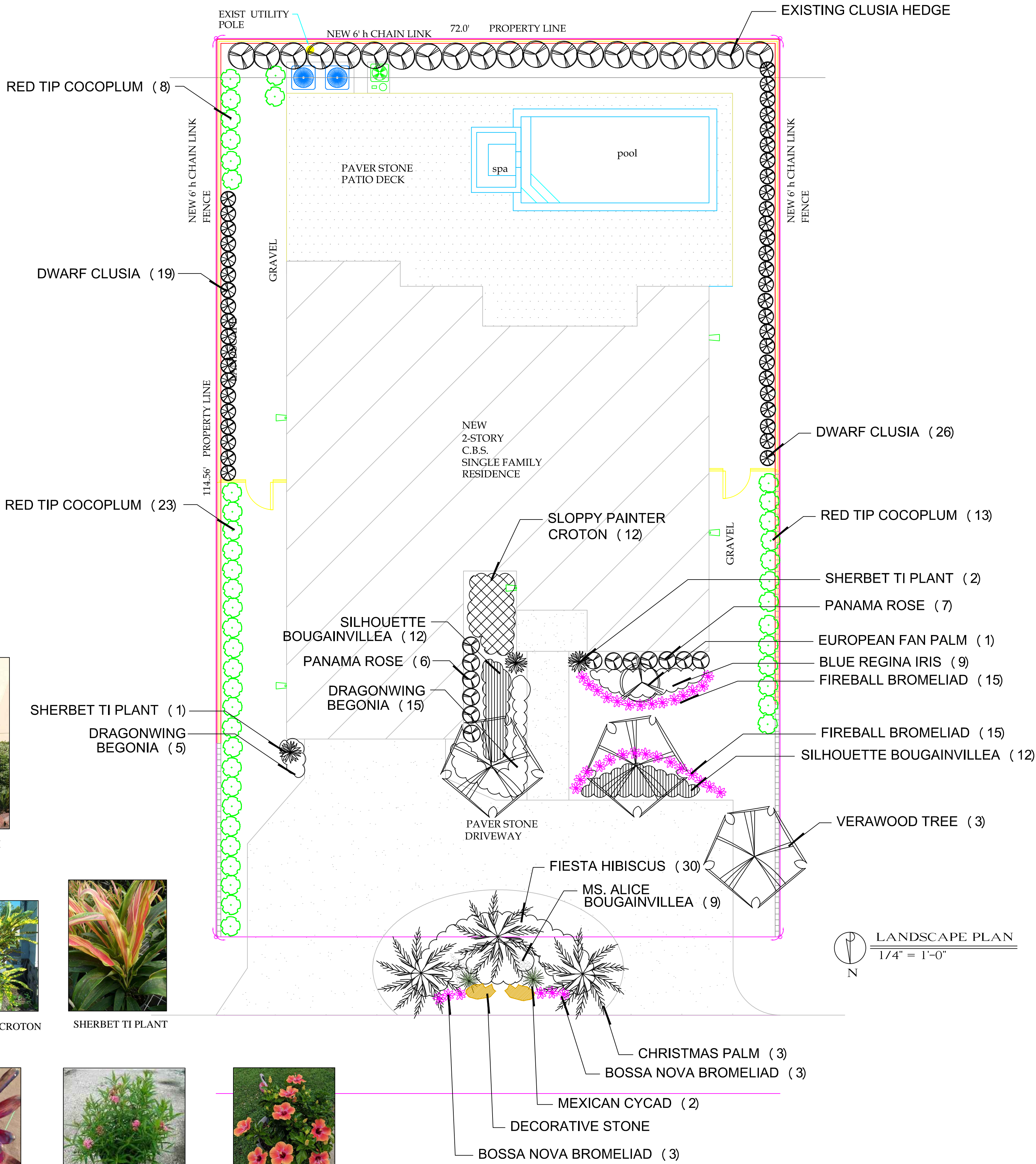
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OWEN RESIDENCE

222 EDWARDS LANE - PALM BEACH SHORES, FLORIDA

IN JOINT VENTURE COLLABORATION WITH

ZIAJA INTERNATIONAL ASSOCIATES

ARCHITECTURAL PROJECT MANAGEMENT

PALM BEACH GARDENS, FLORIDA

561-624-0395

azija@zcoi.com

John M. Nossal, Architect

TEQUESTA, FLORIDA

561-678-2950

JohnNossal@gmail.com

SHEET No

OWEN



DEVELOPMENT APPLICATION

TOWN OF PALM BEACH SHORES
247 EDWARDS LANE
PALM BEACH SHORES, FL 33404
(561) 844-3457

OWNER/APPLICANT: Joseph Battaglia

PROJECT ADDRESS: 230 Blossom Lane

APPLICATION NO.: _____ SUBMITTAL DATE: _____

TYPE OF APPROVAL(S) REQUESTED (Check box(es) ☒)

ADMINISTRATIVE APPEAL		SITE PLAN MODIFICATION (14-62)	<input checked="" type="checkbox"/>
ARCHITECTURAL AND AESTHETIC REVIEW (Pf. 14-86)		SITE PLAN REVIEW (14-62)	
COMPREHENSIVE PLAN AMENDMENT (Pf. 17.3(B))		SPECIAL EXCEPTION (Pf. 15.8)	
PLAT APPROVAL		VARIANCE (Pf. 15.4)	
REZONING (Pf. 17.3(B))		ZONING TEXT AMENDMENT (Pf. 17.3(B))	

	PROPERTY OWNER(S)	APPLICANT (If different than Owner(s))
NAME:	<u>Joseph Battaglia</u>	
ADDRESS:	<u>230 Blossom Lane</u>	
PHONE:	<u>201-615-6982</u>	
EMAIL:	<u>bbatta4@aol.com</u>	

	AGENT (If different than Owner(s))	CURRENT OCCUPANT (If different than Owner(s))
NAME:		
ADDRESS:		
PHONE:		
EMAIL:		

	PLANNER	DEVELOPER
NAME:		
ADDRESS:		
PHONE:		
EMAIL:		

	ARCHITECT	LANDSCAPE ARCHITECT
NAME:		Michael Flaugh
ADDRESS:		2877 East Ocean Blvd. Stuart, Florida 34996
PHONE:		772-419-0024
EMAIL:		www.mikeflaughLA.com

	SURVEYOR	ATTORNEY
NAME:	Principal Meridian Angela Kirk surveying	
ADDRESS:	4546 Cambridge Street WPB, FL 33415	
PHONE:	561-478-7764	
EMAIL:	angela@pmsurveying.net	

	ENGINEER (USE ADD'L. SHEET FOR MULTIPLE ENGINEERS)
NAME:	stormwater Engineering Mike Hanseter
ADDRESS:	1855 Indian Rd. Ste 202 WPB, FL 33409
PHONE:	561-242-0028
EMAIL:	mhanseterstormij@gmail.com

OWNER ACKNOWLEDGMENT & CERTIFICATION

I (We) affirm and certify that I (We) understand and will comply with all provisions and regulations of the Town of Palm Beach Shores, Florida. I (We) understand that if this Application is approved by the Town, the aforementioned real property described herein will be considered, in every respect, to be a part of the Town of Palm Beach Shores and will be subjected to all applicable laws, regulations, taxes and police powers of the Town including the Comprehensive Plan and Zoning Ordinance. I (We) further certify that all statements and diagrams submitted herewith are true and accurate to the best of my (our) knowledge and belief. Further, I (We) understand that this Application and attachments become part of the Official Records of the Town of Palm Beach Shores, Florida and are not returnable. I (We) acknowledge that no permit will be issued before all fees associated with Application are paid.

1. Owner acknowledges and understands that the fee for site plan review, architectural/aesthetic review, variance, special exception, rezoning, etc. **may not cover all review costs**. A final statement of any outstanding costs (covering advertising costs, legal, architectural and other consultant costs) will be sent to the applicant upon completion of the review process. Owner accepts financial responsibility for all costs incurred as a result of this Application.
2. A construction schedule is required of all developers during the development process. The Planning and Zoning Board must approve your proposed construction schedule.
3. The Town requires payment of impact fees for floor area added during the development, re-development or renovation of a property. These impact fees will be used to pay for capital improvements relative to Fire Protection, Police Protection, Parks & Recreation and Public Buildings. Impact fees must be paid to the Town before a Certificate of Occupancy will be issued.
4. Roll-off dumpsters for construction/demolition debris and solid waste must be rented through the Town's contracted solid waste hauler, Waste Management.
5. Final as-built plans must be submitted to the Town in digital form, preferably in PDF format.

By signing below, I acknowledge that I have read and understand the five (5) items listed above.

Joseph Battaglia
Signature of Owner

3-13-2020
Date

Joseph Battaglia
Printed Name of Owner

STATE OF FLORIDA PALM BEACH COUNTY:

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization this 13 day of March 2020,

by Robert Colasurdo who is personally known to me or has produced _____ (type of identification) as identification.

Amanda Miller
(Name - type, stamp or print clearly)

[Signature]
(Signature)

NOTARY'S SEAL



AUTHORIZATION OF AGENT & ACKNOWLEDGEMENT OF FINANCIAL RESPONSIBILITY

Consent to an agent is required from the property owner(s) and contract purchaser, if applicable, if the property owner(s) or contract purchaser does not intend to attend all meetings and public hearings and submit in person all material pertaining to the Application. Consent to a firm shall be deemed consent for the entire firm, unless otherwise specified.

This form shall serve as consent for the agent identified below to prepare or have prepared all documents for the Application affecting property I (We) have an ownership interest in.

I (We) hereby designate and authorize the below-signed person to act as my (our) agent in regard to this Application and accept financial responsibility for any costs incurred by the agent as a result of this Application. Further, I (We) acknowledge that no permit will be issued before all fees associated with Application are paid.

Joseph Battaglia
Signature of Owner or Trustee

3/13/2020
Date

STATE OF FLORIDA PALM BEACH COUNTY:

The foregoing instrument was acknowledged before me by means of ☐ physical presence or ☐ online notarization this 13 day of March 2020.

by Robert Colasurdo who is personally known to me or has produced _____ (type of identification) as identification.

Amanda Miller
(Name - type, stamp or print clearly)

[Signature]
(Signature)

NOTARY'S SEAL



Agent Information:

Printed Name of Agent

Name of Firm

Signature of Agent

Date

PROCEDURES AND TIMELINES

All development applications required to be submitted to the Planning and Zoning Board for review (Site Plan Review, Site Plan Modification, Architectural and Aesthetic Review, Special Exceptions and Variances) will be subject to the following procedures:

1. Development Review Committee ("DRC") review is regularly scheduled for the first Wednesday of each month at 2:00 pm. In order to be placed on the DRC agenda, a complete application must be submitted to the Town Clerk by the close of business on Monday of the week prior to the regularly scheduled DRC meeting. **Incomplete applications and late submittals will not be placed on a DRC agenda.**
2. If, as a result of the initial DRC review, it is determined by the DRC that a subsequent DRC meeting is necessary, the complete revised application must be submitted to the Town Clerk by the close of business on Monday of the week prior to the regularly scheduled DRC meeting. **Applications that fail to include all revisions required by the DRC, or that are submitted late will not be placed on a DRC agenda until they have been corrected and are timely.**
3. If, as a result of the initial DRC review, it is determined by the DRC that the project can proceed to the Planning and Zoning Board, a complete Planning and Zoning Board application must be submitted to the Town Clerk including all revisions noted by the DRC. A sufficiency review will be performed by the Town to confirm that all comments provided by the DRC have been addressed and a complete revised application submitted. Once all DRC comments have been adequately addressed and a complete revised application submitted, the submittal will be placed on the agenda for the next available Planning and Zoning Board, subject to legal advertising requirements. Planning and Zoning Board review is regularly scheduled for the fourth Wednesday of each month. **Applications that fail to include all revisions required by the DRC or that are incomplete will not be placed on a Planning and Zoning Board agenda.**

APPLICATION FEE INFORMATION

Administrative Appeal	\$250.00
Site Plan Review	\$200.00
Site Plan Modification Review	\$200.00
Variance Request	\$ 250.00
Special Exception Request	\$ 250.00
Telecom Site Plan Review or Modification	\$ 500.00
Plat Approval Request	\$ 600.00
Comprehensive Plan Amendment	\$ 750.00
Zoning Text Amendment / Rezoning	\$ 750.00
Sufficiency Review	Zoning Official (rate per hour)

NUMBER OF COPIES REQUIRED

Development Review Committee

Ten (10) paper sets (folded & sorted into complete packet sets), including one (1) sealed original with original signatures and nine (9) copies, three (3) of which are sealed by a licensed engineer, architect and/or surveyor, and an electronic copy of all documents (on cd or thumb drive).

Planning and Zoning Board

Ten (10) paper sets (folded & sorted into complete packet sets), including one (1) sealed original with original signatures and nine (9) copies, three (3) of which are sealed by a licensed engineer, architect and/or surveyor, and an electronic copy of all documents (on cd or thumb drive).

Local Planning Agency

Ten (10) copies (folded & sorted into complete packet sets).

Town Commission

Ten (10) paper sets (folded & sorted into complete packet sets), including one (1) sealed original with original signatures and nine (9) copies, three (3) of which are sealed by a licensed engineer, architect and/or surveyor (as applicable), and an electronic copy of all documents (on cd or thumb drive).

Applicant acknowledges and understands that the fee for Site Plan Review, Architectural/aesthetic Review, Variance, Special Exception, Rezoning, etc. may not cover all review costs. A final statement of any outstanding costs (covering advertising costs, legal, architectural, and other consultants) will be sent to the Applicant upon completion of the review process.

Tabular data showing compliance with all lot coverage, floor area, building height, grade and landscaping requirements must be provided on all submitted plans (Town Code § 14-62).

PROJECT NAME: Joseph Battaglia

PROJECT ADDRESS: 230 Blossom Lane

PROJECT LEGAL DESCRIPTION: Palm Beach Shores, LT 284

*** All boxes must be completed, use N/A where appropriate ***

GENERAL DATA	CODE REQUIREMENT	EXISTING	PROPOSED
COMPREHENSIVE PLAN DESIGNATION: (SF-5, MF-21, MF-30, MF-42, P, ROS)	None		
LAND USE: (Residential, Commercial, Recreational, Marina, Public, etc.)	None	Residential	Same
ZONING DISTRICT: (A, B, C, D, P, ROS, designated at Pf. 3.1, Zoning Ordinance)	None		
FLOOD ZONE CATEGORY:	None		
LOT COVERAGE, LANDSCAPING & PARKING	CODE REQUIREMENT	EXISTING	PROPOSED
TOTAL LOT SIZE: (sq. ft.)	None	8,363 Sq. ft.	N/A
TOTAL COVERAGE OF A LOT BY BUILDINGS: (Pf. 5.4, 6.4, 7.5 or 8.5, Zoning Ordinance)		1,834 Sq. ft.	N/A
TOTAL LANDSCAPE COVERAGE: (Pf. 5.4.3, Zoning Ordinance)	20%	3,323 Sq. ft.	3,323 Sq. ft.
OFF-STREET PARKING: (Pf. 5.13, 6.12, 7.13 or 8.14, Zoning Ordinance)	N/A	N/A	N/A
SETBACKS	CODE REQUIREMENT	EXISTING	PROPOSED
FRONT YARD: (Pf. 5.5, 6.6, 7.7 or 8.7, Zoning Ordinance)	10 ft. utility 25 ft. Building	10 ft. utility 25 ft. Building	10 ft. utility 25 ft. Building
REAR YARD: (Pf. 5.6, 6.7, 7.9 or 8.9, Zoning Ordinance)	10 ft. by code	10 ft. by code	10 ft. by code
SIDE YARD: (Pf. 5.7, 6.8, 7.8 or 8.8, Zoning Ordinance)	7 ft. by code	7 ft. by code	7 ft. by code

FLOOR AREA	CODE REQUIREMENT	EXISTING	PROPOSED
FIRST FLOOR AREA (sq. ft.):	None	N/A	N/A
SECOND FLOOR AREA (sq. ft.): (Pf. 5.4.2, Zoning Ordinance)	N/A		
TOTAL FLOOR AREA (sq. ft.): (Pf. 2.23, Zoning Ordinance)	None		
FLOOR AREA RATIO: (Pf. 5.4.2, Zoning Ordinance)			
DWELLING UNIT DENSITY: (Pf. 6.5, 7.6 or 8.6, Zoning Ordinance)			
IMPERVIOUS AREA	NET INCREASE	EXISTING	PROPOSED
BUILDING FIRST FLOOR AREA (sq. ft.):	N/A	N/A	N/A
OTHER IMPERVIOUS AREA (sq. ft.): (Decks, Patios, Walkways, Driveways, Pool Deck & Pool Surface Areas)		2333 Sq.ft.	2,784 Sq.ft.
TOTAL IMPERVIOUS AREA (sq. ft.):		4167 Sq.ft.	4618 Sq.ft.
ELEVATIONS	CODE REQUIREMENT	EXISTING	PROPOSED
GRADE ELEVATION (NAVD): (Pf. 4.6, Zoning Code)	N/A	N/A	N/A
ESTABLISHED 1 ST FLOOR ELEVATION (NAVD): (Pf. 4.6, Zoning Code)	N/A	N/A	N/A
MEAN CROWN OF ROAD ELEVATION (NAVD):	None	N/A	N/A
BUILDING HEIGHT	CODE REQUIREMENT	EXISTING	PROPOSED
TOTAL BUILDING HEIGHT (NAVD): (Pf. 5.2, 6.2, 7.3 or 8.3, Zoning Ordinance)	N/A	N/A	N/A
TOP OF BEAM HEIGHT (NAVD): (Pf. 5.2, 6.2, 7.3 or 8.3, Zoning Ordinance)			
ROOF PITCH: (Pf. 5.2, 6.2 or 7.3, Zoning Ordinance)			
FLAT ROOF PERCENTAGE: (Pf. 5.2, Zoning Ordinance)			

JUSTIFICATION STATEMENT

Provide a summary of the proposed project, describing in detail the construction, phasing and proposed development to occur as part of this application (attach additional sheets if needed):

Driveway-taking out existing
concrete and putting in porcelain pavers
new landscaping, artificial turf + pergola all putting greens are
artificial turf.

Note: Construction Schedule is due as part of site plan review and before building permit issuance. (Town Code §14-63). A signed and notarized contract (signed by owner) must be provided before building permit issuance. (Town Code §14-108).

Provide an estimate of construction costs:

pergola has no roof

25,125

Describe the existing improvements located on the subject property (attach additional sheets if needed):

we are improving the property
by adding a porcelain driveway, all putting greens are
artificial turf.
new landscaping, artificial turf rear of property
+ a pergola

Provide a project history for the subject property, including any prior development approvals filed within the last year in connection with the subject property. Please include the date of previous site plan approval by the Planning and Zoning Board for this property (attach additional sheets if needed):

pergola has no roof.

N/A

Provide the justification, special reasons, or basis for the approval of this application. Explain why this application is consistent with good planning and zoning practice, will not be contrary to the Town's Comprehensive Development Plan, and will not be detrimental to the promotion of public appearance, comfort, convenience, general welfare, good order, health, morals, prosperity, and safety of the Town. Additionally, all standards set forth in the Town Code of Ordinances for Special Exceptions, Variances, Administrative Appeals, etc. must be addressed. (attach additional sheets if needed):

Improvement to property

N/A

Provide any other pertinent information related to the subject property to support the proposed request.

N/A

DRAINAGE REQUIREMENTS

(For projects proposing additional on-site impervious area)

For proposed renovations/modifications to existing projects that result in LESS THAN a 50% increase in total site imperviousness, retain 1" of stormwater volume from the total additional impervious area.

For proposed new construction, or renovations/modifications to existing projects that result in a GREATER THAN a 50% increase in total site imperviousness, retain 1" of stormwater volume over the entire site.

Submit a Survey with topographic elevations and existing improvements.

A Drainage and Grading Plan and drainage calculations are required to be submitted with the application package for new construction projects and substantial modifications to existing projects. The Drainage Plan must show the following:

- a. Existing and proposed elevations.
- b. Location of sodded swales, sodded depressed retention areas, underground exfiltration trench and/or other proposed stormwater treatment/retention methods.
- c. Underground piping and inlets and other drainage system improvements proposed.
- d. Drainage calculations showing the retention of the volume of 1" of stormwater from addition impervious areas (or overall site).
- e. Show drainage improvements and underground piping, including water and sewer services, on the Landscape Plans to show no conflicts exist.
- f. Include note that no runoff may be directed to adjacent properties and all storm flows and runoff must be retained on-site prior to discharge into the adjacent roadway right-of-way following retention of required stormwater volume.
- g. Provide engineering details of gutter and downspout dry wells, if proposed.
- h. Provide engineering detail of exfiltration trench, if proposed.
- i. Provide engineering detail of sodded swales, if proposed.
- j. Provide engineering detail of depressed dry retention areas, if proposed.
- k. Provide Geotechnical Report or engineering assumptions/justification for coefficient of permeability (K Factor) for exfiltration trench design, if proposed.
- l. Engineering details/cross sections at property lines demonstrating no runoff will flow to adjacent properties may be required.

Project Engineer or Architect shall be responsible for insuring the drainage improvements are completed in substantial accordance with the approved plan.

Prior to C.O., Project Engineer or Architect to provide final signed and sealed certification that the drainage improvements and grading have been completed in substantial accordance with the approved plan.

Upon receipt of final Certification from Project Engineer or Architect, Town Engineer to visit site and ensure conformance of Town requirements prior to issuance of final C.O.

REQUEST FOR ARCHITECTURAL AND AESTHETIC REVIEW

Please be advised that pursuant to Sec. 14-86 and 14-87 of the Town Code of Ordinances, the Town Planning and Zoning Board uses the following criteria in order to complete its Architectural and Aesthetic Review. Each criteria must be addressed by the applicant prior to the application being processed.

1. Relationship of building to site: (Explain transition from streetscape; placement of parking and service areas; and compatibility of building height and scale with site):

changing driveway from concrete to aesthetically pleasing porcelain pavers, adding a porcelain paver walkway & changing landscape design.

2. Relationship of building and site to adjoining area(s): (Explain how structures and landscaping are consistent with established neighborhood character and will enhance the surrounding area. Include description of architectural style, as well as textures, materials and colors to be utilized):

changing driveway from concrete to aesthetically pleasing pavers, adding a porcelain pavers walkway to street, replace overgrown & dead plants w/ new possibly adding a pergola to rear area & using artificial turf on rear of property to keep site looking green, but less maintenance

3. Landscape and site treatment: (Explain how landscaping, exterior lighting and other site elements will be used to enhance architectural features, buffer the mass of buildings as appropriate, and enhance the privacy of the owner and neighbors. Describe the use of native species and xeriscaping as appropriate.):

Existing concrete will be removed & replaced with porcelain pavers, new walkway & planter area will be installed with porcelain pavers, complete site landscaping to be done & landscape lighting will be installed to enhance property

4. Building design: (Explain proposed building design and style, and how components such as roofs, windows, doors, eaves and parapets are balanced in proportion to each other; address harmoniousness of colors, visual interest and compatibility):

N/A We are not building anything

Please provide all documentation and/or samples necessary to address all architectural review criteria as applicable. Attach additional pages as necessary.

* see pages attached on porcelain tile

REQUEST FOR SITE PLAN MODIFICATION

1. Previously approved (Original) site plan information:

- a. Original Project Name: 230 Blossom Lane
- b. Original Site Plan Application No.: SPR-18-1
- c. Original Site Plan Approval Date: 2-27-18
- d. List of all other relevant information on file with original application: Aesthetic Review 88 R-18-1
- _____
- _____

2. Requested Modification(s): _____
- _____
- _____
- _____
- _____

Please provide all documentation necessary to describe the proposed modification and to explain the reason(s) for the proposed modification(s), including a survey, if applicable. Attach additional pages as necessary.

REQUEST FOR VARIANCE

The Applicant is requesting a variance from the Town Code Section(s) _____ to permit the following:

N/A

Please be advised that a variance from the terms of the Zoning Code shall not be recommended by the Planning and Zoning Board, nor granted by the Town Commission, unless the Applicant is able to demonstrate the following:

1. Explain the special conditions and circumstances which exist that are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or building in the same zoning district:

N/A

2. Explain how the special conditions and circumstances that exist do not result from the actions of the Applicant:

N/A

3. Explain how the literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Code and would work unnecessary and undue hardship on the Applicant:

N/A

4. Explain how the variance requested is the minimum variance that will make possible a reasonable use of the land, building or structure:

N/A

5. Explain how the granting of the requested variance will not confer on the Applicant any special privilege that is denied by the Zoning Code to other lands, structures, or buildings in the same zoning district:

N/A

6. Explain how the grant of the requested variance will be in harmony with the general intent and purpose of the Zoning Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare:

N/A

The burden of meeting the standards as set forth above is upon the Applicant. Please provide all documentation necessary to prove your case, including a survey, if applicable. Attach additional pages as necessary.

REQUEST FOR SPECIAL EXCEPTION

The Applicant is requesting a special exception pursuant to Town Code Section(s) _____ to permit the following:

N/A

A Special Exception shall not be recommended by the Town Planning and Zoning Board, nor granted by the Town Commission, unless the Applicant is able to demonstrate the following:

1. Explain how all structures will be separated from adjacent and nearby uses by appropriate screening devices:

N/A

2. Explain whether or not excessive vehicular traffic will be generated on surrounding residential streets:

N/A

3. Explain whether or not a vehicular parking or traffic problem is created:

N/A

4. Explain where on the site appropriate drives, walkways and buffers will be installed:

N/A

5. Explain how the proposed use will make a substantial contribution to the neighborhood environment and will not infringe on the rights of properties in the vicinity:

N/A

6. Explain how the proposed use will not endanger, restrict or impair public safety:

N/A

The initial burden of meeting the standards as set forth above is upon the Applicant. Please provide all documentation necessary to prove your case, including a survey, if applicable. Attach additional pages as necessary.

230 Blossom Lane
Palm Beach Shores FL
33404

CFN 20190377318

OR BK 30955 PG 0273
RECORDED 10/15/2019 10:16:42
Palm Beach County, Florida
Sharon R. Bock, CLERK & COMPTROLLER
Pg 0273; (1pg)

PERMIT NUMBER: _____

NOTICE OF COMMENCEMENT

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. DESCRIPTION OF PROPERTY (Legal description of the property & street address, if available) TAX FOLIO NO.: 54-4342-27-04-000-2840
- SUBDIVISION Palm Beach Shores BLOCK _____ TRACT _____ LOT 284 BLDG _____ UNIT _____
- 230 Blossom Lane Town of Palm Beach Shores, FL 33404
2. GENERAL DESCRIPTION OF IMPROVEMENT:
pool resurface-new equipment-re-do existing deck and front driveway
3. OWNER INFORMATION OR LESSEE INFORMATION IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:
- a. Name and address: Joseph Battaglia
- b. Interest in property: Owner
- c. Name and address of fee simple titleholder (if different from Owner listed above): 230 Blossom Lane Palm Beach Shores 33404
4. a. CONTRACTOR'S NAME: Robert Colasurdo
- Contractor's address: 1408 N Killian Dr Ste 103, WPB, FL.333403 b. Phone number: 561-586-2815
5. SURETY (if applicable, a copy of the payment bond is attached):
- a. Name and address: _____
- b. Phone number: _____ c. Amount of bond: \$ _____
6. a. LENDER'S NAME: N/A
- Lender's address: _____ b. Phone number: _____
7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:
- a. Name and address: _____
- b. Phone numbers of designated persons: _____
8. a. In addition to himself or herself, Owner designates _____ of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.
- b. Phone number of person or entity designated by Owner: _____
9. Expiration date of notice of commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): _____, 20____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Joseph Battaglia
(Signature of Owner or Lessee, or Owner's or Lessee's
Authorized Officer/Director/Partner/Manager)

Joseph Battaglia
(Print Name and Provide Signatory's Title/Office)

State of New JerseyCounty of Bergen

The foregoing instrument was acknowledged before me this 07 day of October, 2019
by Ryan J Campanella, as Officer
(name of person) (type of authority, ...e.g. officer, trustee, attorney in fact)
for Joseph Battaglia
(name of party on behalf of whom instrument was executed)

Personally Known _____ or Produced Identification ☒ Type of Identification Produced License

Notary
RYAN J CAMPANELLA
Notary Public - State of New Jersey
My Commission Expires Mar 13, 2024

[Signature]
(Signature of Notary Public)
(Print, Type, or Stamp Commissioned Name of Notary Public)

Rev. 10-15-12



STATE OF FLORIDA • PALM BEACH COUNTY

I hereby certify that the foregoing is a true copy of the record in my office with redactions, if any as required by law.

THIS 15 DAY OF Oct, 2019
SHARON R. BOCK
CLERK & COMPTROLLER

By [Signature]
DEPUTY CLERK

AFTER RECORDING - RETURN TO:

230 Blossom Lane
Palm Beach Shores FL
33404

CFN 20190377318

OR BK 30955 PG 0273
RECORDED 10/15/2019 10:16:42
Palm Beach County, Florida
Sharon R. Bock, CLERK & COMPTROLLER
Pg 0273; (1pg)

PERMIT NUMBER: _____

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54-4342-27-04-000-
2840

SUBDIVISION Palm Beach Shores BLOCK _____ TRACT _____ LOT 284 BLDG _____ UNIT _____

230 Blossom Lane Town of Palm Beach Shores, FL 33404

2. GENERAL DESCRIPTION OF IMPROVEMENT:

pool resurface-new equipment-re-do existing deck and front driveway

3. OWNER INFORMATION OR LESSEE INFORMATION IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:

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b. Interest in property: Owner

c. Name and address of fee simple titleholder (if different from Owner listed above): 230 Blossom Lane Palm Beach Shores 33404

4. a. CONTRACTOR'S NAME: Robert Colasurdo

Contractor's address: 1408 N Killian Dr Ste 103, WPB, FL 333403 b. Phone number: 561-586-2815

5. SURETY (if applicable, a copy of the payment bond is attached):

a. Name and address: _____

b. Phone number: _____

c. Amount of bond: \$ _____

6. a. LENDER'S NAME: N/A

Lender's address: _____

b. Phone number: _____

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:

a. Name and address: _____

b. Phone numbers of designated persons: _____

8. a. In addition to himself or herself, Owner designates _____ of _____
to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.

b. Phone number of person or entity designated by Owner: _____

9. Expiration date of notice of commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): _____, 20____

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Joseph Battaglia
(Signature of Owner or Lessee, or Owner's or Lessee's
Authorized Officer/Director/Partner/Manager)

Joseph Battaglia
(Print Name and Provide Signatory's Title/Office)

State of New Jersey

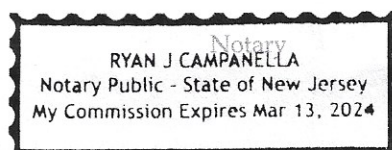
County of Bergen

The foregoing instrument was acknowledged before me this 07 day of October, 2019

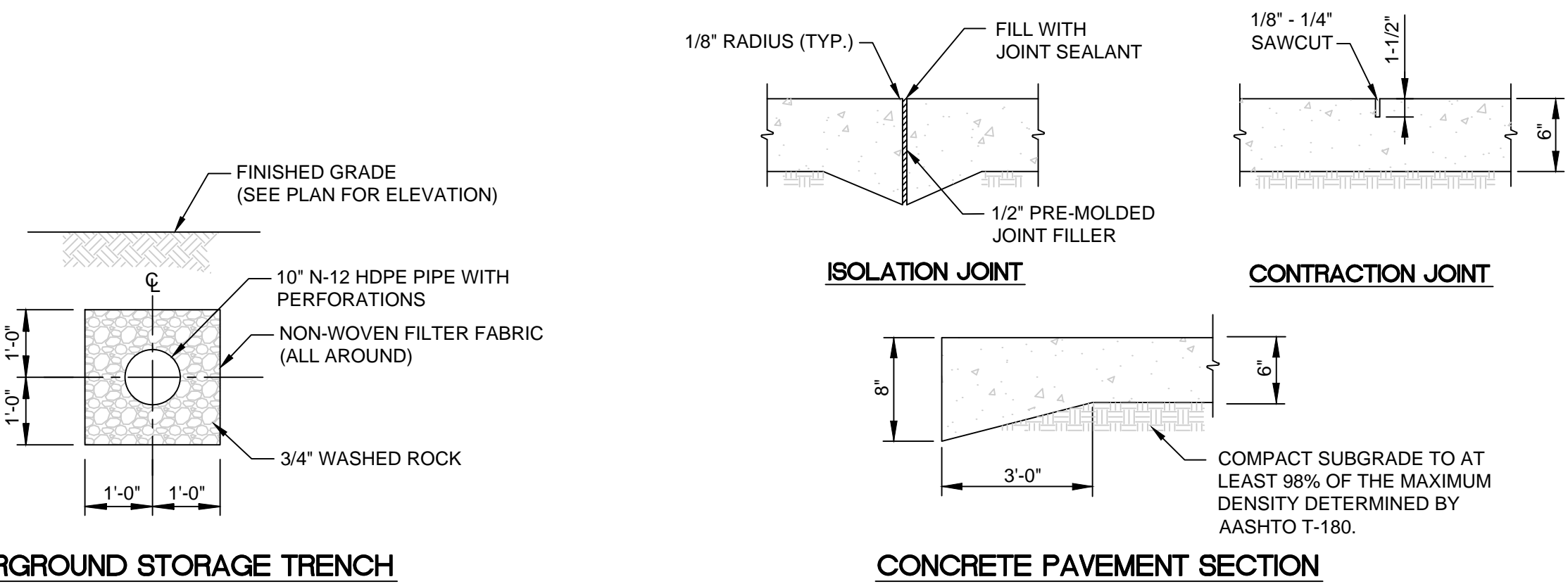
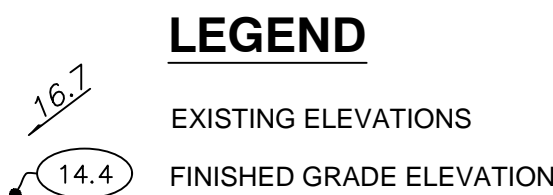
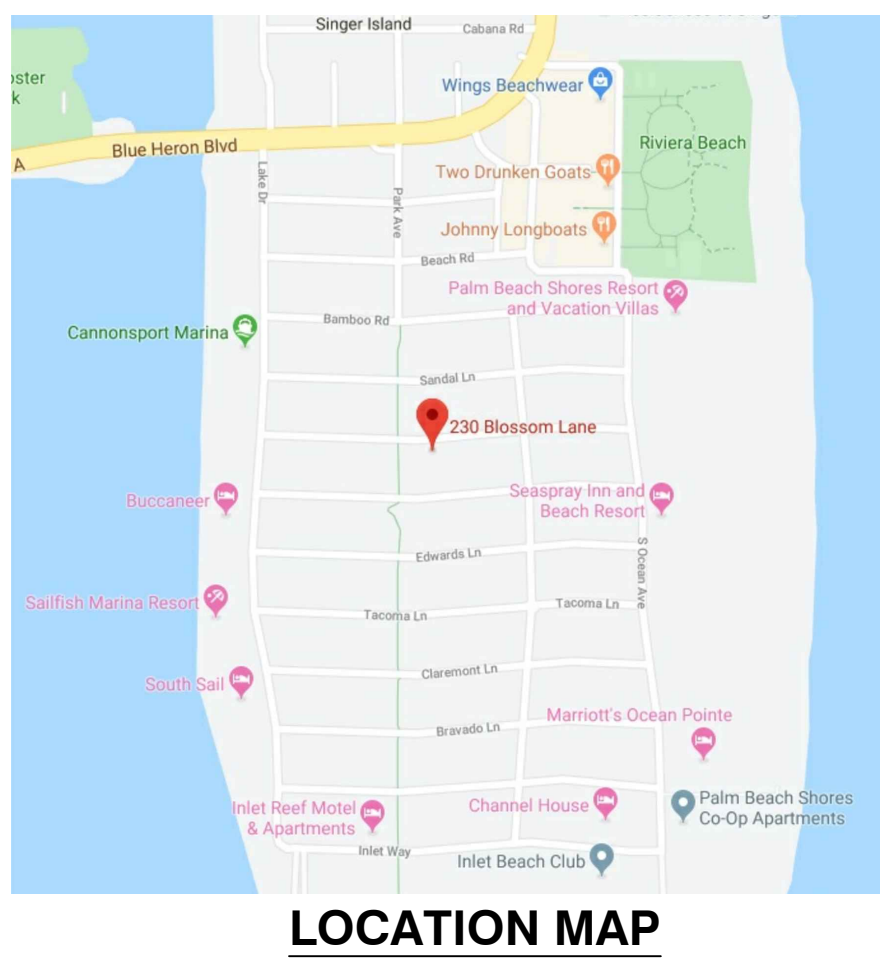
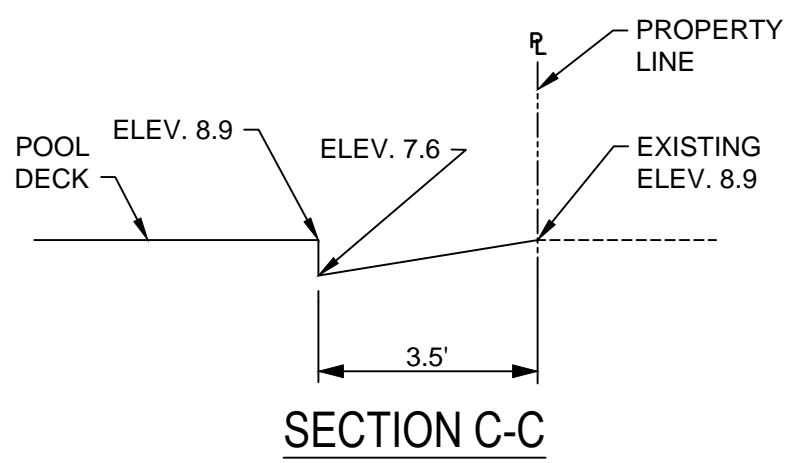
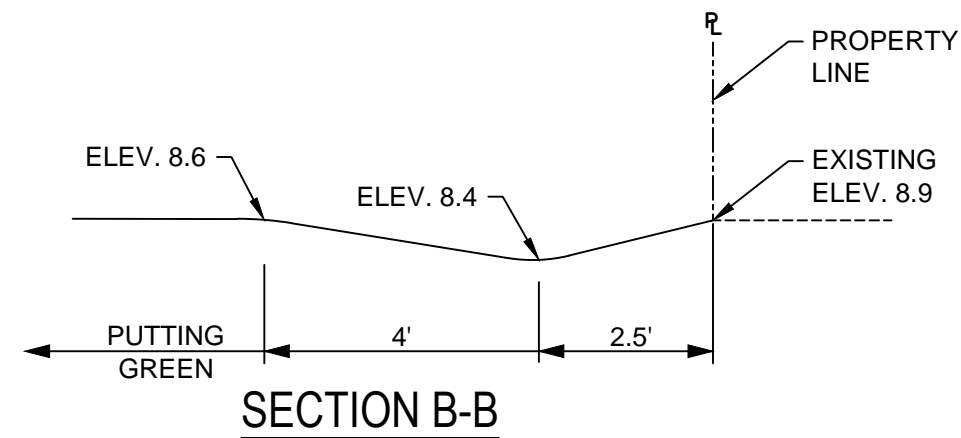
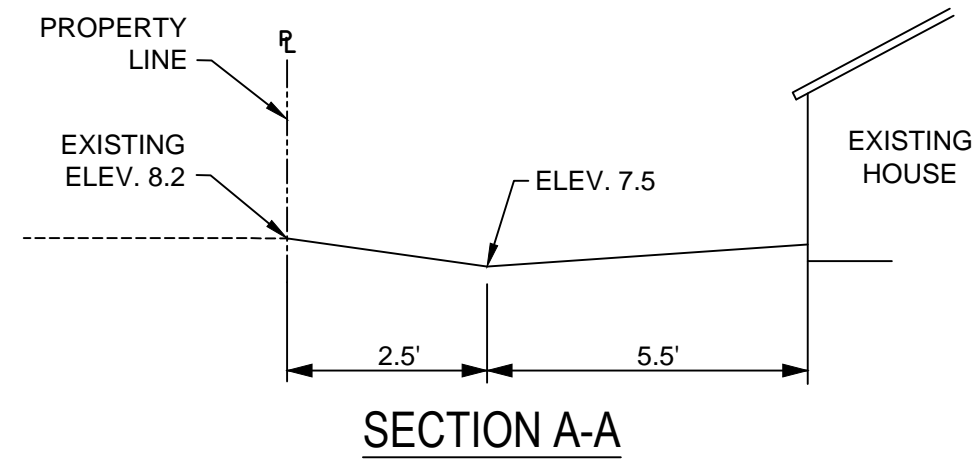
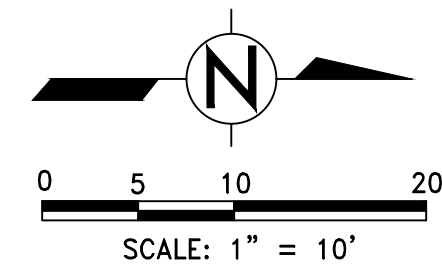
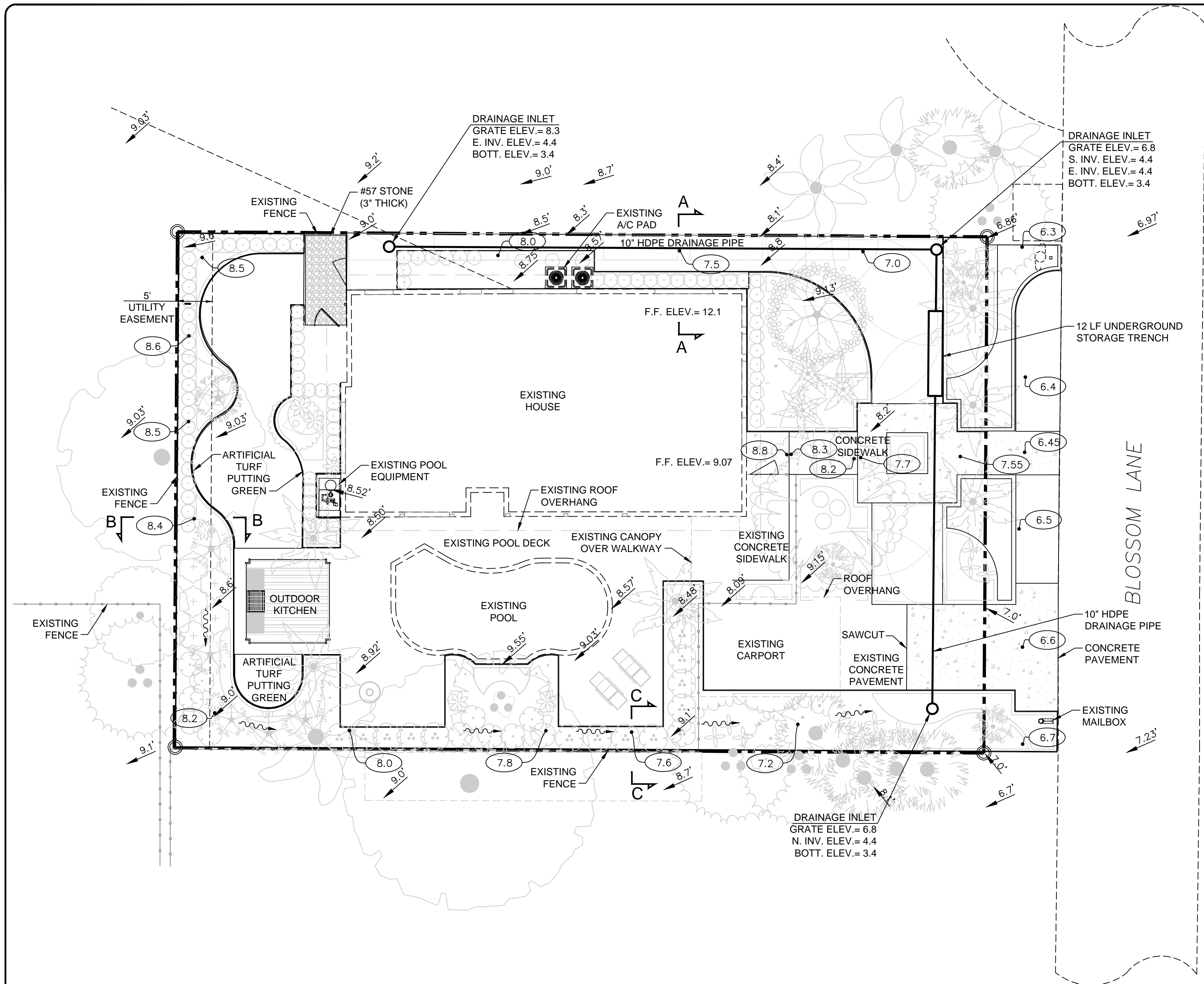
by Ryan J Campanella, as Officer
(name of person) (type of authority, ... e.g. officer, trustee, attorney in fact)

for Joseph Battaglia
(name of party on behalf of whom instrument was executed)

Personally Known _____ or Produced Identification ☒ Type of Identification Produced License



[Signature]
(Signature of Notary Public)
(Print, Type, or Stamp Commissioned Name of Notary Public)



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY MICHAEL R. HANSETER, PE USING A DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

GENERAL NOTES

- ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).
- TOPOGRAPHIC SURVEY PERFORMED BY PRINCIPAL MERIDIAN SURVEYING, INC., WEST PALM BEACH, FLORIDA, DATE 10/5/2019.
- DRAINAGE INLETS SHALL BE NYLOPLAST INLINE DRAINS AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC. GRATES SHALL BE 12 INCH LIGHT DUTY, DROP-IN.
- HDPE PIPE SHALL BE N-12 PIPE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS.
- NO RUNOFF MAY BE DIRECTED TO ADJACENT PROPERTIES AND ALL STORM FLOWS AND RUNOFF MUST BE RETAINED ONSITE PRIOR TO DISCHARGE TO THE ADJACENT ROADWAY RIGHT OF WAY FOLLOWING RETENTION OF REQUIRED STORMWATER VOLUME.

Always call 811 two full business days before you dig to have underground utilities located and marked.



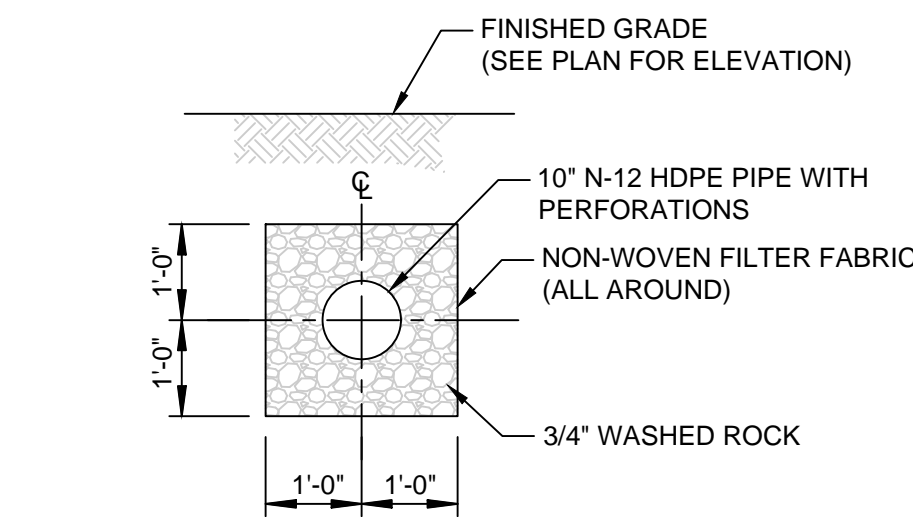
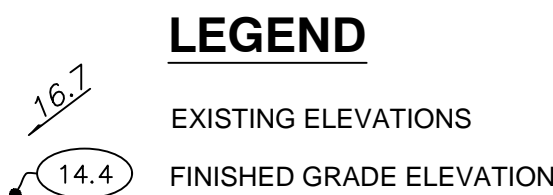
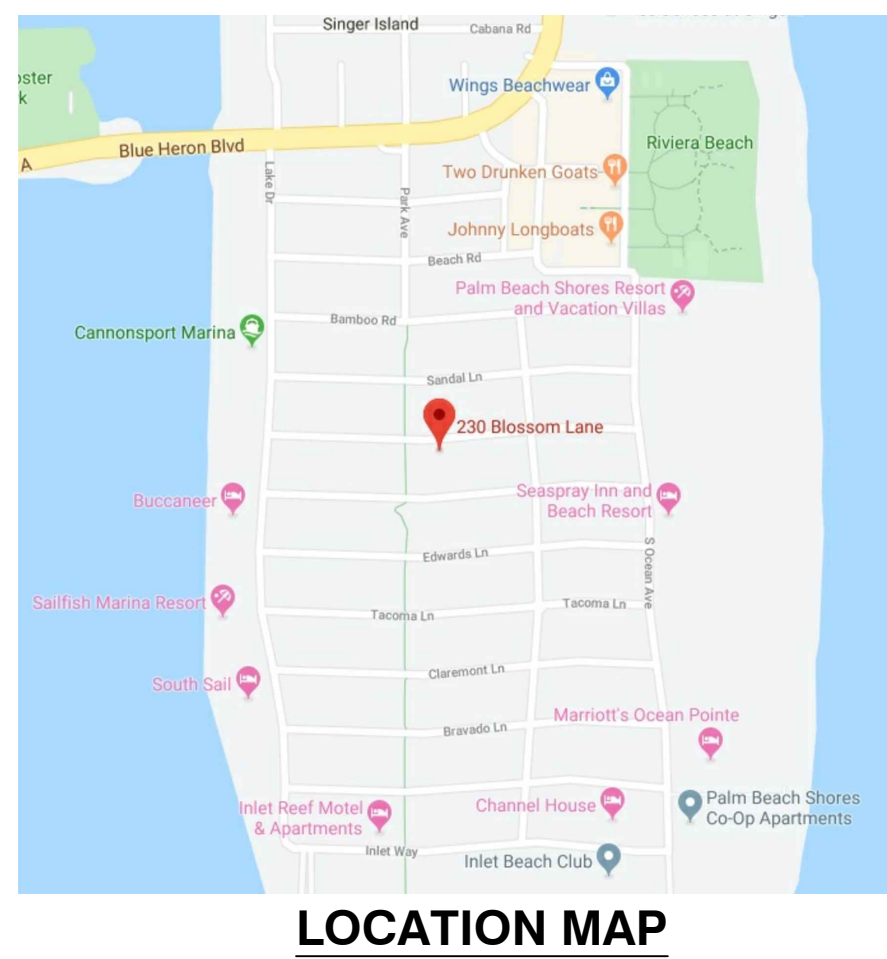
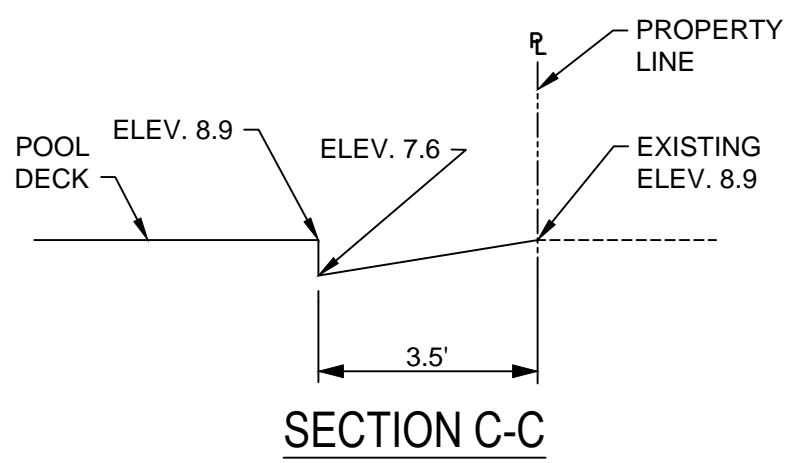
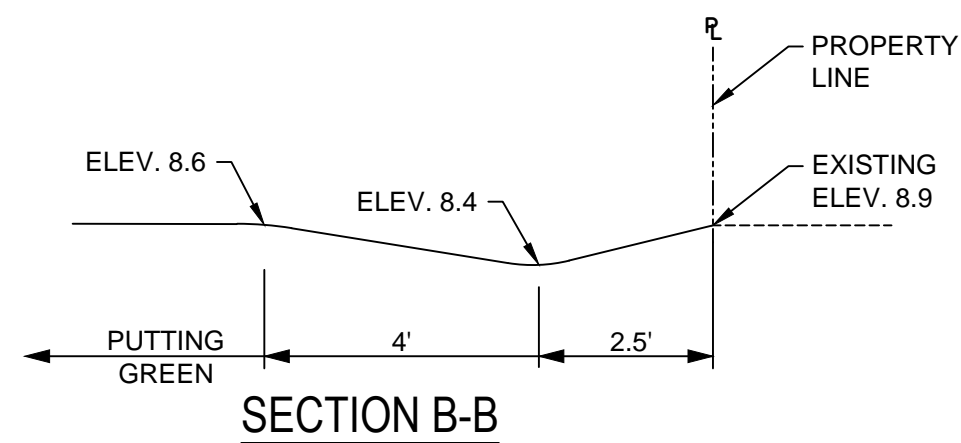
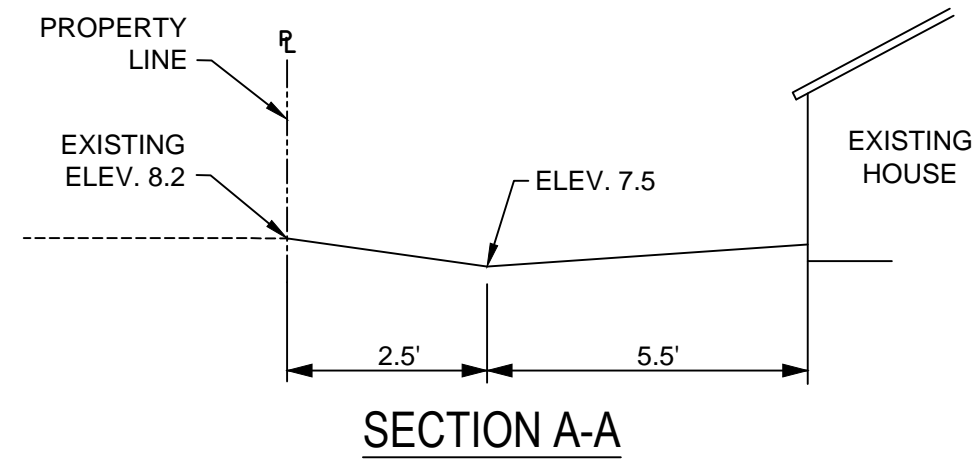
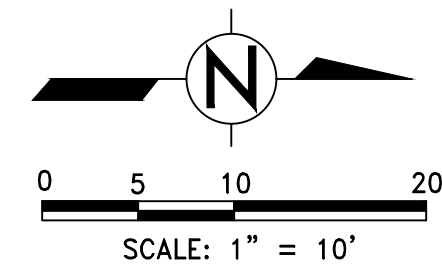
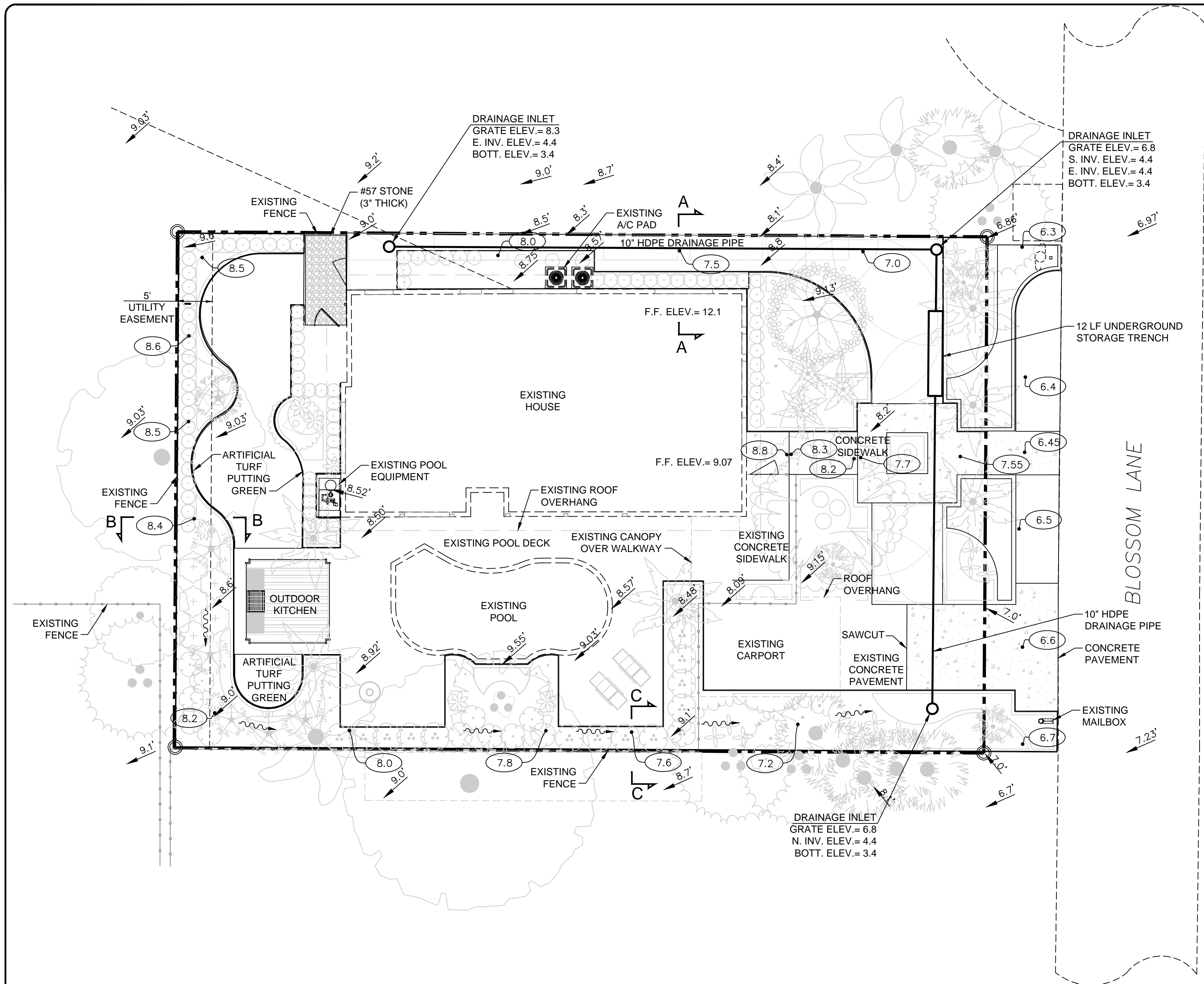
REVISIONS			
NO.	DATE	REVISIONS	BY
1	11/22/2019	ADDED SECTIONS AND NOTES	MRH
2	11/22/2019	REMOVED GENERATOR AND BED	MRH

STORMWATER ENGINEERING, INC.
Civil, Hydrologic & Hydraulic Engineers
1855 Indian Road, Suite 202, West Palm Beach, FL 33409
Ph: (561) 442-0025 • Fax: (561) 442-0109 • stormwaterengr@gmail.com

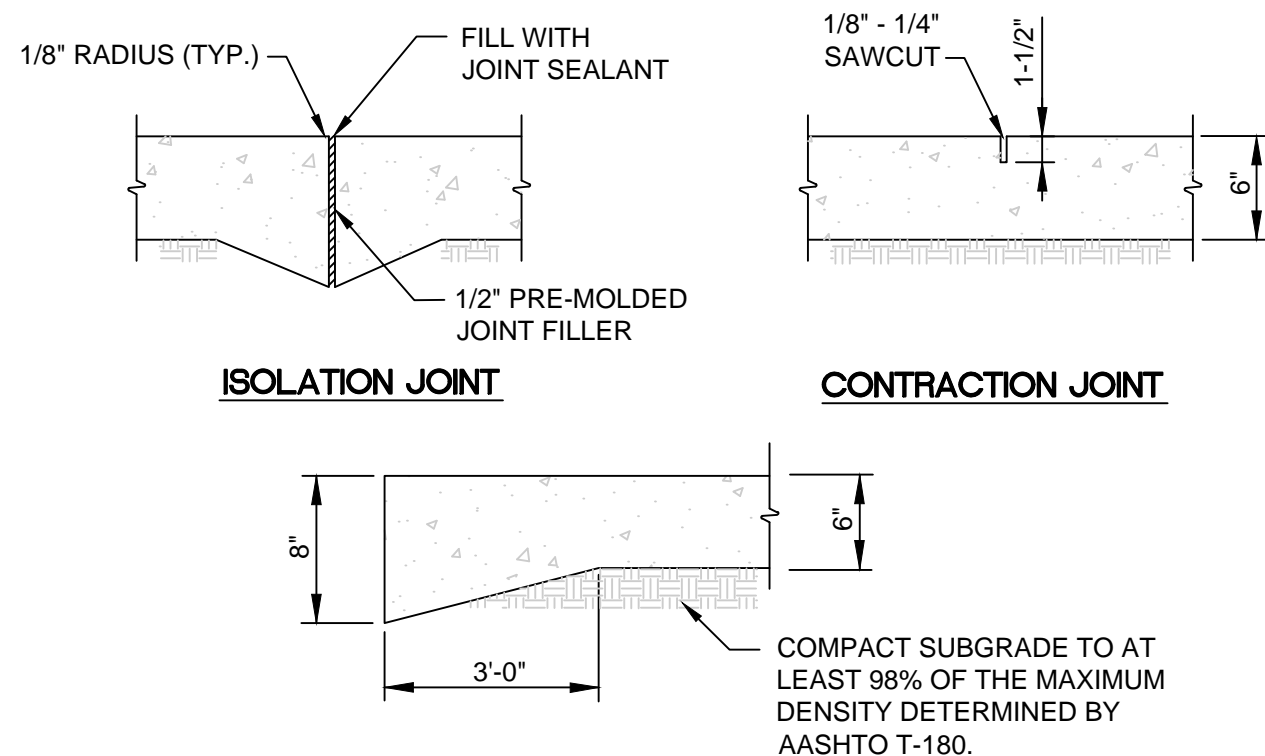
LOT GRADING PLAN
230 BLOSSOM LANE
PALM BEACH SHORES, FLORIDA

©COPYRIGHT 2019 By Stormwater Engineering, Inc.
This Drawing is Provided For Information Only and is Not to be Used for Construction Without the Written Approval of Stormwater Engineering, Inc.
By A Registered Professional Engineer Representing Stormwater Engineering, Inc.
C.A. 00009494
Michael R. Hansester, P.E.
License # 34254

DATE	11/22/2019	PL	MRH
DRAWN		CHECKED (1)	CHECKED (2)
1			
1			
JOB NO.	19089		



UNDERGROUND STORAGE TRENCH



CONCRETE PAVEMENT SECTION

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY MICHAEL R. HANSETER, PE USING A DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

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Always call 811 two full business days before you dig to have underground utilities located and marked.



REVISIONS			
NO.	DATE	REVISIONS	BY
1	11/22/2019	ADDED SECTIONS AND NOTES	MRH
2	11/22/2019	REMOVED GENERATOR AND BED	MRH

STORMWATER ENGINEERING, INC.
Civil, Hydrologic & Hydraulic Engineers
1855 Indian Road, Suite 202, West Palm Beach, FL 33409
Ph: (561) 424-0025 • Fax: (561) 424-0109 • stormwaterengr@gmail.com

LOT GRADING PLAN
230 BLOSSOM LANE
PALM BEACH SHORES, FLORIDA

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By A Registered Professional Engineer Representing Stormwater Engineering, Inc.
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Michael R. Hansester, P.E.
License # 34254

DATE	11/22/2019	DRAWN	PL	CHECKED (1)	CHECKED (2)	PROJECT MANAGER	MRH
1	1	1	1	1	1	1	1
JOB NO.	19089						

BOUNDARY SURVEY

**PROPERTY ADDRESS:**

230 BLOSSOM LANE
PALM BEACH SHORES, FLORIDA 33404

FLOOD ZONE: "X"

PANEL NO: 12099C 0393F
DATE: OCTOBER 5, 2017

CERTIFIED TO:

1. *BRENDA A. BATTAGLIA AND JOSEPH BATTAGLIA*

LEGAL DESCRIPTION:

LOT 284, PALM BEACH SHORES, ACCORDING TO THE MAP OR PLAT THEREOF AS
RECORDED IN PLAT BOOK 23, PAGE(S) 20 THROUGH 32, INCLUSIVE, OF THE PUBLIC
RECORDS OF PALM BEACH COUNTY, FLORIDA.

SURVEYORS' NOTES:

1. I HEREBY CERTIFY THIS SURVEY MEETS STANDARDS OF PRACTICE PURSUANT TO FLORIDA STATUTES.
2. THE SURVEY MAP AND REPORT AND THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
3. UNDERGROUND OR OBSCURED IMPROVEMENTS WERE NOT LOCATED.
4. DIMENSIONS ARE RECORD AND FIELD UNLESS OTHERWISE NOTED.
5. STATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
6. THIS FIRM'S CERTIFICATE OF AUTHORIZATION NUMBER IS LB 6788.
7. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
8. SURVEY SUBJECT TO RESERVATIONS, RESTRICTIONS, EASEMENTS AND RIGHTS-OF-WAY OF RECORD. (UNLESS A TITLE REVIEW, COMMITMENT REVIEW, OR OWNERSHIP AND ENCUMBRANCE REVIEW IS PRESENT ON THE FACE OF THIS DOCUMENT, THIS SURVEY HAS BEEN COMPLETED IN THE ABSENCE OF A TITLE INSURANCE POLICY).
9. LOCATION MAP IS GLEANED FROM ONLINE MAPPING SITES AND IS ONLY APPROXIMATE.
10. ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. (NAVD'88)


11-04-19
02-09-18
11-25-17
11-24-17
DATE

CD JH CD CD DRAFT

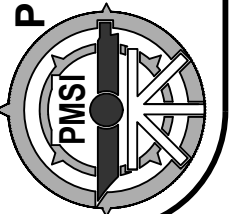
JH
FIELD

VERIFI BOUNDARY
REVISE ADDITION LENGTH
SITE PLAN
BOUNDARY SURVEY
PURPOSE

JOB#

SIGNED:  DOUG WALKER
PROFESSIONAL LAND SURVEYOR AND MAPPER
FLORIDA CERTIFICATE NO. 17211

**PRINCIPAL MERIDIAN
SURVEYING, Inc.**
LICENSED BUSINESS No. 8261





PROJECT NAME: Sailfish Marina Resort - Marginal Dock

Reviewed By: _____

Date: _____

Fee Paid: _____

Town Receipt No: _____

SUBMITTAL CHECKLIST

All submittals must include ten (10) paper sets (folded & sorted into complete packet sets) and an electronic copy (on cd or thumb drive) of the following:

- ☒ Completed **Development Application** (complete all fields, use N/A when not applicable).
 - ☒ Architectural & Aesthetic Review Request (pg. 11, all submittals)
 - ☐ Variance Request (pg. 13, if applicable)
 - ☐ Special Exception Request (pg. 14, if applicable)
- ☒ **Boundary Survey** (Dated to within 6 months of application submission). **Recorded Plat**
- ☒ **Signed and Sealed Schematics** depicting building on site, setbacks, grading, drainage and elevations, as well as the relationship of the site to the neighboring sites (e.g. Site Plan, Drainage and Grading Plan, Roof Plan, Landscape Plan, Elevations).
- ☒ **Tabular Data** showing compliance with all lot coverage, floor area, building height, grade and landscaping requirements.

SITE PLAN CHECKLIST

Please be sure to include the following on the Site Plan:

- ☐ Depict and label 10' Town Strip (front of property) and 5' utility easement (rear of property), and all other applicable easements.
- ☐ Depict and label all setbacks and Code required setback lines (front, rear, side, pool, etc.).
- ☐ Provide a tabular data table reflecting data from the tables on pgs. 7-8 of this development application.
- ☐ For renovations and/or additions, please shade proposed addition area(s) to differentiate from existing.
- ☐ Include all a/c equipment, pool equipment and emergency generators and label as proposed or existing.
- ☐ Ensure that beam height and top of roof are dimensioned on all elevation drawings submitted.
- ☐ Provide a construction schedule for the proposed project (including calendar dates).

LANDSCAPE PLAN CHECKLIST

Please be sure to include the following on the Landscape Plan:

- ☐ Depict and label the 10' Town Strip (front of property) and 5' utility easement (rear of property).
- ☐ Include and label both existing (to remain) and proposed landscaping on the subject property.
- ☐ Provide a species legend/key including the height of all landscaping to be provided at installation.
- ☐ Ensure that the requirements for 10' Town Strip and front yard trees are met.
- ☐ For multi-story construction, ensure that the requirements for privacy screening are met.
- ☐ Ensure screening is provided for all ground mounted mechanical equipment (e.g. a/c compressors, pool equipment, emergency generators).

NOTE: Checklists are not comprehensive. They are provided solely to remind Applicants to include items commonly omitted from plans submitted to the Town.



DEVELOPMENT APPLICATION
TOWN OF PALM BEACH SHORES
247 EDWARDS LANE
PALM BEACH SHORES, FL 33404
(561) 844-3457

OWNER/APPLICANT: Sailfish Marina Resort

PROJECT ADDRESS: 98 Lake Drive

APPLICATION NO.: SPM20-1/AAR20-1

SUBMITTAL DATE: January 24, 2020

Resub - March 10, 2020

TYPE OF APPROVAL(S) REQUESTED (Check box(es) ☒)

ADMINISTRATIVE APPEAL		SITE PLAN MODIFICATION (14-62)	X
ARCHITECTURAL AND AESTHETIC REVIEW (Pf. 14-86)	X	SITE PLAN REVIEW (14-62)	
COMPREHENSIVE PLAN AMENDMENT (Pf. 17.3(B))		SPECIAL EXCEPTION (Pf. 15.8)	
PLAT APPROVAL		VARIANCE (Pf. 15.4)	
REZONING (Pf. 17.3(B))		ZONING TEXT AMENDMENT (Pf. 17.3(B))	

	PROPERTY OWNER(S)	APPLICANT (If different than Owner(s))
NAME:	Great American Life Insurance Co.	
ADDRESS:	c/o 2 Alhambra Plaza, Suite 1280, Coral Gables, FL 33434	
PHONE:		
EMAIL:	MUething@GAIG.com	

	AGENT (If different than Owner(s))	CURRENT OCCUPANT (If different than Owner(s))
NAME:	Dodi Glas - 2GHO	
ADDRESS:	1907 Commerce Lane, Suite 101, Jupiter, FL 33458	
PHONE:	561-575-9557	
EMAIL:	dodi@2gho.com	

	PLANNER	DEVELOPER
NAME:	Dodi Glas - 2GHO	
ADDRESS:	1907 Commerce Lane, Suite 101, Jupiter, FL 33458	
PHONE:	561-575-9557	
EMAIL:	dodi@2gho.com	

	ARCHITECT	LANDSCAPE ARCHITECT
NAME:	NA	Dan Siemsen, 2GHO
ADDRESS:		1907 Commerce Lane, Suite 101, Jupiter, FL 33458
PHONE:		561-575-9557
EMAIL:		dan@2gho.com

	SURVEYOR	ATTORNEY
NAME:		Andrew Bauman
ADDRESS:		515 N. Flagler Drive, West Palm Beach, FL 33401
PHONE:		561-640-0820
EMAIL:		abaumann@llw-law.com

	ENGINEER (USE ADD'L SHEET FOR MULTIPLE ENGINEERS)	
NAME:	Jonathan Ricketts	Matt Butler, PE - Isiminger and Stubbs
ADDRESS:	3450 Northlake Blvd, Ste 200, PBG, FL 33403	649 US Highway 1, Suite 9, NPB, FL33408
PHONE:	561-630-6700	561-881-0003
EMAIL:	jricketts@jtrinc.com	mbutler@coastal-engineers.com

OWNER ACKNOWLEDGMENT & CERTIFICATION

I (We) affirm and certify that I (We) understand and will comply with all provisions and regulations of the Town of Palm Beach Shores, Florida. I (We) understand that if this Application is approved by the Town, the aforementioned real property described herein will be considered, in every respect, to be a part of the Town of Palm Beach Shores and will be subjected to all applicable laws, regulations, taxes and police powers of the Town including the Comprehensive Plan and Zoning Ordinance. I (We) further certify that all statements and diagrams submitted herewith are true and accurate to the best of my (our) knowledge and belief. Further, I (We) understand that this Application and attachments become part of the Official Records of the Town of Palm Beach Shores, Florida and are not returnable. I (We) acknowledge that no permit will be issued before all fees associated with Application are paid.

1. Owner acknowledges and understands that the fee for site plan review, architectural/aesthetic review, variance, special exception, rezoning, etc. **may not cover all review costs**. A final statement of any outstanding costs (covering advertising costs, legal, architectural and other consultant costs) will be sent to the applicant upon completion of the review process. Owner accepts financial responsibility for all costs incurred as a result of this Application.
2. A construction schedule is required of all developers during the development process. The Planning and Zoning Board must approve your proposed construction schedule.
3. The Town requires payment of impact fees for floor area added during the development, re-development or renovation of a property. These impact fees will be used to pay for capital improvements relative to Fire Protection, Police Protection, Parks & Recreation and Public Buildings. Impact fees must be paid to the Town before a Certificate of Occupancy will be issued.
4. Roll-off dumpsters for construction/demolition debris and solid waste must be rented through the Town's contracted solid waste hauler, Waste Management.
5. Final as-built plans must be submitted to the Town in digital form, preferably in PDF format.

By signing below, I acknowledge that I have read and understand the five (5) items listed above.

Signature of Owner

GREAT AMERICAN LIFE INSURANCE COMPANY
BY: MARK F. MUETHING, President

Printed Name of Owner

Date

March 9, 2020

OHIO
STATE OF FLORIDA
PALM BEACH COUNTY:
Hamilton

The foregoing instrument was acknowledged before me this 9th day of March 2020 by MARK F. MUETHING who is personally known to me ~~or has produced~~ (type of identification) as identification and who did did not take an oath (circle response).



MARK A. WEISS
Attorney at Law
Notary Public, State of Ohio
My Commission Has No Expiration
Date: Section 147.03, O.R.C.

(Signature)

NOTARY'S SEAL

AUTHORIZATION OF AGENT & ACKNOWLEDGEMENT OF FINANCIAL RESPONSIBILITY

Consent to an agent is required from the property owner(s) and contract purchaser, if applicable, if the property owner(s) or contract purchaser does not intend to attend all meetings and public hearings and submit it person all material pertaining to the Application. Consent to a firm shall be deemed consent for the entire firm, unless otherwise specified.

This form shall serve as consent for the agent identified below to prepare or have prepared all documents for the Application affecting property I (We) have an ownership interest in.

I (We) hereby designate and authorize the below-signed person to act as my (our) agent in regard to this Application and accept financial responsibility for any costs incurred by the agent as a result of this Application. Further, I (We) acknowledge that no permit will be issued before all fees associated with Application are paid.

GREAT AMERICAN LIFE INSURANCE COMPANY
BY: [Signature]
Signature of Owner or Trustee
MARK F. MUETHING, President

March 9, 2020
Date

OHIO
STATE OF ~~FLORIDA~~
PALM BEACH COUNTY:
HAMILTON

The foregoing instrument was acknowledged before me this 9th day of March 20 20 by MARK F. MUETHING who is personally known to me or ~~has produced~~ (type of identification) as identification and who ~~did~~ did not take an oath (circle response).



(Name, type, stamp or print clearly)
MARK A. WEISS
Attorney at Law
Notary Public, State of Ohio
My Commission Has No Expiration
Date. Section 147.03 O.R.C.

[Signature]

(Signature)

NOTARY'S SEAL

Agent Information:

Dodi Glas
Printed Name of Agent

[Signature]
Signature of Agent

2GHO

Name of Firm

3/9/2020

Date

PROCEDURES AND TIMELINES

All development applications required to be submitted to the Planning and Zoning Board for review (Site Plan Review, Site Plan Modification, Architectural and Aesthetic Review, Special Exceptions and Variances) will be subject to the following procedures:

1. Development Review Committee (“DRC”) review is regularly scheduled for the first Wednesday of each month at 2:00 pm. In order to be placed on the DRC agenda, a complete application must be submitted to the Town Clerk by the close of business on Monday of the week prior to the regularly scheduled DRC meeting. **Incomplete applications and late submittals will not be placed on a DRC agenda.**
2. If, as a result of the initial DRC review, it is determined by the DRC that a subsequent DRC meeting is necessary, the complete revised application must be submitted to the Town Clerk by the close of business on Monday of the week prior to the regularly scheduled DRC meeting. **Applications that fail to include all revisions required by the DRC, or that are submitted late will not be placed on a DRC agenda until they have been corrected and are timely.**
3. If, as a result of the initial DRC review, it is determined by the DRC that the project can proceed to the Planning and Zoning Board, a complete Planning and Zoning Board application must be submitted to the Town Clerk including all revisions noted by the DRC. A sufficiency review will be performed by the Town to confirm that all comments provided by the DRC have been addressed and a complete revised application submitted. Once all DRC comments have been adequately addressed and a complete revised application submitted, the submittal will be placed on the agenda for the next available Planning and Zoning Board, subject to legal advertising requirements. Planning and Zoning Board review is regularly scheduled for the fourth Wednesday of each month. **Applications that fail to include all revisions required by the DRC or that are incomplete will not be placed on a Planning and Zoning Board agenda.**

APPLICATION FEE INFORMATION

Administrative Appeal	\$250.00
Site Plan Review	\$200.00
Site Plan Modification Review	\$200.00
Variance Request	\$ 250.00
Special Exception Request	\$ 250.00
Telecom Site Plan Review or Modification	\$ 500.00
Plat Approval Request	\$ 600.00
Comprehensive Plan Amendment	\$ 750.00
Zoning Text Amendment / Rezoning	\$ 750.00
Sufficiency Review	Zoning Official (rate per hour)

NUMBER OF COPIES REQUIRED

Development Review Committee	Ten (10) paper sets (folded & sorted into complete packet sets), including one (1) sealed original with original signatures and nine (9) copies, three (3) of which are sealed by a licensed engineer, architect and/or surveyor, <u>and</u> an electronic copy of all documents (on cd or thumb drive).
Planning and Zoning Board	Ten (10) paper sets (folded & sorted into complete packet sets), including one (1) sealed original with original signatures and nine (9) copies, three (3) of which are sealed by a licensed engineer, architect and/or surveyor, <u>and</u> an electronic copy of all documents (on cd or thumb drive).
Local Planning Agency	Ten (10) copies (folded & sorted into complete packet sets).
Town Commission	Ten (10) paper sets (folded & sorted into complete packet sets), including one (1) sealed original with original signatures and nine (9) copies, three (3) of which are sealed by a licensed engineer, architect and/or surveyor (as applicable), <u>and</u> an electronic copy of all documents (on cd or thumb drive).

Applicant acknowledges and understands that the fee for Site Plan Review, Architectural/aesthetic Review, Variance, Special Exception, Rezoning, etc. *may not cover all review costs*. A final statement of any outstanding costs (covering advertising costs, legal, architectural, and other consultants) will be sent to the Applicant upon completion of the review process.

Tabular data showing compliance with all lot coverage, floor area, building height, grade and landscaping requirements must be provided on all submitted plans (Town Code § 14-62).

PROJECT NAME: Sailfish Marina Resort

PROJECT ADDRESS: 98 Lake Drive

PROJECT LEGAL DESCRIPTION: See Recorded Plat

***** All boxes must be completed, use N/A where appropriate *****

GENERAL DATA	CODE REQUIREMENT	EXISTING	PROPOSED
COMPREHENSIVE PLAN DESIGNATION: (SF-5, MF-21, MF-30, MF-42, P, ROS)	None	MF-30	No Change Proposed
LAND USE: (Residential, Commercial, Recreational, Marina, Public, etc.)	None	Marina/Commercial	No Change Proposed
ZONING DISTRICT: (A, B, C, D, P, ROS, designated at Pf. 3.1, Zoning Ordinance)	None	District C	No Change Proposed
FLOOD ZONE CATEGORY:	None	AE	NA
LOT COVERAGE, LANDSCAPING & PARKING	CODE REQUIREMENT	EXISTING	PROPOSED
TOTAL LOT SIZE: (sq. ft.)	None	220,680 sf	No Change Proposed
TOTAL COVERAGE OF A LOT BY BUILDINGS: (Pf. 5.4, 6.4, 7.5 or 8.5, Zoning Ordinance)	36%	28,088.73 sf, or 12%	NA
TOTAL LANDSCAPE COVERAGE: (Pf. 5.4.3, Zoning Ordinance)	20%	72,076.47 sf, or 33%	NA
OFF-STREET PARKING: (Pf. 5.13, 6.12, 7.13 or 8.14, Zoning Ordinance)	263 (7 HC)	269 (7 HC)	No change in parking
SETBACKS	CODE REQUIREMENT	EXISTING	PROPOSED
FRONT YARD: (Pf. 5.5, 6.6, 7.7 or 8.7, Zoning Ordinance)	min 25'	25'	NA
REAR YARD: (Pf. 5.6, 6.7, 7.9 or 8.9, Zoning Ordinance)	min 15'	18.33'	NA
SIDE YARD: (Pf. 5.7, 6.8, 7.8 or 8.8, Zoning Ordinance)	min 10'	26.6, 8.5'	NA

FLOOR AREA	CODE REQUIREMENT	EXISTING	PROPOSED
FIRST FLOOR AREA (sq. ft.):	None	NA	NA
SECOND FLOOR AREA (sq. ft.): (Pf. 5.4.2, Zoning Ordinance)	NA	NA	NA
TOTAL FLOOR AREA (sq. ft.): (Pf.2.23, Zoning Ordinance)	None	NA	NA
FLOOR AREA RATIO: (Pf. 5.4.2, Zoning Ordinance)	NA	NA	NA
DWELLING UNIT DENSITY: (Pf. 6.5, 7.6 or 8.6, Zoning Ordinance)	NA	NA	NA
IMPERVIOUS AREA	NET INCREASE	EXISTING	PROPOSED
BUILDING FIRST FLOOR AREA (sq. ft.):	NA	NA	NA
OTHER IMPERVIOUS AREA (sq. ft.): (Decks, Patios, Walkways, Driveways, Pool Deck & Pool Surface Areas)	NA	120,514.8 sq. ft.	no change proposed
TOTAL IMPERVIOUS AREA (sq. ft.):	NA	148,603.53 sq.ft	No changed proposed
ELEVATIONS	CODE REQUIREMENT	EXISTING	PROPOSED
GRADE ELEVATION (NAVD): (Pf. 4.6, Zoning Code)	NA	NA	NA
ESTABLISHED 1 ST FLOOR ELEVATION (NAVD): (Pf. 4.6, Zoning Code)	NA	NA	NA
MEAN CROWN OF ROAD ELEVATION (NAVD):	None	NA	NA
BUILDING HEIGHT	CODE REQUIREMENT	EXISTING	PROPOSED
TOTAL BUILDING HEIGHT (NAVD): (Pf. 5.2, 6.2, 7.3 or 8.3, Zoning Ordinance)	NA	NA	NA
TOP OF BEAM HEIGHT (NAVD): (Pf. 5.2, 6.2, 7.3 or 8.3, Zoning Ordinance)	NA	NA	NA
ROOF PITCH: (Pf. 5.2, 6.2 or 7.3, Zoning Ordinance)	NA	NA	NA
FLAT ROOF PERCENTAGE: (Pf. 5.2, Zoning Ordinance)	NA	NA	NA

JUSTIFICATION STATEMENT

Provide a summary of the proposed project, describing in detail the construction, phasing and proposed development to occur as part of this application (attach additional sheets if needed):

See attached Narrative

Note: Construction Schedule is due as part of site plan review and before building permit issuance. (Town Code §14-63). A signed and notarized contract (signed by owner) must be provided before building permit issuance. (Town Code §14-108).

Provide an estimate of construction costs:

Describe the existing improvements located on the subject property (attach additional sheets if needed):

See attached Narrative

Provide a project history for the subject property, including any prior development approvals filed within the last year in connection with the subject property. Please include the date of previous site plan approval by the Planning and Zoning Board for this property (attach additional sheets if needed):

See attached Narrative

Provide the justification, special reasons, or basis for the approval of this application. Explain why this application is consistent with good planning and zoning practice, will not be contrary to the Town's Comprehensive Development Plan, and will not be detrimental to the promotion of public appearance, comfort, convenience, general welfare, good order, health, morals, prosperity, and safety of the Town. Additionally, all standards set forth in the Town Code of Ordinances for Special Exceptions, Variances, Administrative Appeals, etc. must be addressed. (attach additional sheets if needed):

See attached Narrative

Provide any other pertinent information related to the subject property to support the proposed request.

See attached Narrative

DRAINAGE REQUIREMENTS

(For projects proposing additional on-site impervious area)

For proposed renovations/modifications to existing projects that result in LESS THAN a 50% increase in total site imperviousness, retain 1" of stormwater volume from the total additional impervious area.

For proposed new construction, or renovations/modifications to existing projects that result in a GREATER THAN a 50% increase in total site imperviousness, retain 1" of stormwater volume over the entire site.

Submit a Survey with topographic elevations and existing improvements.

A Drainage and Grading Plan and drainage calculations are required to be submitted with the application package for new construction projects and substantial modifications to existing projects. The Drainage Plan must show the following:

- a. Existing and proposed elevations.
- b. Location of sodded swales, sodded depressed retention areas, underground exfiltration trench and/or other proposed stormwater treatment/retention methods.
- c. Underground piping and inlets and other drainage system improvements proposed.
- d. Drainage calculations showing the retention of the volume of 1" of stormwater from addition impervious areas (or overall site).
- e. Show drainage improvements and underground piping, including water and sewer services, on the Landscape Plans to show no conflicts exist.
- f. Include note that no runoff may be directed to adjacent properties and all storm flows and runoff must be retained on-site prior to discharge into the adjacent roadway right-of-way following retention of required stormwater volume.
- g. Provide engineering details of gutter and downspout dry wells, if proposed.
- h. Provide engineering detail of exfiltration trench, if proposed.
- i. Provide engineering detail of sodded swales, if proposed.
- j. Provide engineering detail of depressed dry retention areas, if proposed.
- k. Provide Geotechnical Report or engineering assumptions/justification for coefficient of permeability (K Factor) for exfiltration trench design, if proposed.
- l. Engineering details/cross sections at property lines demonstrating no runoff will flow to adjacent properties may be required.

Project Engineer or Architect shall be responsible for insuring the drainage improvements are completed in substantial accordance with the approved plan.

Prior to C.O., Project Engineer or Architect to provide final signed and sealed certification that the drainage improvements and grading have been completed in substantial accordance with the approved plan.

Upon receipt of final Certification from Project Engineer or Architect, Town Engineer to visit site and ensure conformance of Town requirements prior to issuance of final C.O.

REQUEST FOR ARCHITECTURAL AND AESTHETIC REVIEW

Please be advised that pursuant to Sec. 14-86 and 14-87 of the Town Code of Ordinances, the Town Planning and Zoning Board uses the following criteria in order to complete its Architectural and Aesthetic Review. Each criteria must be addressed by the applicant prior to the application being processed.

1. Relationship of building to site: (Explain transition from streetscape; placement of parking and service areas; and compatibility of building height and scale with site):

The proposed modification is only for the placement of a marginal dock facilities. No upland improvements are proposed

with this application, and the proposed docks will be consistent in character with the existing dock facilities.

2. Relationship of building and site to adjoining area(s): (Explain how structures and landscaping are consistent with established neighborhood character and will enhance the surrounding area. Include description of architectural style, as well as textures, materials and colors to be utilized):

As stated, the application requests is for a marginal dock. This improvement will not have any adverse impacts to the surrounding

properties, and will remain consistent with the aesthetic character maintained at Sailfish Marina.

3. Landscape and site treatment: (Explain how landscaping, exterior lighting and other site elements will be used to enhance architectural features, buffer the mass of buildings as appropriate, and enhance the privacy of the owner and neighbors. Describe the use of native species and xeriscaping as appropriate.):

As there are no upland improvements with this application, no landscape treatments proposed with this application.

Additional design elements for the docking facilities will be provided for on the construction drawings.

4. Building design: (Explain proposed building design and style, and how components such as roofs, windows, doors, eaves and parapets are balanced in proportion to each other; address harmoniousness of colors, visual interest and compatibility):

There is no structure proposed with this application. Aesthetically, the marginal dock will be harmonious with the other site

elements.

Please provide all documentation and/or samples necessary to address all architectural review criteria as applicable. Attach additional pages as necessary.

REQUEST FOR SITE PLAN MODIFICATION

1. Previously approved (Original) site plan information:

- a. Original Project Name: Sailfish Marina Resort
- b. Original Site Plan Application No.: _____
- c. Original Site Plan Approval Date: 1985/ In Operation since 1977
- d. List of all other relevant information on file with original application: _____

2. Requested Modification(s): Placement of a transitory marginal dock facility

Please provide all documentation necessary to describe the proposed modification and to explain the reason(s) for the proposed modification(s), including a survey, if applicable. Attach additional pages as necessary.

REQUEST FOR VARIANCE

The Applicant is requesting a variance from the Town Code Section(s) NA to permit the following:

Please be advised that a variance from the terms of the Zoning Code shall not be recommended by the Planning and Zoning Board, nor granted by the Town Commission, unless the Applicant is able to demonstrate the following:

1. Explain the special conditions and circumstances which exist that are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or building in the same zoning district:

2. Explain how the special conditions and circumstances that exist do not result from the actions of the Applicant:

3. Explain how the literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Code and would work unnecessary and undue hardship on the Applicant:

4. Explain how the variance requested is the minimum variance that will make possible a reasonable use of the land, building or structure:

5. Explain how the granting of the requested variance will not confer on the Applicant any special privilege that is denied by the Zoning Code to other lands, structures, or buildings in the same zoning district:

6. Explain how the grant of the requested variance will be in harmony with the general intent and purpose of the Zoning Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare:

The burden of meeting the standards as set forth above is upon the Applicant. Please provide all documentation necessary to prove your case, including a survey, if applicable. Attach additional pages as necessary.

REQUEST FOR SPECIAL EXCEPTION

The Applicant is requesting a special exception pursuant to Town Code Section(s) NA to permit the following:

A Special Exception shall not be recommended by the Town Planning and Zoning Board, nor granted by the Town Commission, unless the Applicant is able to demonstrate the following:

1. Explain how all structures will be separated from adjacent and nearby uses by appropriate screening devices:

2. Explain whether or not excessive vehicular traffic will be generated on surrounding residential streets:

3. Explain whether or not a vehicular parking or traffic problem is created:

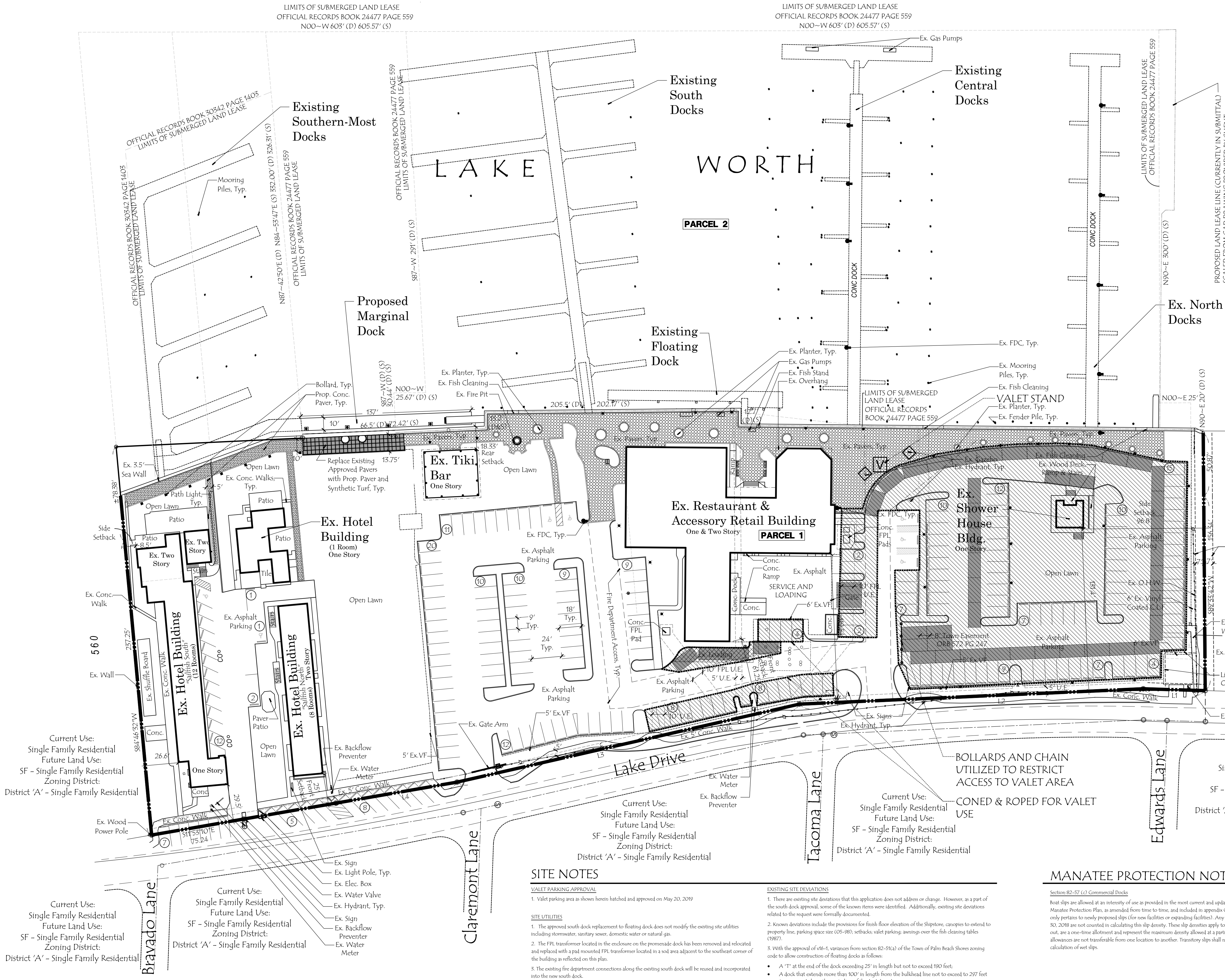
4. Explain where on the site appropriate drives, walkways and buffers will be installed:

5. Explain how the proposed use will make a substantial contribution to the neighborhood environment and will not infringe on the rights of properties in the vicinity:

6. Explain how the proposed use will not endanger, restrict or impair public safety:

The initial burden of meeting the standards as set forth above is upon the Applicant. Please provide all documentation necessary to prove your case, including a survey, if applicable. Attach additional pages as necessary.

FILE: P:\SAILFISH MARINA 16-1004\DRAWING FILES\CURRENT\260 SAILFISH MASTER PLAN 12 BEAVALL PAVERS & MARGINAL_13_FINAL.DWG
PLOTTED: 3/4/20 AT 5:09 PM BY: DREYSEN
REF: SW SITE PLAN BASE ADWG SW TB BASE ADWG SW TIKI BASE ADWG FL GP-24X36 TITLE BLOCKING KTO-EV EQUIPPING SEM SURVEY DVG



SITE DATA

COMP PLAN LAND USE:	MF-30 MULTI FAMILY
ZONING:	C MULTI FAMILY HIGH DENSITY
EXISTING USE:	MARINA WITH PRIVATE & PUBLIC DOCKS, FUELING, SHIPSTORE, RESTAURANT, TIKI BAR & MOTEL
TOTAL SITE AREA:	5.06 AC. (220,680 SF.)

USE DATA

USE	QUANTITY
Wet Boat Slips Total	106
Incl. Transitory Slips	7
Incl. Charter Wet Slips	20
Restaurant	
inside dining	157 seats
outside dining	48 seats
bar	57 seats
total restaurant	242 seats
Retail	3,629 sf
Tiki Bar	28 seats
Motel	21 rooms

PARKING SUMMARY

USE	CURRENT CODE REQUIREMENT	SPACES REQUIRED	SPACES PROVIDED
Wet Boat Slips = 79 (Incl. 7 transitory - 2 Taxi, 5FM Staff)	0.75 spaces per slip N/A	59 0	59 0
charter boats = 20 SLIPS	1.5 spaces per slip 4 passengers (2 sp./boat or 40 sp.) @ 6 passengers (based on 6 pack license of boats for charter)	70	70
restaurant	1 space per 3 seats		
inside dining (157 seats)			
outside dining (48 seats)			
bar (57 seats)			
total restaurant (242 seats)		81	81
retail (3,629 sf)	1 space per 200 sf	18	18
tiki bar (28 seats)	1 space per 3 seats	9	9
motel (21 rooms)	1.25 spaces per room	26	26
SELF PARK SPACES		-	120 (7 HC)
VALET AREA SPACES		-	149
GRAND TOTAL:		265 (7 HC)	269 (7 HC)
loading		3 spaces	3 spaces

LOT AREA DATA

TOTAL LOT AREA	220,680 sf	
landscaped open space	72,076.47 sf	33%
vehicular use areas	91,785.07 sf	42%
paver block areas	18,983.20 sf	9%
building coverage	28,088.75 sf	12%
concrete walkways	9,746.55 sf	4%
TOTAL LOT COVERAGE	220,680 sf	100%

SITE SETBACKS

SIDE	REQUIRED	
front	25' min.	25'
side	10' min.	26.6', 8.5'
rear	15' min.	18.33'

Current Use:
Buccaneer Condominium
Future Land Use:
MF-30, Multi-Family
Zoning District:
District 'C' - Multi-Family Residential

L1	S01°41'02"W	49.79'
L2	S02°33'08"E	276.97'
L3	S12°50'28"E	282.32'
L4	S09°49'28"E	249.41'

Current Use:
Single Family Residential
Future Land Use:
SF - Single Family Residential
Zoning District:
District 'A' - Single Family Residential

VALET SYMBOL LEGEND

- VALET STAND
- TYPICAL 10' X 20' VALET PARKING SPACE (47 SPACES SHOWN)
- VALET PARKING AREA: 102 (STALLS) & 47 (DOUBLE PARKED) = 149 TOTAL
- BOLLARDS AND CHAIN UTILIZED TO RESTRICT ACCESS TO VALET AREA

SITE NOTES

VALET PARKING APPROVAL

1. Valet parking area as shown herein hatched and approved on May 20, 2019

SITE UTILITIES

- The approved south dock replacement to floating dock does not modify the existing site utilities including stormwater, sanitary sewer, domestic water or natural gas.
- The FPL transformer located in the enclosure on the promenade dock has been removed and relocated and replaced with a pad mounted FPL transformer located in a sod area adjacent to the southeast corner of the building as reflected on this plan.
- The existing fire department connections along the existing south dock will be reused and incorporated into the new south dock.

EXISTING SITE DEVIATIONS

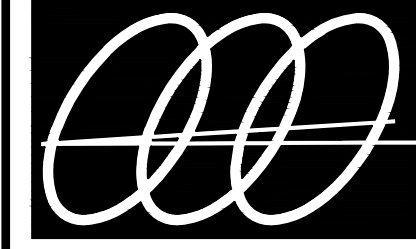
- There are existing site deviations that this application does not address or change. However, as a part of the south dock approval, some of the known items were identified. Additionally, existing site deviations related to the request were formally documented.
- Known deviations include the provisions for finish floor elevation of the shipstore, canopies to extend to property line, parking space size (05-98), setbacks, valet parking, winings over the fish cleaning tables (1987).
- With the approval of 46-1, variances from section 82-51(a) of the Town of Palm Beach Shores zoning code to allow construction of floating docks as follows:
 - A "T" at the end of the dock exceeding 25' in length but not to exceed 190 feet
 - A dock that extends more than 100' in length from the bulkhead line not to exceed to 297 feet (as measured along the centerline of the dock); and
 - Location of docks on multiple lots joined by unity of title covenant or by the construction of a building on more than one lot shall to be spaced and centered collectively within the boundary of the overall parcel.

MANATEE PROTECTION NOTES

Section 82-57 (c) Commercial Docks

Boat slips are allowed at an intensity of use as provided in the most current and updated Palm Beach County Manatee Protection Plan, as amended from time to time, and included in appendix C. Slip intensity of use only pertain to newly proposed slips (for new facilities or expanding facilities). Any existing slips as of July 30, 2018 are not counted in calculating this slip density. These slip densities apply to a project at final build out, are a one-time allotment and represent the maximum density allowed at a particular location. Slip allowances are not transferable from one location to another. Transitory slips shall not be included in the calculation of wet slips.

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Gentile Glas Holloway O'Mahoney & Associates, Inc.
Landscape Architects
Planners and Environmental Consultants

1907 Commerce Lane
Suite 101
Jupiter, Florida 33458
561-575-9551
561-575-5260 FAX
www.2GHO.com

Site Plan Sailfish Marina Resort Palm Beach Shores, Florida

Designed: DSS
Drawn: DSS
Approved: GGS/COM/MTM
Date: 3-20-19
Job no. 16-1004
Revisions: 4-22-19
5-2-19
6-12-19
South Pavers @ Sailfish 11-21-19
2-24-20

Seal

LC 0000117
Sheet Title:

Site Plan

Scale: 1" = 40'-0"

Sheet No.

SP-1

16-1004



FLORIDA DEPARTMENT OF Environmental Protection

Southeast District Office
3301 Gun Club Road, MSC 7210-1
West Palm Beach, FL 33406
561-681-6600

Ron DeSantis
Governor

Jeanette Nuñez
Lt. Governor

Noah Valenstein
Secretary

Project Name: Sailfish Marina (Great American Life Insurance Co.)

Permittee/Authorized Entity:

Great American Life Insurance Company
c/o Mark Muething, President
2 Alhambra Plaza, Suite 1280
Miami, FL 33134
Email: mmuething@caig.com

Authorized Agent:

Isiminger & Stubbs Engineering, Inc.
c/o Matt Butler, Associate
Email: mbutler@coastal-engineers.com

Environmental Resource Permit - Granted

State-owned Submerged Lands Authorization – Pending

**U.S. Army Corps of Engineers Authorization – Separate Corps Authorization
Required**

Permit No.: 50-0126380-006-EI
Lease File No.: 500729109

Permit Issuance Date: November 22, 2019

Permit Construction Phase Expiration Date: November 21, 2024

Consolidated Environmental Resource Permit and State-owned Submerged Lands Authorization

Permit No.: 50-0126380-006-EI

PROJECT LOCATION

The activities authorized by this Permit and state-owned submerged lands authorization are located within Lake Worth Lagoon, Class III Waters, adjacent to 82, 90 & 98 Lake Drive, Palm Beach Shore (Section 27 & 34, Township 42 South, Range 43 East), in Palm Beach County (Latitude N 26° 46' 35.67", Longitude W 80° 02' 23.45").

PROJECT DESCRIPTION

This permit authorizes the installation of a 10 ft. by 137 ft. (1,370 sq. ft.) marginal dock, with a 30 ft. by 6 ft. gangway (with 58 sq. ft. over water), for a total of 1,428 sq. ft. over water to accommodate mooring of four (4) vessels within an existing commercial marina. The permit also authorizes the dredging of an approximately 1,700 sq. ft. area to no more than 3 ft. below mean low water, removing 125 yd³ of material, and the dredging of an approximately 3,960 sq. ft. area to no more than 5 ft. below mean low water, removing 300 yd³ of material per the attached project plans. Remnant portions of the damaged docks will be removed, and riprap within the project footprint will be removed and replaced. The total number of boat slips at the facility will be 73 slips.

This permit authorizes 5,720 ft² (0.13 acres) of impacts to surface waters. Submerged Resources are not located within the project boundaries; therefore, there will be no adverse impacts to resources. Mitigation is not required.

The dredge material shall be mechanically excavated and placed directly in a self-contained barge with a fully loaded draft of no more than 3 feet. The barge shall operate within waters of sufficient depth to preclude bottom scouring and prop dredging. All construction equipment/tools and materials shall be transported to and from the site via barge and upland roadways and all equipment/tools and materials shall be stored on the barge.

The attached standard manatee conditions (version 2011) shall be adhered to during all in-water work. Prior to construction commencement, weighted floating turbidity curtains, extending to within one-foot from the submerged bottom shall be utilized around the project area to ensure that any turbidity resulting from construction activities will be contained within the project boundaries. All water bodies, including any adjacent submerged aquatic vegetation outside the specific limits of construction authorized by this permit shall be protected from erosion, siltation, sedimentation, and/or scouring.

AUTHORIZATIONS

Environmental Resource Permit

The Department has determined that the activity qualifies for an Environmental Resource Permit. Therefore, the Environmental Resource Permit is hereby granted, pursuant to Part IV of Chapter 373, Florida Statutes (F.S.), and Chapter 62-330, Florida Administrative Code (F.A.C.).

Sovereignty Submerged Lands Authorization

The activity is located on sovereignty submerged lands owned by the State of Florida. It therefore also requires authorization from the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees), pursuant to Article X, Section 11 of the Florida Constitution, and Section 253.77, F.S.

As staff to the Board of Trustees under Sections 253.002, F.S., the Department has determined that the activity qualifies for and requires a modification of the existing Sovereignty Submerged Lands Lease No. 500729109, as long as the work performed is located within the boundaries as described and is consistent with the terms and conditions herein.

The final documents required to execute the lease modification will be sent to the permittee by the Department's Division of State Lands for execution. The Department intends to issue the lease modification, upon satisfactory execution of those documents, including payment of required fees and compliance with the conditions in the attached permit. **You may not begin construction of the activities described until you receive a copy of the executed lease modification from the Department.**

Federal Authorization

Your proposed activity as outlined on your application and attached drawings **does not qualify** for Federal authorization pursuant to the State Programmatic General Permit and a **SEPARATE permit** or authorization **shall be required** from the Corps. You must apply separately to the Corps using their APPLICATION FOR DEPARTMENT OF THE ARMY PERMIT, ENG FORM 4345, or alternative as allowed by their regulations. More information on Corps permitting may be found online in the Jacksonville District Regulatory Division Source Book at: <https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book>.

Authority for review - an agreement with the USACOE entitled "Coordination Agreement Between the U. S. Army Corps of Engineers (Jacksonville District) and the Florida Department of Environmental Protection (or Duly Authorized Designee), State Programmatic General Permit", Section 10 of the Rivers and Harbor Act of 1899, and Section 404 of the Clean Water Act.

Coastal Zone Management

Issuance of this authorization also constitutes a finding of consistency with Florida's Coastal Zone Management Program, as required by Section 307 of the Coastal Zone Management Act.

Water Quality Certification

This permit also constitutes a water quality certification under Section 401 of the Clean Water Act, 33 U.S.C. 1341.

Other Authorizations

You are advised that authorizations or permits for this activity may be required by other federal, state, regional, or local entities including but not limited to local governments or municipalities. This permit does not relieve you from the requirements to obtain all other required permits or authorizations.

The activity described may be conducted only in accordance with the terms, conditions and attachments contained in this document. Issuance and granting of the permit and authorizations

Project Name: Sailfish Marina (Great American Life Insurance Co.)

Permit No.: 50-0126380-006-EI

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herein do not infer, nor guarantee, nor imply that future permits, authorizations, or modifications will be granted by the Department.

PERMIT & SOVEREIGNTY SUBMERGED LANDS CONDITIONS

The activities described must be conducted in accordance with:

- **The Specific Conditions**
- **The General Conditions**
- **The limits, conditions and locations of work shown in the attached drawings**
- **The term limits of this authorization**

You are advised to read and understand these conditions and drawings prior to beginning the authorized activities, and to ensure the work is conducted in conformance with all the terms, conditions, and drawings herein. If you are using a contractor, the contractor also should read and understand these conditions and drawings prior to beginning any activity. Failure to comply with these conditions, including any mitigation requirements, shall be grounds for the Department to revoke the permit and authorization and to take appropriate enforcement action.

Operation of the facility is not authorized except when determined to be in conformance with all applicable rules and this permit and sovereignty submerged lands authorization, as described.

SPECIFIC CONDITIONS- PROJECT FORMS & ATTACHMENTS

(1) The attached project drawings (sheets 1 through 6); the Standard Manatee Conditions for In-Water Work, 2011, which can be downloaded at http://myfwc.com/media/415448/Manatee_StdCondIn_waterWork.pdf; and DEP forms 62-330.310(1); 62-330.310(2); 62-330.340(1); and 62-330.350(1), which may be downloaded at <http://www.dep.state.fl.us/water/wetlands/erp/forms.htm> become part of this permit. If the permittee does not have access to the Internet, please contact the Department at (561) 681-6600 to request the aforementioned forms and/or document(s).

SPECIFIC CONDITIONS - PRIOR TO CONSTRUCTION

(2) After selection of the contractor to perform the authorized activities and prior to the initiation of any work authorized by this permit, the permittee (or authorized agent) and the contractor shall attend a pre-construction conference with a representative of the Department. It shall be the responsibility of the permittee to contact the Department's Compliance Assistance Program, by email SED_Compliance@FloridaDEP.gov, or by phone (561) 681-6600, to schedule the pre-construction conference.

(3) In accordance with Chapter 18-21.011(3)(a), F.A.C., and prior to commencement of any dredging, the permittee shall submit the required \$956.25 in severance fees to the permitting office at the letterhead address. Otherwise, in accordance with Chapter 18-21.011(3)(c), F.A.C., a waiver of the severed dredge material payment shall be approved when one of the following conditions is met: (1) the materials are being placed on public property and used for public purposes; (2) it is affirmatively demonstrated that the severed dredge material has no economic value; or (3) a governmental entity conducts a project with the sole objective of environmental restoration or enhancement and the Board determines that waiving the severance fee is in the public interest, as defined in Rule 18-21.003, F.A.C.

(4) Prior to the initiation of any work authorized by this permit, floating turbidity curtains with weighted skirts that extend to within one foot of the bottom shall be placed around the project site and shall be maintained and remain in place for the duration of the project construction to ensure that turbid discharges do not occur outside the boundaries of the floating turbidity screens. The permittee shall be responsible for ensuring that turbidity control devices are inspected daily and maintained in good working order during all phases of construction authorized by this permit until all areas that were disturbed during construction are sufficiently stabilized to prevent turbid discharges.

SPECIFIC CONDITIONS – CONSTRUCTION ACTIVITIES

(5) All watercraft associated with the construction of the permitted activities shall only operate within waters of sufficient depth (one-foot clearance from the deepest draft of the vessel (barge) to the submerged bottom) so as to preclude bottom scouring or prop dredging.

(6) There shall be no storage or stockpiling of tools and materials (i.e. lumber, pilings, debris), along the shoreline adjacent to waters of the state. All excess lumber, scrap wood, trash, garbage, and any other type of debris shall be removed from the wetlands/waters of the state within 14 days of completion of the work authorized in this permit. All construction equipment/tools and materials shall be transported to and from the site via upland roadways and barges and all equipment/tools and materials shall be stored on the construction barges or uplands.

(7) Dredging shall be conducted from a shallow draft barge with a fully loaded draft which allows a minimum one-foot clearance above the submerged bottom. The material shall be mechanically dredged and deposited directly into a fully-lined barge with containment rails to hold the spoil and prevent return water from entering surface waters. Return water shall not be discharged into the adjacent waters and all spoil materials shall be placed on the uplands in water tight trucks for final disposal at an approved upland location. The spoil containment areas shall be constructed to contain all off-loaded spoil material and prevent the escape of dredged material and associated effluent into surface waters.

(8) All areas to be dredged shall be in accordance with the attached permit drawings and shall not exceed the areas and depths indicated on those drawings.

(9) Dredging shall be limited to day light; no dredging or dewatering activities are authorized to be conducted at night, as turbidity plumes are not visible at night.

(10) If floating pipeline is utilized to transport the dredged material, then it shall be inspected twice daily by the selected contractor in order to ensure there are no leaks discharging material into surface waters of the State. At the first sign of any leaks, the permittee shall immediately contact the Department and cease all operations until repairs have been made.

(11) No dredging or filling of submerged grassbeds or live bottom communities is authorized by this permit.

SPECIFIC CONDITIONS – MONITORING/REPORTING REQUIREMENTS

(12) Turbidity levels outside the construction area shall not exceed 29 NTU's above background levels. The following measures shall be taken immediately by the permittee whenever

turbidity levels within waters of the State surrounding the project site exceed 29 NTU's above background:

- a. Notify the Department at 561-681-6600 at the time violation is first detected.
- b. Immediately cease all work contributing to the water quality violation.
- c. Stabilize all exposed soils contributing to the violation. Modify the work procedures that were responsible for the violation, install more turbidity containment devices, and repair any non-functional turbidity containment devices.
- d. As required, perform turbidity monitoring per Specific Conditions.
- e. Resume construction activities once turbidity levels outside turbidity curtains fall below background levels.

(13) Water turbidity levels shall be monitored if a turbidity plume is observed outside the limits of the required turbidity control devices. Samples shall be taken every four hours until turbidity subsides at one foot above the bottom, mid-depth, and one-foot below the surface at monitoring stations located as follows:

- a. Approximately 100 feet up-current of the work sites and clearly outside the influence of the construction activities. (This shall serve as the natural background sample against which other turbidity readings shall be compared).
- b. Directly outside the turbidity curtains surrounding the work sites and within the densest portion of any visible turbidity plume (This sample shall serve as the compliance sample).

(14) During dock construction activities, the permittee or permittee's contractor shall collect the following turbidity monitoring data at the frequency and water depths directed by the Specific Condition above:

- a. Date & time of sampling event
- b. Turbidity sampling results (background NTUs, compliance NTUs, and the difference between them)
- c. Description of data collection methods
- d. An aerial map indicating the sampling locations
- e. Depth of sample(s)
- f. Weather conditions at times of sampling
- g. Tidal stage and direction of flow

Data shall be collected in a turbidity log and shall include a statement by the individual responsible for implementation of the sampling program attesting to the authenticity, precision, limits of detection, and accuracy of the data. The turbidity log shall be scanned and sent on a weekly basis to the Department's ERP Compliance Assurance Program via email at SED_Compliance@FLoridaDEP.gov. The subject line of the email shall include the project name, permit number, and the title "Turbidity Monitoring Reports".

SPECIFIC CONDITIONS – OPERATION AND MAINTENANCE ACTIVITIES

(15) Vessels utilizing this structure shall maintain a minimum of one-foot clearance between the deepest draft of the vessel with the engine in the down position and the submerged bottom so as to preclude bottom scouring or prop dredging.

(16) The slips shall not be occupied by liveaboards. A liveaboard vessel shall be defined as a vessel docked at a facility that is inhabited by a person or persons for any 5 consecutive days or a total of 10 days within a 30-day period.

(17) The following activities are prohibited at this docking facility:

- a. Overboard or through hull discharges of trash, human or animal waste, gray water, or fuel shall not occur at the docking facility.
- b. Boat repair facilities and fueling facilities on structures over the water are prohibited.
- c. Running water and electricity shall not be provided at the docking facility.
- d. Hull cleaning, painting or other external maintenance is prohibited at the authorized facility.
- e. No fueling facilities or fuel storage shall be allowed at the facility or within the associated uplands.
- f. Boat maintenance or repair activities requiring removal of a vessel from the water, or removal of major portions of the vessel, including the engine, for purposes of routine repair or maintenance on site, shall be prohibited for the life of the facility, except where removal is necessitated by emergency conditions which have resulted in or can result in the sinking of a vessel. Specifically prohibited shall be hull cleaning, hull painting, and discharges or release of oils or greases associated with engine and hydraulic repairs, and related metal-based bottom paints associated with hull scraping, cleaning, and painting. Minor repairs and boat maintenance that will not cause or contribute to the release of water pollutants and which are performed by owners or qualified marine mechanics are allowed.

SPECIFIC CONDITIONS – MANATEE CONDITIONS

(18) The permittee shall comply with the standard manatee protection construction conditions listed in the attached “2011 Standard Manatee Conditions for In-Water Work”.

(19) No later than 60 days prior to slip occupancy, the Permittee shall install permanent manatee educational signs. In the event the signs fade, become damaged or outdated, the Permittee shall replace the signs. The on-site locations and types of signs shall be in accordance with information and approval process provided by the Florida Fish and Wildlife Conservation Commission at <http://www.myfwc.com/wildlifehabitats/managed/manatee/education-for-marinas/>

GENERAL CONDITIONS FOR INDIVIDUAL PERMITS

The following general conditions are binding on all individual permits issued under chapter 62-330, F.A.C., except where the conditions are not applicable to the authorized activity, or where the conditions must be modified to accommodate project-specific conditions.

Project Name: Sailfish Marina (Great American Life Insurance Co.)

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(1) All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with Rule 62-330.315, F.A.C. Any deviations that are not so authorized may subject the permittee to enforcement action and revocation of the permit under Chapter 373, F.S.

(2) A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase and shall be available for review at the work site upon request by the Agency staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.

(3) Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation June 2007), and the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), which are both incorporated by reference in subparagraph 62-330.050(9)(b)5., F.A.C., unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.

(4) At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the Agency a fully executed Form 62-330.350(1), "Construction Commencement Notice," [October 1, 2013], which is incorporated by reference in paragraph 62-330.350(1)(d), F.A.C., indicating the expected start and completion dates. A copy of this form may be obtained from the Agency, as described in subsection 62-330.010(5), F.A.C. If available, an Agency website that fulfills this notification requirement may be used in lieu of the form.

(5) Unless the permit is transferred under Rule 62-330.340, F.A.C., or transferred to an operating entity under Rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms and conditions of the permit for the life of the project or activity.

(6) Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:

- a. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex – "Construction Completion and Inspection Certification for Activities Associated with a Private Single-Family Dwelling Unit" [Form 62-330.310(3)]; or
- b. For all other activities – "As-Built Certification and Request for Conversion to Operational Phase" [Form 62-330.310(1)].
- c. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.

(7) If the final operation and maintenance entity is a third party:

- a. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as- built certification, whichever comes first, the

permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.3 of Volume I) as filed with the Department of State, Division of Corporations and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the County in which the activity is located.

b. Within 30 days of submittal of the as-built certification, the permittee shall submit "Request for Transfer of Environmental Resource Permit to the Perpetual Operation Entity" [Form 62-330.310(2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.

(8) The permittee shall notify the Agency in writing of changes required by any other regulatory agency that require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.

(9) This permit does not:

a. Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in Chapter 62-330, F.A.C.;

b. Convey to the permittee or create in the permittee any interest in real property;

c. Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or

d. Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.

(10) Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under Chapters 253 and 258, F.S. Written authorization that requires formal execution by the Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.

(11) The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.

(12) The permittee shall notify the Agency in writing:

a. Immediately if any previously submitted information is discovered to be inaccurate; and

b. Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall request transfer of the permit in accordance with Rule 62-330.340, F.A.C. This does not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.

(13) Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.

(14) If any prehistoric or historic artifacts, such as pottery or ceramics, stone tools or metal implements, dugout canoes, or any other physical remains that could be associated with Native American cultures, or early colonial or American settlement are encountered at any time within the project site area, work involving subsurface disturbance in the immediate vicinity of such discoveries shall cease. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance and Review Section, at (850) 245-6333 or (800) 847-7278, as well as the appropriate permitting agency office. Such subsurface work shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately, and notification shall be provided in accordance with Section 872.05, F.S.

(15) Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under Rule 62-330.201, F.A.C., provides otherwise.

(16) The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other uplands in a manner that does not require a permit under Chapter 62-330, F.A.C., or cause violations of state water quality standards.

(17) This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the Agency will require the permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.

(18) A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with subsection 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.

NOTICE OF RIGHTS

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S., before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until a subsequent order of the Department. Because the administrative hearing process is designed to formulate final agency action, the subsequent order may modify or take a different position than this action.

Petition for Administrative Hearing

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rules 28-106.201 and 28-106.301, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, any e-mail address, any facsimile number, and telephone number of the petitioner, if the petitioner is not represented by an attorney or a qualified representative; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

The petition must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@dep.state.fl.us. Also, a copy of the petition shall be mailed to the applicant at the address indicated above at the time of filing.

Time Period for Filing a Petition

In accordance with Rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant and persons entitled to written notice under Section 120.60(3), F.S., must be filed within 14 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under Section 120.60(3), F.S., must be filed within 14 days of publication of the notice or within 14 days of receipt of the written notice, whichever occurs first. You cannot justifiably rely on the finality of this decision unless notice of this decision and the right of substantially affected persons to challenge this decision has been duly published or otherwise provided to all persons substantially affected by the decision. While you are not required to publish notice of this action, you may elect to do so pursuant Rule 62-110.106(10)(a).

The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S., or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C. If you do not publish notice of this action, this waiver may not apply to persons who have not received a clear point of entry.

Extension of Time

Under Rule 62-110.106(4), F.A.C., a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@dep.state.fl.us, before the deadline for filing a petition for an administrative hearing. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

Mediation

Mediation is not available in this proceeding.

FLAWAC Review

The applicant, or any party within the meaning of Section 373.114(1)(a) or 373.4275, F.S., may also seek appellate review of this order before the Land and Water Adjudicatory Commission under Section 373.114(1) or 373.4275, F.S. Requests for review before the Land and Water Adjudicatory Commission must be filed with the Secretary of the Commission and served on the Department within 20 days from the date when this order is filed with the Clerk of the Department.

Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S., by filing a Notice of Appeal pursuant to Florida Rules of Appellate Procedure 9.110 and 9.190 with the Clerk of the Department in the Office of General Counsel (Station #35, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399-3000) and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice must be filed within 30 days from the date this action is filed with the Clerk of the Department.

Executed in West Palm Beach, Florida.

STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION



Jason Andreotta
District Director
Southeast District

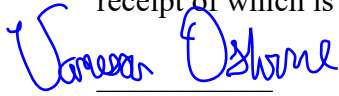
CERTIFICATE OF SERVICE

The undersigned duly designated deputy clerk hereby certifies that this permit and all copies were sent on the filing date below to the following listed persons:

FDEP – Kent Edwards, Jeffrey L. Meyer, Robert Mullins, Richard Ohnmacht, Kirk White
Matt Mitchell, Palm Beach County, Environmental Resources - mmitchell@pbcgov.org
Joshua Miron, Shutts & Bowen LLP - JMiron@shutts.com

FILING AND ACKNOWLEDGMENT

FILED, on this date, pursuant to Section 120.52, F. S., with the designated Department Clerk,
receipt of which is hereby acknowledged.



11/22/19

Clerk

Date

Attachments:

Project Drawings and Design Specs., 6 pages

Standard Manatee Conditions for In-Water Work, 2011

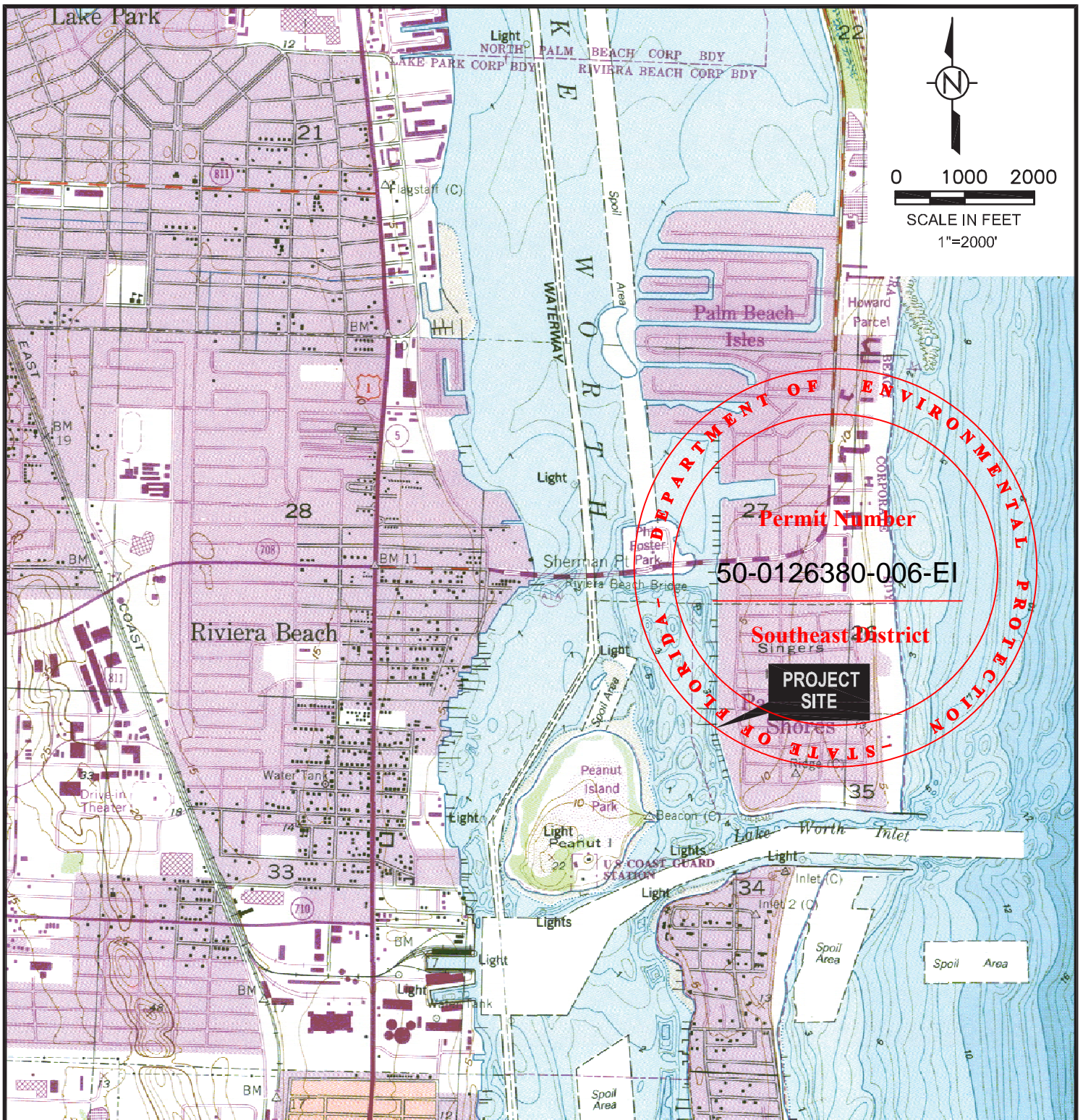
As-built Certification and Request for Conversion to Operational Phase Form 62-330.310(1)*

Request for Transfer to the Perpetual Operation Entity Form 62-330.310(2)*

Request to Transfer Permit Form 62-330.340(1)*

Commencement Notice Form 62-330.350(1)*

*Can be downloaded at: <https://floridadep.gov/water/submerged-lands-environmental-resources-coordination/content/forms-environmental-resource>



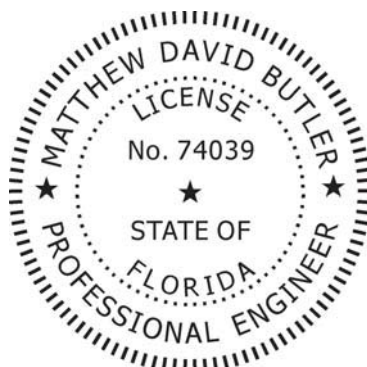
TAKEN FROM U.S.G.S. RIVIERA BEACH, FLORIDA QUADRANGLE

SEC: 27 TWP: 42S RGE: 43E

LAT: 26° 46' 36" N

LONG: 080° 02' 24" W

This item has been digitally signed and sealed by Matthew D. Butler, P.E. on 6/19/2019 using a Digital Signature. Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.



VICINITY MAP



**ISIMINGER & STUBBS
ENGINEERING, INC.**

COASTAL • ENVIRONMENTAL • MARINE

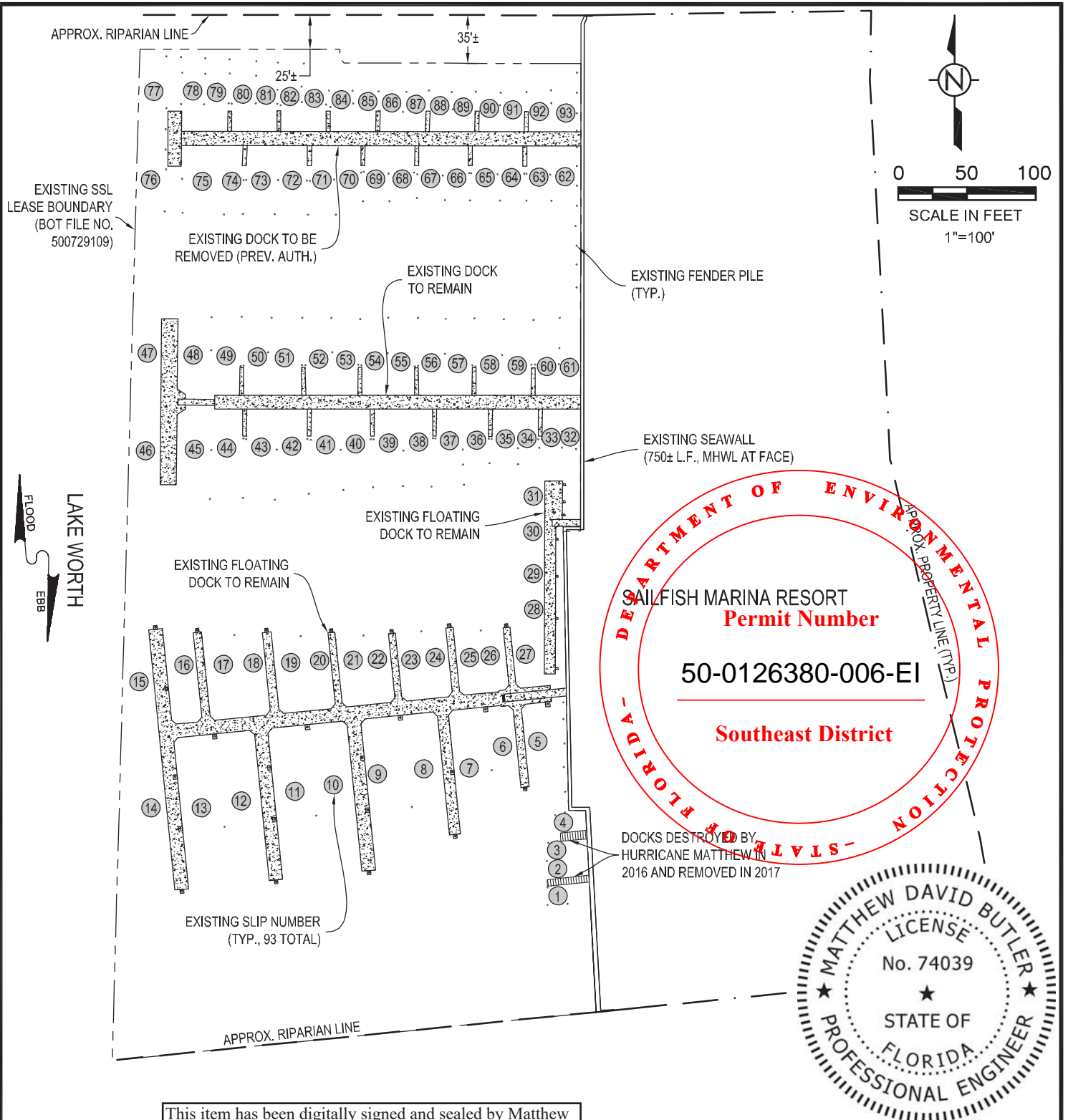
CERTIFICATE OF AUTHORIZATION NUMBER: 8114

P.O. BOX 14702 - NORTH PALM BEACH, FL. 33408 - 561-881-0003

PROPOSED FLOATING DOCK AND DREDGING LAKE WORTH

SAILFISH MARINA - 82, 90, AND 98 LAKE DRIVE
TOWN OF PALM BEACH SHORES, PALM BEACH COUNTY, FL
APPLICANT: GREAT AMERICAN LIFE INSURANCE CO.

DATE	6/19	DRAWN	MDB	CHKD	PJK	APPRVD	MDB
DWG NO.	12030UU1					SHEET	1
COMPUTER FILE NO.	12030UU					OF	6



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NOTES:

1. DATUM IS MLW. MLW = -2.4'± NAVD FROM LABINS DATABASE.
2. EXISTING LOCATIONS ARE APPROXIMATE BASED ON SURVEY BY WALLACE SURVEYING CORP. (10/30/15).

**SKETCH SUBMITTED FOR ENVIRONMENTAL PERMIT REVIEW.
NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.**

EXISTING PLAN VIEW



**ISIMINGER & STUBBS
ENGINEERING, INC.**

COASTAL • ENVIRONMENTAL • MARINE

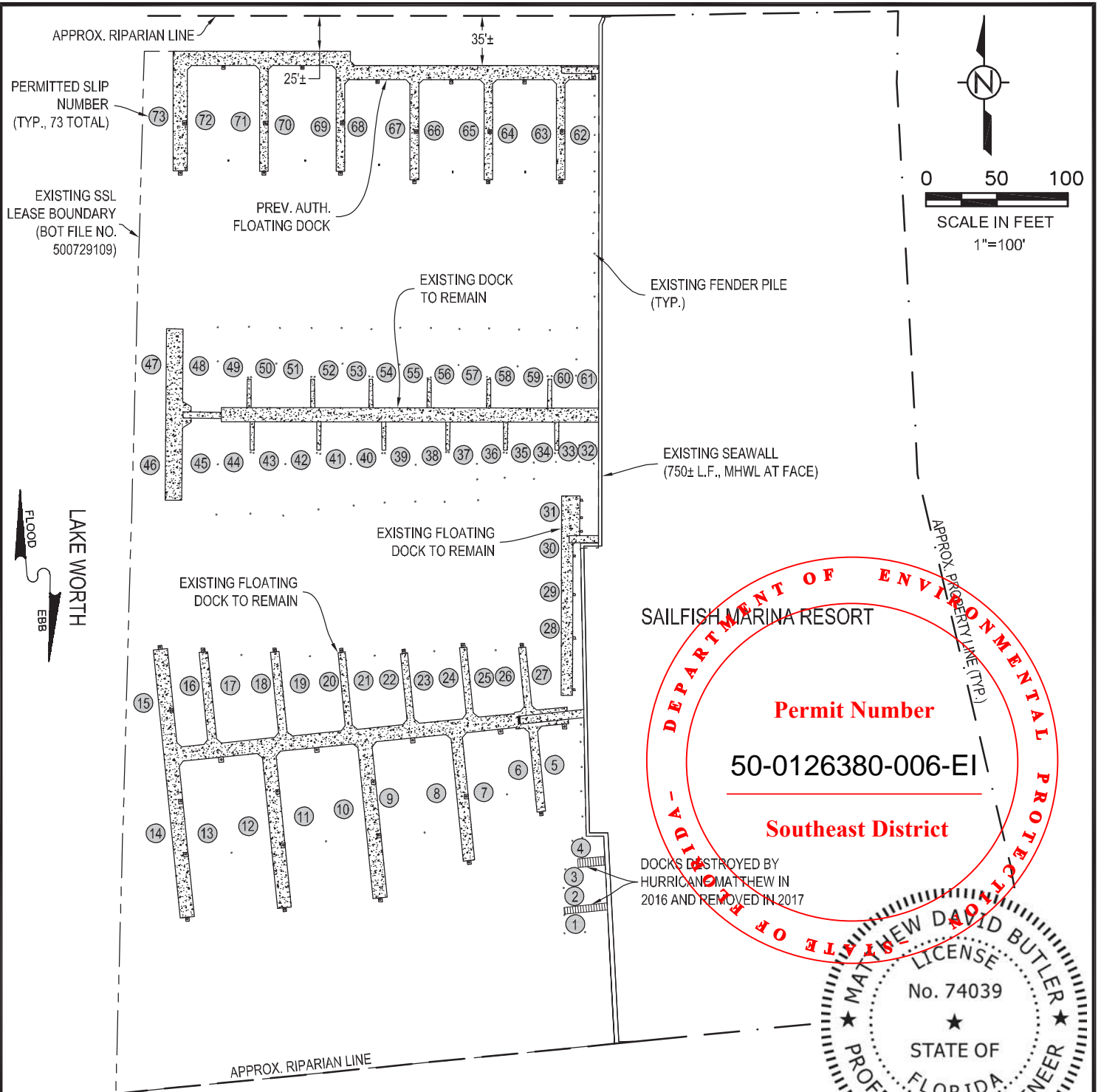
CERTIFICATE OF AUTHORIZATION NUMBER : 8114

P.O. BOX 14702 - NORTH PALM BEACH, FL. 33408 - 561-881-0003

PROPOSED FLOATING DOCK AND DREDGING LAKE WORTH

SAILFISH MARINA - 82, 90, AND 98 LAKE DRIVE
TOWN OF PALM BEACH SHORES, PALM BEACH COUNTY, FL
APPLICANT: GREAT AMERICAN LIFE INSURANCE CO.

DATE	6/19	DRAWN	MDB	CHKD	PJK	APPRVD	MDB
DWG NO.	12030UU2	SHEET					2
COMPUTER FILE NO.	12030UU	OF 6					



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PERMITTED PLAN VIEW



**ISIMINGER & STUBBS
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COASTAL • ENVIRONMENTAL • MARINE

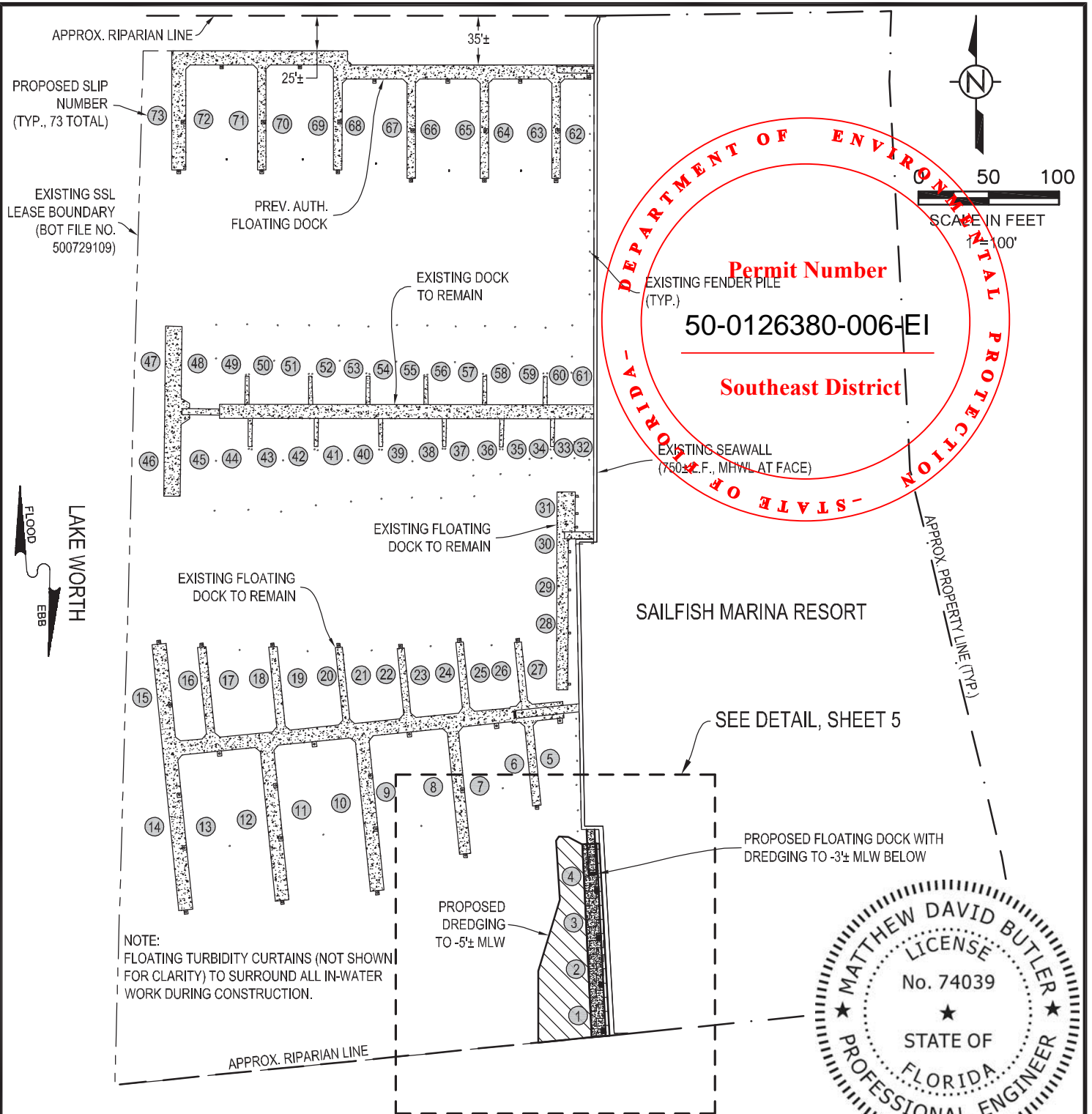
CERTIFICATE OF AUTHORIZATION NUMBER : 8114

P.O. BOX 14702 - NORTH PALM BEACH, FL. 33408 - 561-881-0003

PROPOSED FLOATING DOCK AND DREDGING LAKE WORTH

SAILFISH MARINA - 82, 90, AND 98 LAKE DRIVE
TOWN OF PALM BEACH SHORES, PALM BEACH COUNTY, FL
APPLICANT: GREAT AMERICAN LIFE INSURANCE CO.

DATE	6/19	DRAWN	MDB	CHKD	PJK	APPRVD	MDB
DWG NO.	12030UU3	SHEET		3			
COMPUTER FILE NO.	12030UU	OF		6			



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NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.

PROPOSED PLAN VIEW



**ISIMINGER & STUBBS
ENGINEERING, INC.**

COASTAL • ENVIRONMENTAL • MARINE

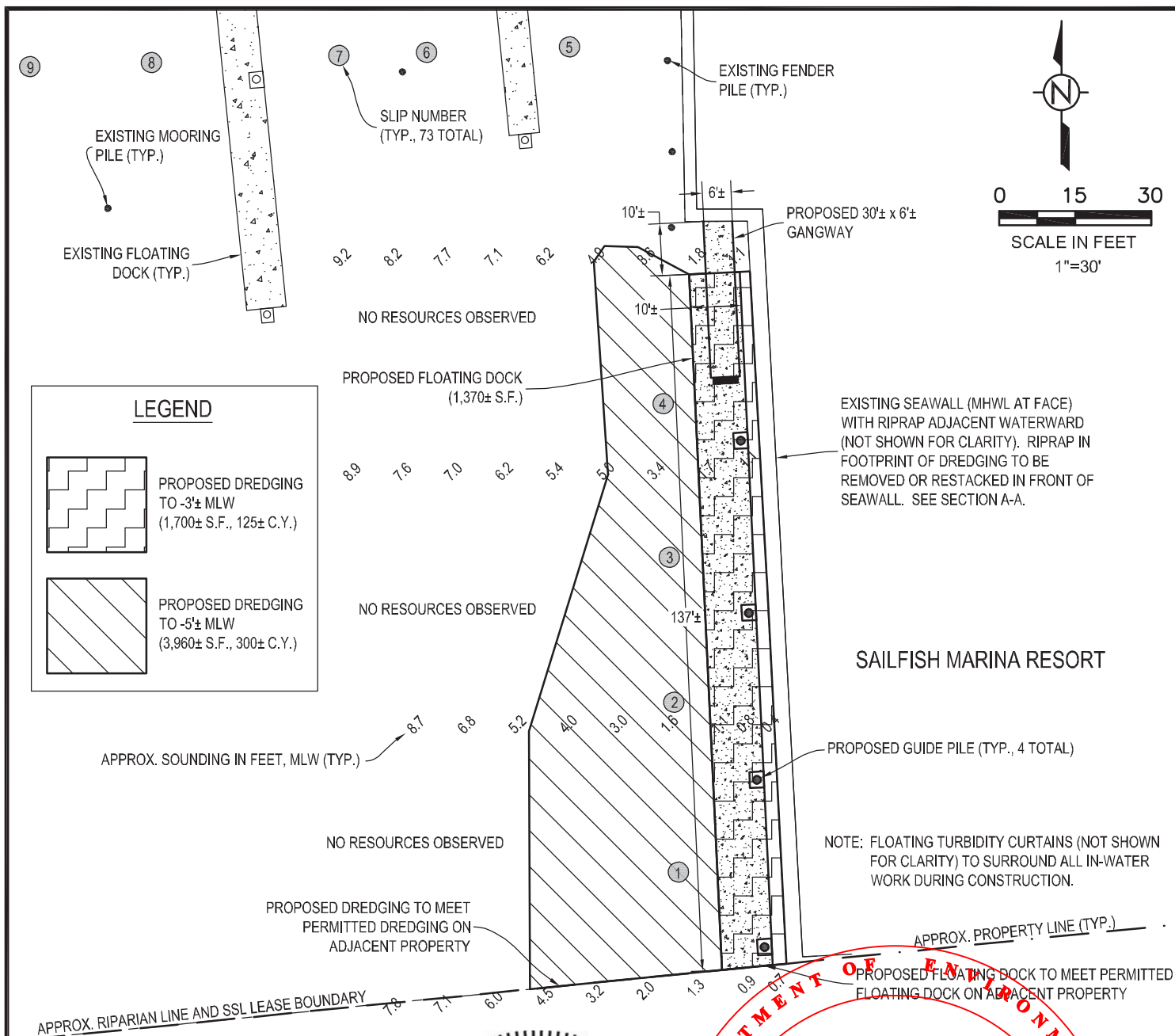
CERTIFICATE OF AUTHORIZATION NUMBER : 8114

P.O. BOX 14702 - NORTH PALM BEACH, FL. 33408 - 561-881-0003

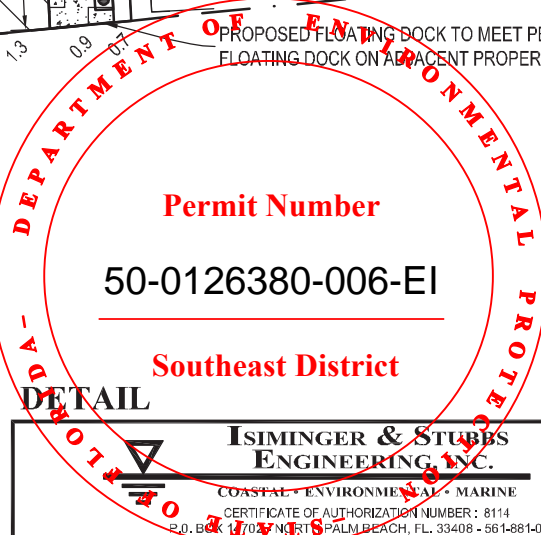
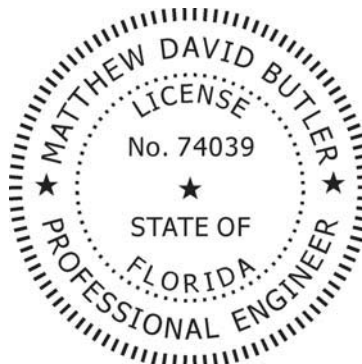
PROPOSED FLOATING DOCK AND DREDGING LAKE WORTH

SAILFISH MARINA - 82, 90, AND 98 LAKE DRIVE
TOWN OF PALM BEACH SHORES, PALM BEACH COUNTY, FL
APPLICANT: GREAT AMERICAN LIFE INSURANCE CO.

DATE	6/19	DRAWN	MDB	CHKD	PJK	APPRVD	MDB
DWG NO.	12030UU4					SHEET	4
COMPUTER FILE NO.	12030UU					OF	6



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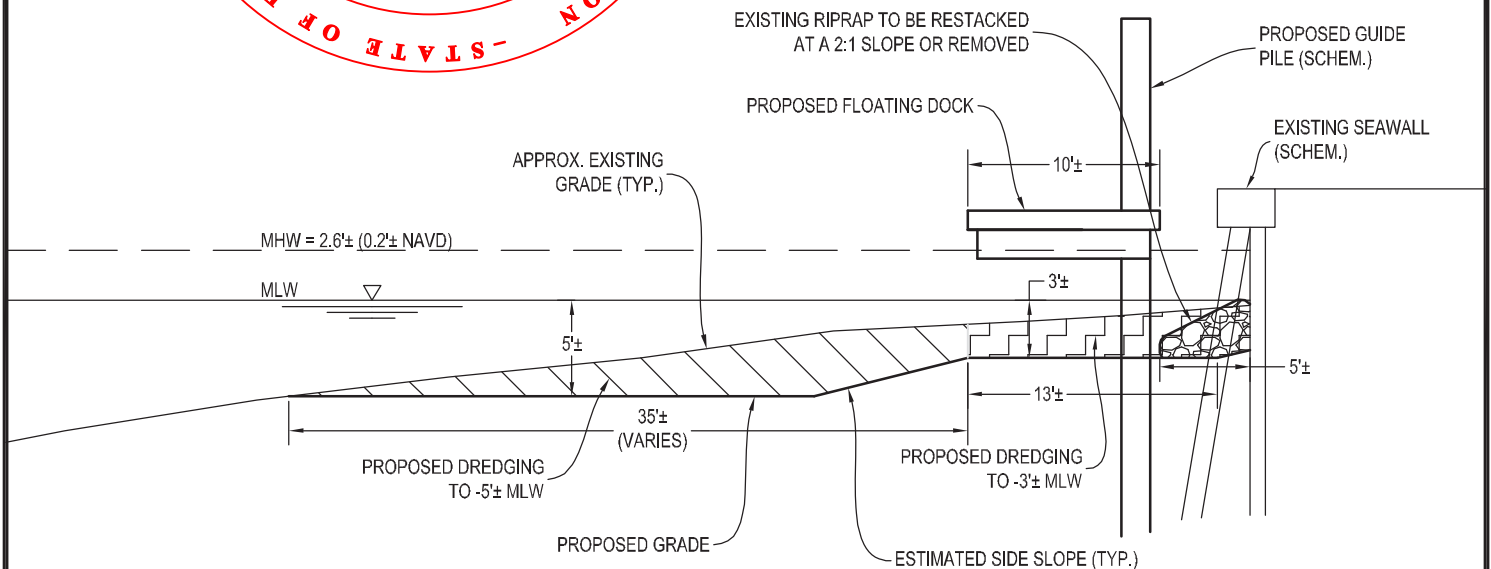
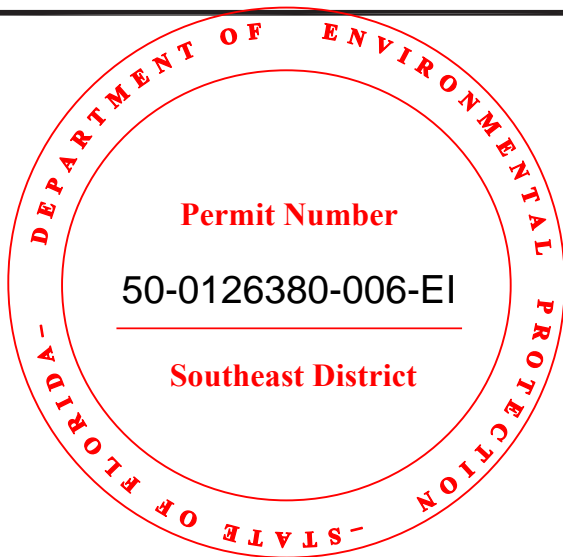


NOTES:

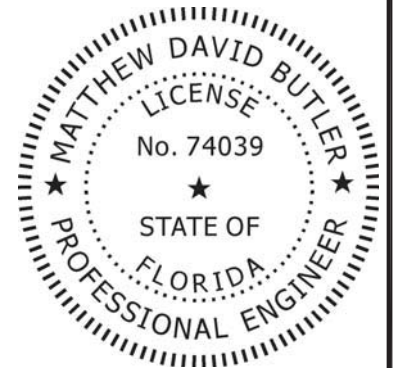
- DATUM IS MLW. MLW = -2.4± NAVD FROM LABINS DATABASE.
- EXISTING LOCATIONS ARE APPROXIMATE BASED ON SURVEY BY WALLACE SURVEYING CORP. (10/30/15).
- SOUNDINGS AND RESOURCE OBSERVATION BY ISIMINGER & STUBBS ENGINEERING, INC. FIELD WORK PERFORMED 2/16/18 AND 6/5/19. SOUNDINGS REDUCED TO MLW BASED ON SEAWALL ELEVATION.

**SKETCH SUBMITTED FOR ENVIRONMENTAL PERMIT REVIEW.
NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.**

ISIMINGER & STUBBS ENGINEERING, INC. COASTAL • ENVIRONMENTAL • MARINE CERTIFICATE OF AUTHORIZATION NUMBER : 8114 P.O. BOX 17070, NORTH PALM BEACH, FL. 33408 • 561-881-0003							
PROPOSED FLOATING DOCK AND DREDGING LAKE WORTH SAILFISH MARINA - 82, 90, AND 98 LAKE DRIVE TOWN OF PALM BEACH SHORES, PALM BEACH COUNTY, FL APPLICANT: GREAT AMERICAN LIFE INSURANCE CO.							
DATE	6/19	DRAWN	MDB	CHKD	PJK	APPRVD	MDB
DWG NO.	12030UU5					SHEET	
COMPUTER FILE NO.	12030UU					OF 6	



SECTION A-A
 0 5 10
 SCALE IN FEET
 1"=10'




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3. SOUNDINGS BY ISIMINGER & STUBBS ENGINEERING, INC. FIELD WORK PERFORMED 2/16/18. SOUNDINGS REDUCED TO MLW BASED ON SEAWALL ELEVATION.

**SKETCH SUBMITTED FOR ENVIRONMENTAL PERMIT REVIEW.
 NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.**

SECTION A-A

 ISIMINGER & STUBBS ENGINEERING, INC. COASTAL • ENVIRONMENTAL • MARINE <small>CERTIFICATE OF AUTHORIZATION NUMBER : 8114 P.O. BOX 14702 - NORTH PALM BEACH, FL. 33408 - 561-881-0003</small>							
PROPOSED FLOATING DOCK AND DREDGING LAKE WORTH SAILFISH MARINA - 82, 90, AND 98 LAKE DRIVE TOWN OF PALM BEACH SHORES, PALM BEACH COUNTY, FL APPLICANT: GREAT AMERICAN LIFE INSURANCE CO.							
DATE	6/19	DRAWN	MDB	CHKD	PJK	APPRVD	MDB
DWG NO.	12030UU6					SHEET	6
COMPUTER FILE NO.	12030UU					OF 6	

STANDARD MANATEE AND MARINE TURTLE CONSTRUCTION CONDITIONS FOR IN-WATER WORK

July 2011

The permittee shall comply with the following conditions intended to protect manatees and marine turtles from direct project effects:

- a. All personnel associated with the project shall be instructed about the presence of marine turtles, manatees and manatee speed zones, and the need to avoid collisions with (and injury to) these protected marine species. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
- b. All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
- c. Siltation or turbidity barriers shall be made of material in which manatees and marine turtles cannot become entangled, shall be properly secured, and shall be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee or marine turtle movement.
- d. All on-site project personnel are responsible for observing water-related activities for the presence of marine turtles and manatee(s). All in-water operations, including vessels, must be shutdown if a marine turtle or manatee comes within 50 feet of the operation. Activities will not resume until the animal(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the animal(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
- e. Any collision with or injury to a marine turtle or manatee shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1-888-404-3922, and to FWC at ImperiledSpecies@myFWC.com. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service (for north Florida, Jacksonville 1-904-731-3336 or for south Florida Vero Beach 1-772-562-3909).
- f. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Temporary signs that have already been approved for this use by the FWC must be used. One sign which reads *Caution: Boaters* must be posted. A second sign measuring at least 8 ½" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. These signs can be viewed at MyFWC.com/manatee. Questions concerning these signs can be sent to the email address listed above.

CAUTION: MANATEE HABITAT

All project vessels

IDLE SPEED / NO WAKE

When a manatee is within 50 feet of work
all in-water activities must

SHUT DOWN

Report any collision with or injury to a manatee:



Wildlife Alert:

1-888-404-FWCC(3922)

cell *FWC or #FWC



Sailfish Marina Resort Proposed Construction Schedule Statement

The transitory marginal dock is already manufactured, and the Owner proposes a one (1) phase dock construction schedule. The dock will be installed as soon as site plan approval is received. The cost of the marginal dock was included in the recently installed southernmost dock.



Landscape Architects ■ Planners ■ Environmental Consultants

GENTILE GLAS HOLLOWAY O'MAHONEY & Associates, Inc.

LC 0000177
George G. Gentile FASLA
M. Troy Holloway ASLA
Emily M. O'Mahoney ASLA
Dodi Buckmaster Glas AICP

March 11, 2020

Town of Palm Beach Shores
Department of Planning and Zoning
247 Edwards Lane
Palm Beach Shores, FL 33404

Subject: Sailfish Marina Resort: Site Plan Modification/Architectural Aesthetic Review for transitory marginal dock (2GHO # 16-1004).

Dear PZ Board Members:

The Application and resubmittal package under cover reflects the Owner's proposal for the placement of a new transitory marginal dock facility. With this resubmittal package, the Owner has addressed all comments issued at the February 5th, and March 3rd DRC meetings, related to slip count consistency, and clarification on the scope of the application.

Enclosed, please find:

1. Original application form with project narrative;
2. Copies of the issued DEP Permit, and Army Corps Permit for the transitory marginal dock. **Also provided is correspondence from FDEP authorizing construction of the dock while the updated SLL is being modified;**
3. Site Plan and marginal dock sketches.
4. Construction drawings and details, as required by Town of Palm Beach Shores zoning code;
5. Ownership information (warranty deeds)

Should you have any questions regarding the enclosed submittal, please do not hesitate to contact our office at 561-575-9557.

Respectfully,

Gentile Glas Holloway O'Mahoney & Associates, Inc.

Dodi Buckmaster Glas, AICP, LEED®AP, BD&C
Partner, Director of Planning



DEPARTMENT OF THE ARMY
CORPS OF ENGINEERS, JACKSONVILLE DISTRICT
4400 PGA BOULEVARD, SUITE 500
PALM BEACH GARDENS, FL 33410

Exhibit 1

December 20, 2019

Regulatory Division
South Branch
Palm Beach Gardens Section
SAJ-1983-01834(NWGP-LCK)

Great American Life Insurance Company
Attn: Mark Muething
2 Alhambra Plz, STE 1280
Miami, FL 33134

Dear Mr. Muething:

Your application for a Department of the Army permit received on October 9, 2019, has been assigned number SAJ-1983-01834(NWGP-LCK). A review of the information and drawings provided shows the proposed work is to conduct the following activities within the existing Sailfish Marina:

1. Installation of a 137-foot by 10-foot (1,370 SF) marginal floating concrete dock and gangway;
2. Dredge 125 cy of material from 1,700 SF area to a depth of -3 feet mean low water;
3. Dredge 300 cy of material from 3,960 SF area to a depth of -5 feet mean low water;
4. Removal or restacking of 60 cy (147 linear feet, 882 square feet) of existing riprap along the seawall.

The activities subject to this permit are authorized pursuant to authorities under Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. § 403), and Section 404 of the Clean Water Act (33 U.S.C. § 1344). The project is located within Lake Worth Lagoon at 98 Lake Drive (Sailfish Marina), Palm Beach Shores (Section 27 and 34, Township 42 South, Range 43 East), Palm Beach County, Florida

Your project, as depicted on the enclosed drawings, is authorized by Nationwide Permit (NWP) Numbers 3 and 13. In addition, project specific conditions have been enclosed. This verification is valid until **March 18, 2022**. Furthermore, if you commence or are under contract to commence this activity before the date that the relevant nationwide permit is modified or revoked, you will have 12 months from the date of the modification or revocation of the NWP to complete the activity under the present terms and conditions of this nationwide permit. Please access the U.S. Army Corps of Engineers' (Corps) Jacksonville District's Regulatory Internet page to access Internet links to view the Final Nationwide Permits, Federal Register Vol. 82, dated

January 6, 2017, specifically pages 1983 to 2008, and the table of Regional Conditions. The Internet page address is:

<http://www.saj.usace.army.mil/Missions/Regulatory.aspx>

Please be aware this Internet address is case sensitive and should be entered as it appears above. Once there you will need to click on "Source Book"; and, then click on "Nationwide Permits." These files contain the description of the Nationwide Permit authorization, the Nationwide Permit general conditions, and the regional conditions, which apply specifically to this verification for NWP 3 and 13. Enclosed is a list of the six General Conditions, which apply to all Department of the Army authorizations. You must comply with all of the special and general conditions and any project specific condition of this authorization or you may be subject to enforcement action. In the event you have not completed construction of your project within the specified time limit, a separate application or re-verification may be required.

Your project, as depicted on the enclosed drawings, is authorized by Regional General Permit (GP) SAJ-20. This authorization is valid until **March 27, 2023**. Please access the Corps' Jacksonville District Regulatory Division Internet page to view the special and general conditions for SAJ-20, which apply specifically to this authorization. The Internet URL address is:

<http://www.saj.usace.army.mil/Missions/Regulatory.aspx>

Please be aware this Internet address is case sensitive; and, you will need to enter it exactly as it appears above. Once there you will need to click on "Source Book"; and, then click on "General Permits." Then you will need to click on the specific SAJ permit noted above. You must comply with all of the special and general conditions of the permit; and, any project-specific conditions noted below, or you may be subject to enforcement action. The following project-specific conditions are included with this authorization:

1. Reporting Address: All reports, documentation and correspondence required by the conditions of this permit shall be emailed to saj-rd-enforcement@usace.army.mil. The Permittee shall reference this permit number, SAJ-1983-01834 (NWP/GP-LCK), on all submittals.

2. Commencement Notification: Within 10 days from the date of initiating the work authorized by this permit the Permittee shall submit a completed "Commencement Notification" Form (Attachment A).

3. Self-Certification: Within 60 days of completion of the work authorized by this permit, the Permittee shall complete the attached “Self-Certification Statement of Compliance” form (Attachment B) and submit it to the Corps. In the event that the completed work deviates in any manner from the authorized work, the Permittee shall describe the deviations between the work authorized by this permit and the work as constructed on the “Self-Certification Statement of Compliance” form. The description of any deviations on the “Self-Certification Statement of Compliance” form does not constitute approval of any deviations by the Corps.

4. Assurance of Navigation and Maintenance: The Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the U.S. Army Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.

5. Manatee Conditions: The Permittee shall comply with the enclosed (Attachment C) “Standard Manatee Conditions for In-Water Work – 2011.”

6. Turbidity Barriers: Prior to the initiation of any of the work authorized by this permit, the Permittee shall install floating turbidity barriers with weighted skirts that extend to within one foot of the bottom around all work areas that are in, or adjacent to, surface waters. The turbidity barriers shall remain in place and be maintained until the authorized work has been completed and all erodible materials have been stabilized. Turbidity barriers shall be removed upon stabilization of the work area.

7. Project Design Criteria (PDCs) for In-Water Activities: The Permittee shall comply with National Marine Fisheries Service’s “PDCs for In-Water Activities” dated November 20, 2017 (Attachment D).

8. Daylight Hours: All activities must be completed during daylight hours.

9. North Atlantic Right Whale: (Attachment E) describes the presence of North Atlantic right whales in the area and the Federal regulations governing the approach to North Atlantic right whales.

10. Cultural Resources/Historic Properties:

a. No structure or work shall adversely affect impact or disturb properties listed in the National Register of Historic Places (NRHP) or those eligible for inclusion in the NRHP.

b. If during the ground disturbing activities and construction work within the permit area, there are archaeological/cultural materials encountered which were not the subject of a previous cultural resources assessment survey (and which shall include, but not be limited to: pottery, modified shell, flora, fauna, human remains, ceramics, stone tools or metal implements, dugout canoes, evidence of structures or any other physical remains that could be associated with Native American cultures or early colonial or American settlement), the Permittee shall immediately stop all work and ground-disturbing activities within a 100-meter diameter of the discovery and notify the Corps within the same business day (8 hours). The Corps shall then notify the Florida State Historic Preservation Officer (SHPO) and the appropriate Tribal Historic Preservation Officer(s) (THPO(s)) to assess the significance of the discovery and devise appropriate actions.

c. Additional cultural resources assessments may be required of the permit area in the case of unanticipated discoveries as referenced in accordance with the above Special Condition ; and if deemed necessary by the SHPO, THPO(s), or Corps, in accordance with 36 CFR 800 or 33 CFR 325, Appendix C (5). Based, on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend or revoke the permit in accordance with 33 CFR Part 325.7. Such activity shall not resume on non-federal lands without written authorization from the SHPO for finds under his or her jurisdiction, and from the Corps.

d. In the unlikely event that unmarked human remains are identified on non-federal lands, they will be treated in accordance with Section 872.05 Florida Statutes. All work and ground disturbing activities within a 100-meter diameter of the unmarked human remains shall immediately cease and the Permittee shall immediately notify the medical examiner, Corps, and State Archeologist within the same business day (8-hours). The Corps shall then notify the appropriate SHPO and THPO(s). Based, on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend or revoke the permit in accordance with 33 CFR Part 325.7. Such activity shall not resume without written authorization from the State Archeologist and from the

Corps.

11. Dredged material Disposal: The Permittee shall place all dredged material in a self-contained, upland disposal site. The Permittee shall maintain the upland disposal site to prevent the discharge of dredged material and associated effluent into waters of the United States.

12. Incidents where Johnson's seagrass, or any individuals of whale, sea turtle, sturgeon, sawfish, coral, or other species listed by NOAA Fisheries under the Endangered Species Act appear to be injured or killed as a result of discharges of dredged or fill material into waters of the United States or structures or work in navigable waters of the United States authorized by this NWP shall be reported to NOAA Fisheries, Office of Protected Resources at (301) 713-1401 and the Regulatory Office of the Jacksonville District of the U.S. Army Corps of Engineers at 904-232-1177. The finder should leave the plant or animal alone, make note of any circumstances likely causing the death or injury, note the location and number of individuals involved and, if possible, take photographs. Adult animals should not be disturbed unless circumstances arise where they are obviously injured or killed by discharge exposure, or some unnatural cause. The finder may be asked to carry out instructions provided by NOAA Fisheries, Office of Protected Resources, to collect specimens or take other measures to ensure that evidence intrinsic to the specimen is preserved.

This authorization does not give absolute Federal authority to perform the work as specified on your application. The proposed work may be subject to local building restrictions mandated by the National Flood Insurance Program. You should contact your local office that issues building permits to determine if your site is located in a flood-prone area, and if you must comply with the local building requirements mandated by the National Flood Insurance Program.

If you are unable to access the internet or require a hardcopy of any of the conditions, limitations, or expiration date for the above referenced NWP and RGP, please contact Ms. Linda C. Knoeck by telephone at 561-472-3531.

Thank you for your cooperation with our permit program. The Corps' Jacksonville District Regulatory Division is committed to improving service to our customers. We strive to perform our duty in a friendly and timely manner while working to preserve our environment. We invite you to complete our automated Customer Service Survey at http://corpsmapu.usace.army.mil/cm_apex/f?p=regulatory_survey. Please be aware

this Internet address is case sensitive; and, you will need to enter it exactly as it appears above. Your input is appreciated – favorable or otherwise.

Sincerely,

Linda C. Knoeck

Linda C. Knoeck
Project Manager

Enclosures:
Commencement Notification Form
Self-Certification Form
Manatee Conditions
NMFS PCD's
Right Whale Conditions

GENERAL CONDITIONS

33 CFR PART 320-330

PUBLISHED FEDERAL REGISTER DATED 13 NOVEMBER 1986

1. The time limit for completing the work authorized ends on **date identified in the letter**. If you find that you need more time to complete the authorized activity, submit your request for a time extension to this office for consideration at least one month before the above date is reached.
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit you must obtain the signature of the new owner in the space provided and forward a copy of the permit to this office to validate the transfer of this authorization.
5. If a conditioned water quality certification has been issued for your project, you must comply with the conditions specified in the certification as special conditions to this permit. For your convenience, a copy of the certification is attached if it contains such conditions.
6. You must allow a representative from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

DEPARTMENT OF THE ARMY PERMIT TRANSFER REQUEST

PERMIT NUMBER: SAJ-1983-01834(NW/GP-LCK)

When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. Although the construction period for works authorized by Department of the Army permits is finite, the permit itself, with its limitations, does not expire.

To validate the transfer of this permit and the associated responsibilities associated with compliance with its terms and conditions, have the transferee sign and date below and mail to the U.S. Army Corps of Engineers, Enforcement Section, Post Office Box 4970, Jacksonville, FL 32232-0019 or electronic mail at saj-rd-enforcement@usace.army.mil.

(TRANSFEREE-SIGNATURE)

(SUBDIVISION)

(DATE)

(LOT)

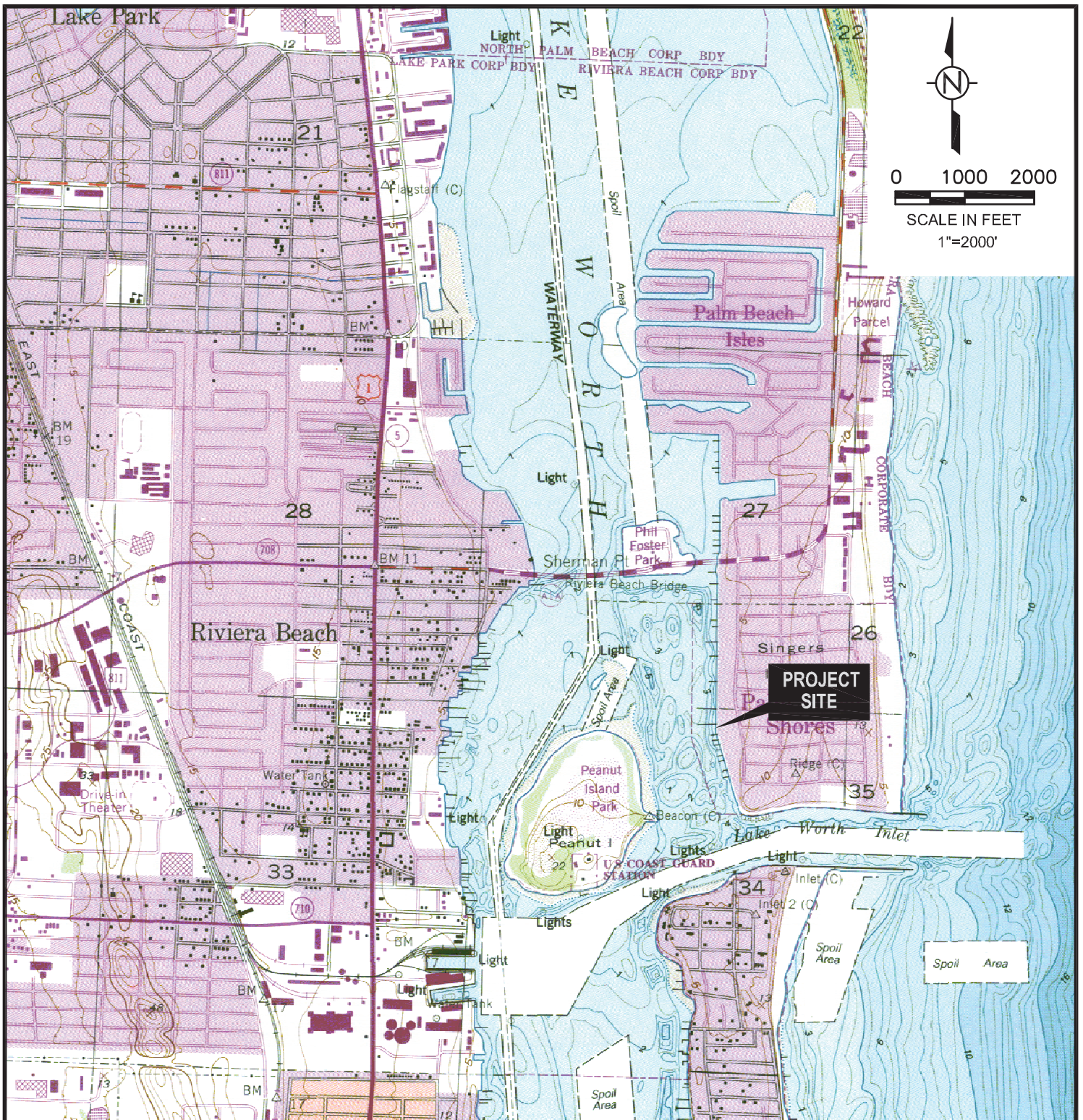
(BLOCK)

(NAME-PRINTED)

(STREET ADDRESS)

(MAILING ADDRESS)

(CITY, STATE, ZIP CODE)



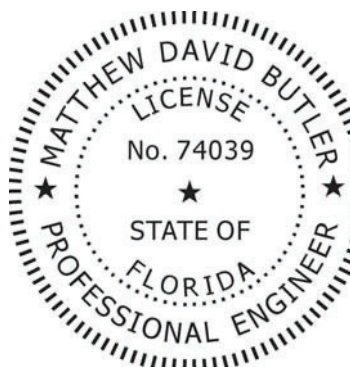
TAKEN FROM U.S.G.S. RIVIERA BEACH, FLORIDA QUADRANGLE

SEC: 27 TWP: 42S RGE: 43E

LAT: 26° 46' 36" N

LONG: 080° 02' 24" W

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VICINITY MAP



**ISIMINGER & STUBBS
ENGINEERING, INC.**

COASTAL • ENVIRONMENTAL • MARINE

CERTIFICATE OF AUTHORIZATION NUMBER : 8114

P.O. BOX 14702 - NORTH PALM BEACH, FL. 33408 - 561-881-0003

PROPOSED FLOATING DOCK AND DREDGING LAKE WORTH

SAILFISH MARINA - 98 LAKE DRIVE
TOWN OF PALM BEACH SHORES, PALM BEACH COUNTY, FL
APPLICANT: GREAT AMERICAN LIFE INSURANCE CO.

DATE	10/19	DRAWN	MDB	CHKD	PJK	APPRVD	MDB
DWG NO.	12030CCC1					SHEET	1
COMPUTER FILE NO.	12030CCC					OF	5

APPROX. RIPARIAN LINE



0 50 100
SCALE IN FEET
1"=100'

EXISTING SLIP NUMBER
(TYP., 93 TOTAL)

EXISTING DOCK

EXISTING DOCK

EXISTING FENDER PILE
(TYP.)

EXISTING SEAWALL
(750± L.F., MHWL AT FACE)

EXISTING FLOATING DOCK

EXISTING FLOATING DOCK

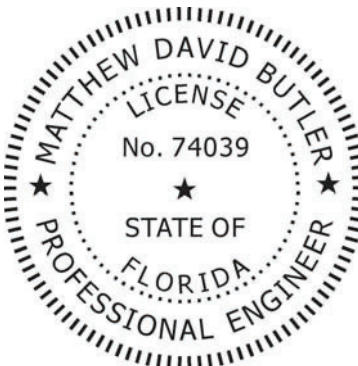
SAILFISH MARINA RESORT

APPROX. PROPERTY LINE (TYP.)

DOCKS DESTROYED BY
HURRICANE MATTHEW IN
2016 AND REMOVED IN 2017

APPROX. LOT LINE
(S. PROP. LINE 150± TO SOUTH)

EXISTING FLOATING DOCK ON
SOUTHERN LOTS, PERMITTED
BY SAJ-2018-01158, NOT
SHOWN FOR CLARITY



This item has been digitally signed and sealed by Matthew D. Butler, P.E. on 10/4/2019 using a Digital Signature. Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.

NOTES:

1. EXISTING LOCATIONS ARE APPROXIMATE BASED ON SURVEY BY WALLACE SURVEYING CORP. (10/30/15).

SKETCH SUBMITTED FOR ENVIRONMENTAL PERMIT REVIEW.
NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.

EXISTING PLAN VIEW



**ISIMINGER & STUBBS
ENGINEERING, INC.**

COASTAL • ENVIRONMENTAL • MARINE

CERTIFICATE OF AUTHORIZATION NUMBER : 8114

P.O. BOX 14702 - NORTH PALM BEACH, FL. 33408 - 561-881-0003

PROPOSED FLOATING DOCK AND DREDGING
LAKE WORTH

SAILFISH MARINA - 98 LAKE DRIVE
TOWN OF PALM BEACH SHORES, PALM BEACH COUNTY, FL
APPLICANT: GREAT AMERICAN LIFE INSURANCE CO.

DATE	10/19	DRAWN	MDB	CHKD	PJK	APPRVD	MDB
DWG NO.	12030CC2					SHEET	2
COMPUTER FILE NO.	12030CCC					OF	5

APPROX. RIPARIAN LINE



0 50 100
SCALE IN FEET
1"=100'

EXISTING SLIP NUMBER
(TYP., 93 TOTAL)

EXISTING DOCK

EXISTING DOCK

EXISTING FENDER PILE
(TYP.)

EXISTING SEAWALL
(750± L.F., MHWL AT FACE)

EXISTING FLOATING DOCK

EXISTING FLOATING DOCK

SAILFISH MARINA RESORT

SEE DETAIL, SHEET 5

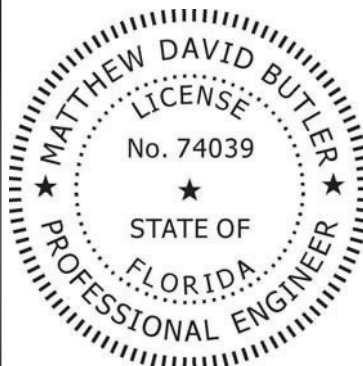
PROPOSED FLOATING DOCK WITH
DREDGING TO -3½ MLW BELOW

PROPOSED
DREDGING
TO -5½ MLW

APPROX. LOT LINE
(S. PROP. LINE 150± TO SOUTH)

EXISTING FLOATING DOCK ON
SOUTHERN LOTS, PERMITTED
BY SAJ-2018-01158, NOT
SHOWN FOR CLARITY

NOTE:
FLOATING TURBIDITY CURTAINS (NOT SHOWN FOR CLARITY)
TO SURROUND ALL IN-WATER WORK DURING CONSTRUCTION.



This item has been digitally signed and sealed by Matthew D. Butler, P.E. on 10/4/2019 using a Digital Signature. Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.

PROPOSED PLAN VIEW



**ISIMINGER & STUBBS
ENGINEERING, INC.**

COASTAL • ENVIRONMENTAL • MARINE

CERTIFICATE OF AUTHORIZATION NUMBER : 8114
P.O. BOX 14702 - NORTH PALM BEACH, FL. 33408 - 561-881-0003

**PROPOSED FLOATING DOCK AND DREDGING
LAKE WORTH**

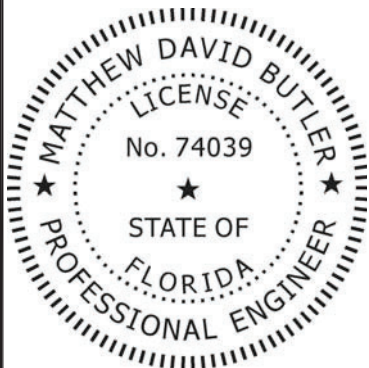
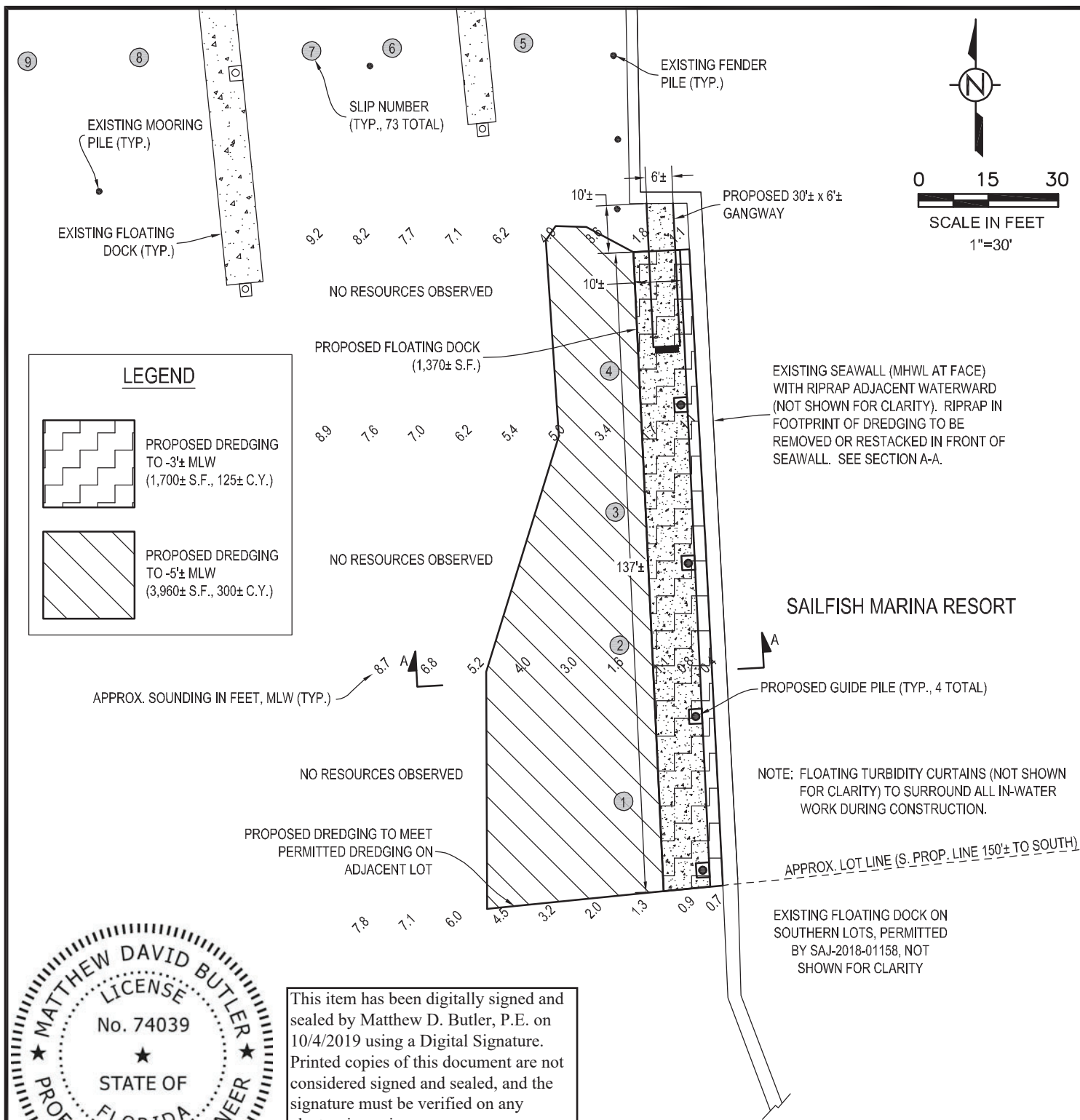
**SAILFISH MARINA - 98 LAKE DRIVE
TOWN OF PALM BEACH SHORES, PALM BEACH COUNTY, FL
APPLICANT: GREAT AMERICAN LIFE INSURANCE CO.**

DATE	10/19	DRAWN	MDB	CHKD	PJK	APPRVD	MDB
DWG NO.	12030CCCC3					SHEET	3
COMPUTER FILE NO.	12030CCC					OF	5

NOTES:

1. EXISTING LOCATIONS ARE APPROXIMATE BASED ON SURVEY BY WALLACE SURVEYING CORP. (10/30/15).

**SKETCH SUBMITTED FOR ENVIRONMENTAL PERMIT REVIEW.
NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.**



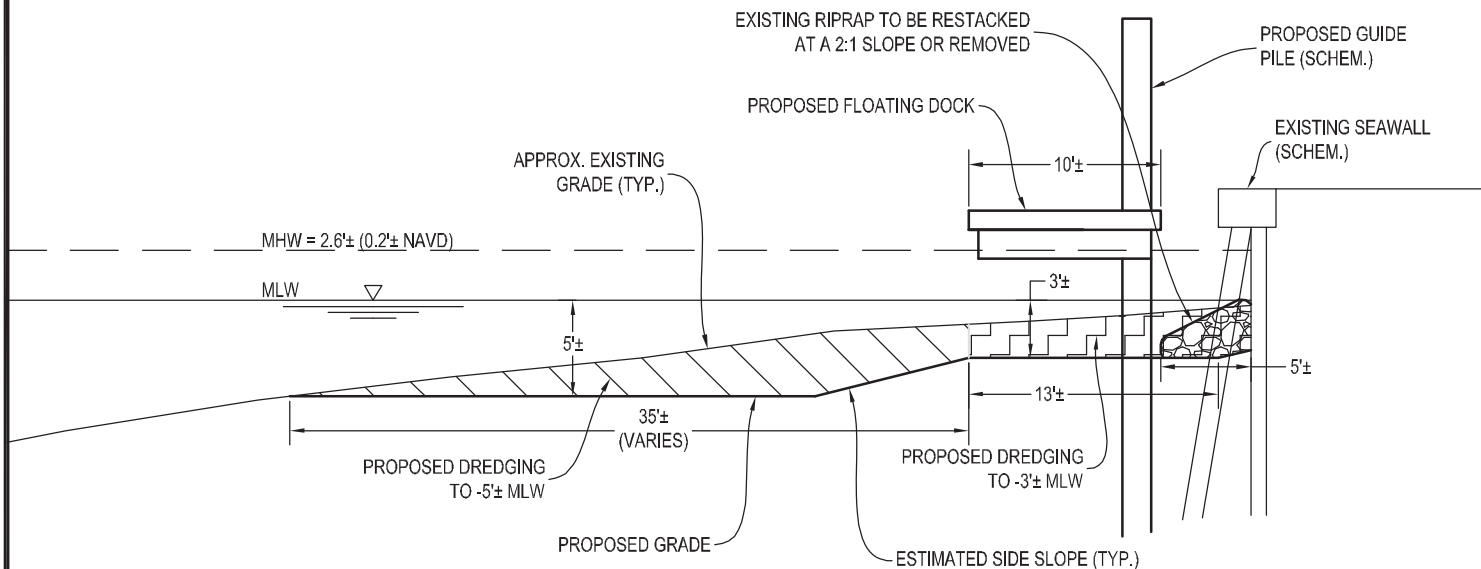
NOTES:

- DATUM IS MLW. MLW = -2.4± NAVD FROM LABINS DATABASE.
- EXISTING LOCATIONS ARE APPROXIMATE BASED ON SURVEY BY WALLACE SURVEYING CORP. (10/30/15).
- SOUNDINGS AND RESOURCE OBSERVATION BY ISIMINGER & STUBBS ENGINEERING, INC. FIELD WORK PERFORMED 2/16/18 AND 6/5/19. SOUNDINGS REDUCED TO MLW BASED ON SEAWALL ELEVATION.

SKETCH SUBMITTED FOR ENVIRONMENTAL PERMIT REVIEW.
NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.

DETAIL

ISIMINGER & STUBBS ENGINEERING, INC. COASTAL • ENVIRONMENTAL • MARINE CERTIFICATE OF AUTHORIZATION NUMBER : 8114 P.O. BOX 14702 - NORTH PALM BEACH, FL. 33408 - 561-881-0003							
PROPOSED FLOATING DOCK AND DREDGING LAKE WORTH SAILFISH MARINA - 98 LAKE DRIVE TOWN OF PALM BEACH SHORES, PALM BEACH COUNTY, FL APPLICANT: GREAT AMERICAN LIFE INSURANCE CO.							
DATE	10/19	DRAWN	MDB	CHKD	PJK	APPRVD	MDB
DWG NO.	12030CCCC4					SHEET	
COMPUTER FILE NO.	12030CCC					OF 5	
						4	

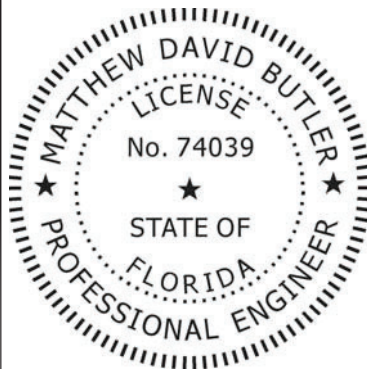


SECTION A-A

0 5 10

SCALE IN FEET

1"=10'



This item has been digitally signed and sealed by Matthew D. Butler, P.E. on 10/4/2019 using a Digital Signature. Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.

NOTES:

1. DATUM IS MLW. MLW = -2.4'± NAVD FROM LABINS DATABASE.
2. EXISTING LOCATIONS ARE APPROXIMATE BASED ON SURVEY BY WALLACE SURVEYING CORP. (10/30/15).
3. SOUNDINGS BY ISIMINGER & STUBBS ENGINEERING, INC. FIELD WORK PERFORMED 2/16/18. SOUNDINGS REDUCED TO MLW BASED ON SEAWALL ELEVATION.

SKETCH SUBMITTED FOR ENVIRONMENTAL PERMIT REVIEW.
NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.

SECTION A-A



**ISIMINGER & STUBBS
ENGINEERING, INC.**

COASTAL • ENVIRONMENTAL • MARINE

CERTIFICATE OF AUTHORIZATION NUMBER : 8114
P.O. BOX 14702 - NORTH PALM BEACH, FL. 33408 - 561-881-0003

**PROPOSED FLOATING DOCK AND DREDGING
LAKE WORTH**

SAILFISH MARINA - 98 LAKE DRIVE

**TOWN OF PALM BEACH SHORES, PALM BEACH COUNTY, FL
APPLICANT: GREAT AMERICAN LIFE INSURANCE CO.**

DATE	10/19	DRAWN	MDB	CHKD	PJK	APPRVD	MDB
DWG NO.	12030CCC5	SHEET		5			
COMPUTER FILE NO.	12030CCC5	OF		5			

SELF-CERTIFICATION STATEMENT OF COMPLIANCE

Permit Number: SAJ- - (LCK)

Permittee's Name & Address (please print or type): _____

Telephone Number: _____

Location of the Work: _____

Date Work Started: _____ Date Work Completed: _____

PROPERTY IS INACCESSIBLE WITHOUT PRIOR NOTIFICATION: YES _____ NO _____

TO SCHEDULE AN INSPECTION PLEASE CONTACT _____
AT _____

Description of the Work (e.g. bank stabilization, residential or commercial filling, docks, dredging, etc.): _____

Acreage or Square Feet of Impacts to Waters of the United States: _____

Describe Mitigation completed (if applicable): _____

Describe any Deviations from Permit (attach drawing(s) depicting the deviations):

I certify that all work, and mitigation (if applicable) was done in accordance with the limitations and conditions as described in the permit. Any deviations as described above are depicted on the attached drawing(s).

Signature of Permittee

Date

COMMENCEMENT NOTIFICATION

*Within ten (10) days of initiating the authorized work, submit this form via electronic mail to saj-rd-enforcement@usace.army.mil (preferred, not to exceed 15 MB) **or** by standard mail to U.S. Army Corps of Engineers, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019.*

1. Department of the Army Permit Number: SAJ- - (-)

2. Permittee Information:

Name: _____

Email: _____

Address: _____

Phone: _____

3. Construction Start Date: _____

4. Contact to Schedule Inspection:

Name: _____

Email: _____

Phone: _____

Signature of Permittee

Printed Name of Permittee

Date

**U.S. Army Corps of Engineers Jacksonville District's Programmatic Biological
Opinion (JaxBO) Project Design Criteria (PDCs) for In-Water Activities**

November 20, 2017

- 1) **(AP.7.) Education and Observation:** The permittee must ensure that all personnel associated with the project are instructed about the potential presence of species protected under the ESA and the Marine Mammal Protection Act (MMPA). All on-site project personnel are responsible for observing water-related activities for the presence of protected species. All personnel shall be advised that there are civil and criminal penalties for harming, harassing, or killing ESA-listed species or marine mammals. To determine which species may be found in the project area, please review the relevant Protected Species List at:
http://sero.nmfs.noaa.gov/protected_resources/section_7/threatened_endangered/index.html
- 2) **(AP.8.) Reporting** of interactions with protected species:
 - a) Any collision(s) with and/or injury to any sea turtle, sawfish, whale, or sturgeon occurring during the construction of a project, shall be reported immediately to NMFS's Protected Resources Division (PRD) at (1-727-824-5312) or by email to takereport.nmfs@noaa.gov and SAJ-RD-Enforcement@usace.army.mil.
 - b) Smalltooth sawfish: Report sightings to 1-844-SAWFISH or email Sawfish@MyFWC.com
 - c) Sturgeon: Report dead sturgeon to 1-844-STURG 911 (1-844-788-7491) or email nmfs.ser.sturgeonnetwork@noaa.gov
 - d) Sea turtles and marine mammals: Report stranded, injured, or dead animals to 1-877-WHALE HELP (1-877-942-5343).
 - e) North Atlantic right whale: Report injured, dead, or entangled right whales to the USCG via VHF Channel 16.
- 3) **(AP.9.) Vessel Traffic and Construction Equipment:** All vessel operators must watch for and avoid collision with species protected under the ESA and MMPA. Vessel operators must avoid potential interactions with protected species and operate in accordance with the following protective measures:
 - a) *Construction Equipment:*
 - i) All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while operating in water depths where the draft of the vessel provides less than a 4-foot (ft) clearance from the bottom, and in all depths after a protected species has been observed in and has departed the area.
 - ii) All vessels will follow marked channels and/or routes using the maximum water depth whenever possible.
 - iii) Operation of any mechanical construction equipment, including vessels, shall cease immediately if a listed species is observed within a 50-ft radius of

construction equipment and shall not resume until the species has departed the area of its own volition.

- iv) If the detection of species is not possible during certain weather conditions (e.g., fog, rain, wind), then in-water operations will cease until weather conditions improve and detection is again feasible.

b) *All Vessels:*

- i) Sea turtles: Maintain a minimum distance of 150 ft.
- ii) North Atlantic right whale: Maintain a minimum 1,500-ft distance (500 yards).
- iii) Vessels 65 ft in length or longer must comply with the Right Whale Ship Strike Reduction Rule (50 CFR 224.105) which includes reducing speeds to 10 knots or less in Seasonal Management Areas (<http://www.fisheries.noaa.gov/pr/shipstrike/>).
- iv) Mariners shall check various communication media for general information regarding avoiding ship strikes and specific information regarding right whale sightings in the area. These include NOAA weather radio, USCG NAVTEX broadcasts, and Notices to Mariners.
- v) Marine mammals (i.e., dolphins, whales [other than North Atlantic right whales], and porpoises): Maintain a minimum distance of 300 ft.
- vi) When these animals are sighted while the vessel is underway (e.g., bow-riding), attempt to remain parallel to the animal's course. Avoid excessive speed or abrupt changes in direction until they have left the area.
- vii) Reduce speed to 10 knots or less when mother/calf pairs or groups of marine mammals are observed, when safety permits.

- 4) **(AP.10.) Turbidity Control Measures during Construction:** Turbidity must be monitored and controlled. Prior to initiating any of the work covered under this Opinion, the Permittee shall install turbidity curtains as described below. In some instances, the use of turbidity curtains may be waived by the USACE project manager if the project is deemed too minimal to generate turbidity (e.g., certain ATON installation, scientific survey device placement, marine debris removal) or if the current is too strong for the curtains to stay in place. Turbidity curtains specifications:

- a) Install floating turbidity barriers with weighted skirts that extend to within 1 ft of the bottom around all work areas that are in, or adjacent to, surface waters.
- b) Use these turbidity barriers throughout construction to control erosion and siltation and ensure that turbidity levels within the project area do not exceed background conditions.
- c) Position turbidity barriers in a way that does not block species' entry to or exit from designated critical habitat.
- d) Monitor and maintain turbidity barriers in place until the authorized work has been completed and the water quality in the project area has returned to background conditions.
- e) In the range of ESA-listed corals (St. Lucie Inlet, Martin County south to the Dry Tortugas and the U.S. Caribbean) and Johnson's seagrass (Turkey Creek/Palm

Bay south to central Biscayne Bay in the lagoon systems on the east coast of Florida):

- i) Projects that include upland earth moving (e.g., grading to install a building or parking lot associated with a dock and seawall project), must install sediment control barriers to prevent any upland sediments from reaching estuarine or marine waters.
 - ii) The turbidity curtain requirement cannot be waived for any project that moves or removes sediment (e.g., dredging, auger to create a pile, trenching to install a cableline). If turbidity curtains are not feasible in an area based on site conditions such as water current, high wave action, or stormy conditions, the project must undergo individual Section 7 consultation and is not covered under this Programmatic Opinion.
- 5) **(AP.11.) Entanglement:** All turbidity curtains and other in-water equipment must be properly secured with materials that reduce the risk of entanglement of marine species (described below). Turbidity curtains likewise must be made of materials that reduce the risk of entanglement of marine species.
- a) In-water lines (rope, chain, and cable, including the lines to secure turbidity curtains) must be stiff, taut, and non-looping. Examples of such lines are heavy metal chains or heavy cables that do not readily loop and tangle. Flexible in-water lines, such as nylon rope or any lines that could loop or tangle, must be enclosed in a plastic or rubber sleeve/tube to add rigidity and prevent the line from looping and tangling. In all instances, no excess line is allowed in the water.
 - b) Turbidity curtains and other in-water equipment must be placed in a manner that does not entrap species within the construction area or block access for them to navigate around the construction area.

STANDARD MANATEE CONDITIONS FOR IN-WATER WORK

2011

The permittee shall comply with the following conditions intended to protect manatees from direct project effects:

- a. All personnel associated with the project shall be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
- b. All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
- c. Siltation or turbidity barriers shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
- d. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
- e. Any collision with or injury to a manatee shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1-888-404-3922. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida, and to FWC at ImperiledSpecies@myFWC.com
- f. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Temporary signs that have already been approved for this use by the FWC must be used. One sign which reads *Caution: Boaters* must be posted. A second sign measuring at least 8 ½" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. These signs can be viewed at MyFWC.com/manatee. Questions concerning these signs can be sent to the email address listed above.

CAUTION: MANATEE HABITAT

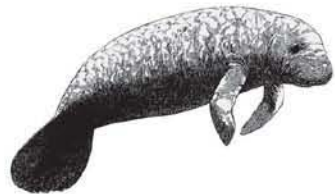
All project vessels

IDLE SPEED / NO WAKE

When a manatee is within 50 feet of work
all in-water activities must

SHUT DOWN

Report any collision with or injury to a manatee:



Wildlife Alert:

1-888-404-FWCC(3922)

cell *FWC or #FWC

North Atlantic Right Whale Information Form

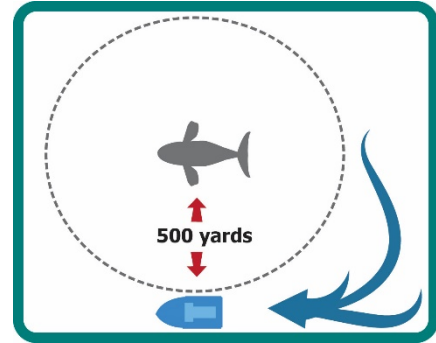
Federal Regulations Governing the Approach to North Atlantic Right Whales



1. Federal regulations governing the approach to North Atlantic right whales can be found at 50 CFR 224.103(c). It is illegal to approach and remain within 500 yards of right whales; 500 yards is equal to the distance of 5 football fields.

Prohibitions on approaching right whales are as follows (Excerpts from 50 CFR 224.103(c), available at www.ecfr.gov): Unless otherwise lawfully allowed or unless doing so would create an imminent and serious threat to a person or vessel, it is unlawful to:

- (i) *Approach (including by interception) within 500 yards (460 m) of a right whale by vessel*
- (ii) *Fail to undertake required right whale avoidance measures. If underway, a vessel must steer a course away from the right whale and immediately leave the area at a slow safe speed.*



2. Updates can be downloaded from:
 - a. http://www.nmfs.noaa.gov/pr/species/mammals/cetaceans/rightwhale_northatlantic.htm,
or
 - b. www.ecfr.gov

From: Meyer, Jeffrey L <Jeffrey.L.Meyer@FloridaDEP.gov>
Sent: Wednesday, February 5, 2020 4:52 PM
To: Matthew D. Butler; Edwards, Kent; Andreotta, Jason
Cc: Bryan P. Cheney - Sailfish Marina Resort (bcheney@sailfishmarina.com); Charles C. Isiminger; Kyle Burg
Subject: RE: Sailfish Marina (Great American Life Ins. Co.) Marginal Dock and Dredging: 50-0126380-006-EI

Matt,

Please accept this email as authorization to commence construction of the referenced project (Permit No. 50-0126380-006-EI) while we continue to process the sovereign submerged lands lease modification.

Thanks,



Jeffrey L. Meyer

Environmental Manager

Florida Department of Environmental Protection
Southeast District – West Palm Beach
3301 Gun Club Road, MSC 7210-1
West Palm Beach, FL 33406
Jeffrey.L.Meyer@floridadep.gov
Office: 561.681.6645

From: Matthew D. Butler <mbutler@coastal-engineers.com>
Sent: Wednesday, February 5, 2020 11:52 AM
To: Edwards, Kent <Kent.Edwards@FloridaDEP.gov>; Andreotta, Jason <Jason.Andreotta@FloridaDEP.gov>; Meyer, Jeffrey L <Jeffrey.L.Meyer@FloridaDEP.gov>
Cc: Bryan P. Cheney - Sailfish Marina Resort (bcheney@sailfishmarina.com) <bcheney@sailfishmarina.com>; Charles C. Isiminger <cisiminger@coastal-engineers.com>; Kyle Burg <kburg@coastal-engineers.com>
Subject: Sailfish Marina (Great American Life Ins. Co.) Marginal Dock and Dredging: 50-0126380-006-EI
Importance: High

Gentlemen,

The dock authorized in the attached permit is ready to be installed. The dock was delivered several months ago and has been in storage waiting for all necessary permits to be issued. Your permit was issued on November 22, 2019 (Corps permit was issued December 20, 2019). A condition of the DEP permit requires that the existing submerged land lease (BOT File No. 500729109) be modified prior to the installation of the dock. We were promised by DEP that the DOA would be sent to State Lands in early January. According to Jim Kipp in State Lands, as of yesterday, his office has not received the DOA from your office for this modification. If this is true, please see to it that the DOA gets sent to his office as soon as possible.

In the interim, since the permitted dock is within the existing SSL lease boundary, no changes to the SSL lease boundary are proposed, there is no change in the number of boat slips or the activities which take place within the lease/marina, and the dock is being installed to replace the hurricane-damaged, temporary boat slips which allowed for the public to moor at the facility for short term, please allow the permittee to move forward with installation of the dock without the fully modified SSL lease. This will allow the permittee to obtain their local approval, which is currently being delayed by

the SSL lease modification process. DEP has historically allowed this type of work to occur in this type of scenario. Please confirm that this is acceptable or feel free to contact us if you have any questions.

Thank you,

Matt Butler, P.E.

ISIMINGER & STUBBS ENGINEERING, INC.



649 U.S. Hwy 1, Suite 9
North Palm Beach, FL 33408
Office: (561) 881-0003
Fax: (561) 881-8123
Email: mbutler@coastal-engineers.com
www.coastal-engineers.com

Attention:

This email and any files transmitted with it from Isiminger & Stubbs Engineering, Inc. are confidential and intended solely for use by the individual or entity to whom they are addressed. If you have received this email in error, please immediately notify the sender.



SAILFISH MARINA-SOUTHERNMOST DOCK
PALM BEACH COUNTY, FLORIDA

JOB #:5946
01-03-20

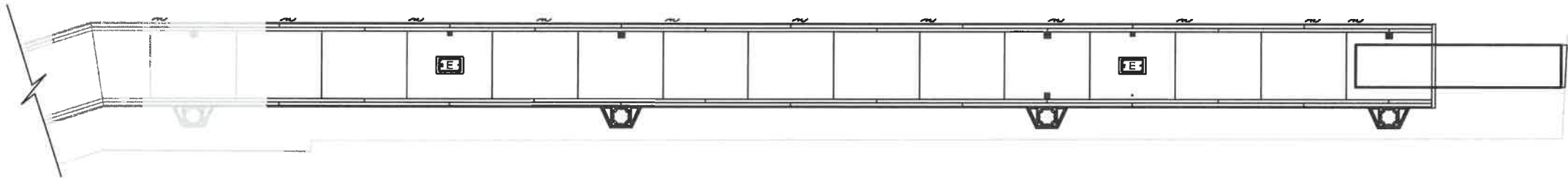
PROJECT MANAGER: TBD
APPROVAL SET

- CALLOUT LEGEND**
H.N.=HEX NUT
F.W.=FLAT WASHER
D.W.=DOCK WASHER
L.W.=LOCK WASHER
M.B.=MACHINE BOLT
C.B.=CARRIAGE BOLT
ICB=INTERNAL COUNTER BALANCE
H.D.G.=HOT DIPPED GALVANIZED
S.S.=STAINLESS STEEL
=18" H.D.G. SHIP CLEAT
= BOLLARD

NOTE: FLOATING DOCK SYSTEM COMPONENTS
ARE BASED ON A 2.5 FOOT WAVE DESIGN



Innovative harbor
and waterfront solutions
1813 Dennis Street
Jacksonville, FL 32204
TEL: (904) 358-3362
FAX: (904) 354-4818



WARNING: BELLINGHAM MARINE INDUSTRIES, INC. HAS BEEN NOTIFIED BY ITS WOOD PRESERVERS THAT THE CHEMICALS USED IN THE WOOD TREATMENT PROCESS ARE KNOWN TO CAUSE CANCER.

NOTE: STEEL WELDMENTS ARE HOT DIPPED GALVANIZED (HDG) AFTER FABRICATION. ALL NUTS, BOLTS, AND WASHERS WILL BE A307 HDG STEEL, OR STAINLESS STEEL GRADE 304. THE GALVANIZED COATING ON HDG STEEL PARTS IS A SACRIFICIAL MATERIAL THAT DEGRADES OVER TIME. GALVANIZED PARTS WILL CORRODE AFTER EXPOSURE TO SALTWATER, AND HAVE A LIFE EXPECTANCY OF 5 TO 10 YEARS. ROUTINE MAINTENANCE AND/OR REPLACEMENT WILL BE REQUIRED.

NOTE: PVC SLEEVES CAST INTO FLOAT MODULES ARE NOT CONTINUOUS THRU THE ASSEMBLED DOCK. THERE IS A 3 1/2" APPROXIMATE GAP BETWEEN FLOAT MODULES. THIS SYSTEM IS DESIGNED TO PROVIDE ONLY A SLEEVE FOR WHATEVER WIRING/CONDUIT SYSTEM IS REQUIRED BY THE ELECTRICAL SYSTEM DESIGNER AND LOCAL CODE AUTHORITY.

WHEN THESE DRAWINGS AND DESIGN ARE BASED ON A "PROPOSED SURVEY", IT IS ADVISABLE TO HAVE AN ACTUAL "AS BUILT SURVEY" PRIOR TO EARLY PRODUCTION. RELEASE BASED ON A PROPOSED SURVEY IS THE CUSTOMER'S RESPONSIBILITY.

CAUTION: FLOAT SYSTEMS ARE UNSTABLE WHEN PLACED IN WATER PRIOR TO ASSEMBLY IN THEIR FINAL INTENDED CONFIGURATION. MODULES OR SUBASSEMBLIES SHOULD BE HANDLED WITH CARE DURING INSTALLATION AND SHOULD NEVER BE STOOD OR WALKED UPON PRIOR TO FINISHED ASSEMBLY.

NOTE: IN SIGNING AND CHECKING BOX YOU ARE APPROVING ALL THE PAGES (1-12) IN THIS DRAWING SET

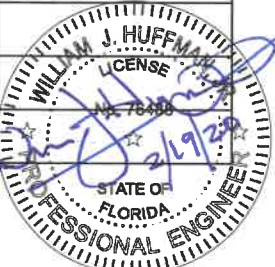
- ☐ APPROVED NO EXCEPTION TAKEN
☐ APPROVED AS NOTED
☐ REVISE AND RESUBMIT
☐ REJECTED
☐ SUBMIT SPECIFIED ITEM

By _____ Date _____

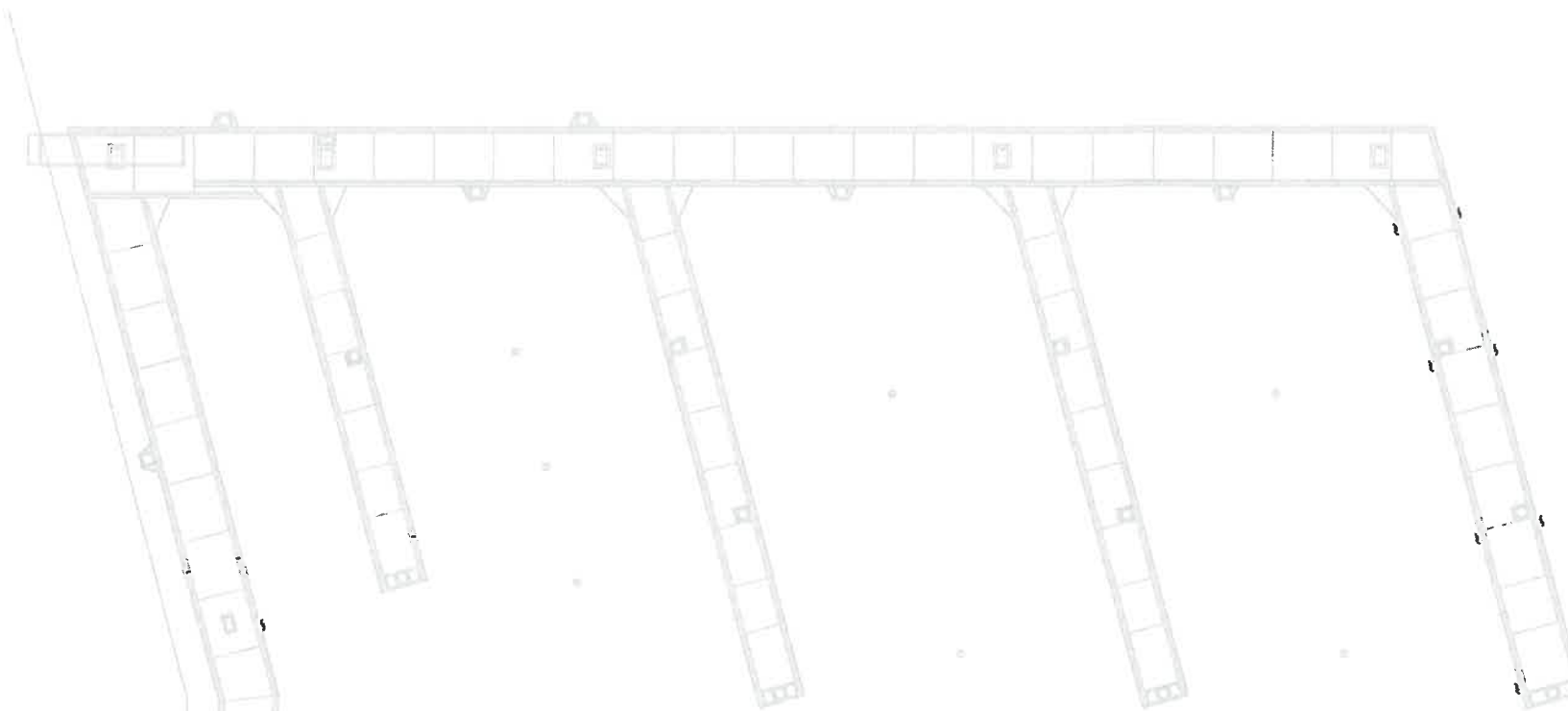
UTILITY CHASE NOTE:
IN APPROVING THESE DRAWINGS THE CONTRACTOR IS TO VERIFY LOCATIONS OF EQUIPMENT AND ACCESS FOR UTILITIES. APPROVED DRAWINGS WILL BE FABRICATED ACCORDINGLY .

TABLE OF CONTENTS

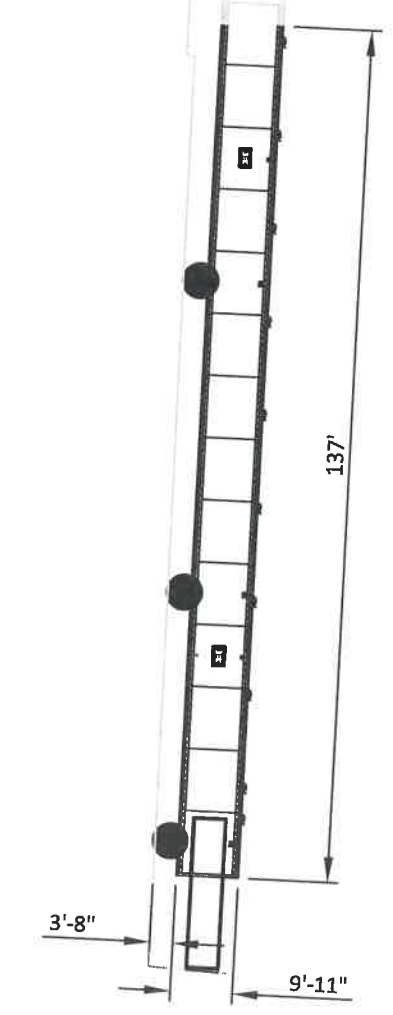
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COVER SHEET	CS	
LAYOUT	1	
PILE DESIGN PAGE	2	
ASSEMBLY	3	
DETAILS	4	
DETAILS	5	
DETAILS	6	
WELDMENTS	7	
BENT BEAMS	8	
GANGWAY ASSEMBLY	9	



William J. Huffman, Jr PE
Florida PE Number 76488
Structural Systems Analysis, LLC
FL Certificate of Auth. 30879



● = 18"Ø STEEL PIPE PILE W/
20"Ø HDPE SLEEVES (4)



NOTES: 1. SEE PERMIT # 19PBS-0188-BLDG, FOR CONTINUATION.
2. DIMENSION ARE ROUNDED TO THE NEAREST INCH.

SOUTHERNMOST DOCK

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Florida PE Number 76488
Structural Systems Analysis, LLC
FL Certificate of Auth. 30879

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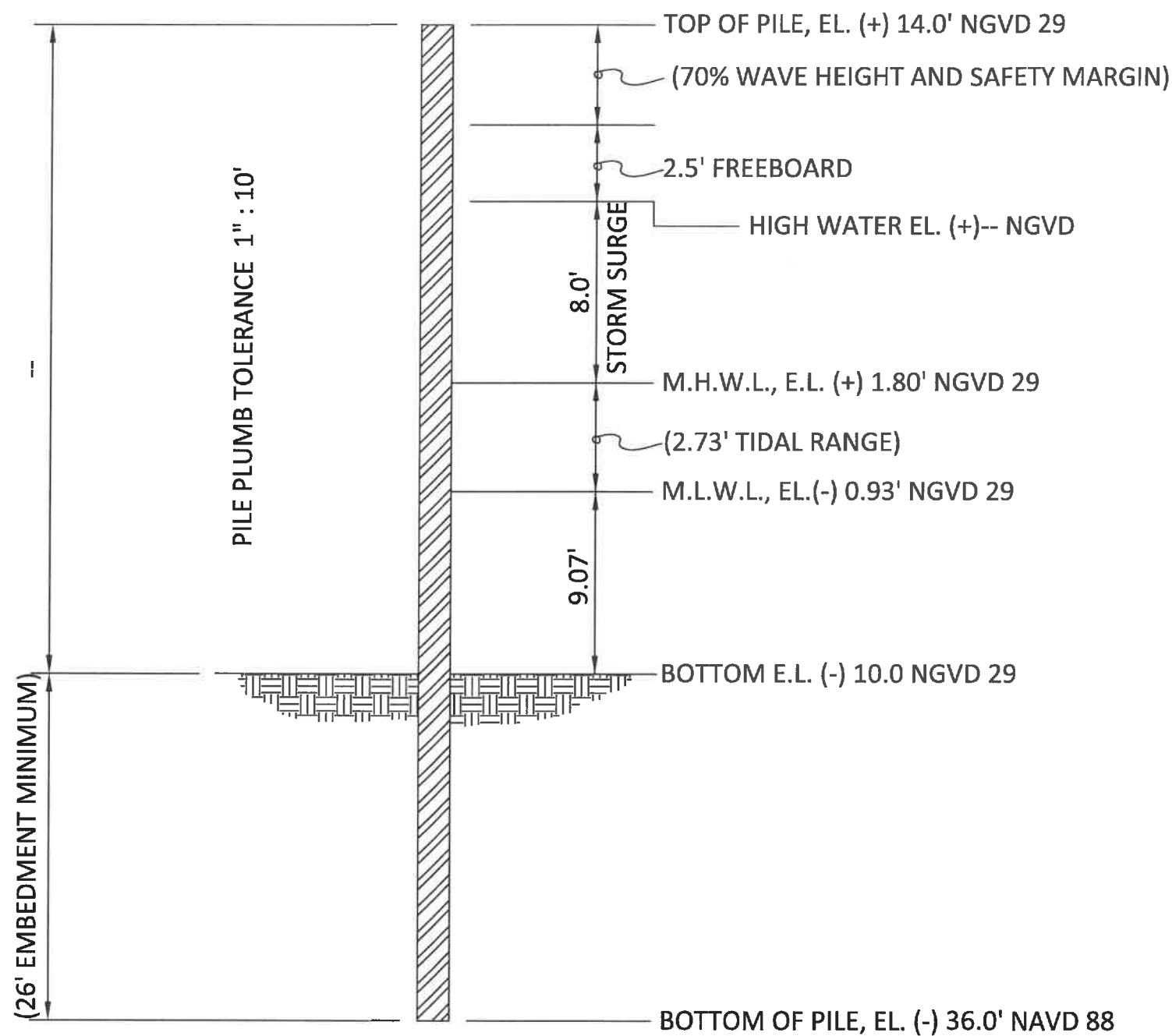
UNIFLOAT
Precision engineered flotation systems

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**SAILFISH MARINA
PALM BEACH COUNTY, FL.
SOUTHERNMOST DOCK
LAYOUT**

Revisions:

Drawn by: AL
Date: 01-03-20
Scale: 1"=30'
Project No.
5946
Sheet:
1 of **9**



TOTAL LENGTH OF PILE, L = 50.0'

DESIGN CRITERIA: THE UNIFLOAT SYSTEM PROPOSED AND WARRANTED HEREIN IS BASED UPON THE FOLLOWING DESIGN CRITERIA:

Sailfish Marina Criteria

Maximum Wind Speed Occupied - 90 MPH - (ASCE 7-10: 3 second gust)
Maximum Wind Speed Unoccupied - 120 MPH - (ASCE 7-10: 3 second gust)
Storm Duration - 2.0 Hour Maximum
Largest Average Vessels - 72 feet LOA
Largest Single Vessel - 110 feet LOA
Layout of Docks - As supplied by Isiminger & Stubbs Engineering
Anticipated Surge - (+/-) 8.0 feet maximum
Top of Pile Elevation - 14.0 NGVD 29
Existing Bottom Depth - (-)10.0 NGVD 29
Occupied Wave at Site - 2.5 foot / 2.0 second period
Boat Wake - 1.0' maximum
Tidal Data - MHWL (+)1.80 NGVD 29 / MLWL (-)0.93 NGVD 29
Current - 3.0 knot Unoccupied
Pile Type - 18" Ø Steel Pipe Piling - ½" wall ASTM A252 Grade 3 or better (Fb = 45 ksi) - HDPE Pipe Sleeves
Layout of Piling - As determined from Isiminger & Stubbs Engineering Plan
Size of Walers Required - Double 5" x 16-1/2" with double rods - 16 rods per float -and SR/SP for Main Walks, Fingers and L Head
Size of Walers Required - Double 5" x 15-1/8" with double rods - 16 rods per float -and SR/SP for > 60' Fingers
Number of 18"Ø piling - 4 each
Length of Piling - 50'-0"
Depth of Required Penetration - 26' (assumed Geotechnical from local conditions)
Freeboard - 30 inches under dead load only (40 PSF Live Load with 18" Freeboard)
Gangways - 1 each 5' x 20' with 50 PSF Live Load L/180 criteria



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SAILFISH MARINA
PALM BEACH COUNTY, FL.
SOUTHERNMOST DOCK
PILE DESIGN PAGE

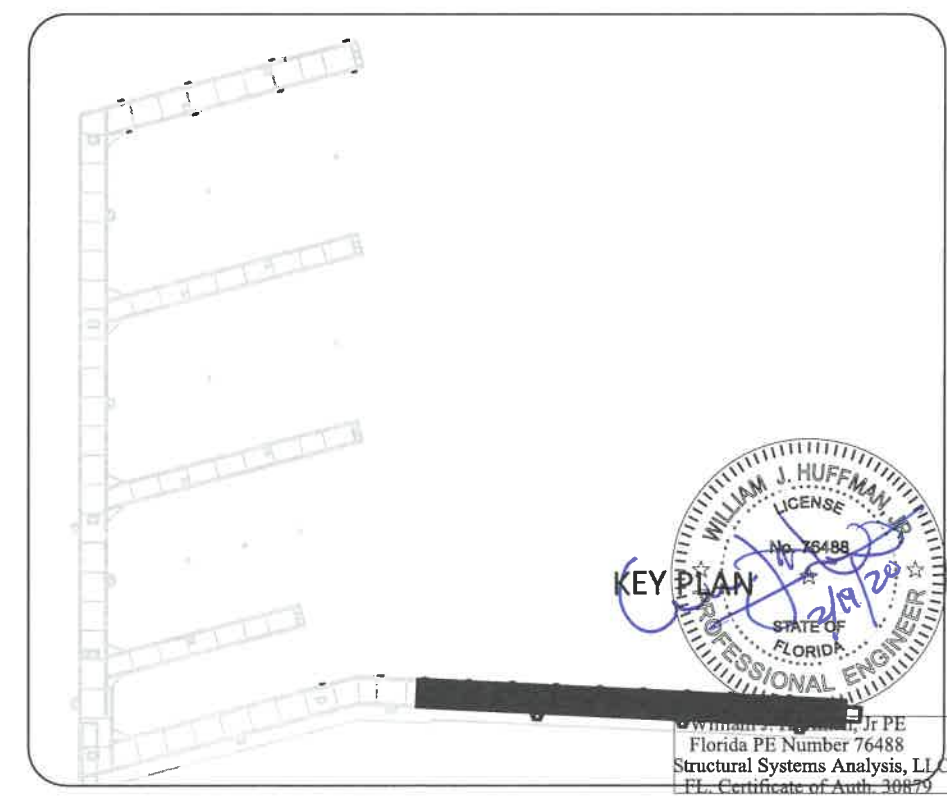
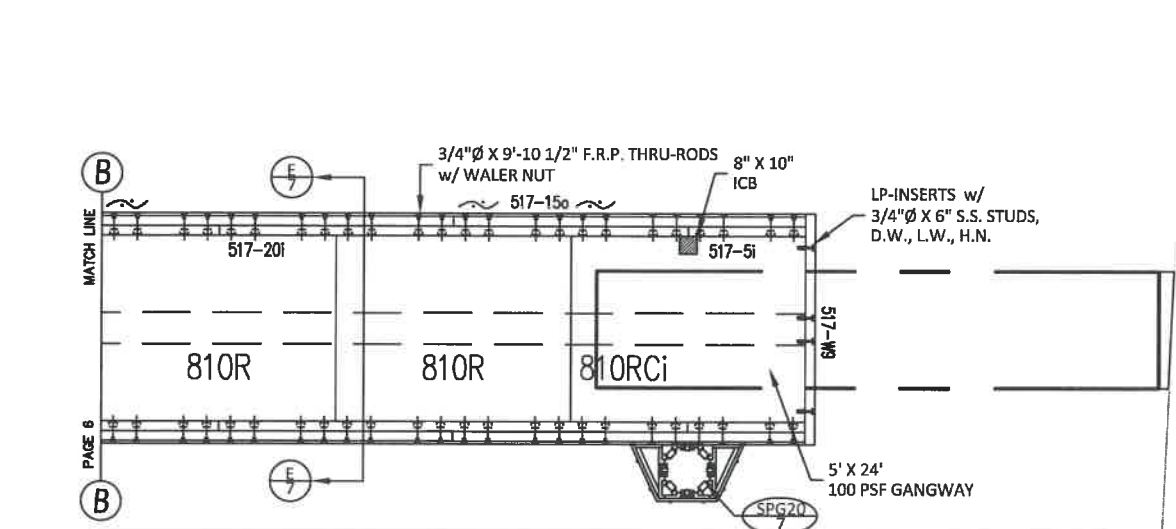
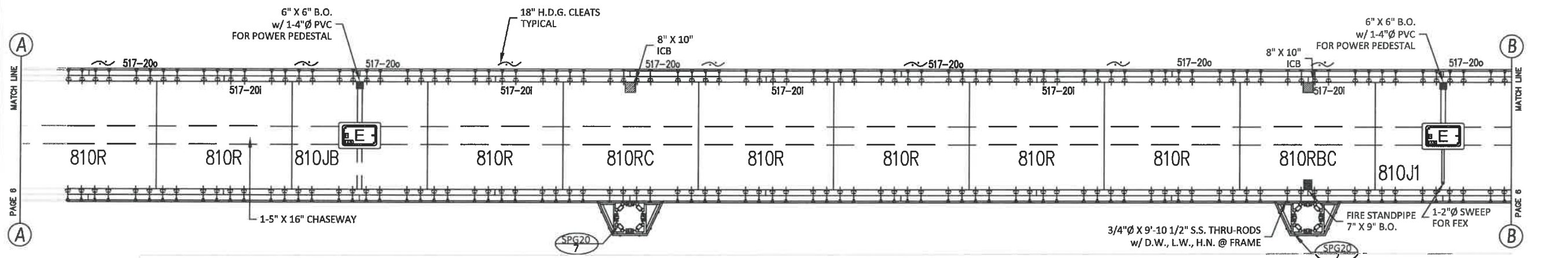
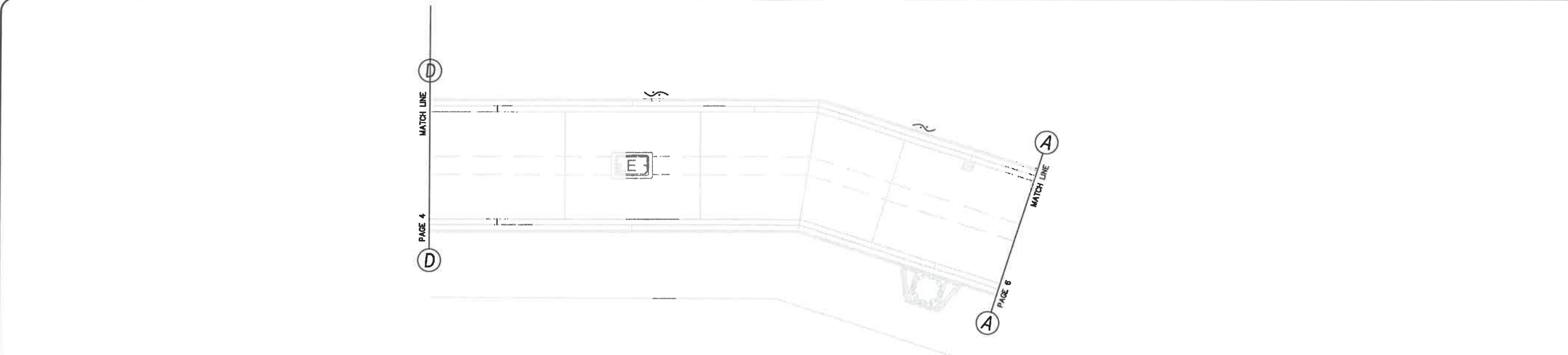
Revisions:

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Date: 01-03-20
Scale: AS SHOWN
Project No.

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Sheet:

2 of 9



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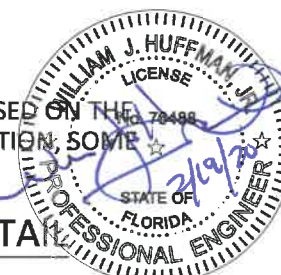
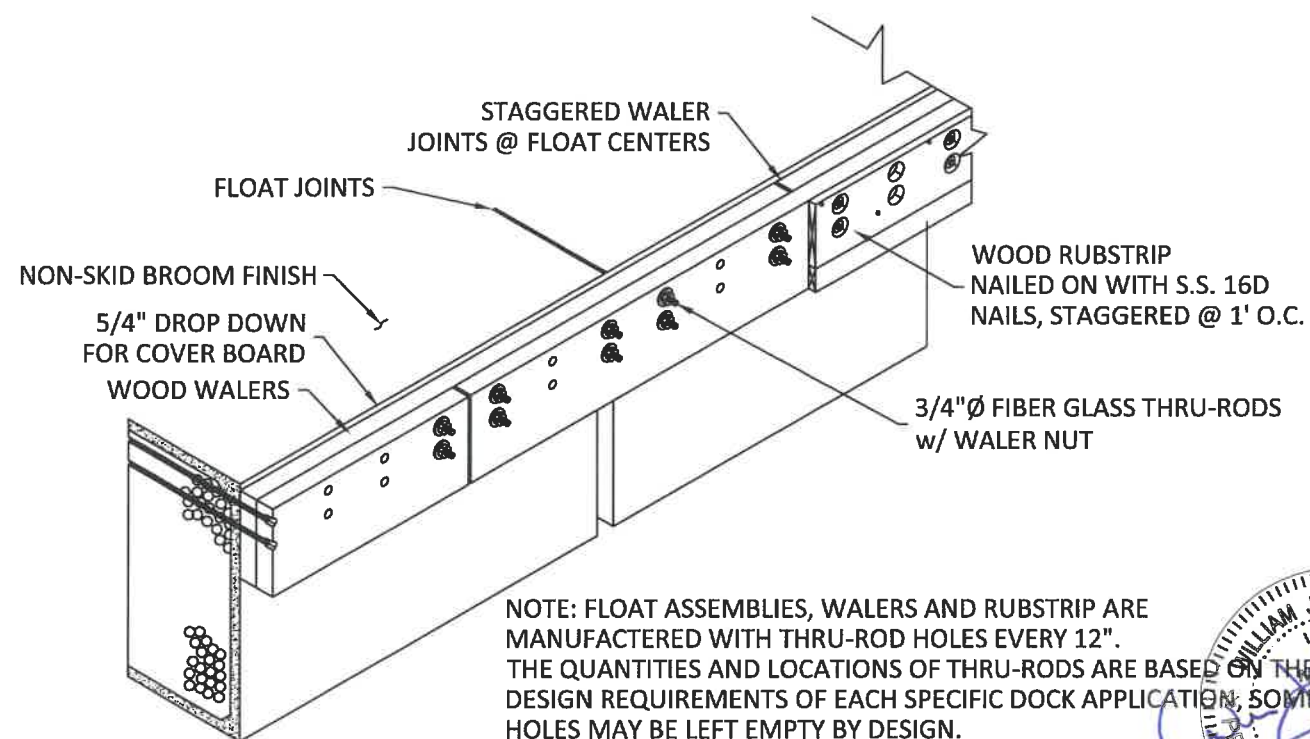
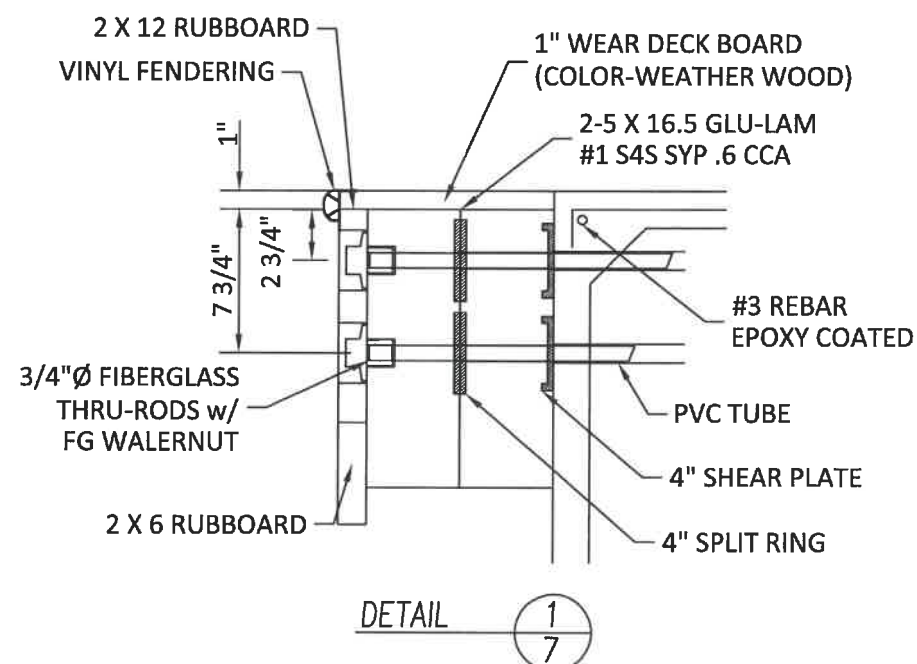
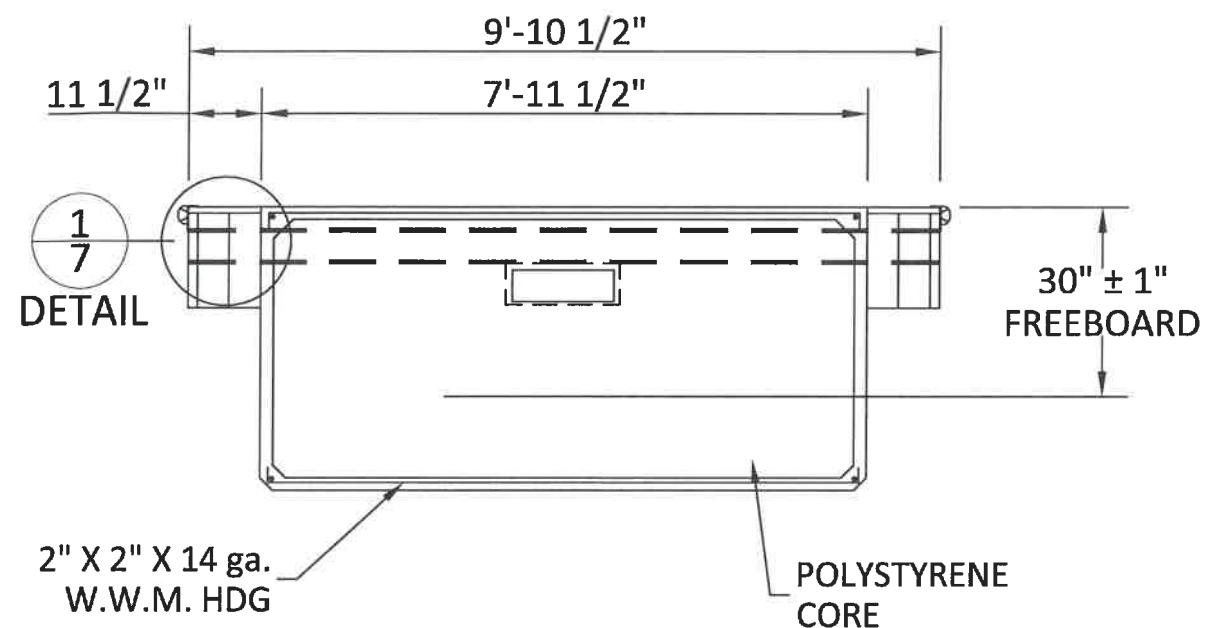
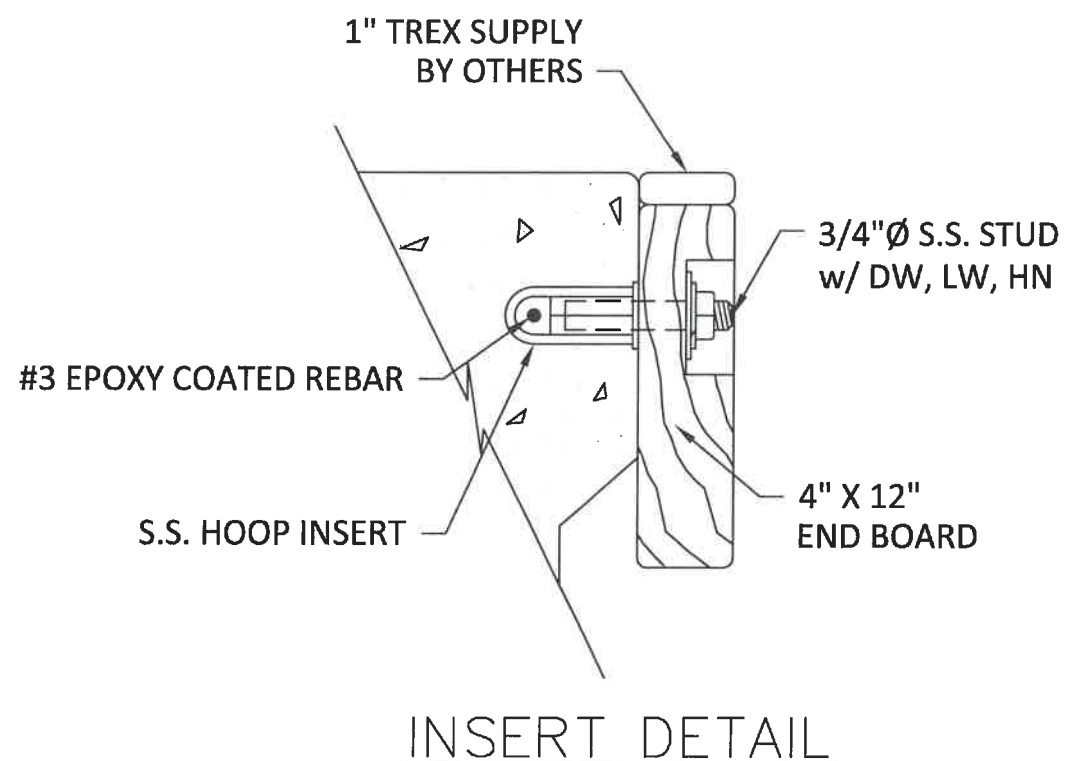
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**SAILFISH MARINA
PALM BEACH COUNTY, FL.
SOUTHERNMOST DOCK
ASSEMBLY**

Revisions:
1 permit revision 2-13-2020
1 keyplan rev 2-14-2020

Drawn by: AL
Date: 01-03-20
Scale: 1/8"=1'
Project No.
5946
Sheet:
3 of **9**



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Florida PE Number 76488
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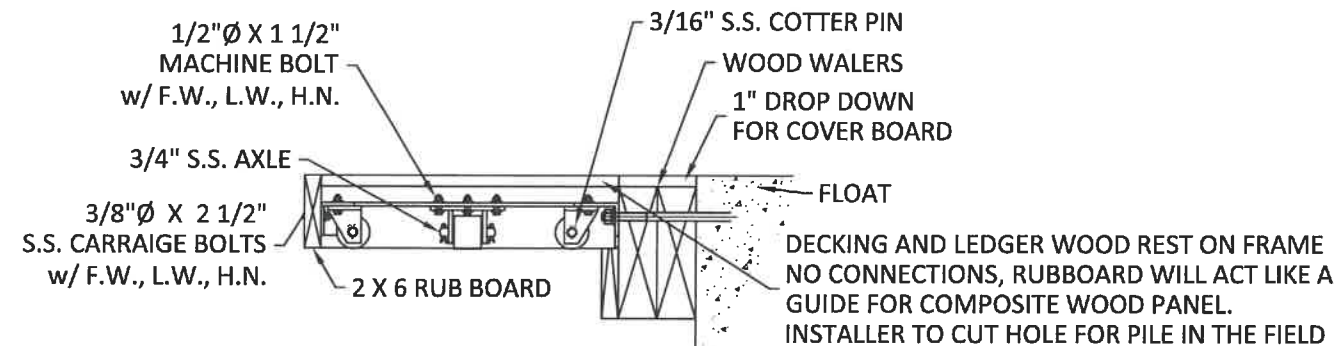
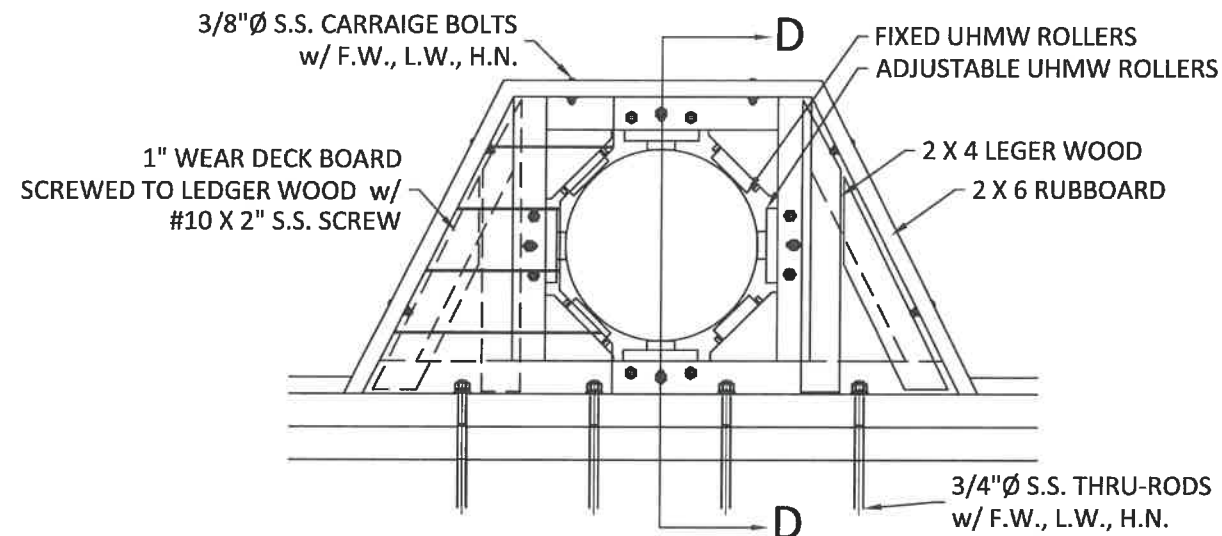
**SAILFISH MARINA
PALM BEACH COUNTY, FL.
SOUTHERNMOST DOCK
DETAILS**

Revisions:

Drawn by: AL
Date: 01-03-20
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Project No.

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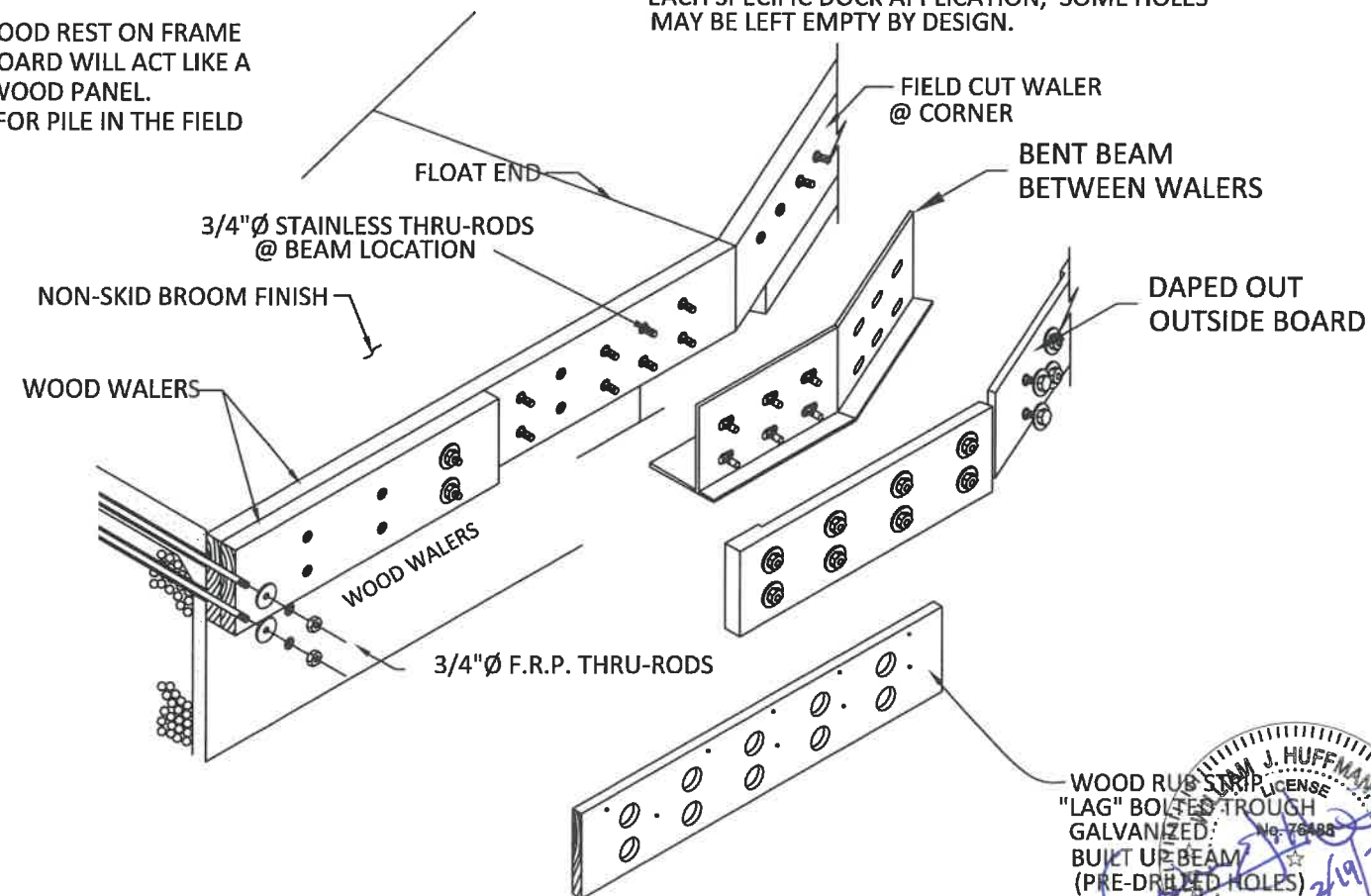
Sheet:
4 of **9**



SECTION D-D

SIDE PILE GUIDE DETAIL

NOTE: FLOAT ASSEMBLIES, WALERS AND RUBSTRIP ARE MANUFACTURED WITH THRU ROD HOLES EVERY 12". THE QUANTITIES AND LOCATIONS OF THRU RODS ARE BASED ON THE DESIGN REQUIREMENTS OF EACH SPECIFIC DOCK APPLICATION, SOME HOLES MAY BE LEFT EMPTY BY DESIGN.



FLOAT BEAM ASSEMBLY DETAIL
CONFIGURATION SIMILAR FOR INSIDE CONDITION

WOOD RUB STRIP
"LAG" BOLTED TROUGH
GALVANIZED
BUILT UP BEAM
(PRE-DRILLED HOLES)

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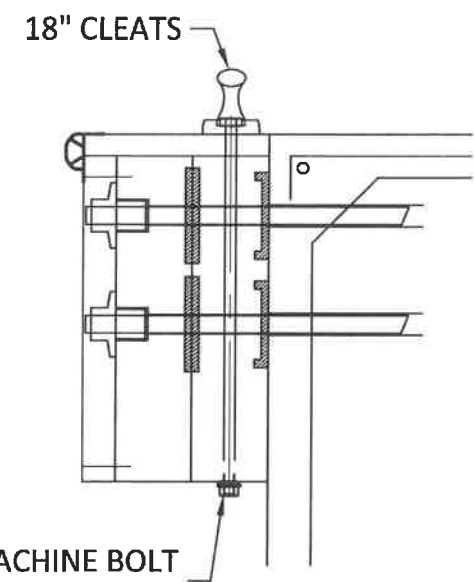
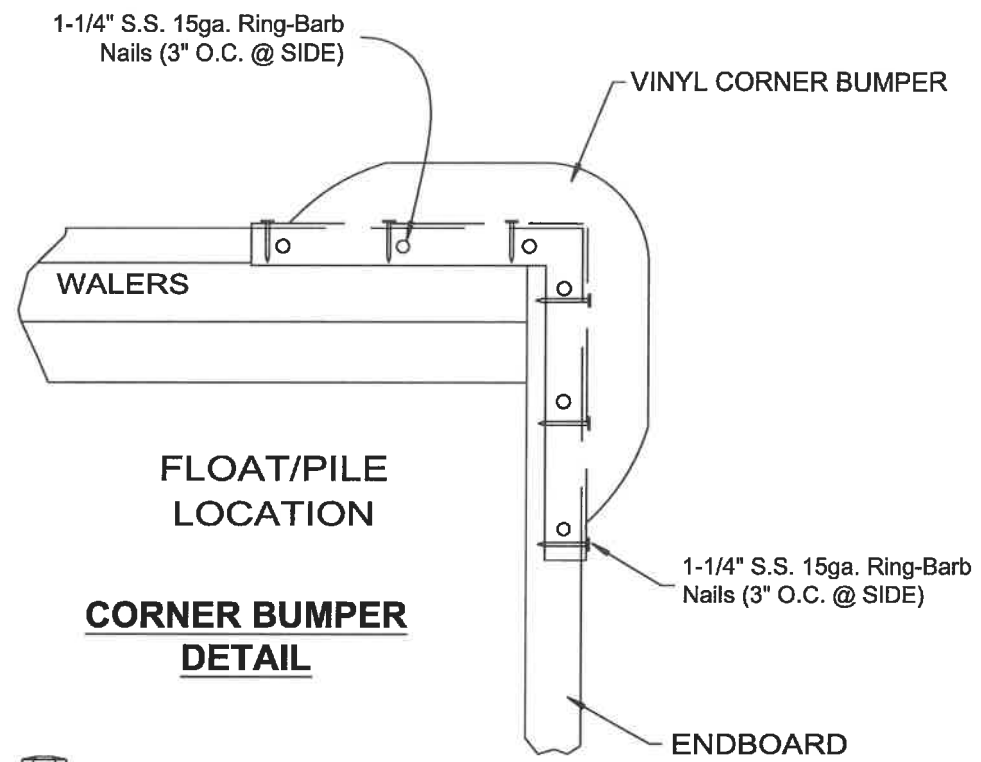
SAILFISH MARINA
PALM BEACH COUNTY, FL.
SOUTHERNMOST DOCK
DETAILS

Revisions:

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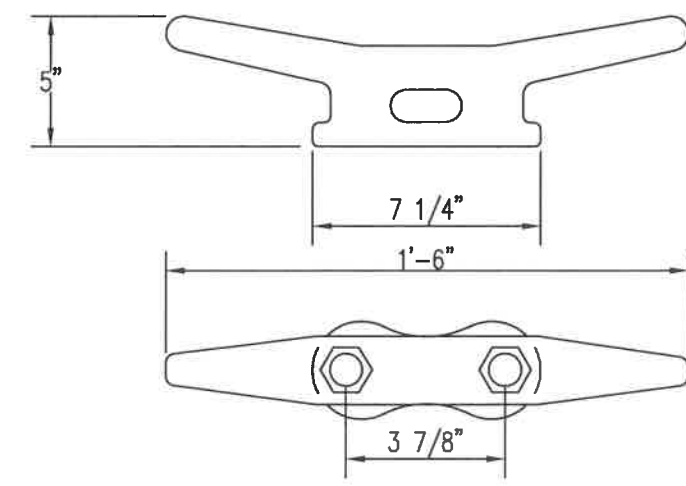
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5 of 9



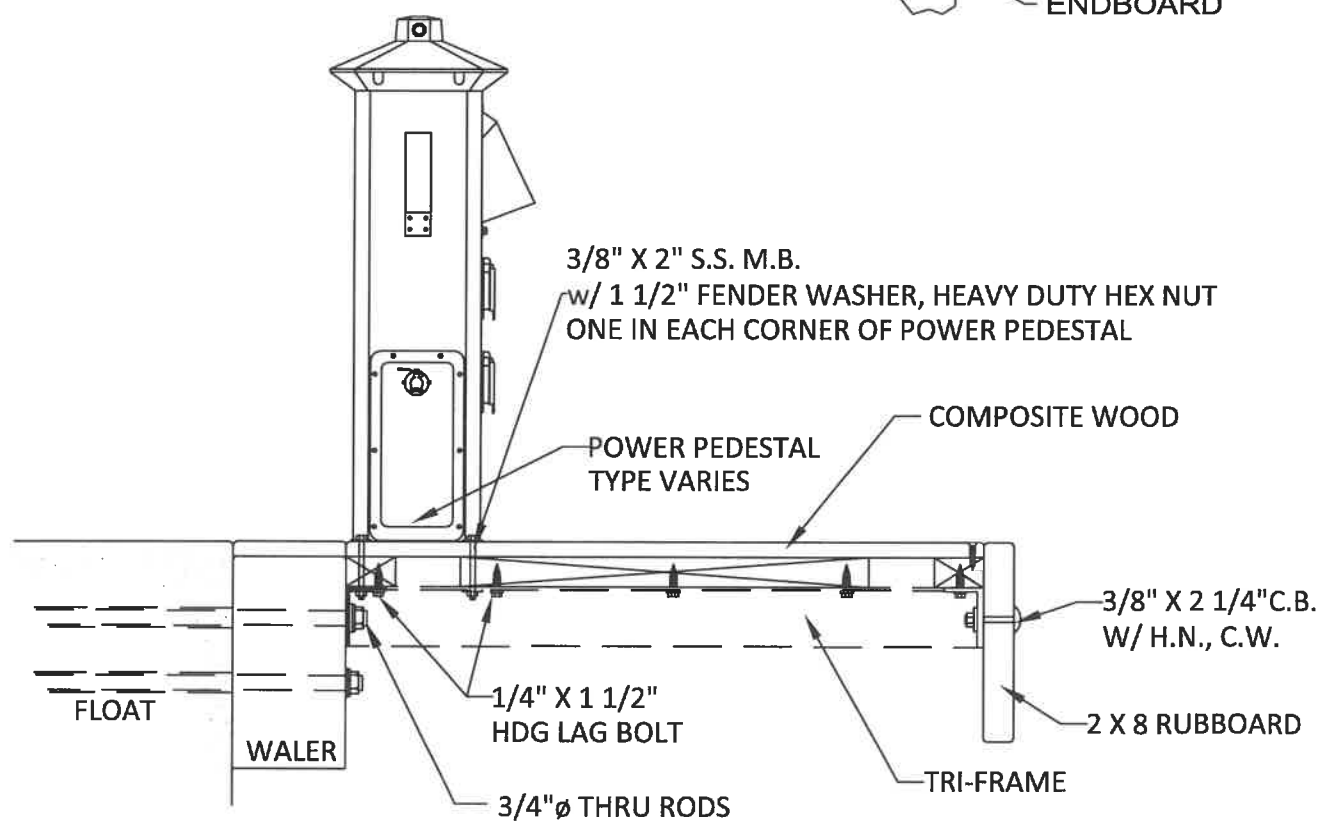
3/4"Ø MACHINE BOLT
w/ H.N., L.W., F.W.

CLEAT ATTACHMENT DETAIL

- NOTES:
1. CLEATS ARE INSTALLED ON INSIDE WALER
 2. CLEATS AT THE END SHALL BE INBOARD OF THE LAST THRU-ROD
 3. AVOID LOCATING CLEATS AT FLOAT JOINTS
 4. CLEATS SHALL BE 6" MIN FROM NEAREST WOOD SPLICE



18" GALVANIZED CLEAT



Professional Engineer Seal for William J. Huffman, Jr. PE, License No. 76488, State of Florida. The seal includes a signature and the date 02/19/20.

William J. Huffman, Jr PE
Florida PE Number 76488
Structural Systems Analysis, LLC
FL. Certificate of Auth. 30879

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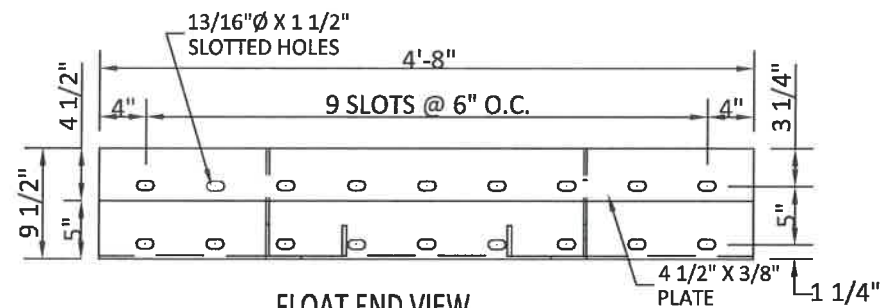
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**SAILFISH MARINA
PALM BEACH COUNTY, FL.
SOUTHERNMOST DOCK
DETAILS**

Revisions:

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Date: 01-03-20
Scale: AS SHOWN
Project No.
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Sheet:
6 of 9



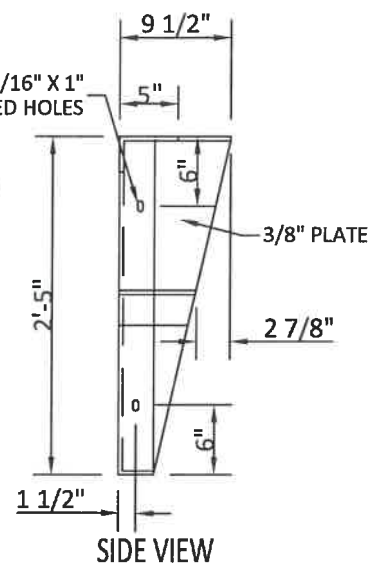
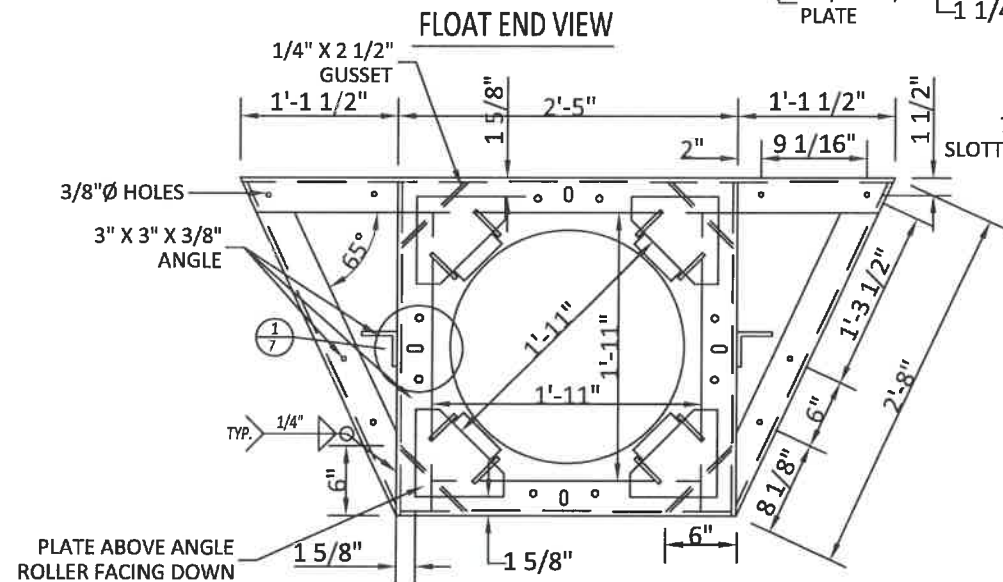
NOTES: FABED FROM 304L STAINLESS STEEL
STAMP OR TAG TYPE NO. ON EACH WELDMENT

WELDMENT TYPE	REQ'D
SPG20	4

Q.C. IN PROGRESS CHECK

DATE	NAME

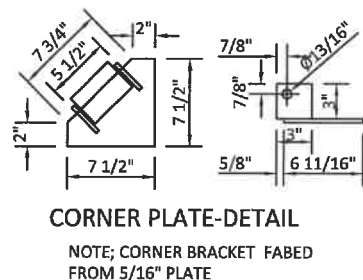
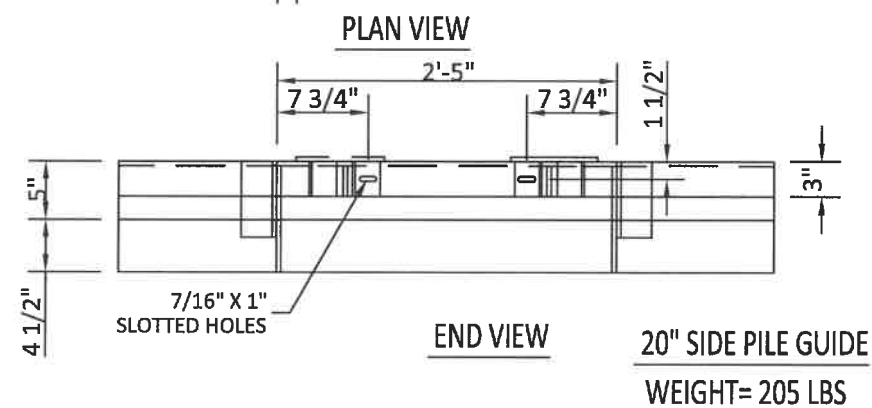
TASK	DATE	BY
RELEASED		
FITTER		
WELDER		
HELPER		
CHECKED		
CHECKED		
COMPLETED		
SHIPPED		



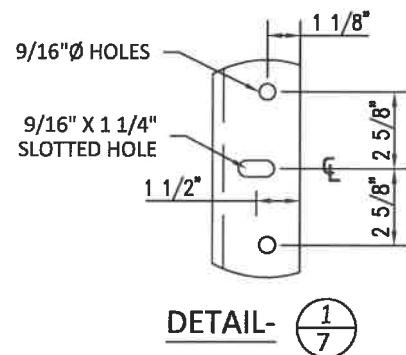
NOTES: FAB FROM ASTM A-36. HOT DIP GALV. AFTER FAB IN COMPLIANCE WITH ASTM A-123-78. STAMP OR TAG TYPE NO. ON EACH WELDMENT

WELDMENT TYPE	REQ'D
ROLLER BRACKETS	16
S.S. AXLE	16

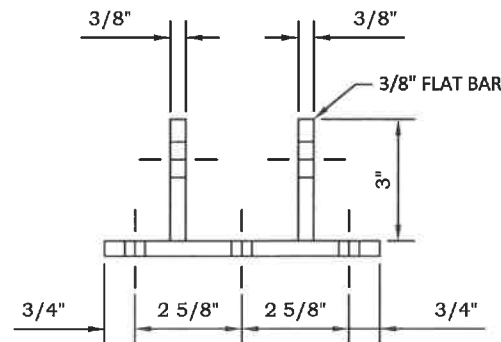
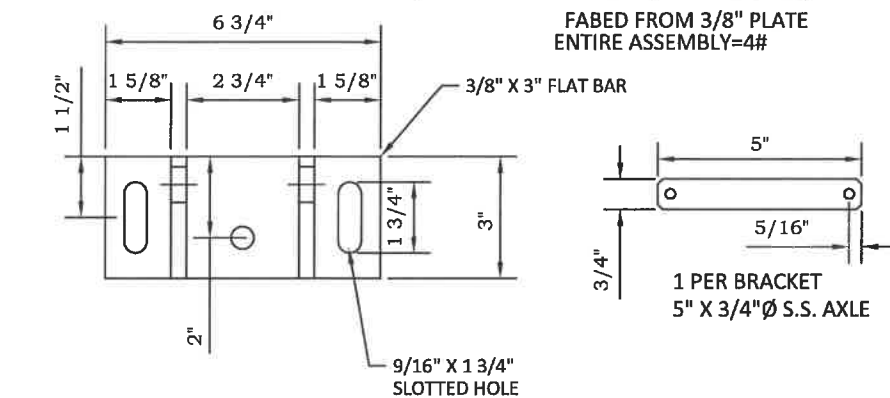
FABED FROM 3/8" PLATE
ENTIRE ASSEMBLY=4#



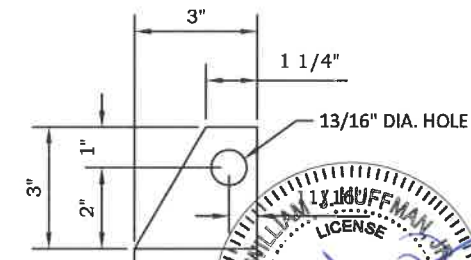
CORNER PLATE-DETAIL
NOTE: CORNER BRACKET FABED FROM 5/16" PLATE



DETAIL- 1/7



SPECIAL PILE GUIDE ROLLER BRACKET



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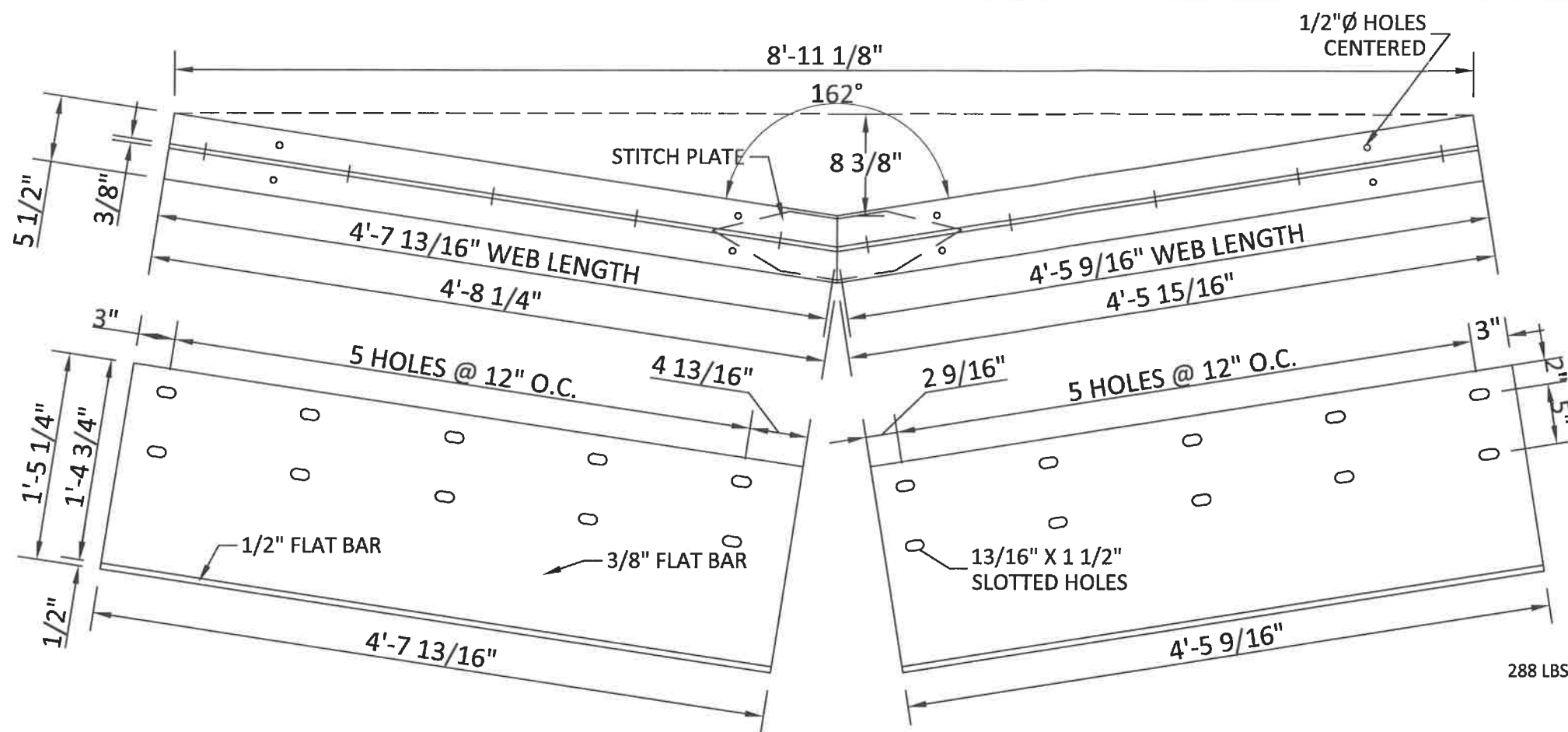
SAILFISH MARINA
PALM BEACH COUNTY, FL.
SOUTHERNMOST DOCK
WELDMENTS
SPG20

Revisions:

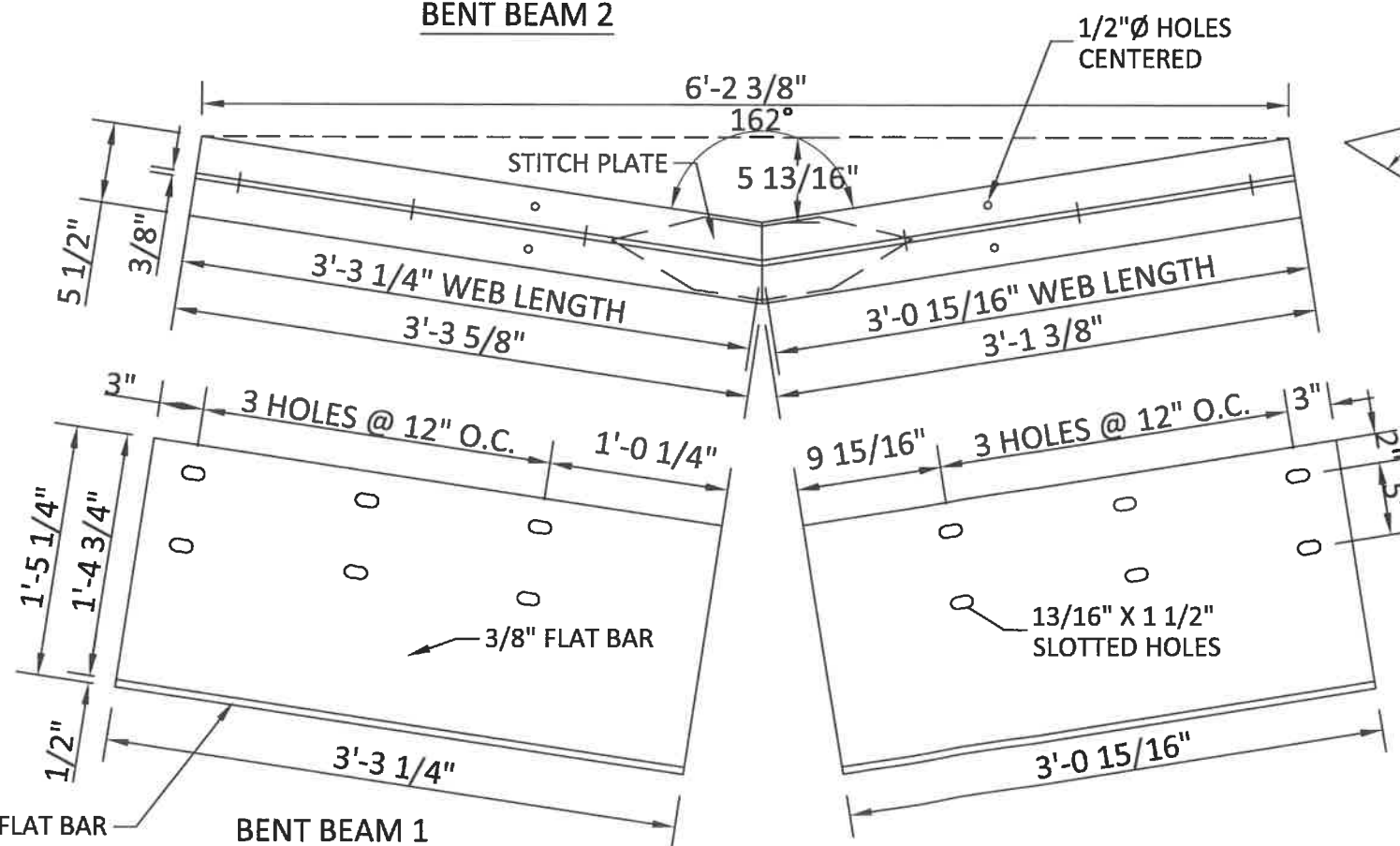
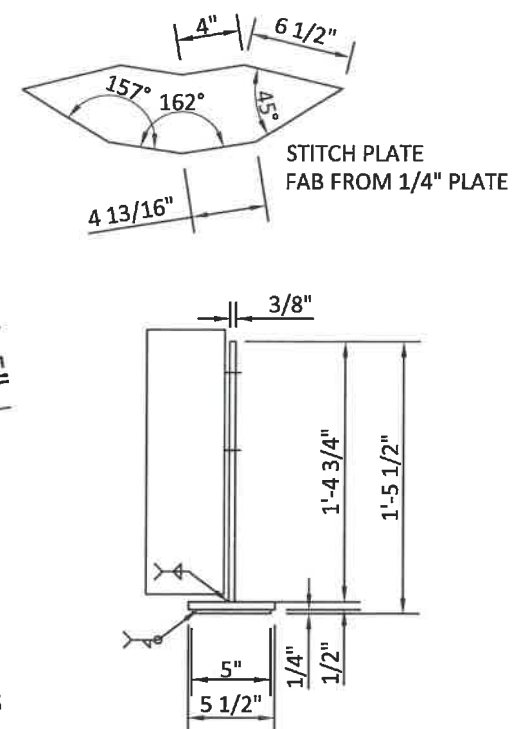
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Project No.

5946

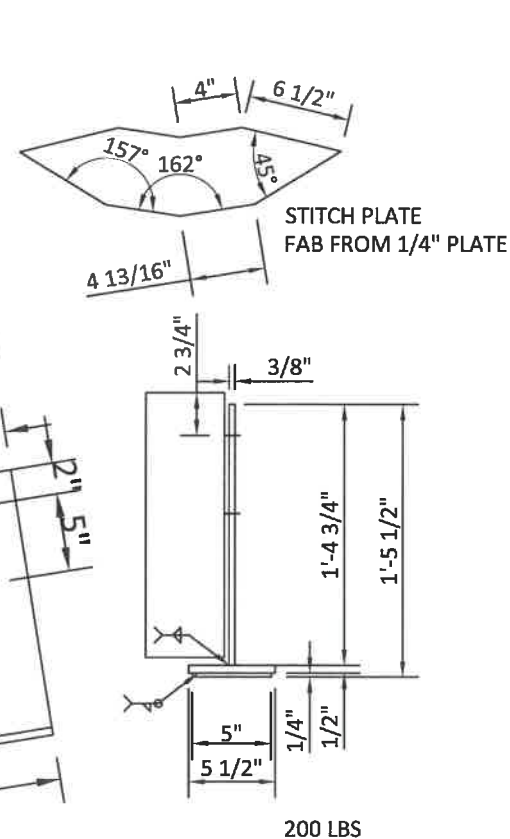
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BENT BEAM 2



BENT BEAM 1



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SAILFISH MARINA
PALM BEACH COUNTY, FL.
SOUTHERNMOST DOCK
WELDMENTS
BENT BEAMS

Revisions:

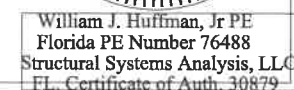
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Project No.

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WILLIAM J. HUFFMAN, JR.
LICENSE
No. 76488
STATE OF FLORIDA
PROFESSIONAL ENGINEER
William J. Huffman, Jr PE
Florida PE Number 76488
Structural Systems Analysis, LLC
FL. Certificate of Auth. 30879



9 of 9



**Sailfish Marina Resort: Transitory Marginal Dock
98 Lake Drive
Town of Palm Beach Shores, Florida**

**PROJECT NARRATIVE
Site Plan Modification
January 27, 2020
Revised March 11, 2020**

Request/Location:

On behalf of Great American Life Insurance Company (Owner), Gentile Glas Holloway O'Mahoney & Associates, Inc. (Agent), would like to request a modification to the last approved plan (**SPM 19-14/AAR 19-15**), for the upgrading of facilities for a new transitory marginal dock on the property, to be located adjacent to the seawall, west of the existing tiki bar. **Note**, this Application **ONLY** requests the placement of a transitory marginal dock. A new site plan application will be filed with the Town of Palm Beach Shores for any other future improvements proposed to the existing dock facilities.

The subject property is located at 98 Lake Drive in Palm Beach Shores, Florida, and is currently developed as the Sailfish Marina and Resort, which has been in existence since 1977. The total site area is 5.06 acres, or 220,680 sq. ft. Please note, the request does not include any changes to the existing restaurant or retail portion of the property.

Previous Approvals:

In recent years, Sailfish Marina has been granted the following approvals.

Application Number	Type of Approval	Approval Date
V 16-1	Variance and Site Plan Approval for South Dock Installation	February 27, 2017
SPR- 18-6/ AR 18-6	Site Plan / Architecture Review for Tiki Bar	March 27, 2018
SPM 19-4/AAR 19-7	Site Plan Modification for southernmost dock	June 26, 2019
SE 19-1	Approved Special Exception to allow a building site area that exceeds three platted lots	July 15, 2019
M-19-1	Approved Replat for lots 549-559	July 15, 2019
SPM 19-14/AAR 19-15	Approval of Paver Walkway extension to southern property boundary	January 22, 2020

Proposed Modifications:

Marginal Dock

The applicant proposes the installation of a 10'x137' transitory marginal floating concrete dock, with a 30'x6' gangway (with 58 s.f. over water), for a total of 1,428 s.f. over water to accommodate the **temporary** mooring of vessels within the existing marina. It is the intent of the Owner to provide the ability for patrons to use the proposed transitory marginal dock as an alternative means of arrival to the site. The use of the transitory marginal dock will have a time constraint associated with the mooring of each vessel which will not exceed 24 hours, as stipulated in Section 82-50 of the Palm Beach Shores zoning code.

Note, the dock design, as proposed, has received DEP, and Corps permits. The applicant will be receiving an updated submerged land lease and will provide the executed lease modification to the Town as soon as it is received. Please note, the Owner, has been given approval from DEP to proceed with construction of the dock, while the updated lease is being modified (see included correspondence). With this improvement, the applicant will also be removing and replacing portions of the riprap within the project footprint, improving the existing waterward conditions of the site.

Unifloat® system

The Applicant has chosen to utilize Bellingham Marine's unifloat concrete floating dock system. The Unifloat® concrete floating dock system by Bellingham Marine has become the benchmark in the sector of marinas and harbor, since its introduction in 1958. More than 1.9 million square meters of Unifloat® pontoons have been installed worldwide in the last 50 years.

The system is stable, strong, sturdy and durable and features a slip resistant finish. Unlike many other systems, the Unifloat® concrete floating dock system is not flammable; it will not rot or rust, and will not wobble or loosen at joints. The quality of the brand combined with Bellingham Marine's site specific engineering provides marina owners with a durable, low maintenance and cost effective solution that has an estimated service life of 50 years, which far exceeds the code requirement of 10 years.

Slip Count

With this application the total slip count for Sailfish Marina is 106. See table below for slips approved by FDEP.

DEP Permit #	Number of Slips
50-0126380-006-EI	93
50-0259746-002-EI	13
Total	106

Consistency with the Zoning Code:

The Applicant will demonstrate that the request is consistent with Section 82-50 of the Town of Palm Beach Shores zoning code, as the proposed transitory marginal dock will be placed immediately adjacent and parallel to the seawall of the existing Sailfish Marina. Additionally, the dock will not create a navigation hazard, which meets the requirements set forth in Section 82-51(a).

Further, the Owner's proposal is consistent with Section 82-53, 82-54, and 82-55 as there is an existing fire lane that will provide access to the proposed transitory marginal dock, and the Owner will ensure the provision of fire extinguisher(s) approved by the National Board of Fire Underwriters. The Owner will also be providing a trash receptacle.

Last, the Owner's proposal is consistent with Section 82-56; Commercial docks, as the transitory marginal dock meets the setback requirements, and the necessary permits have been provided by DEP and the Army Corps of Engineers. As previously stated, the Owner has been given authorization to proceed with the dock construction, while the updated submerged land lease is being processed.

ADA access to the transitory marginal dock will be provided from the existing southernmost dock gangway.

Parking:

Sailfish Marina Resort has been a local tradition in Palm Beach Shores since 1952. The property continues to maintain various uses that work in synergy with the waterfront activity. Overall, the site provides 269 parking spaces, inclusive of 149 valet area spaces (approved May 20, 2019, by Town Commission). The Owner's proposal enacts no change to the parking as it currently exists.

Conclusion:

This modification will improve the appearance, safety, and environmental quality of the existing facility, as the proposed dock improvements are consistent with state regulations, and modern design standards. Further, the proposed modification will not be a detriment to the overall health, safety, or general welfare of the public. As this improvement will provide a favorable mechanism to all existing and future dock users. Therefore, on behalf of Great American Life Insurance Company, Gentile Glas Holloway O'Mahoney & Associates, Inc. respectfully requests processing of this application. The Project consultants at Gentile Glas Holloway O'Mahoney & Associates, Inc. are Dodi Buckmaster Glas, AICP, Daniel Siemsen, PLA, and Alec Dickerson.



**Sailfish Marina Resort: Transitory Marginal Dock
98 Lake Drive
Town of Palm Beach Shores, Florida**

**PROJECT NARRATIVE
Site Plan Modification
January 27, 2020
Revised March 11, 2020**

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Marginal Dock

The applicant proposes the installation of a 10'x137' transitory marginal floating concrete dock, with a 30'x6' gangway (with 58 s.f. over water), for a total of 1,428 s.f. over water to accommodate the **temporary** mooring of vessels within the existing marina. It is the intent of the Owner to provide the ability for patrons to use the proposed transitory marginal dock as an alternative means of arrival to the site. The use of the transitory marginal dock will have a time constraint associated with the mooring of each vessel which will not exceed 24 hours, as stipulated in Section 82-50 of the Palm Beach Shores zoning code.

Note, the dock design, as proposed, has received DEP, and Corps permits. The applicant will be receiving an updated submerged land lease and will provide the executed lease modification to the Town as soon as it is received. Please note, the Owner, has been given approval from DEP to proceed with construction of the dock, while the updated lease is being modified (see included correspondence). With this improvement, the applicant will also be removing and replacing portions of the riprap within the project footprint, improving the existing waterward conditions of the site.

Unifloat® system

The Applicant has chosen to utilize Bellingham Marine's unifloat concrete floating dock system. The Unifloat® concrete floating dock system by Bellingham Marine has become the benchmark in the sector of marinas and harbor, since its introduction in 1958. More than 1.9 million square meters of Unifloat® pontoons have been installed worldwide in the last 50 years.

The system is stable, strong, sturdy and durable and features a slip resistant finish. Unlike many other systems, the Unifloat® concrete floating dock system is not flammable; it will not rot or rust, and will not wobble or loosen at joints. The quality of the brand combined with Bellingham Marine's site specific engineering provides marina owners with a durable, low maintenance and cost effective solution that has an estimated service life of 50 years, which far exceeds the code requirement of 10 years.

Slip Count

With this application the total slip count for Sailfish Marina is 106. See table below for slips approved by FDEP.

DEP Permit #	Number of Slips
50-0126380-006-EI	93
50-0259746-002-EI	13
Total	106

Consistency with the Zoning Code:

The Applicant will demonstrate that the request is consistent with Section 82-50 of the Town of Palm Beach Shores zoning code, as the proposed transitory marginal dock will be placed immediately adjacent and parallel to the seawall of the existing Sailfish Marina. Additionally, the dock will not create a navigation hazard, which meets the requirements set forth in Section 82-51(a).

Further, the Owner's proposal is consistent with Section 82-53, 82-54, and 82-55 as there is an existing fire lane that will provide access to the proposed transitory marginal dock, and the Owner will ensure the provision of fire extinguisher(s) approved by the National Board of Fire Underwriters. The Owner will also be providing a trash receptacle.

Last, the Owner's proposal is consistent with Section 82-56; Commercial docks, as the transitory marginal dock meets the setback requirements, and the necessary permits have been provided by DEP and the Army Corps of Engineers. As previously stated, the Owner has been given authorization to proceed with the dock construction, while the updated submerged land lease is being processed.

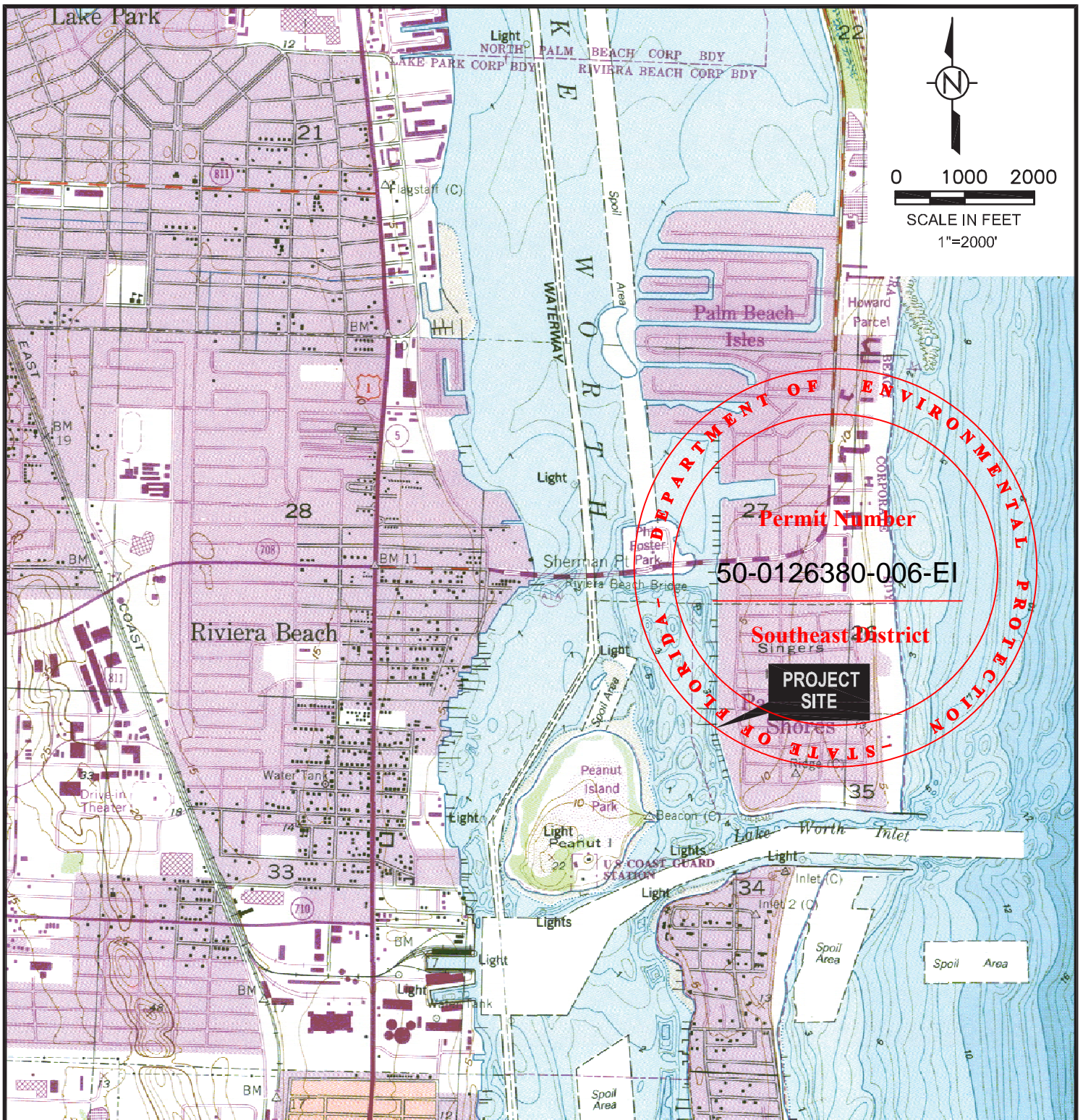
ADA access to the transitory marginal dock will be provided from the existing southernmost dock gangway.

Parking:

Sailfish Marina Resort has been a local tradition in Palm Beach Shores since 1952. The property continues to maintain various uses that work in synergy with the waterfront activity. Overall, the site provides 269 parking spaces, inclusive of 149 valet area spaces (approved May 20, 2019, by Town Commission). The Owner's proposal enacts no change to the parking as it currently exists.

Conclusion:

This modification will improve the appearance, safety, and environmental quality of the existing facility, as the proposed dock improvements are consistent with state regulations, and modern design standards. Further, the proposed modification will not be a detriment to the overall health, safety, or general welfare of the public. As this improvement will provide a favorable mechanism to all existing and future dock users. Therefore, on behalf of Great American Life Insurance Company, Gentile Glas Holloway O'Mahoney & Associates, Inc. respectfully requests processing of this application. The Project consultants at Gentile Glas Holloway O'Mahoney & Associates, Inc. are Dodi Buckmaster Glas, AICP, Daniel Siemsen, PLA, and Alec Dickerson.



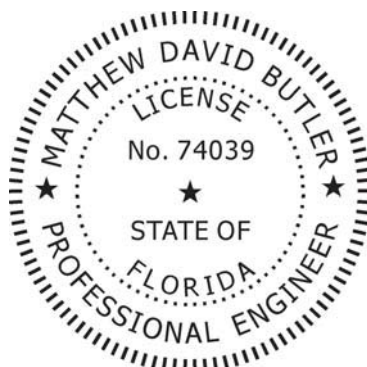
TAKEN FROM U.S.G.S. RIVIERA BEACH, FLORIDA QUADRANGLE

SEC: 27 TWP: 42S RGE: 43E

LAT: 26° 46' 36" N

LONG: 080° 02' 24" W

This item has been digitally signed and sealed by Matthew D. Butler, P.E. on 6/19/2019 using a Digital Signature. Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.



VICINITY MAP



**ISIMINGER & STUBBS
ENGINEERING, INC.**

COASTAL • ENVIRONMENTAL • MARINE

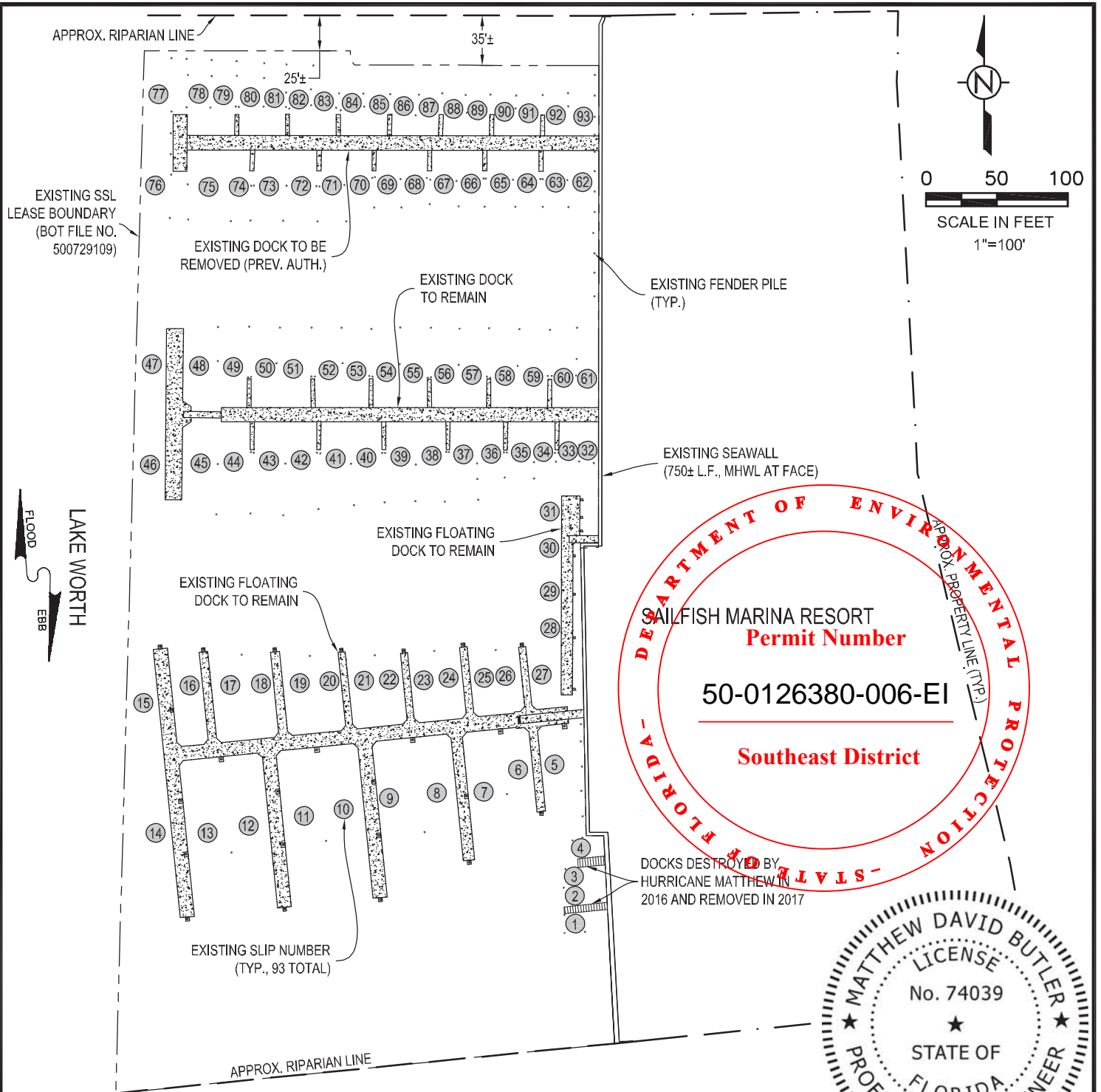
CERTIFICATE OF AUTHORIZATION NUMBER: 8114

P.O. BOX 14702 - NORTH PALM BEACH, FL. 33408 - 561-881-0003

PROPOSED FLOATING DOCK AND DREDGING LAKE WORTH

SAILFISH MARINA - 82, 90, AND 98 LAKE DRIVE
TOWN OF PALM BEACH SHORES, PALM BEACH COUNTY, FL
APPLICANT: GREAT AMERICAN LIFE INSURANCE CO.

DATE	6/19	DRAWN	MDB	CHKD	PJK	APPRVD	MDB
DWG NO.	12030UU1					SHEET	1
COMPUTER FILE NO.	12030UU					OF 6	



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NOTES:

1. DATUM IS MLW. MLW = -2.4± NAVD FROM LABINS DATABASE.
2. EXISTING LOCATIONS ARE APPROXIMATE BASED ON SURVEY BY WALLACE SURVEYING CORP. (10/30/15).

**SKETCH SUBMITTED FOR ENVIRONMENTAL PERMIT REVIEW.
NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.**

EXISTING PLAN VIEW



**ISIMINGER & STUBBS
ENGINEERING, INC.**

COASTAL • ENVIRONMENTAL • MARINE

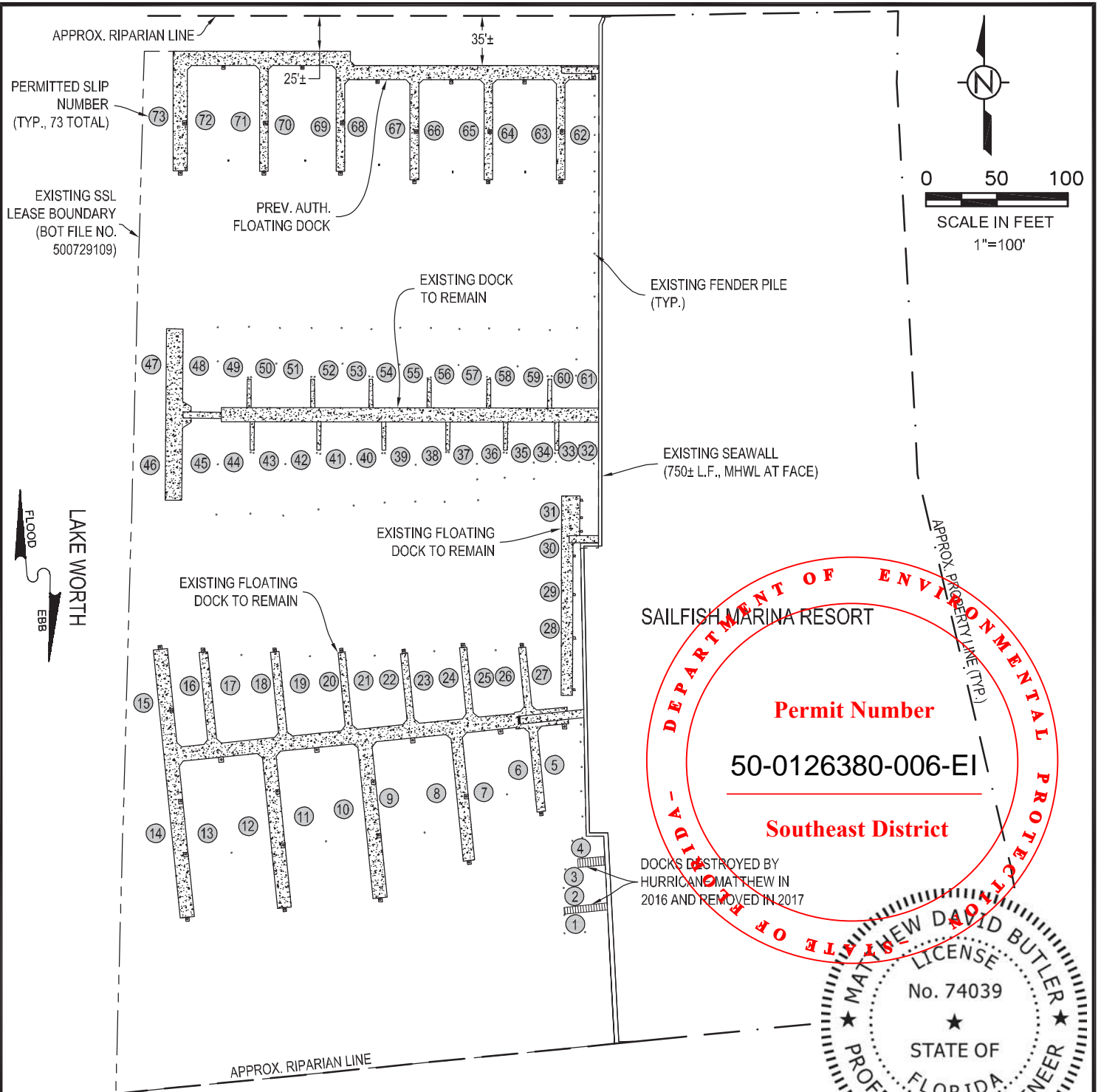
CERTIFICATE OF AUTHORIZATION NUMBER : 8114

P.O. BOX 14702 - NORTH PALM BEACH, FL. 33408 - 561-881-0003

PROPOSED FLOATING DOCK AND DREDGING LAKE WORTH

SAILFISH MARINA - 82, 90, AND 98 LAKE DRIVE
TOWN OF PALM BEACH SHORES, PALM BEACH COUNTY, FL
APPLICANT: GREAT AMERICAN LIFE INSURANCE CO.

DATE	6/19	DRAWN	MDB	CHKD	PJK	APPRVD	MDB
DWG NO.	12030UU2					SHEET	2
COMPUTER FILE NO.	12030UU					OF	6



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SKETCH SUBMITTED FOR ENVIRONMENTAL PERMIT REVIEW.
NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.

PERMITTED PLAN VIEW



**ISIMINGER & STUBBS
ENGINEERING, INC.**

COASTAL • ENVIRONMENTAL • MARINE

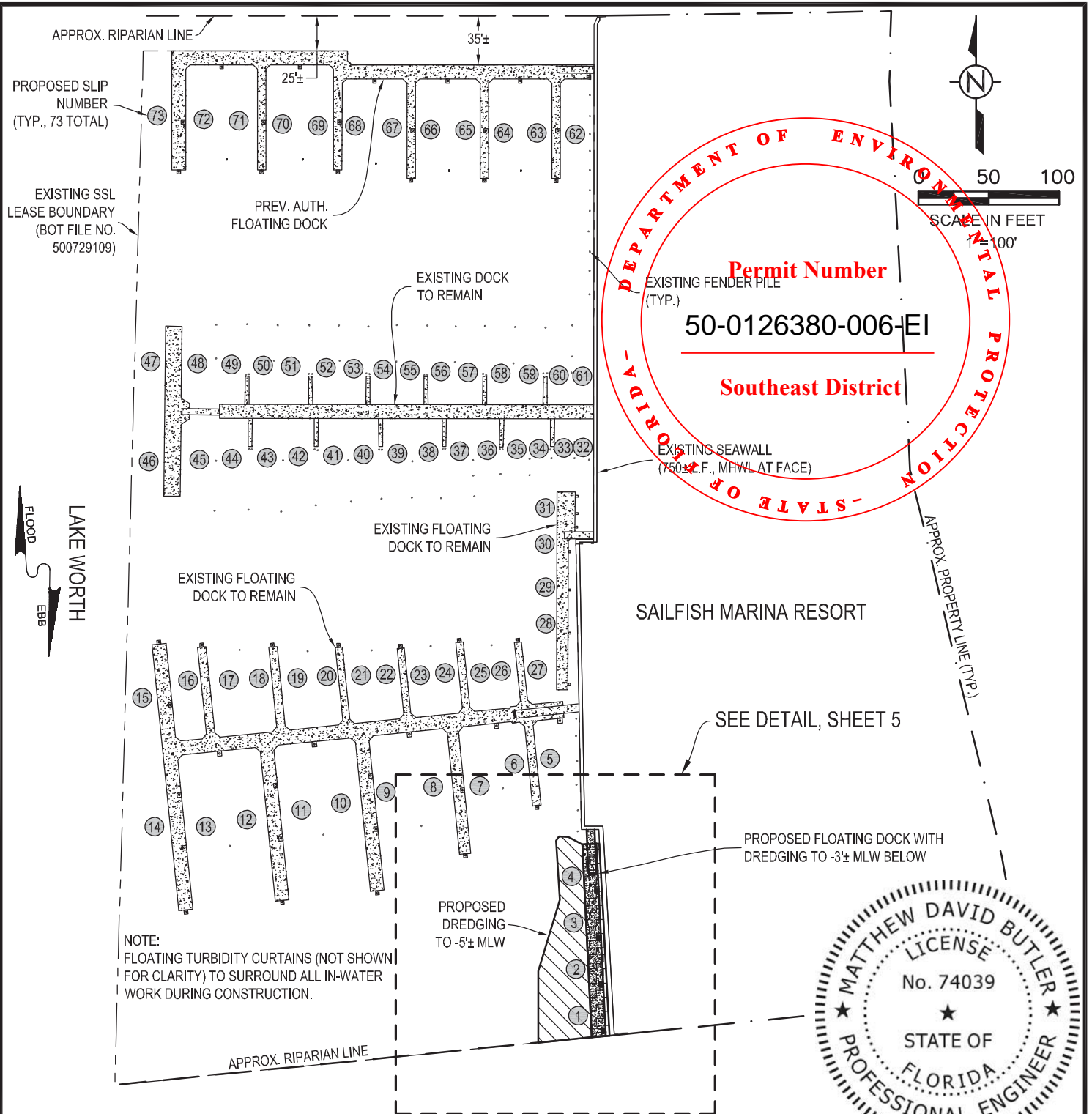
CERTIFICATE OF AUTHORIZATION NUMBER : 8114

P.O. BOX 14702 - NORTH PALM BEACH, FL. 33408 - 561-881-0003

PROPOSED FLOATING DOCK AND DREDGING LAKE WORTH

SAILFISH MARINA - 82, 90, AND 98 LAKE DRIVE
TOWN OF PALM BEACH SHORES, PALM BEACH COUNTY, FL
APPLICANT: GREAT AMERICAN LIFE INSURANCE CO.

DATE	6/19	DRAWN	MDB	CHKD	PJK	APPRVD	MDB
DWG NO.	12030UU3					SHEET	3
COMPUTER FILE NO.	12030UU					OF	6



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NOTES:

1. DATUM IS MLW. MLW = -2.4'± NAVD FROM LABINS DATABASE.
2. EXISTING LOCATIONS ARE APPROXIMATE BASED ON SURVEY BY WALLACE SURVEYING CORP. (10/30/15).

SKETCH SUBMITTED FOR ENVIRONMENTAL PERMIT REVIEW.
NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.

PROPOSED PLAN VIEW



**ISIMINGER & STUBBS
ENGINEERING, INC.**

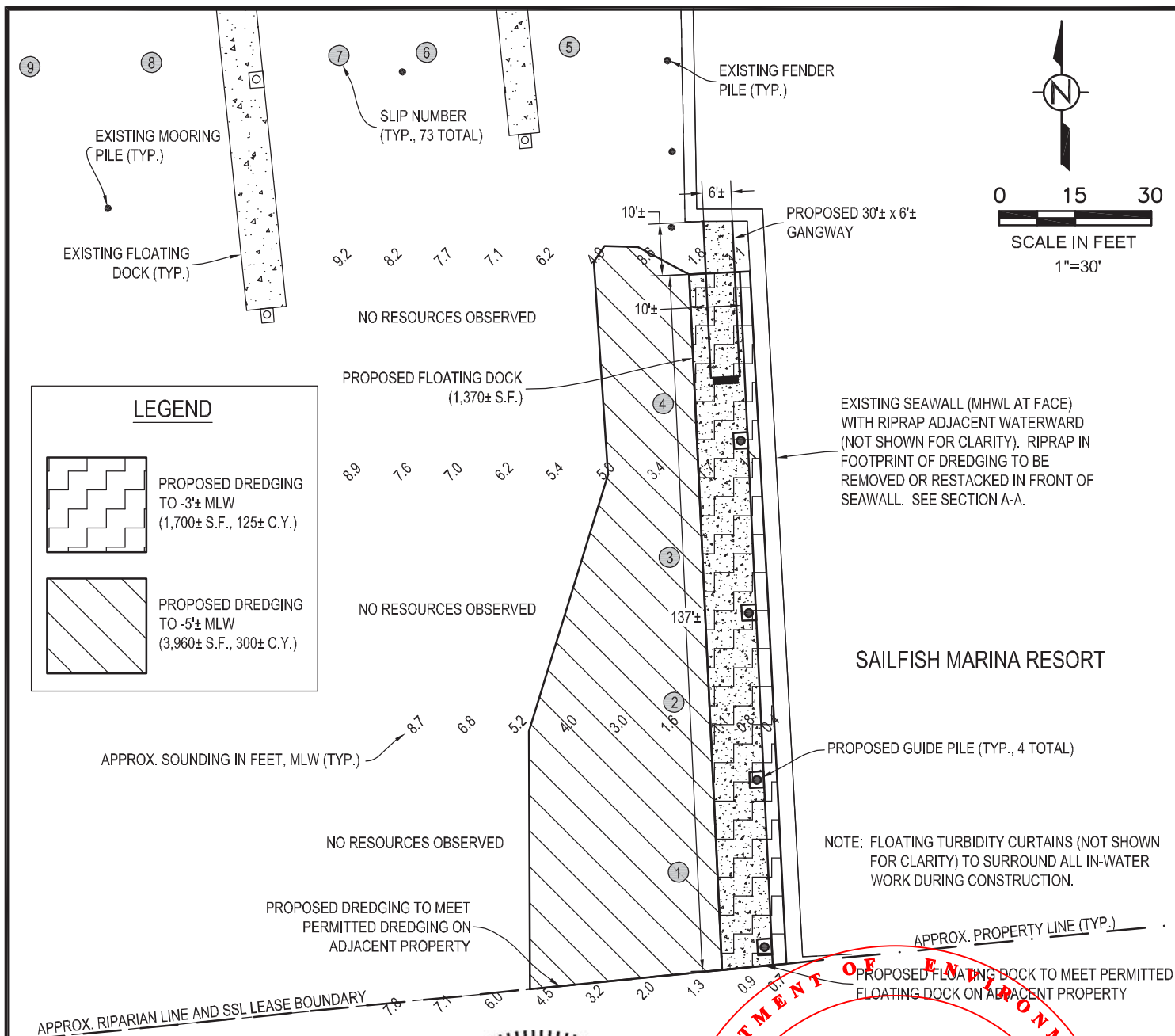
COASTAL • ENVIRONMENTAL • MARINE

CERTIFICATE OF AUTHORIZATION NUMBER : 8114

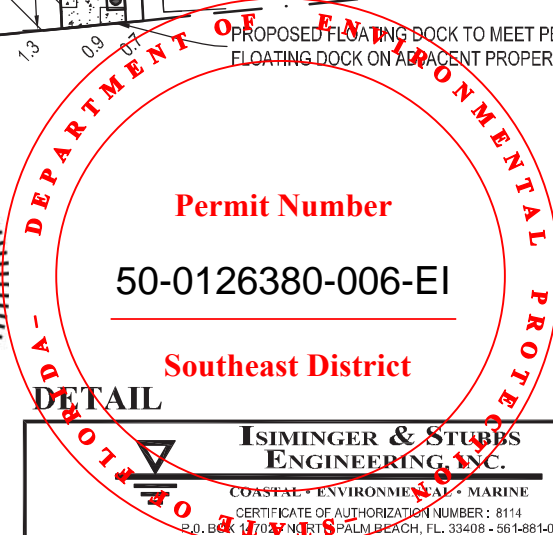
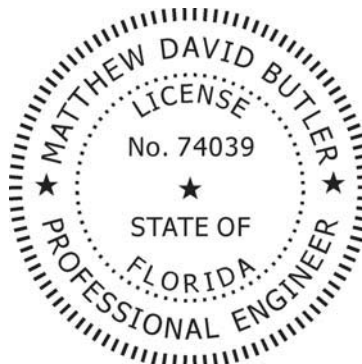
P.O. BOX 14702 - NORTH PALM BEACH, FL. 33408 - 561-881-0003

**PROPOSED FLOATING DOCK AND DREDGING
LAKE WORTH**
SAILFISH MARINA - 82, 90, AND 98 LAKE DRIVE
TOWN OF PALM BEACH SHORES, PALM BEACH COUNTY, FL
APPLICANT: GREAT AMERICAN LIFE INSURANCE CO.

DATE	6/19	DRAWN	MDB	CHKD	PJK	APPRVD	MDB
DWG NO.	12030UU4					SHEET	4
COMPUTER FILE NO.	12030UU					OF	6



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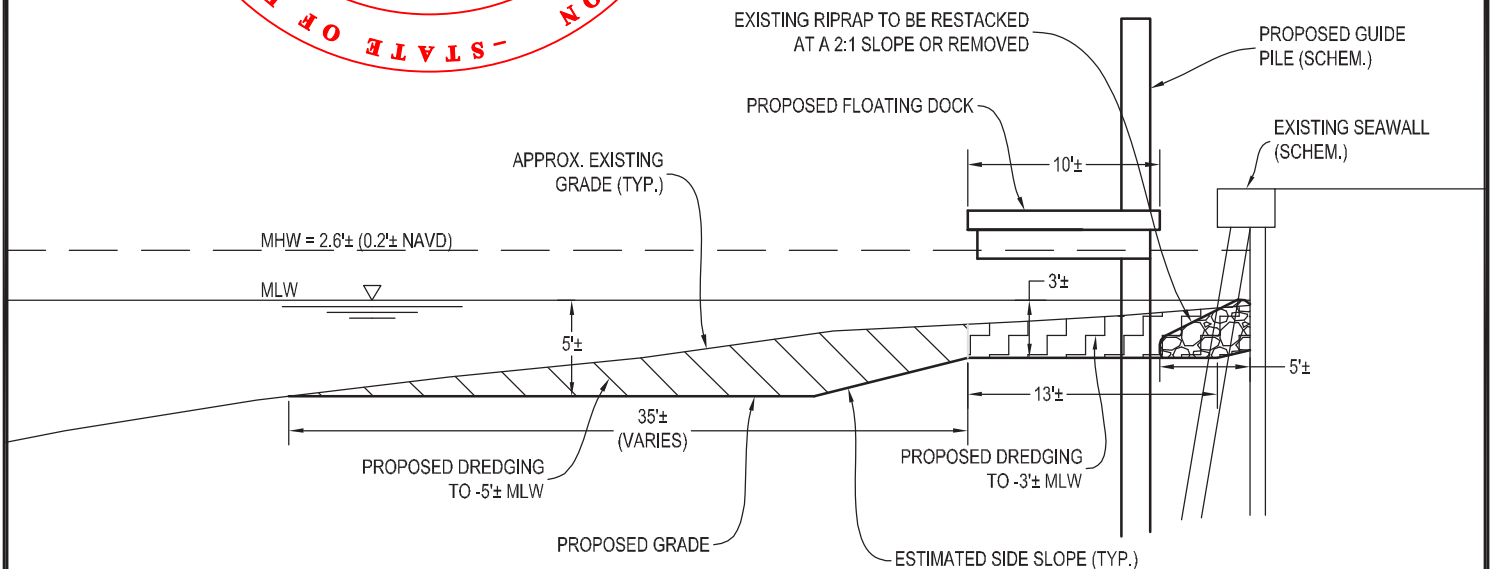
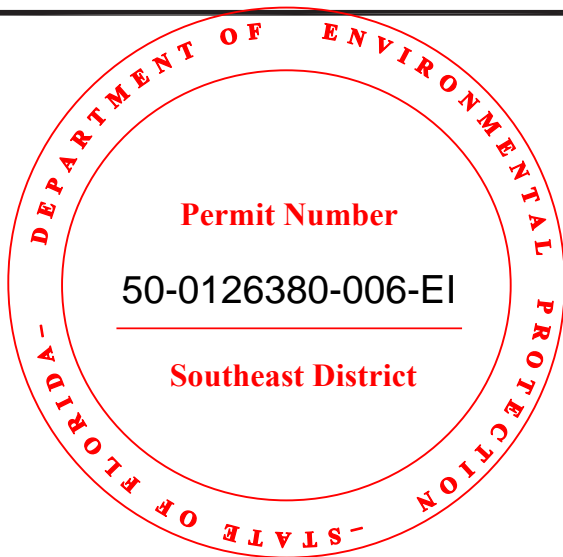


NOTES:

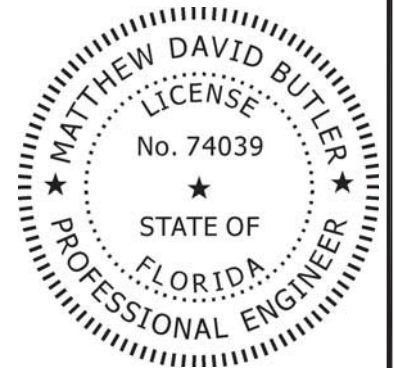
- DATUM IS MLW. MLW = -2.4± NAVD FROM LABINS DATABASE.
- EXISTING LOCATIONS ARE APPROXIMATE BASED ON SURVEY BY WALLACE SURVEYING CORP. (10/30/15).
- SOUNDINGS AND RESOURCE OBSERVATION BY ISIMINGER & STUBBS ENGINEERING, INC. FIELD WORK PERFORMED 2/16/18 AND 6/5/19. SOUNDINGS REDUCED TO MLW BASED ON SEAWALL ELEVATION.

SKETCH SUBMITTED FOR ENVIRONMENTAL PERMIT REVIEW.
NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.

ISIMINGER & STUBBS ENGINEERING, INC. COASTAL • ENVIRONMENTAL • MARINE CERTIFICATE OF AUTHORIZATION NUMBER : 8114 P.O. BOX 17070, NORTH PALM BEACH, FL. 33408 • 561-881-0003							
PROPOSED FLOATING DOCK AND DREDGING LAKE WORTH SAILFISH MARINA - 82, 90, AND 98 LAKE DRIVE TOWN OF PALM BEACH SHORES, PALM BEACH COUNTY, FL APPLICANT: GREAT AMERICAN LIFE INSURANCE CO.							
DATE	6/19	DRAWN	MDB	CHKD	PJK	APPRVD	MDB
DWG NO.	12030UU5					SHEET	
COMPUTER FILE NO.	12030UU					OF 6	



SECTION A-A
 0 5 10
 SCALE IN FEET
 1"=10'




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2. EXISTING LOCATIONS ARE APPROXIMATE BASED ON SURVEY BY WALLACE SURVEYING CORP. (10/30/15).
3. SOUNDINGS BY ISIMINGER & STUBBS ENGINEERING, INC. FIELD WORK PERFORMED 2/16/18. SOUNDINGS REDUCED TO MLW BASED ON SEAWALL ELEVATION.

**SKETCH SUBMITTED FOR ENVIRONMENTAL PERMIT REVIEW.
 NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.**

SECTION A-A

 ISIMINGER & STUBBS ENGINEERING, INC. COASTAL • ENVIRONMENTAL • MARINE <small>CERTIFICATE OF AUTHORIZATION NUMBER : 8114 P.O. BOX 14702 - NORTH PALM BEACH, FL. 33408 - 561-881-0003</small>							
PROPOSED FLOATING DOCK AND DREDGING LAKE WORTH SAILFISH MARINA - 82, 90, AND 98 LAKE DRIVE TOWN OF PALM BEACH SHORES, PALM BEACH COUNTY, FL APPLICANT: GREAT AMERICAN LIFE INSURANCE CO.							
DATE	6/19	DRAWN	MDB	CHKD	PJK	APPRVD	MDB
DWG NO.	12030UU6					SHEET	6
COMPUTER FILE NO.	12030UU					OF 6	

20190279607

195

STATE OF FLORIDA
COUNTY OF PALM BEACH
THIS PLAT HAS BEEN FILED FOR
RECORD AT 1:51 PM
THIS 30th DAY OF
July, 2019
AND DULY RECORDED IN PLAT
BOOK 128
ON PAGE 195-196
SHARON R. BOCK
CLERK & COMPTROLLER
PALM BEACH COUNTY
BY: [Signature]

COUNTY CLERK



SAILFISH MARINA AND RESORT

BEING A REPLAT OF LOTS 549, 550, 551, 552, 553, 554, 555, 556, 557, 558 AND 559 AND PRIVATE ROAD NO.3, BETWEEN LOTS 554 AND 555, AND PARCEL MARKED "RESERVED" LYING WEST OF LOTS 554 AND 555, PALM BEACH SHORES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 23, PAGES 29 THROUGH 32, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. SITUATED LYING AND BEING IN SECTIONS 27 & 34, TOWNSHIP 42 SOUTH, RANGE 43 EAST, PALM BEACH SHORES, FLORIDA.

SHEET 1 OF 2



VICINITY SKETCH
not to scale

DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT GREAT AMERICAN LIFE INSURANCE COMPANY, AN OHIO CORPORATION, AUTHORIZED TO DO BUSINESS IN FLORIDA, OWNER OF THE LANDS SHOWN HEREON AS "SAILFISH MARINA AND RESORT", BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOTS 549, 550, 551, 552, 553, 554, 555, 556, 557, 558 AND 559 AND PRIVATE ROAD NO. 3, BETWEEN LOTS 554 AND 555, AND PARCEL MARKED "RESERVED" LYING WEST LOTS 554 AND 555, PALM BEACH SHORES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 23, PAGES 29 THROUGH 32, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

HAVE CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN HEREON AND DO HEREBY DEDICATE AS FOLLOWS:

PARCEL "A", AS SHOWN HEREON, IS HEREBY RESERVED FOR GREAT AMERICAN LIFE INSURANCE COMPANY, AN OHIO CORPORATION, ITS SUCCESSORS AND ASSIGNS, FOR THE PURPOSES CONSISTENT WITH THE ZONING REGULATIONS OF PALM BEACH SHORES, FLORIDA, AND IS THE PERPETUAL MAINTENANCE OBLIGATION OF GREAT AMERICAN LIFE INSURANCE COMPANY, AN OHIO CORPORATION, ITS SUCCESSORS AND ASSIGNS WITHOUT RECOURSE TO PALM BEACH SHORES.

IN WITNESS WHEREOF, THE ABOVE NAMED CORPORATION HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS PRESIDENT, AND ITS CORPORATE SEAL TO BE AFFIXED HERETO BY AND WITH THE AUTHORITY OF ITS BOARD OF DIRECTORS
THIS 22nd DAY OF July, 2019.

GREAT AMERICAN LIFE INSURANCE COMPANY
AN OHIO CORPORATION

BY: MARK MUETHING, PRESIDENT
SIGNATURE: [Signature]

WITNESS: [Signature]
PRINT NAME: Angie H. Carroll
WITNESS: [Signature]
PRINT NAME: Kelly Bulter

ACKNOWLEDGEMENT

GREAT AMERICAN LIFE INSURANCE COMPANY, AN OHIO CORPORATION

STATE OF OHIO
COUNTY OF HAMILTON

BEFORE ME PERSONALLY APPEARED MARK MUETHING, WHO IS PERSONALLY KNOWN TO ME, ~~ON~~ WHO PRODUCED AS IDENTIFICATION AND WHO EXECUTED THE FOREGOING INSTRUMENT AS PRESIDENT OF GREAT AMERICAN LIFE INSURANCE COMPANY, AN OHIO CORPORATION, AND SEVERALLY ACKNOWLEDGED TO AND BEFORE ME THAT HE EXECUTED SUCH INSTRUMENT AS SUCH OFFICER OF SAID CORPORATION, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE CORPORATE SEAL (IF AVAILABLE) OF SAID CORPORATION AND THAT IT WAS AFFIXED TO SAID INSTRUMENT BY DUE AND REGULAR CORPORATE AUTHORITY, AND THAT SAID INSTRUMENT IS THE FREE ACT AND DEED OF SAID CORPORATION.

WITNESS MY HAND AND OFFICIAL SEAL THIS 22nd DAY OF July, 2019

2015-RE-535397

MY COMMISSION NO.:

07-19-2020

MY COMMISSION EXPIRES:

[Signature]
SIGNATURE OF NOTARY PUBLIC

Yvonne M. Tisher
PRINTED NAME OF NOTARY PUBLIC

TITLE CERTIFICATION

STATE OF FLORIDA
COUNTY OF Miami Dade

I, Erica L. English, A DULY LICENSED ATTORNEY IN THE STATE OF FLORIDA, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE TO THE HEREON DESCRIBED PROPERTY; THAT I FIND THE TITLE TO THE PROPERTY IS VESTED IN GREAT AMERICAN LIFE INSURANCE COMPANY; THAT THE CURRENT TAXES HAVE BEEN PAID; AND THAT ALL OTHER ITEMS HELD AGAINST SAID LANDS HAVE BEEN SATISFIED; THAT THERE NO MORTGAGES OF RECORD; AND THAT THERE ARE EASEMENTS AND ENCUMBRANCES OF RECORD, BUT THOSE EASEMENTS AND ENCUMBRANCES DO NOT PROHIBIT THE SUBDIVISION CREATED BY THIS PLAT.

DATED THIS 25 DAY OF July, 2019 BY: [Signature]
SIGNATURE
FLORIDA BAR NO. 069932k

CERTIFICATE OF REVIEW BY TOWN SURVEYOR

THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY IN ACCORDANCE WITH CHAPTER 177.081(1) OF THE FLORIDA STATUTES AND THE ORDINANCES OF THE TOWN OF PALM BEACH SHORES, FLORIDA. THIS REVIEW DOES NOT INCLUDE VERIFICATION OF GEOMETRIC DATA.

DATED THIS 29th DAY OF JULY, 2019 BY: [Signature]
JOHN E. PHILLIPS III, PLS
FLORIDA CERTIFICATE NO. 4826

SURVEYOR AND MAPPERS CERTIFICATE

THIS IS TO CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT THE PERMANENT REFERENCE MONUMENTS (P.R.M.'S) ACCORDING TO CHAPTER 177.091 (9), FLORIDA STATUTES, HAVE BEEN PLACED AS REQUIRED BY LAW; AND, FURTHER, THAT THE SURVEY DATA COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AS AMENDED, AND THE ORDINANCES OF THE TOWN OF PALM BEACH SHORES, FLORIDA.

DATED THIS 16th DAY OF July, 2019 BY: [Signature]
DOUG WALKER, PSM
FLORIDA CERTIFICATE NO. 7211

APPROVAL- TOWN OF PALM BEACH SHORES

STATE OF FLORIDA
COUNTY OF PALM BEACH
TOWN OF PALM BEACH SHORES

THIS PLAT AS SHOWN HEREON HAS BEEN APPROVED FOR RECORD BY THE TOWN OF PALM BEACH SHORES, FLORIDA, THIS 30th DAY OF JULY, 2019.

BY: [Signature]
MYRA KOUTZEN, MAYOR

BY: [Signature]
EYVONNE BROWNING, TOWN CLERK

BY: [Signature]
ROBERT F. RENNEBAUM, P.E.
TOWN ENGINEER

SURVEYOR'S NOTES:

* ALL BEARINGS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM - NAD83 - 1990 ADJUSTMENT, FLORIDA EAST ZONE AND REFERENCE THE NORTH RIGHT OF WAY LINE OF LAKE DRIVE S02°33'08"E (BEARING BASE)
* NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN, AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

* RESTRICTION ON OBSTRUCTION OF EASEMENTS:
NO BUILDINGS OR ANY KIND OF CONSTRUCTION OR TREES OR SHRUBS SHALL BE PLACED ON ANY EASEMENT WITHOUT THE PRIOR WRITTEN APPROVAL OF ALL EASEMENT BENEFICIARIES AND ALL APPLICABLE TOWN APPROVALS OR PERMITS AS REQUIRED FOR SUCH ENCROACHMENT.

* TABULAR AREA:
TOTAL = 218289 SQ. FT. OR 5.01 ACRES

* DISTANCES ARE IN U.S. SURVEY FOOT 1' x 3.2808333= 1.::ETER

* PREPARING SURVEYOR & MAPPER STATEMENT:
THIS INSTRUMENT WAS PREPARED BY DOUG WALKER, P.S.M. # 7211, STATE OF FLORIDA, IN AND FOR THE OFFICES OF PM SURVEYING, AT 4546 CAMBRIDGE STREET, WEST PALM BEACH, FLORIDA, 33415. CERTIFICATE OF AUTHORIZATION # 8261

* COORDINATES SHOWN HEREON REFERENCE NORTH AMERICAN DATUM OF 1983, 1990 ADJUSTMENT, FLORIDA EAST ZONE, TRANSVERSE MERCATOR PROJECTION.

* ABBREVIATIONS:
PSM = FLORIDA LICENSED SURVEYOR & MAPPER
LB = LICENSED BUSINESS
PB = PLAT BOOK
ORB = OFFICIAL RECORD BOOK
PG = PAGE
SQ. FT. = SQUARE FEET
(P) = PLAT
(M) = MEASURED

OWNER

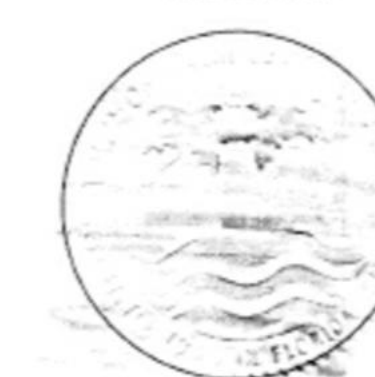
REVIEWING SURVEYORS SEAL

TOWN OF PALM BEACH SHORES SEAL

SURVEYOR'S SEAL

TOWN CLERK

TOWN ENGINEER



PM SURVEYING
4546 CAMBRIDGE STREET
WEST PALM BEACH, FL. 33415
(561) 478-7764 FAX 478-1094
VISIT US AT PMSURVEYING.NET
JOB # 18020106

196

SHEET 2 OF 2

WORTH

SCALE 1" = 40'

VICINITY SKETCH
not to scale

LOT 548
PALM BEACH SHORES
PLAT BOOK 23 PAGE 29

LOT 560
PALM BEACH SHORES
PLAT BOOK 23 PAGE 29

(IN FEET)
1 inch = 40 ft.

LEGEND

- SET 4"x 4" CONCRETE MONUMENT AND BRASS DISK "PRM LB 8261"
- SET NAIL AND DISK "PRM LB 8261"



PM SURVEYING
4546 CAMBRIDGE STREET
WEST PALM BEACH, FL. 33415
(561) 478-7764 FAX 478-1094
VISIT US AT PMSURVEYING.NET
JOB # 18020106

FILE: P\SAILFISH MARINA 16-1004INFORMATION AND RESEARCH-RECORDED PLATSAILFISH MARINA RECORDED PLATDWS
PLOTTED: 11/21/19 AT 8:26AM BY KEVIN



March 11, 2020

Laura Brown
Town of Palm Beach Shores
247 Edwards Lane
Palm Beach Shores, FL 33404

RE: 98 Lake Drive; SPM20-1/AAR20-1

Dear Ms. Brown:

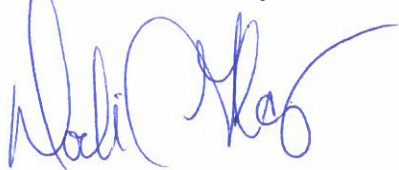
Pursuant to comments received from staff on March 4, 2020 based on a submittal of February 24, 2020, please accept this letter as a written response. Also, included with this letter are the revised plans, which address the comments where applicable. For your convenience we have prepared our responses in ***bold italics***.

Agency	Comment	Response
Town Engineer	No Comments	N/A
Zoning Official	1. Update Narrative to state that Application is only for the transitory dock.	<i>Included in this resubmittal, is an updated project narrative stating that the application is only requesting placement of a transitory marginal dock. Any future improvements to the existing docking facilities, will require a separate site plan approval.</i>
Marine Engineer		
	1. There are inconsistencies between the site plan and permit figures regarding the number of wet slips:	
	a. The site plan notes 102 slips total inclusive of 3 transitory slips and 20 charter slips.	<i>The site data has been updated to reflect the addition of four (4) transitory slips, consistent with the prior issued DEP permits for a total of 106 slips</i>
	b. Based on the project narrative and permit figures, the project proposes the additions of 4 "temporary" slips, which are not clearly included in the "transitory slip" count above.	<i>The site data has been updated to reflect the addition of four (4) transitory slips. Please refer to the Parking Summary section of the site data area of the plan.</i>
	2. The permit figures show a total slip count of 93 slips on the "Existing Plan View" and 73 slips on the "Proposed Plan View."	

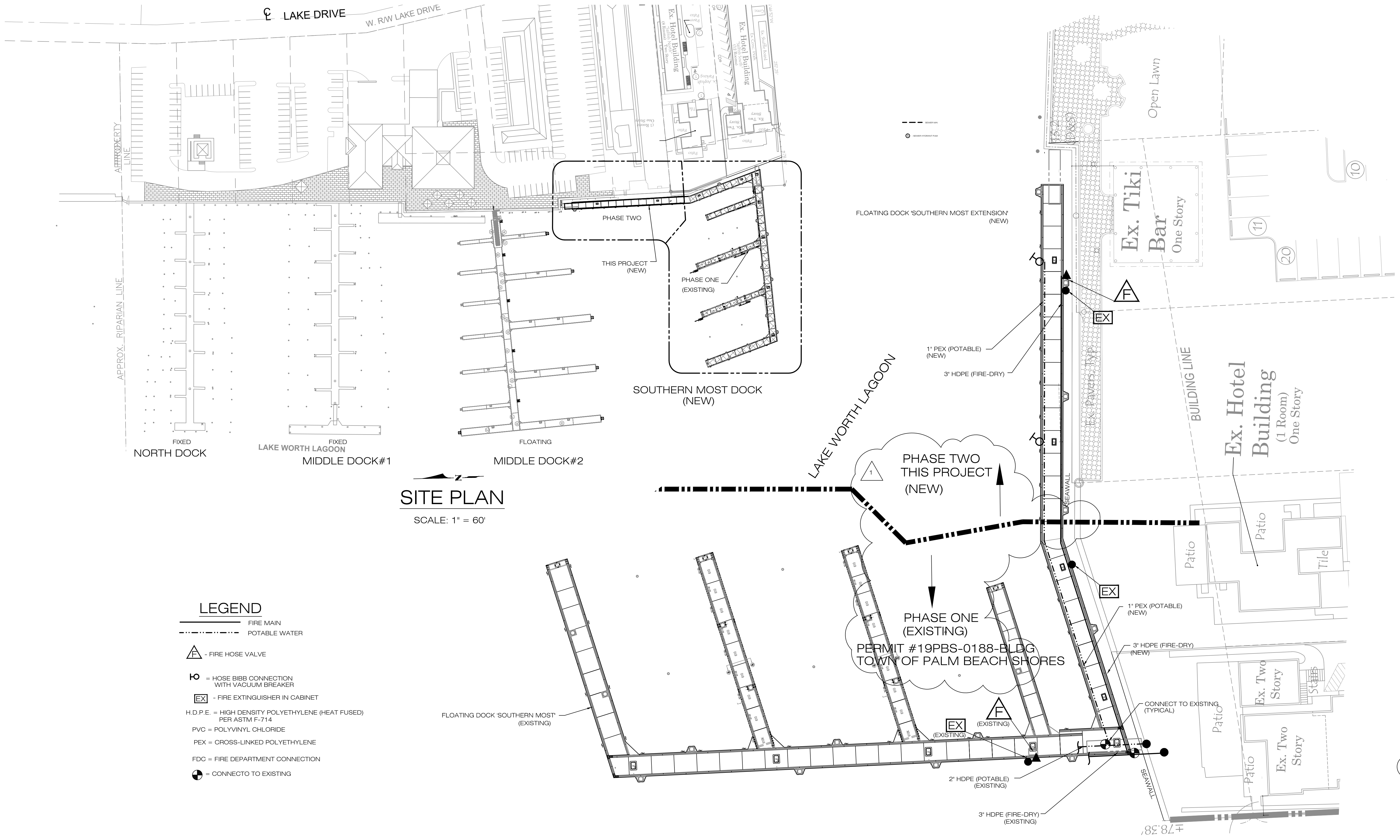
	<p>a. Because slip count is critical for both environmental regulatory and parking considerations, we recommend the site plan clearly delineate the slip count, location, and type. To avoid confusion, the site plan and regulatory permit drawings should reflect the same count and type of slips, which each slip numbered on the site plan.</p>	<p><i>The site data has been updated to be consistent with the permitted slip numbers. The DEP permit numbers has also been added to the narrative, included in this resubmittal.</i></p>

Should you have any questions regarding the resubmittal please do not hesitate to contact me at 561-575-9557 or email me at dodi@2gho.com.

Respectfully,
Gentile Glas Holloway O'Mahoney & Associates, Inc.



Dodi Buckmaster Glas, AICP, LEED®AP, BD&C
 Partner/Director of Planning



CONTRACTOR NOTES

LIMITED ENGINEERING FIELD INVESTIGATIONS HAVE BEEN CONDUCTED (AS AN AID TO THE CONTRACTOR), TO ILLUSTRATE EXISTING CONDITIONS. THIS DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO CONDUCT HIS OWN FIELD INVESTIGATION, WHICH MAY UNCOVER ADDITIONAL CONDITIONS, THUS IMPACTING THIS INSTALLATION.

ALL EQUIPMENT/PIPING/FIXTURES INDICATED AS EXISTING WAS OBTAINED FROM LIMITED SITE VISITS AND MAY OR MAY NOT BE IN CONFIGURATION INDICATED.

SOUTHERN MOST DOCK

FIRE PROTECTION: DRY STANDPIPE

REDI
ENGINEERING
205 Seminole Court
Marco Island, Florida
34145

REB
ENGINEERING &
DESIGN,
INC. CA#8160
Voice: (239) 389-0078
FAX: (239) 389-0495
e-mail: martin@rebeengineering.com

SEAL:

SIGN:
DATE: MARTIN H. REEB
FL, P.E. #49323

Bellingham
MARINE
Innovative harbor
and waterfront solutions
1813 Dennis Street
Jacksonville, FL 32204
TEL: (904) 358-3362
FAX: (904) 354-4818

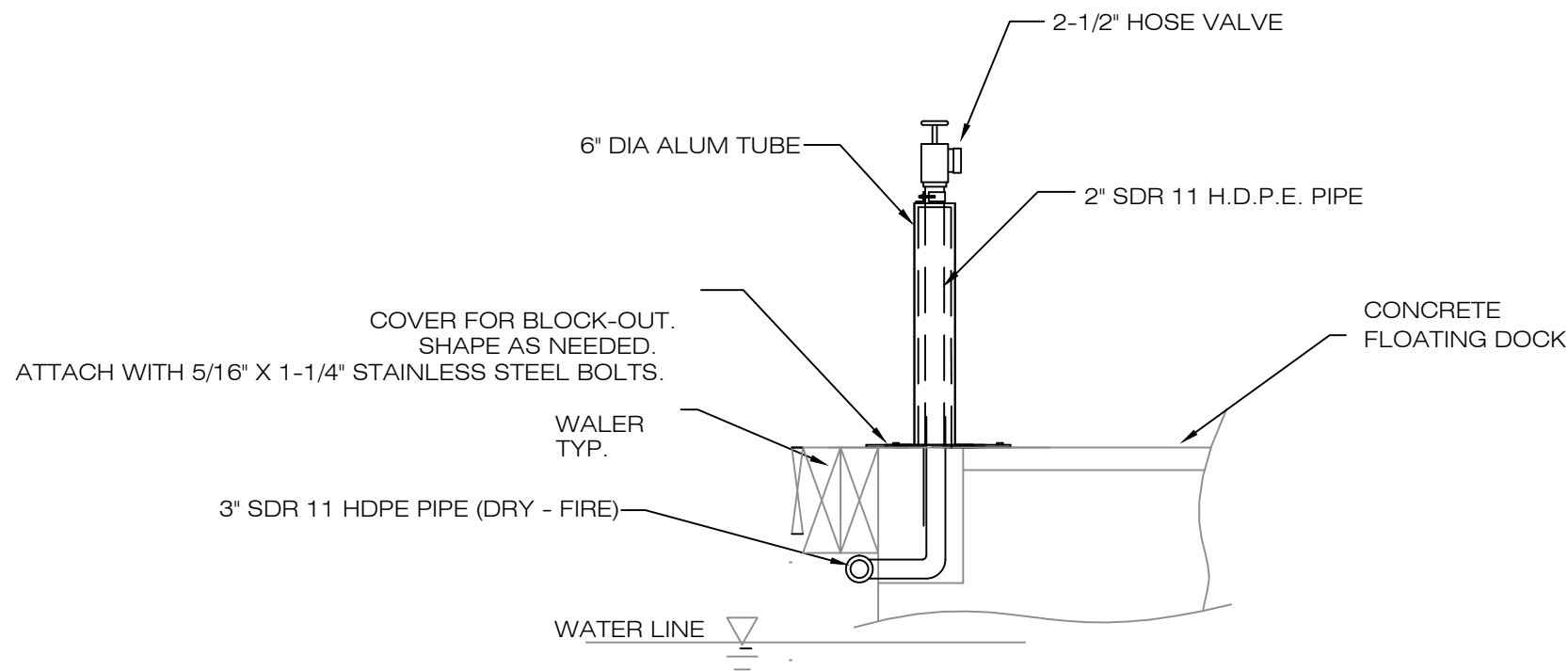
SAILFISH RESORT MARINA
SOUTHERN MOST DOCK PH2 EXTENSION
98 WEST LAKE DR.
WEST PALM BEACH, FL 33404
FIRE, PLUMBING, SEWER

REVISIONS:	
1	2-18-20 CORRECT PHASE LINE

Drawn by: XXX
Date: 01-10-20
Scale: NOTED
Project No.

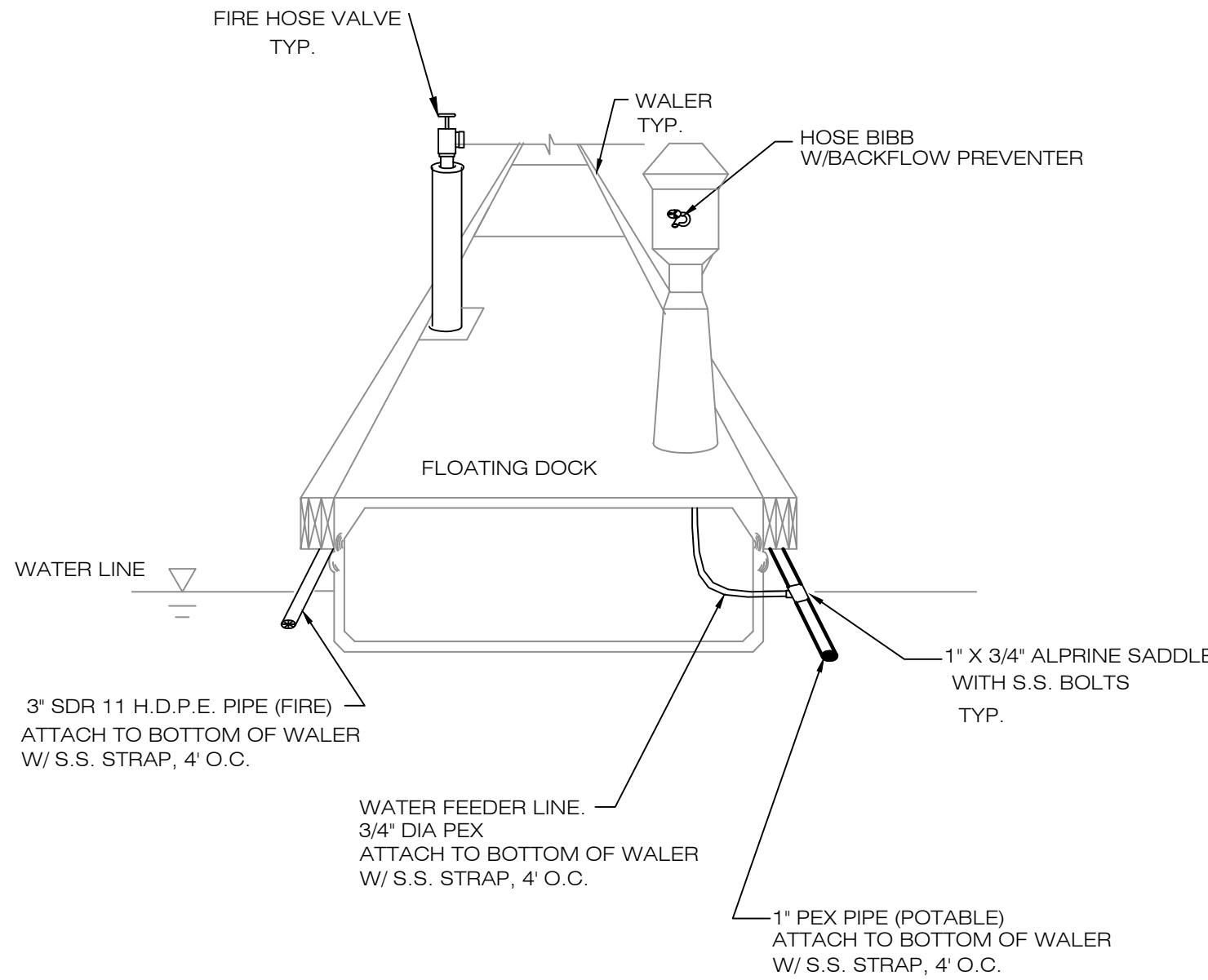
Sheet:
P1 of P2

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BLOCK OUT (BO)
FLOATING DOCK HOSE VALVE

SCALE 1/2" = 1'



X-SECTION
PERSPECTIVE

MARINAS AND BOATYARDS FIRE HYDRAULIC CALCULATIONS

DESIGN CRITERIA FOR PREVIOUSLY INSTALLED SYSTEM TO BE MODIFIED:

NFPA 303: FIRE PROTECTION STANDARD FOR MARINAS AND BOATYARDS:

6.4.1 FIRE STANDPIPE SYSTEMS

CLASS I STANDPIPE SYSTEM SHALL BE PROVIDED FOR PIERS, BULKHEAD, AND BUILDINGS... WHERE HOSE LAY... EXCEEDS 150'.

6.4.5 SUPPLY PIPING FOR STANDPIPES ON PIERS AND BULKHEADS SHALL BE SIZED FOR THE MINIMUM FLOW RATE FOR CLASS II SYSTEMS

NFPA 14: STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE SYSTEMS

7.10.2.1.1 FOR CLASS II SYSTEMS, THE MINIMUM FLOW RATE... SHALL BE 100 GPM

PALM BEACH COUNTY FIRE RESCUE REQUESTED FLOW RATE:
300 GPM @ 100 PSI RESIDUAL (150 GPM EACH AT (2) MOST REMOTE VALVES).

ANALYSIS:

PRESSURE LOSS:

MOST REMOTE HOSE VALVE

HAZEN-WILLIAMS FORMULA YIELDS (LENGTH INCLUDES FITTING LOSSES):

3" DIA PIPE - MAIN @ 300 GPM (450') = 46.0 PSI DROP

2" DIA PIPE - RISER @ 150 GPM (20') = 4.0 PSI DROP

TOTAL = 50.0 PSI DROP @ 300 GPM (150 GPM EACH AT (2) MOST REMOTE VALVES).

PUMPER TRUCK WOULD HAVE TO PUMP 300 GPM @ 150.0 PSI TO YIELD 300 GPM @ 100 PSI AT (2) MOST REMOTE VALVES.

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FIRE, PLUMBING, SEWER

Revisions:

Drawn by: XXX
Date: 01-10-20
Scale: NOTED
Project No.

Sheet:
P2 of P2

REDI

205 Seminole Court
Marco Island, Florida
34145

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INC. CA#8160

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e-mail: martin@reebengineering.com

SEAL:

SIGN:

DATE: MARTIN H. REEB
FL, P.E. #49323



PROJECT NAME: Sailfish Marina Resort

Reviewed By: _____

Date: _____

Fee Paid: _____

Town Receipt No: _____

SUBMITTAL CHECKLIST

All submittals must include ten (10) paper sets (folded & sorted into complete packet sets) and an electronic copy (on cd or thumb drive) of the following:

- ☒ Completed **Development Application** (complete all fields, use N/A when not applicable).
 - ☒ Architectural & Aesthetic Review Request (pg. 11, all submittals)
 - ☐ Variance Request (pg. 13, if applicable)
 - ☐ Special Exception Request (pg. 14, if applicable)
- ☒ **Boundary Survey** (Dated to within 6 months of application submission). **Recorded Plat**
- ☒ **Signed and Sealed Schematics** depicting building on site, setbacks, grading, drainage and elevations, as well as the relationship of the site to the neighboring sites (e.g. Site Plan, Drainage and Grading Plan, Roof Plan, Landscape Plan, Elevations).
- ☒ **Tabular Data** showing compliance with all lot coverage, floor area, building height, grade and landscaping requirements.

SITE PLAN CHECKLIST

Please be sure to include the following on the Site Plan:

- ☒ Depict and label 10' Town Strip (front of property) and 5' utility easement (rear of property), and all other applicable easements.
- ☒ Depict and label all setbacks and Code required setback lines (front, rear, side, pool, etc.).
- ☒ Provide a tabular data table reflecting data from the tables on pgs. 7-8 of this development application.
- ☒ For renovations and/or additions, please shade proposed addition area(s) to differentiate from existing.
- ☐ Include all a/c equipment, pool equipment and emergency generators and label as proposed or existing.
- ☒ Ensure that beam height and top of roof are dimensioned on all elevation drawings submitted.
- ☒ Provide a construction schedule for the proposed project (including calendar dates).

LANDSCAPE PLAN CHECKLIST

Please be sure to include the following on the Landscape Plan:

- ☒ Depict and label the 10' Town Strip (front of property) and 5' utility easement (rear of property).
- ☐ Include and label both existing (to remain) and proposed landscaping on the subject property.
- ☐ Provide a species legend/key including the height of all landscaping to be provided at installation.
- ☐ Ensure that the requirements for 10' Town Strip and front yard trees are met.
- ☐ For multi-story construction, ensure that the requirements for privacy screening are met.
- ☐ Ensure screening is provided for all ground mounted mechanical equipment (e.g. a/c compressors, pool equipment, emergency generators).

NOTE: Checklists are not comprehensive. They are provided solely to remind Applicants to include items commonly omitted from plans submitted to the Town.



DEVELOPMENT APPLICATION

TOWN OF PALM BEACH SHORES
247 EDWARDS LANE
PALM BEACH SHORES, FL 33404
(561) 844-3457

OWNER/APPLICANT: **Sailfish Marina Resort**

PROJECT ADDRESS: **98 Lake Drive**

APPLICATION NO.: **SPM -20-3 / AAR20-8**

SUBMITTAL DATE: **February 24, 2020**

Resub: May 11, 2020

TYPE OF APPROVAL(S) REQUESTED (Check box(es) ☒)

ADMINISTRATIVE APPEAL		SITE PLAN MODIFICATION (14-62)	X
ARCHITECTURAL AND AESTHETIC REVIEW (Pf. 14-86)	X	SITE PLAN REVIEW (14-62)	
COMPREHENSIVE PLAN AMENDMENT (Pf. 17.3(B))		SPECIAL EXCEPTION (Pf. 15.8)	
PLAT APPROVAL		VARIANCE (Pf. 15.4)	
REZONING (Pf. 17.3(B))		ZONING TEXT AMENDMENT (Pf. 17.3(B))	

	PROPERTY OWNER(S)	APPLICANT (If different than Owner(s))
NAME:	Great American Life Insurance Co.	
ADDRESS:	c/o 2 Alhambra Plaza, Suite 1280, Coral Gables, FL 33434	
PHONE:		
EMAIL:	MUething@GAIG.com	

	AGENT (If different than Owner(s))	CURRENT OCCUPANT (If different than Owner(s))
NAME:	Dodi Glas - 2GHO	
ADDRESS:	1907 Commerce Lane, Suite 101, Jupiter, FL 33458	
PHONE:	561-575-9557	
EMAIL:	dodi@2gho.com	

	PLANNER	DEVELOPER
NAME:	Dodi Glas - 2GHO	
ADDRESS:	1907 Commerce Lane, Suite 101, Jupiter, FL 33458	
PHONE:	561-575-9557	
EMAIL:	dodi@2gho.com	

	ARCHITECT	LANDSCAPE ARCHITECT
NAME:	Keith Spina, Spina O'Rourke	Dan Siemsen, 2GHO
ADDRESS:	285 Banyan Blvd, West Palm Beach, FL 33401	1907 Commerce Lane, Suite 101, Jupiter, FL 33458
PHONE:	561-684-6844	561-575-9557
EMAIL:	keith@spinaorourke.com	dan@2gho.com

	SURVEYOR	ATTORNEY
NAME:		Andrew Bauman
ADDRESS:		515 N. Flagler Drive, West Palm Beach, FL 33401
PHONE:		561-640-0820
EMAIL:		abaumann@llw-law.com

	ENGINEER (USE ADD'L. SHEET FOR MULTIPLE ENGINEERS)	
NAME:	Jonathan Ricketts	
ADDRESS:	3450 Northlake Blvd, Ste 200, PBG, FL 33403	
PHONE:	561-630-6700	
EMAIL:	jricketts@jtrinc.com	

OWNER ACKNOWLEDGMENT & CERTIFICATION

I (We) affirm and certify that I (We) understand and will comply with all provisions and regulations of the Town of Palm Beach Shores, Florida. I (We) understand that if this Application is approved by the Town, the aforementioned real property described herein will be considered, in every respect, to be a part of the Town of Palm Beach Shores and will be subjected to all applicable laws, regulations, taxes and police powers of the Town including the Comprehensive Plan and Zoning Ordinance. I (We) further certify that all statements and diagrams submitted herewith are true and accurate to the best of my (our) knowledge and belief. Further, I (We) understand that this Application and attachments become part of the Official Records of the Town of Palm Beach Shores, Florida and are not returnable. I (We) acknowledge that no permit will be issued before all fees associated with Application are paid.

1. Owner acknowledges and understands that the fee for site plan review, architectural/aesthetic review, variance, special exception, rezoning, etc. **may not cover all review costs**. A final statement of any outstanding costs (covering advertising costs, legal, architectural and other consultant costs) will be sent to the applicant upon completion of the review process. Owner accepts financial responsibility for all costs incurred as a result of this Application.
2. A construction schedule is required of all developers during the development process. The Planning and Zoning Board must approve your proposed construction schedule.
3. The Town requires payment of impact fees for floor area added during the development, re-development or renovation of a property. These impact fees will be used to pay for capital improvements relative to Fire Protection, Police Protection, Parks & Recreation and Public Buildings. Impact fees must be paid to the Town before a Certificate of Occupancy will be issued.
4. Roll-off dumpsters for construction/demolition debris and solid waste must be rented through the Town's contracted solid waste hauler, Waste Management.
5. Final as-built plans must be submitted to the Town in digital form, preferably in PDF format.

By signing below, I acknowledge that I have read and understand the five (5) items listed above.

BY: GREAT AMERICAN LIFE INSURANCE COMPANY
[Signature]
Signature of Owner

May 6, 2020
Date

MARK F. MUETHWIG, President
Printed Name of Owner

OHIO
STATE OF FLORIDA
PALM BEACH COUNTY:
HAMILTON

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization this 6th day of May, 2020,
by MARK F. MUETHWIG who is personally known to me ~~or has~~
produced [Signature] (type of identification) as identification.

(Name, type, stamp or print clearly)



KARL J. GRAFE
Attorney at Law
Notary Public, State of Ohio
My Commission Has No Expiration
Date, Section 147.03 O.R.C.

Page 3 of 14

[Signature]
(Signature)
NOTARY'S SEAL

AUTHORIZATION OF AGENT & ACKNOWLEDGEMENT OF FINANCIAL RESPONSIBILITY

Consent to an agent is required from the property owner(s) and contract purchaser, if applicable, if the property owner(s) or contract purchaser does not intend to attend all meetings and public hearings and submit it person all material pertaining to the Application. Consent to a firm shall be deemed consent for the entire firm, unless otherwise specified.

This form shall serve as consent for the agent identified below to prepare or have prepared all documents for the Application affecting property I (We) have an ownership interest in.

I (We) hereby designate and authorize the below-signed person to act as my (our) agent in regard to this Application and accept financial responsibility for any costs incurred by the agent as a result of this Application. Further, I (We) acknowledge that no permit will be issued before all fees associated with Application are paid.

GREAT AMERICAN LIFE INSURANCE COMPANY

By:

Signature of Owner or Trustee

MARK F. MUEHLING, President

May 6, 2020

Date

OHIO
STATE OF FLORIDA

PALM BEACH COUNTY:
HAMILTON

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization this 6th day of May 2020,

by MARK F. MUEHLING who is personally known to me or has produced (type of identification) as identification.



KARL J. GRAFE
Attorney at Law
Notary Public, State of Ohio
My Commission Has No Expiration
Date. Section 147.03 O.R.C.

(Signature)

NOTARY'S SEAL

Agent Information:

Dodi Glas
Printed Name of Agent

Signature of Agent

2GHO

Name of Firm

5/11/2020
Date

PROCEDURES AND TIMELINES

All development applications required to be submitted to the Planning and Zoning Board for review (Site Plan Review, Site Plan Modification, Architectural and Aesthetic Review, Special Exceptions and Variances) will be subject to the following procedures:

1. Development Review Committee (“DRC”) review is regularly scheduled for the first Wednesday of each month at 2:00 pm. In order to be placed on the DRC agenda, a complete application must be submitted to the Town Clerk by the close of business on Monday of the week prior to the regularly scheduled DRC meeting. **Incomplete applications and late submittals will not be placed on a DRC agenda.**
2. If, as a result of the initial DRC review, it is determined by the DRC that a subsequent DRC meeting is necessary, the complete revised application must be submitted to the Town Clerk by the close of business on Monday of the week prior to the regularly scheduled DRC meeting. **Applications that fail to include all revisions required by the DRC, or that are submitted late will not be placed on a DRC agenda until they have been corrected and are timely.**
3. If, as a result of the initial DRC review, it is determined by the DRC that the project can proceed to the Planning and Zoning Board, a complete Planning and Zoning Board application must be submitted to the Town Clerk including all revisions noted by the DRC. A sufficiency review will be performed by the Town to confirm that all comments provided by the DRC have been addressed and a complete revised application submitted. Once all DRC comments have been adequately addressed and a complete revised application submitted, the submittal will be placed on the agenda for the next available Planning and Zoning Board, subject to legal advertising requirements. Planning and Zoning Board review is regularly scheduled for the fourth Wednesday of each month. **Applications that fail to include all revisions required by the DRC or that are incomplete will not be placed on a Planning and Zoning Board agenda.**

APPLICATION FEE INFORMATION

Administrative Appeal	\$250.00
Site Plan Review	\$200.00
Site Plan Modification Review	\$200.00
Variance Request	\$ 250.00
Special Exception Request	\$ 250.00
Telecom Site Plan Review or Modification	\$ 500.00
Plat Approval Request	\$ 600.00
Comprehensive Plan Amendment	\$ 750.00
Zoning Text Amendment / Rezoning	\$ 750.00
Sufficiency Review	Zoning Official (rate per hour)

NUMBER OF COPIES REQUIRED

Development Review Committee	Ten (10) paper sets (folded & sorted into complete packet sets), including one (1) sealed original with original signatures and nine (9) copies, three (3) of which are sealed by a licensed engineer, architect and/or surveyor, <u>and</u> an electronic copy of all documents (on cd or thumb drive).
Planning and Zoning Board	Ten (10) paper sets (folded & sorted into complete packet sets), including one (1) sealed original with original signatures and nine (9) copies, three (3) of which are sealed by a licensed engineer, architect and/or surveyor, <u>and</u> an electronic copy of all documents (on cd or thumb drive).
Local Planning Agency	Ten (10) copies (folded & sorted into complete packet sets).
Town Commission	Ten (10) paper sets (folded & sorted into complete packet sets), including one (1) sealed original with original signatures and nine (9) copies, three (3) of which are sealed by a licensed engineer, architect and/or surveyor (as applicable), <u>and</u> an electronic copy of all documents (on cd or thumb drive).

Applicant acknowledges and understands that the fee for Site Plan Review, Architectural/aesthetic Review, Variance, Special Exception, Rezoning, etc. *may not cover all review costs*. A final statement of any outstanding costs (covering advertising costs, legal, architectural, and other consultants) will be sent to the Applicant upon completion of the review process.

Tabular data showing compliance with all lot coverage, floor area, building height, grade and landscaping requirements must be provided on all submitted plans (Town Code § 14-62).

PROJECT NAME: Sailfish Marina Resort

PROJECT ADDRESS: 98 Lake Drive

PROJECT LEGAL DESCRIPTION: See Recorded Plat

*** All boxes must be completed, use N/A where appropriate ***

GENERAL DATA	CODE REQUIREMENT	EXISTING	PROPOSED
COMPREHENSIVE PLAN DESIGNATION: (SF-5, MF-21, MF-30, MF-42, P, ROS)	None	MF-30	No Change Proposed
LAND USE: (Residential, Commercial, Recreational, Marina, Public, etc.)	None	Marina/Commercial	No Change Proposed
ZONING DISTRICT: (A, B, C, D, P, ROS, designated at Pf. 3.1, Zoning Ordinance)	None	District C	No Change Proposed
FLOOD ZONE CATEGORY:	None	AE	NA
LOT COVERAGE, LANDSCAPING & PARKING	CODE REQUIREMENT	EXISTING	PROPOSED
TOTAL LOT SIZE: (sq. ft.)	None	220,680 sf	No Change Proposed
TOTAL COVERAGE OF A LOT BY BUILDINGS: (Pf. 5.4, 6.4, 7.5 or 8.5, Zoning Ordinance)	36%	28,088.73 sf, or 12%	28,748.73 or 13%
TOTAL LANDSCAPE COVERAGE: (Pf. 5.4.3, Zoning Ordinance)	20%	72,076.47 sf, or 33%	69,834.89 sf, or 32%
OFF-STREET PARKING: (Pf. 5.13, 6.12, 7.13 or 8.14, Zoning Ordinance)	263 (7HC)	269 (7HC)	No change in parking
SETBACKS	CODE REQUIREMENT	EXISTING	PROPOSED
FRONT YARD: (Pf. 5.5, 6.6, 7.7 or 8.7, Zoning Ordinance)	min 25'	25'	25'
REAR YARD: (Pf. 5.6, 6.7, 7.9 or 8.9, Zoning Ordinance)	min 15'	18.33'	NA
SIDE YARD: (Pf. 5.7, 6.8, 7.8 or 8.8, Zoning Ordinance)	min 10'	26.6', 8.5'	NA

FLOOR AREA	CODE REQUIREMENT	EXISTING	PROPOSED
FIRST FLOOR AREA (sq. ft.):	None	NA	NA
SECOND FLOOR AREA (sq. ft.): (Pf. 5.4.2, Zoning Ordinance)	NA	NA	NA
TOTAL FLOOR AREA (sq. ft.): (Pf.2.23, Zoning Ordinance)	None	NA	NA
FLOOR AREA RATIO: (Pf. 5.4.2, Zoning Ordinance)	NA	NA	NA
DWELLING UNIT DENSITY: (Pf. 6.5, 7.6 or 8.6, Zoning Ordinance)	NA	NA	NA
IMPERVIOUS AREA	NET INCREASE	EXISTING	PROPOSED
BUILDING FIRST FLOOR AREA (sq. ft.):	NA	NA	NA
OTHER IMPERVIOUS AREA (sq. ft.): (Decks, Patios, Walkways, Driveways, Pool Deck & Pool Surface Areas)	1,581.58 sq. ft.	120,514.8 sq. ft	122,096.38 sq. ft.
TOTAL IMPERVIOUS AREA (sq. ft.):	4,451.94 sq. ft.	146,393.17sq. ft.	150,845.11 sq. ft.
ELEVATIONS	CODE REQUIREMENT	EXISTING	PROPOSED
GRADE ELEVATION (NAVD): (Pf. 4.6, Zoning Code)	1.5' min/2' max above mean elevation of the crown of adj. st.	3.43	NA
ESTABLISHED 1 ST FLOOR ELEVATION (NAVD): (Pf. 4.6, Zoning Code)	min .5 max 1.5	NA	5
MEAN CROWN OF ROAD ELEVATION (NAVD):	None	±3.6	NA
BUILDING HEIGHT	CODE REQUIREMENT	EXISTING	PROPOSED
TOTAL BUILDING HEIGHT (NAVD): (Pf. 5.2, 6.2, 7.3 or 8.3, Zoning Ordinance)	Max 15'	NA	15'
TOP OF BEAM HEIGHT (NAVD): (Pf. 5.2, 6.2, 7.3 or 8.3, Zoning Ordinance)	Max 35'	NA	10'9" for accessory structure
ROOF PITCH: (Pf. 5.2, 6.2 or 7.3, Zoning Ordinance)	min 4/12 max 12/12	NA	4/12
FLAT ROOF PERCENTAGE: (Pf. 5.2, Zoning Ordinance)	NA	NA	NA

JUSTIFICATION STATEMENT

Provide a summary of the proposed project, describing in detail the construction, phasing and proposed development to occur as part of this application (attach additional sheets if needed):

See attached narrative

Note: Construction Schedule is due as part of site plan review and before building permit issuance. (Town Code §14-63). A signed and notarized contract (signed by owner) must be provided before building permit issuance. (Town Code §14-108).

Provide an estimate of construction costs:

Describe the existing improvements located on the subject property (attach additional sheets if needed):

See attached narrative

Provide a project history for the subject property, including any prior development approvals filed within the last year in connection with the subject property. Please include the date of previous site plan approval by the Planning and Zoning Board for this property (attach additional sheets if needed):

See attached narrative

Provide the justification, special reasons, or basis for the approval of this application. Explain why this application is consistent with good planning and zoning practice, will not be contrary to the Town's Comprehensive Development Plan, and will not be detrimental to the promotion of public appearance, comfort, convenience, general welfare, good order, health, morals, prosperity, and safety of the Town. Additionally, all standards set forth in the Town Code of Ordinances for Special Exceptions, Variances, Administrative Appeals, etc. must be addressed. (attach additional sheets if needed):

See attached narrative

Provide any other pertinent information related to the subject property to support the proposed request.

See attached narrative

DRAINAGE REQUIREMENTS

(For projects proposing additional on-site impervious area)

For proposed renovations/modifications to existing projects that result in LESS THAN a 50% increase in total site imperviousness, retain 1" of stormwater volume from the total additional impervious area.

For proposed new construction, or renovations/modifications to existing projects that result in a GREATER THAN a 50% increase in total site imperviousness, retain 1" of stormwater volume over the entire site.

Submit a Survey with topographic elevations and existing improvements.

A Drainage and Grading Plan and drainage calculations are required to be submitted with the application package for new construction projects and substantial modifications to existing projects. The Drainage Plan must show the following:

- a. Existing and proposed elevations.
- b. Location of sodded swales, sodded depressed retention areas, underground exfiltration trench and/or other proposed stormwater treatment/retention methods.
- c. Underground piping and inlets and other drainage system improvements proposed.
- d. Drainage calculations showing the retention of the volume of 1" of stormwater from addition impervious areas (or overall site).
- e. Show drainage improvements and underground piping, including water and sewer services, on the Landscape Plans to show no conflicts exist.
- f. Include note that no runoff may be directed to adjacent properties and all storm flows and runoff must be retained on-site prior to discharge into the adjacent roadway right-of-way following retention of required stormwater volume.
- g. Provide engineering details of gutter and downspout dry wells, if proposed.
- h. Provide engineering detail of exfiltration trench, if proposed.
- i. Provide engineering detail of sodded swales, if proposed.
- j. Provide engineering detail of depressed dry retention areas, if proposed.
- k. Provide Geotechnical Report or engineering assumptions/justification for coefficient of permeability (K Factor) for exfiltration trench design, if proposed.
- l. Engineering details/cross sections at property lines demonstrating no runoff will flow to adjacent properties may be required.

Project Engineer or Architect shall be responsible for insuring the drainage improvements are completed in substantial accordance with the approved plan.

Prior to C.O., Project Engineer or Architect to provide final signed and sealed certification that the drainage improvements and grading have been completed in substantial accordance with the approved plan.

Upon receipt of final Certification from Project Engineer or Architect, Town Engineer to visit site and ensure conformance of Town requirements prior to issuance of final C.O.

REQUEST FOR ARCHITECTURAL AND AESTHETIC REVIEW

Please be advised that pursuant to Sec. 14-86 and 14-87 of the Town Code of Ordinances, the Town Planning and Zoning Board uses the following criteria in order to complete its Architectural and Aesthetic Review. Each criteria must be addressed by the applicant prior to the application being processed.

1. Relationship of building to site: (Explain transition from streetscape; placement of parking and service areas; and compatibility of building height and scale with site):

See attached narrative

2. Relationship of building and site to adjoining area(s): (Explain how structures and landscaping are consistent with established neighborhood character and will enhance the surrounding area. Include description of architectural style, as well as textures, materials and colors to be utilized):

See attached narrative

3. Landscape and site treatment: (Explain how landscaping, exterior lighting and other site elements will be used to enhance architectural features, buffer the mass of buildings as appropriate, and enhance the privacy of the owner and neighbors. Describe the use of native species and xeriscaping as appropriate.):

See attached narrative

4. Building design: (Explain proposed building design and style, and how components such as roofs, windows, doors, eaves and parapets are balanced in proportion to each other; address harmoniousness of colors, visual interest and compatibility):

See attached narrative

Please provide all documentation and/or samples necessary to address all architectural review criteria as applicable. Attach additional pages as necessary.

REQUEST FOR SITE PLAN MODIFICATION

1. Previously approved (Original) site plan information:

- a. Original Project Name: Sailfish Marina
- b. Original Site Plan Application No.: _____
- c. Original Site Plan Approval Date: 1985/In Operation since 1977
- d. List of all other relevant information on file with original application: _____

2. Requested Modification(s): Construction of accessory restroom for existing tiki bar and miscellaneous storage.

Please provide all documentation necessary to describe the proposed modification and to explain the reason(s) for the proposed modification(s), including a survey, if applicable. Attach additional pages as necessary.

REQUEST FOR VARIANCE

The Applicant is requesting a variance from the Town Code Section(s) NA to permit the following:

Please be advised that a variance from the terms of the Zoning Code shall not be recommended by the Planning and Zoning Board, nor granted by the Town Commission, unless the Applicant is able to demonstrate the following:

1. Explain the special conditions and circumstances which exist that are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or building in the same zoning district:

2. Explain how the special conditions and circumstances that exist do not result from the actions of the Applicant:

3. Explain how the literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Code and would work unnecessary and undue hardship on the Applicant:

4. Explain how the variance requested is the minimum variance that will make possible a reasonable use of the land, building or structure:

5. Explain how the granting of the requested variance will not confer on the Applicant any special privilege that is denied by the Zoning Code to other lands, structures, or buildings in the same zoning district:

6. Explain how the grant of the requested variance will be in harmony with the general intent and purpose of the Zoning Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare:

The burden of meeting the standards as set forth above is upon the Applicant. Please provide all documentation necessary to prove your case, including a survey, if applicable. Attach additional pages as necessary.

REQUEST FOR SPECIAL EXCEPTION

The Applicant is requesting a special exception pursuant to Town Code Section(s) NA to permit the following:

A Special Exception shall not be recommended by the Town Planning and Zoning Board, nor granted by the Town Commission, unless the Applicant is able to demonstrate the following:

1. Explain how all structures will be separated from adjacent and nearby uses by appropriate screening devices:

2. Explain whether or not excessive vehicular traffic will be generated on surrounding residential streets:

3. Explain whether or not a vehicular parking or traffic problem is created:

4. Explain where on the site appropriate drives, walkways and buffers will be installed:

5. Explain how the proposed use will make a substantial contribution to the neighborhood environment and will not infringe on the rights of properties in the vicinity:

6. Explain how the proposed use will not endanger, restrict or impair public safety:

The initial burden of meeting the standards as set forth above is upon the Applicant. Please provide all documentation necessary to prove your case, including a survey, if applicable. Attach additional pages as necessary.



**WAIVER OF RIGHT TO APPEAL BASED ON LACK OF DUE PROCESS
BECAUSE OF THE USE OF COMMUNICATIONS MEDIA TECHNOLOGY
IN A QUASI-JUDICIAL PROCEEDING**

I understand that the President of the United States has declared a National Emergency due to the global pandemic caused by the Novel Coronavirus Disease 2019 (COVID-19 Pandemic). I also understand that the Governor of Florida has declared a State of Emergency in response to the COVID-19 Pandemic.

I understand that the Town of Palm Beach Shores (Town) has adopted Resolution R-2-20 adopting policy and implementing protocols for the use of Communications Media Technology to facilitate attendance by elected and appointed officials at public meetings and also to facilitate public participation and attendance at such meetings; providing that the use of such protocols is limited to periods of declared emergency when public health and safety guidance limits the safe attendance at such meetings in person and when Sunshine Law requirements are lawfully relaxed to permit the same.

I understand and agree that in accordance with Resolution R-2-20, I, as Owner of the property for the Development Application designation below, was offered by the Town the choice of either waiting to proceed with my Development Application at a regular meeting that does not utilize Communications Media Technology to establish a quorum; or waiving, in writing, the right to appeal the decision / development order rendered as a result of the Electronic Meeting on grounds that I was deprived due process because of the use of Communications Media Technology. I further understand and agree that it is Town policy that no quasi-judicial proceeding may be processed at an Electronic Meeting prior to this election being made by me, as Owner of the property at issue.

I understand and agree that for any sworn testimony that I, as owner and applicant, intend to provide at hearing, that I am responsible for making appropriate arrangements for offering sworn testimony, for myself and any witnesses offered, and that I am further responsible for submitting all documentary evidence in accordance with the Town's policy as set forth in Resolution R-2-20.

I understand that as part of the quasi-judicial proceeding for my Development Application, in accordance with Article I, Section 9 of the Florida Constitution, I am entitled to due process. I am knowingly and voluntarily choosing to waive my right to appeal the decision / development order rendered as a result of the quasi-judicial proceeding using Communications Media Technology on grounds that I was deprived due process because of the use of Communications Media Technology. No one has threatened me, coerced me in any way, or promised me anything to get me to waive my right to appeal on these grounds.

PROPERTY OWNER:
GREAT AMERICAN LIFE INSURANCE COMPANY

By: [Signature]

Owner Name (printed): MARK F. MUETHNB, President

Date: May 6, 2020

Development Application Designation: _____

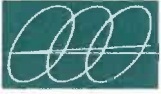
THE STATE OF FLORIDA OHIO
COUNTY OF PALM BEACH HAMILTON

The foregoing Waiver was acknowledged before me by means of ☒ physical presence or ☐ online notarization this 6th day of May, 2020 by MARK F. MUETHNB who is personally known to me ~~or who has produced a Florida driver's license as identification~~ and who did/did not take an oath.



KARL J. GRAFE
Attorney at Law
Notary Public, State of Ohio
My Commission Has No Expiration
Date: Section 147.03 O.R.C.

[Signature]
NOTARY PUBLIC, State of ~~Florida~~ Ohio



May 8, 2020

Town of Palm Beach Shores
Attn: Laura Brown
247 Edwards Lane
Palm Beach Shores, FL 33404

Subject: Sailfish Marina Resort: Site Plan Modification/Architectural Aesthetic Review for restroom/storage building (**2GHO # 16-1004**).

Dear PZ Board Members:

The Application and submittal package under cover reflects the Owner's proposal for the construction of a 660 square foot restroom building/storage facility to be placed near the existing event area.

Enclosed, please find:

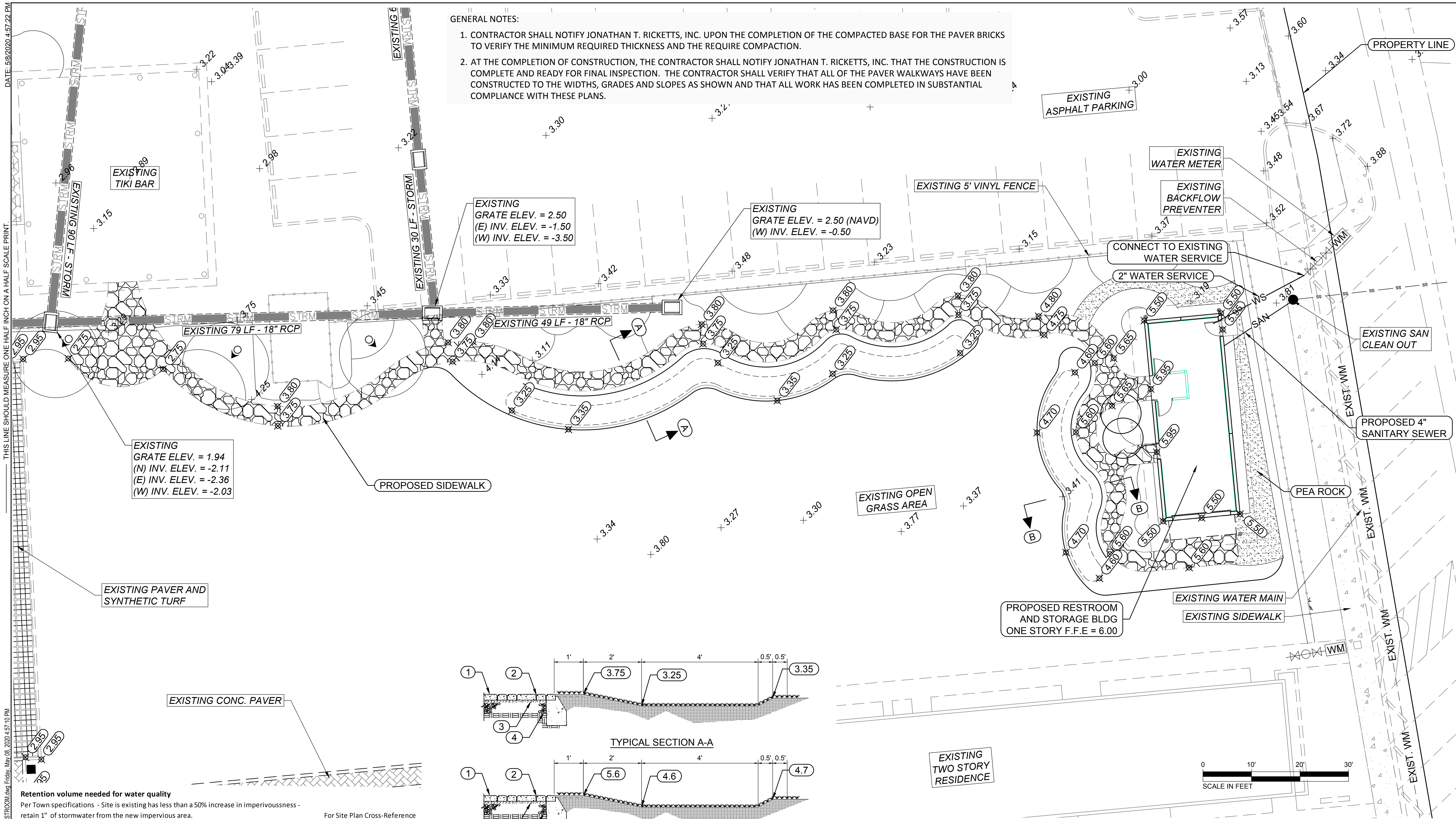
1. Re-signed forms with 1 original of each (Application, and Waiver to Appeal Form);
2. Response Letter addressing DRC Members comments;
3. Corrected Tabular Information in General Application pertaining to building lot coverage, and landscape coverage coordinated with the drainage statement, site plan, and drainage plan;
4. Project Narrative, Warranty Deeds, and Recorded Plat (as previously submitted);
5. Revised drainage statement updated to reflect 1" retention for restroom, and other elements requested by the Town Engineer;
6. Site Plan and updated landscape plan revised to reflect a higher clusia install height;
7. Updated drainage plan, and architectural elevations reflecting building height of 15'

Should you have any questions regarding the enclosed submittal, please do not hesitate to contact our office at 561-575-9557.

Respectfully,

Gentile Glas Holloway O'Mahoney & Associates, Inc.

Dodi Buckmaster Glas, AICP, LEED®AP, BD&C
Partner, Director of Planning



- GENERAL NOTES:
1. CONTRACTOR SHALL NOTIFY JONATHAN T. RICKETTS, INC. UPON THE COMPLETION OF THE COMPACTED BASE FOR THE PAVER BRICKS TO VERIFY THE MINIMUM REQUIRED THICKNESS AND THE REQUIRE COMPACTION.
 2. AT THE COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY JONATHAN T. RICKETTS, INC. THAT THE CONSTRUCTION IS COMPLETE AND READY FOR FINAL INSPECTION. THE CONTRACTOR SHALL VERIFY THAT ALL OF THE PAVER WALKWAYS HAVE BEEN CONSTRUCTED TO THE WIDTHS, GRADES AND SLOPES AS SHOWN AND THAT ALL WORK HAS BEEN COMPLETED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS.

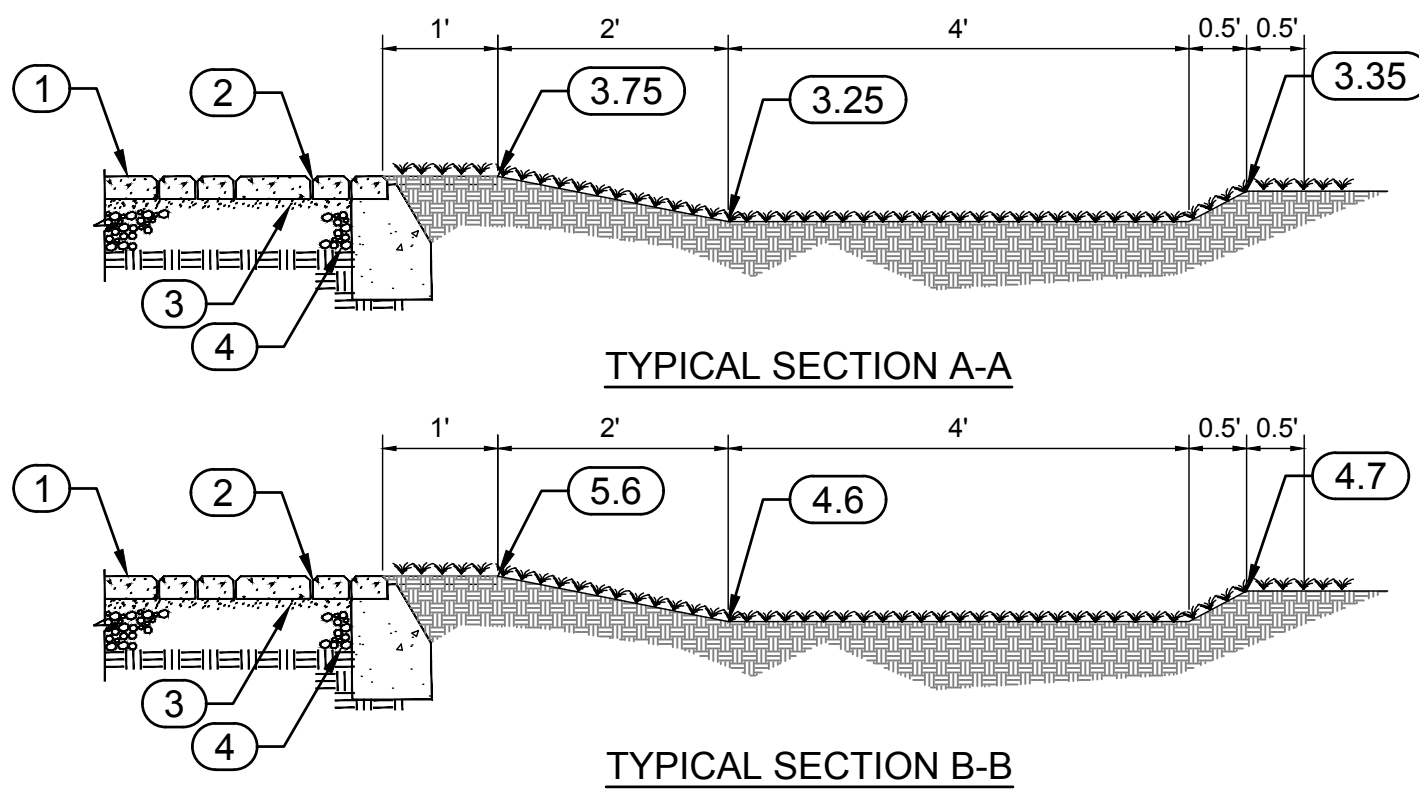
EXISTING
GRATE ELEV. = 1.94
(N) INV. ELEV. = -2.11
(E) INV. ELEV. = -2.36
(W) INV. ELEV. = -2.03

EXISTING
GRATE ELEV. = 2.50
(E) INV. ELEV. = -1.50
(W) INV. ELEV. = -3.50

EXISTING
GRATE ELEV. = 2.50 (NAVD)
(W) INV. ELEV. = -0.50

PROPOSED RESTROOM
AND STORAGE BLDG
ONE STORY F.F.E = 6.00

PROPOSED 4" SANITARY SEWER



1. MEGA-ARBEL PAVER BY BELGARD, COLOR BLEND: AMARETTO
2. INFILL MATERIAL: NO. 8 (3/8") STONE MIXED WITH "GRAVEL LOCK"
- OR EQUAL AS APPROVED BY ENGINEER
3. 2" NO. 8 STONE
4. 6" NO. 57 STONE

- 1) ALL DIMENSIONS PER SITE PLAN BY GENTILE GLAS HOLLOWAY & O' MAHONEY.
- 2) ALL GRADES ARE REFERENCED TO NAVD.
- 3) ENGINEER OF RECORD SHALL BE PRESENT TO CONFIRM GRADES AND COMPACTION FOR SUBGRADE.
- 4) CONTRACTOR SHALL PROVIDE ENGINEER OF RECORD WITH AS-BUILT SURVEY CONFIRMING ALL GRADES.

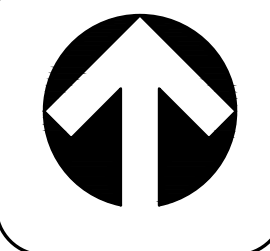
Always call 811 two full business days before you dig



REV. No.	DATE	DESCRIPTION

UTILITY IMPROVEMENTS
SAILFISH MARINA
PALM BEACH COUNTY, FLORIDA
RESTROOM

PROJ. NO.: 1916
DRAWN BY: RC
SHEET:
S1.1



3450 Northlake Boulevard - Suite 200
Palm Beach Gardens, Florida 33403
Phone: (561) 630-6700
Toll - Free: (877) 630-6777
Fax: (561) 625-2770
FL Certificate of Authorization: 6173
NC Certificate of Authorization: C-2761
JTR
Jonathan T. Ricketts, Inc.
LANDSCAPE ARCHITECT • CIVIL ENGINEER

SEAL
FL P.E. No. 38799
JONATHAN T. RICKETTS

DRAINAGE STATEMENT

**Prepared for
Restroom Building for the Tiki Bar
Sailfish Marina – Palm Beach Shores
Palm Beach County, FL
PCN: 54-43-42-27-69-001-0000**

Sailfish Marina is an existing resort, containing approximately 5.06 acres and located directly on the intracoastal waterway in Palm Beach Shores. The restroom building for the tiki bar project involves one small portion of the resort (Lot 557 of the plat of Palm Beach Shores). The parcel is approximately 0.50 acres and previously had a small hotel and swimming pool as recently as 2017. The parcel is open space and serves as an outdoor venue for the resort.

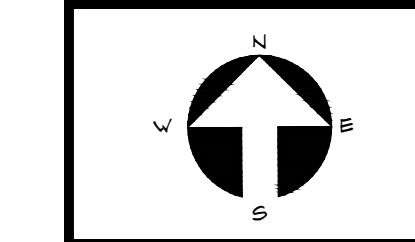
The proposed project is for a restroom building that is approximately 660 s.f., an exterior concrete pad, containing 54.16 s.f., and a 14' wide permeable paver walkway approximately 245 feet in length. In accordance with the Town's procedures for new development, the proposed project will provide for 1 inch of retention for the new impervious areas created with the 660 s.f. building and 54.16 s.f. concrete pad. Any runoff larger than the required storage volume will enter the existing drainage facilities for the resort and be discharged into the intracoastal waterway, which provides the required legal positive outfall for the drainage system for this project.

Jonathan T. Ricketts
FL. P.E. License No. 38799
FL. CA. License No. 6173

This item has been electronically signed and sealed by Jonathan Ricketts on 05/11/2020 using a SHA-1 authentication code. Printed copies of this document not considered signed and sealed and the SHA-1 authentication code must be verified on any electronic copies



SCALE: 1/4"=1'-0"



A-1

Revisions:

Project no:	19066
Date:	02.21.2020
Drawn by:	Mar
Project Architect:	Joe

THESE DRAWINGS ARE FOR THE EXCLUSIVE
USE OF GLIDDEN SPINA + PARTNERS, INC.
AND MAY NOT BE DUPLICATED,
REPRODUCED OR USED IN ANY MANNER
WITHOUT THE EXPRESS WRITTEN CONSENT
OF GLIDDEN SPINA + PARTNERS, INC. ALL
RIGHTS RESERVED.

Sailfish Marina Tiki Outbuilding

98 Lake Drive
Palm Beach Shores, FL 33404



+ PARTNERS

Architecture • Interior Design
Keith M. Spina #AR13419

285 BANYAN BLVD
West Palm Beach Florida 33401
561.684.6844 • Fax 561.684.5594
spinaorourke.com
FL Lic # AA26002399



Sailfish Marina Resort Tiki Bar Restroom & Storage Building

PROJECT NARRATIVE

Site Plan Review

Architectural/Aesthetic Review

March 23, 2020

Request/Location:

On behalf of the Owner, Great American Life Insurance Company, we would like to request a modification to the last approved plan (**SPM-19-4/AAR 19-15**), for site improvements inclusive of a new pathway, and restroom/storage building.

The subject property is located at 98 Lake Drive in Palm Beach Shores, Florida, and is currently developed as the Sailfish Marina Resort. The request does not include any changes to the existing restaurant, dock facilities, or retail portion of the property.

Previous Approvals:

In recent years, Sailfish Marina has been granted the following approvals.

Application Number	Type of Approval	Approval Date
V 16-1	Variance and Site Plan Approval for South Dock Installation	February 27, 2017
SPR- 18-6/ AR 18-6	Site Plan / Architecture Review for Tiki Bar	March 27, 2018
SPM 19-4/AAR 19-7	Site Plan Modification for southernmost dock/Valet Approval	June 26, 2019
SE 19-1	Approved Special Exception to allow a building site area that exceeds three platted lots	July 15, 2019
M-19-1	Approved Replat for lots 549-559	July 15, 2019
SPM 19-14/AAR 19-15	Approval of Paver Walkway extension to southern property boundary	January 22, 2020

Proposed Modifications:

Sailfish Marina Resort, known for “**preserving the tradition since 1952**” continually stands by their mission to offer a unique paradise with something for everyone. As the operations team at Sailfish Marina continues to evaluate their evolving business operations, they are proposing to add a permeable paver pathway from the south side of the existing Tiki bar that will meander to the proposed restroom/storage building, which will be situated at the eastern end of the property.

This improvement will provide patrons utilizing the existing Tiki bar a restroom facility to use, rather than walking to the existing restroom facility located adjacent to the restaurant and ship store. The proposed 660sf building will also serve as a storage area of miscellaneous items which will provide a mechanism for a more efficient operation of the property.

Parking:

As the requested modification is accessory to the existing property, and intended to provide patrons an additional restroom facility; no additional parking is needed. The site remains parked at 269 spaces, inclusive of the approved valet spaces.

Architectural and Aesthetic Review

Pursuant to Sections 14-86 and 14-87 of the Town of Palm Beach Shores zoning code, the applicant will demonstrate that the above proposal is consistent with the criteria below for Architectural and Aesthetic Review.

1. **Relationship of building to the site** (Explain transition from streetscape; placement of parking and service areas; and compatibility of building height and scale)

Response: The proposed restroom/storage building is a one story structure that will provide conveniently located restrooms to the patrons of the tiki bar. The existing parking, access, and service areas will be maintained with this amendment.

2. **Relationship of building and site to adjoining area(s)** – Explain how structures and landscaping are consistent with established neighborhood character and will enhance the surrounding area. Include description of architectural style, as well as textures, materials and colors to be utilized.

Response: The overall design includes tropical theming in both landscaping material and building design that draws from an island rustic inspiration. The landscape material includes tropical and succulent elements that will work to engage the pedestrian while traveling the proposed meandering walk. The landscape design also screens the event area from the adjacent parking area

Consistent with this theme, the architectural style of the proposed restroom and storage building will match the existing Tiki bar which is considered Tiki-Polynesian as it uses several wood elements in the fascia, and columns. The proposed structure has thatched roofing, rustic wood columns, and stucco with reveals. This style compliments the Florida coastal vernacular, which is present on the existing buildings on the site.

3. **Landscape and Site Treatment** – Explain how landscaping, exterior lighting and other site elements will be used to enhance architectural features, buffer the mass of buildings as appropriate, and enhance the privacy of the owner and neighbors. Describe the use of native species and xeriscaping as appropriate.

Response: The landscaping and site treatment will serve dual purposes. First, the landscape design creates a sense of place that draws from the various elements of tropical paradise, and remains consistent with the current operational character of the resort. The flowing path of the proposed meandering walkway will evoke a feeling a relaxation, while taking the pedestrian on a visual journey that will feature a mix of landscape species. Additionally, the proposed landscape theme will provide the pedestrian a visual barrier to the adjacent parking area.

4. **Building Design:** Explain proposed building design and style, and how components such as roofs, windows, doors, eaves, and parapets are balanced in proportion to each other; address harmoniousness of colors, visual interest and compatibility.

Response: The proposed structure is one story, and will be harmonious with the existing buildings on the property.

5. Provide all documentation and/or samples necessary to address all architectural review criteria as applicable.

Response: Included in this submittal are floor plans, and elevations for the proposed restroom storage building.

Conclusion:

The proposed modification of the Sailfish Marina Resort to provide a restroom/storage building near the event area, and existing Tiki bar will not be a detriment to the overall health, safety, or general welfare of the public, and is consistent with the character of the area. Further, the proposed modification intends to provide restroom facilities in closer proximity for the users of the event area and Tiki bar. Thoughtful considerations were made by the design team, and the proposal meets Town of Palm Beach Shores zoning code provisions, in addition to the Architectural/ Aesthetic Review Criteria. Therefore, on behalf of the Owner, Gentile Glas Holloway O'Mahoney & Associates, Inc. respectfully requests review and approval of this application. The Project consultants at Gentile Glas Holloway O'Mahoney & Associates, Inc. are Dodi Buckmaster Glas, AICP, Daniel Siemsen, PLA, and Alec Dickerson.

20190279607

195

STATE OF FLORIDA
COUNTY OF PALM BEACH
THIS PLAT HAS BEEN FILED FOR
RECORD AT 1:51 PM
THIS 30th DAY OF
July, 2019
AND DULY RECORDED IN PLAT
BOOK 128
ON PAGE 195-196
SHARON R. BOCK
CLERK & COMPTROLLER
PALM BEACH COUNTY
BY: [Signature]

COUNTY CLERK



SAILFISH MARINA AND RESORT

BEING A REPLAT OF LOTS 549, 550, 551, 552, 553, 554, 555, 556, 557, 558 AND 559 AND PRIVATE ROAD NO.3, BETWEEN LOTS 554 AND 555, AND PARCEL MARKED "RESERVED" LYING WEST OF LOTS 554 AND 555, PALM BEACH SHORES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 23, PAGES 29 THROUGH 32, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. SITUATED LYING AND BEING IN SECTIONS 27 & 34, TOWNSHIP 42 SOUTH, RANGE 43 EAST, PALM BEACH SHORES, FLORIDA.

SHEET 1 OF 2



VICINITY SKETCH
not to scale

DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT GREAT AMERICAN LIFE INSURANCE COMPANY, AN OHIO CORPORATION, AUTHORIZED TO DO BUSINESS IN FLORIDA, OWNER OF THE LANDS SHOWN HEREON AS "SAILFISH MARINA AND RESORT", BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOTS 549, 550, 551, 552, 553, 554, 555, 556, 557, 558 AND 559 AND PRIVATE ROAD NO. 3, BETWEEN LOTS 554 AND 555, AND PARCEL MARKED "RESERVED" LYING WEST LOTS 554 AND 555, PALM BEACH SHORES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 23, PAGES 29 THROUGH 32, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

HAVE CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN HEREON AND DO HEREBY DEDICATE AS FOLLOWS:

PARCEL "A", AS SHOWN HEREON, IS HEREBY RESERVED FOR GREAT AMERICAN LIFE INSURANCE COMPANY, AN OHIO CORPORATION, ITS SUCCESSORS AND ASSIGNS, FOR THE PURPOSES CONSISTENT WITH THE ZONING REGULATIONS OF PALM BEACH SHORES, FLORIDA, AND IS THE PERPETUAL MAINTENANCE OBLIGATION OF GREAT AMERICAN LIFE INSURANCE COMPANY, AN OHIO CORPORATION, ITS SUCCESSORS AND ASSIGNS WITHOUT RECOURSE TO PALM BEACH SHORES.

IN WITNESS WHEREOF, THE ABOVE NAMED CORPORATION HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS PRESIDENT, AND ITS CORPORATE SEAL TO BE AFFIXED HERETO BY AND WITH THE AUTHORITY OF ITS BOARD OF DIRECTORS
THIS 22nd DAY OF July, 2019.

GREAT AMERICAN LIFE INSURANCE COMPANY
AN OHIO CORPORATION

BY: MARK MUETHING, PRESIDENT
SIGNATURE: [Signature]

WITNESS: [Signature]
PRINT NAME: Angie H. Carroll
WITNESS: [Signature]
PRINT NAME: Kelly Bulter

ACKNOWLEDGEMENT

GREAT AMERICAN LIFE INSURANCE COMPANY, AN OHIO CORPORATION

OHIO
STATE OF ~~FLORIDA~~
COUNTY OF ~~PALM BEACH~~
HAMILTON

BEFORE ME PERSONALLY APPEARED MARK MUETHING, WHO IS PERSONALLY KNOWN TO ME, ON ~~HIS OWN~~ AS IDENTIFICATION AND WHO EXECUTED THE FOREGOING INSTRUMENT AS PRESIDENT OF GREAT AMERICAN LIFE INSURANCE COMPANY, AN OHIO CORPORATION, AND SEVERALLY ACKNOWLEDGED TO AND BEFORE ME THAT HE EXECUTED SUCH INSTRUMENT AS SUCH OFFICER OF SAID CORPORATION, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE CORPORATE SEAL (IF AVAILABLE) OF SAID CORPORATION AND THAT IT WAS AFFIXED TO SAID INSTRUMENT BY DUE AND REGULAR CORPORATE AUTHORITY, AND THAT SAID INSTRUMENT IS THE FREE ACT AND DEED OF SAID CORPORATION.

WITNESS MY HAND AND OFFICIAL SEAL THIS 22nd DAY OF July, 2019

2015-AE-535397

MY COMMISSION NO.:

07-19-2020

MY COMMISSION EXPIRES:

[Signature]
SIGNATURE OF NOTARY PUBLIC

Yvonne M. Tisher
PRINTED NAME OF NOTARY PUBLIC

TITLE CERTIFICATION

STATE OF FLORIDA
COUNTY OF ~~DADE~~ MIAMI

I, Erica L. English, A DULY LICENSED ATTORNEY IN THE STATE OF FLORIDA, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE TO THE HEREON DESCRIBED PROPERTY; THAT I FIND THE TITLE TO THE PROPERTY IS VESTED IN GREAT AMERICAN LIFE INSURANCE COMPANY; THAT THE CURRENT TAXES HAVE BEEN PAID; AND THAT ALL OTHER ITEMS HELD AGAINST SAID LANDS HAVE BEEN SATISFIED; THAT THERE NO MORTGAGES OF RECORD; AND THAT THERE ARE EASEMENTS AND ENCUMBRANCES OF RECORD, BUT THOSE EASEMENTS AND ENCUMBRANCES DO NOT PROHIBIT THE SUBDIVISION CREATED BY THIS PLAT.

DATED THIS 25 DAY OF July, 2019 BY: [Signature]
SIGNATURE
FLORIDA BAR NO. 069932k

CERTIFICATE OF REVIEW BY TOWN SURVEYOR

THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY IN ACCORDANCE WITH CHAPTER 177.081(1) OF THE FLORIDA STATUTES AND THE ORDINANCES OF THE TOWN OF PALM BEACH SHORES, FLORIDA. THIS REVIEW DOES NOT INCLUDE VERIFICATION OF GEOMETRIC DATA.

DATED THIS 29th DAY OF JULY, 2019 BY: [Signature]
JOHN E. PHILLIPS III, PLS
FLORIDA CERTIFICATE NO. 4826

SURVEYOR AND MAPPERS CERTIFICATE

THIS IS TO CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT THE PERMANENT REFERENCE MONUMENTS (P.R.M.'S) ACCORDING TO CHAPTER 177.091 (9), FLORIDA STATUTES, HAVE BEEN PLACED AS REQUIRED BY LAW; AND, FURTHER, THAT THE SURVEY DATA COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AS AMENDED, AND THE ORDINANCES OF THE TOWN OF PALM BEACH SHORES, FLORIDA.

DATED THIS 16th DAY OF July, 2019 BY: [Signature]
DOUG WALKER, PSM
FLORIDA CERTIFICATE NO. 7211

APPROVAL- TOWN OF PALM BEACH SHORES

STATE OF FLORIDA
COUNTY OF PALM BEACH
TOWN OF PALM BEACH SHORES

THIS PLAT AS SHOWN HEREON HAS BEEN APPROVED FOR RECORD BY THE TOWN OF PALM BEACH SHORES, FLORIDA, THIS 30th DAY OF JULY, 2019.

BY: [Signature]
MYRA KOUTZEN, MAYOR

BY: [Signature]
EYVONNE BROWNING, TOWN CLERK

BY: [Signature]
ROBERT F. RENNEBAUM, P.E.
TOWN ENGINEER

SURVEYOR'S NOTES:

* ALL BEARINGS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM - NAD83 - 1990 ADJUSTMENT, FLORIDA EAST ZONE AND REFERENCE THE NORTH RIGHT OF WAY LINE OF LAKE DRIVE S02°33'08"E (BEARING BASE)
* NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN, AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

* RESTRICTION ON OBSTRUCTION OF EASEMENTS:
NO BUILDINGS OR ANY KIND OF CONSTRUCTION OR TREES OR SHRUBS SHALL BE PLACED ON ANY EASEMENT WITHOUT THE PRIOR WRITTEN APPROVAL OF ALL EASEMENT BENEFICIARIES AND ALL APPLICABLE TOWN APPROVALS OR PERMITS AS REQUIRED FOR SUCH ENCROACHMENT.

* TABULAR AREA:
TOTAL = 218289 SQ. FT. OR 5.01 ACRES

* DISTANCES ARE IN U.S. SURVEY FOOT 1' x 3.2808333= 1.::ETER

* PREPARING SURVEYOR & MAPPER STATEMENT:
THIS INSTRUMENT WAS PREPARED BY DOUG WALKER, P.S.M. # 7211, STATE OF FLORIDA, IN AND FOR THE OFFICES OF PM SURVEYING, AT 4546 CAMBRIDGE STREET, WEST PALM BEACH, FLORIDA, 33415. CERTIFICATE OF AUTHORIZATION # 8261

* COORDINATES SHOWN HEREON REFERENCE NORTH AMERICAN DATUM OF 1983, 1990 ADJUSTMENT, FLORIDA EAST ZONE, TRANSVERSE MERCATOR PROJECTION.

* ABBREVIATIONS:
PSM = FLORIDA LICENSED SURVEYOR & MAPPER
LB = LICENSED BUSINESS
PB = PLAT BOOK
ORB = OFFICIAL RECORD BOOK
PG = PAGE
SQ. FT. = SQUARE FEET
(P) = PLAT
(M) = MEASURED

OWNER

REVIEWING SURVEYORS SEAL

TOWN OF PALM BEACH SHORES SEAL

SURVEYOR'S SEAL

TOWN CLERK

TOWN ENGINEER



PM SURVEYING
4546 CAMBRIDGE STREET
WEST PALM BEACH, FL. 33415
(561) 478-7764 FAX 478-1094
VISIT US AT PMSURVEYING.NET
JOB # 18020106

196

SHEET 2 OF 2

SCALE 1" = 40'

WORTH

VICINITY SKETCH
not to scale

LOT 548
PALM BEACH SHORES
PLAT BOOK 23 PAGE 29

LOT 560
PALM BEACH SHORES
PLAT BOOK 23 PAGE 29

(IN FEET)
1 inch = 40 ft.

LEGEND

- SET 4"x 4" CONCRETE MONUMENT AND BRASS DISK "PRM LB 8261"
- SET NAIL AND DISK "PRM LB 8261"



PM SURVEYING
4546 CAMBRIDGE STREET
WEST PALM BEACH, FL. 33415
(561) 478-7764 FAX 478-1094
VISIT US AT PMSURVEYING.NET
JOB # 18020106

FILE: P5A1LFISH MARINA 16-1004 INFORMATION AND RESEARCH RECORDED PLAT'SAILFISH MARINA RECORDED PLAT.DWG
PLOTTED: 11/21/19 AT 8:26AM BY: KEVIN



May 11, 2020

Laura Brown
Town of Palm Beach Shores
247 Edwards Lane
Palm Beach Shores, FL 33404**RE: Sailfish Marina Resort: SPM 20-3/AAR 20-8**

Dear Ms. Brown:

Pursuant to comments received from staff on May 6, 2020 based on a submittal of March 23, 2020, please note our responses below. Also, included with this letter are the revised plans, which address the comments where applicable.

For your convenience we have prepared our responses in ***bold italics***.

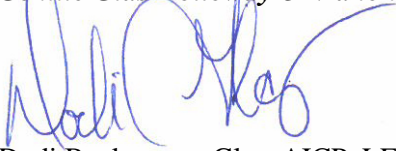
Agency	Comment	Response
Town Engineer	1. Provide proposed cross section for pervious pavers and pea gravel	<i>With this submittal, the requested cross sections have been provided. Please refer to updated engineering plan.</i>
	2. Based on review of proposed cross sections, pervious pavers and pea gravel areas may be considered pervious	<i>Acknowledged.</i>
	3. Remove credit for storage in paver and pea gravel sections. These areas may be considered pervious, but no additional storage may be taken within the section.	<i>Acknowledged. The drainage calculations have been revised in coordination with the Town Engineer.</i>
	4. Provide 1" stormwater storage for impervious building (660 SF)	<i>The engineering plan has been updated accordingly</i>
	5. Review landscape coverage reduction shown on the site plan (2241 SF) as compared to engineering plan total impervious (2560 SF). Numbers should match	<i>The landscape plan and engineering plan, have been coordinated, and are consistent. The total landscape area has been decreased by 2,241.58 sf</i>
Zoning Official	Architectural Elevations:	
	1. The maximum overall height of accessory structures is 15' per Pf. 7.3.d, proposed elevations show the structure at 20'.	<i>Acknowledged. The elevations have been revised to reflect a max. height of 15'</i>

	<p>General Application:</p> <p>2. Application page 7, Building Coverage indicates no change, there should be a minor change this based on proposed structure. Pf.7.5.a includes all accessory structures.</p> <p>3. Application page 8, Maximum building height for accessory structures is limited to 15’.</p>	<p><i>Acknowledged. Page 7 has been revised to reflect the minor change in Building lot coverage due to the proposed 660 sf structure. The new lot coverage for the site is now 13% or 28, 748.73 sf</i></p> <p><i>Acknowledged. Page 8 has been updated to reflect the max height of 15’</i></p>
	<p>Site Plan:</p> <p>4. The proposed marginal dock should be removed from the site plan until this dock is officially approved via P&Z Board.</p> <p>5. Please confirm landscape % based on additional building/paved areas.</p>	<p><i>As discussed at the May 6, 2020 DRC meeting, the marginal dock application is currently scheduled to be on the May 27th PZ Board agenda. A condition of approval will be placed on the project, stating that the site plan for the Tiki restroom will be updated to remove the marginal dock, should it not be approved at the Planning and Zoning Board meeting.</i></p> <p><i>Acknowledged. The landscape and engineering plans have been coordinated, and the percentages have been confirmed accordingly. The tabular in the general application has also been updated.</i></p>
	<p>Landscape Plan:</p> <p>6. Landscaping upgrade to create a visual screen to the top of the beam of the proposed accessory structure.</p>	<p><i>The landscape plan has been revised to provide a higher install height of landscape material to aid in the creation of a visual screen for the proposed accessory structure.</i></p>
Town Attorney	<p>1. Pg. 7 – lot coverage proposed says NA, please update to include new building impact to lot coverage and resulting calculations</p>	<p><i>Acknowledged. Page 7 has been revised to reflect the minor change in Building lot coverage due to the proposed 660 sf structure. The new lot coverage for the site is now 13% or 28, 748.73 sf</i></p>

	<p>2. Pg. 8 – lists total building height as 20’10” – accessory structures limited to 15’ height</p> <p>3. Sheet A-2 depicts total building height as 20’10” – accessory structures limited to 15’ height</p>	<p><i>Acknowledged. Page 8 has been updated to reflect the max height of 15’</i></p> <p><i>Acknowledged. The architectural elevations have been updated to reflect the max height of 15’</i></p>
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Should you have any questions regarding the resubmittal please do not hesitate to contact me at 561-575-9557 or email me at dodi@2gho.com .

Respectfully,
Gentile Glas Holloway O’Mahoney & Associates, Inc.

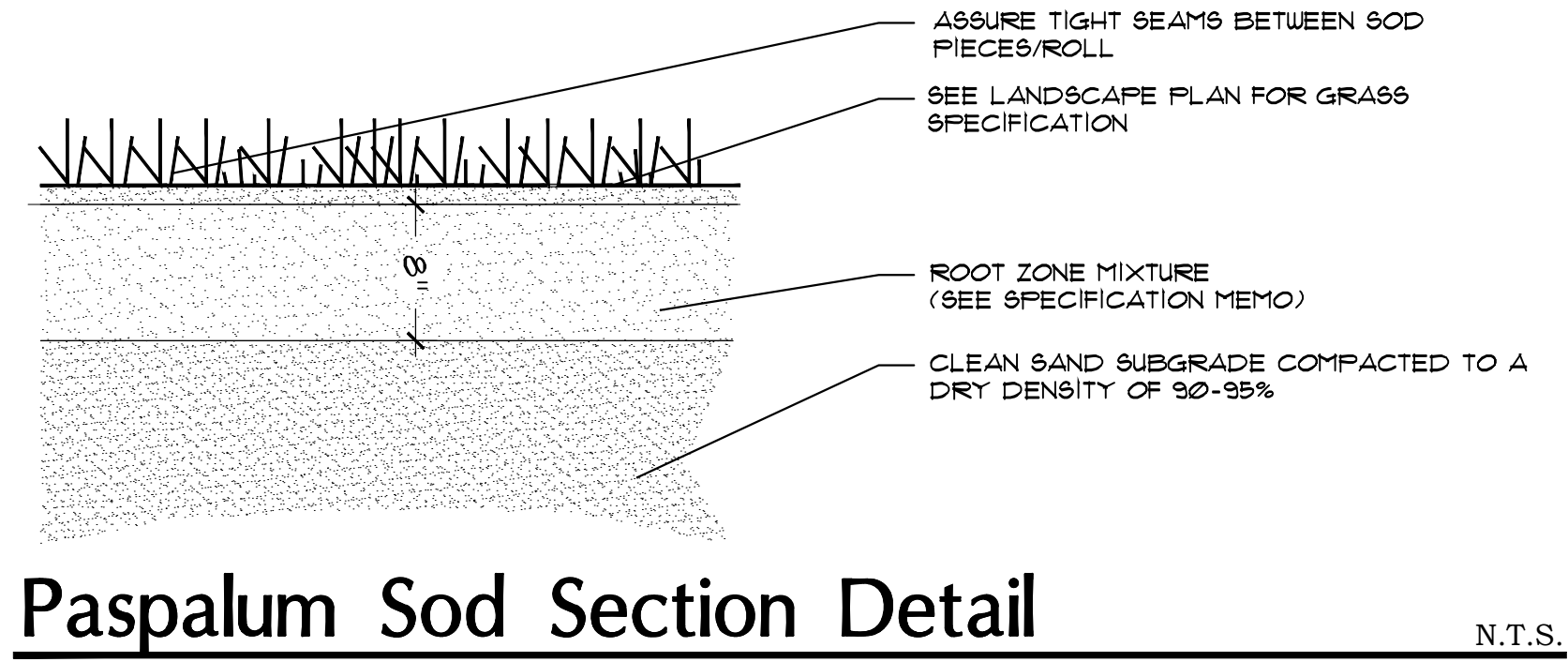


Dodi Buckmaster Glas, AICP, LEED®AP, BD&C
 Partner/Director of Planning

GRAPHIC DISCLAIMER:
THIS IS AN ARTIST'S RENDERING CREATED FROM ACTUAL PHOTOGRAPHS OF THE PROJECT LOCATION. THIRD PARTY PHOTOGRAPHS OF POTENTIAL PLANT MATERIAL TO BE INSTALLED HAVE BEEN GRAPHICALLY SUPERIMPOSED ON THOSE IMAGES OF THE PROJECT LOCATION. IT IS INTENDED TO SHOW WHAT THE PROPOSED PLANT INSTALLATION WILL POTENTIALLY LOOK LIKE. ACTUAL PLANT COLORS, HEIGHTS, LEAF DENSITY, SHADOWS, OR CONDITION OF THE EXISTING SITE MAY BE DIFFER FROM THE IMAGES PROVIDED. PLANT MATERIAL MAY DEFOLIATE AFTER INSTALLATION. THE DEGREE TO WHICH THIS CAN HAPPEN IS IMPOSSIBLE FOR THE LANDSCAPE ARCHITECT/DESIGNER TO PREDICT. CAUSES CAN INCLUDE, BUT ARE NOT LIMITED TO TIME OF YEAR/TIME OF DAY, LACK OF WATER, TOO MUCH WATER, WATER TYPE (FRESH/SALT), POOR NURSERY STOCK, POOR INSTALLATION PRACTICES, EXOTIC COVER AND/OR REMOVAL, NATURAL PHENOMENA, ETC. AND ARE ALL UNCONTROLLABLE AND/OR UNPREDICTABLE BY THE LANDSCAPE ARCHITECT/DESIGNER. THE LANDSCAPE ARCHITECT/DESIGNER IS NOT RESPONSIBLE FOR DIFFERENCES BETWEEN THE IMAGE PROVIDED AND ACTUAL FINISHED PRODUCT.

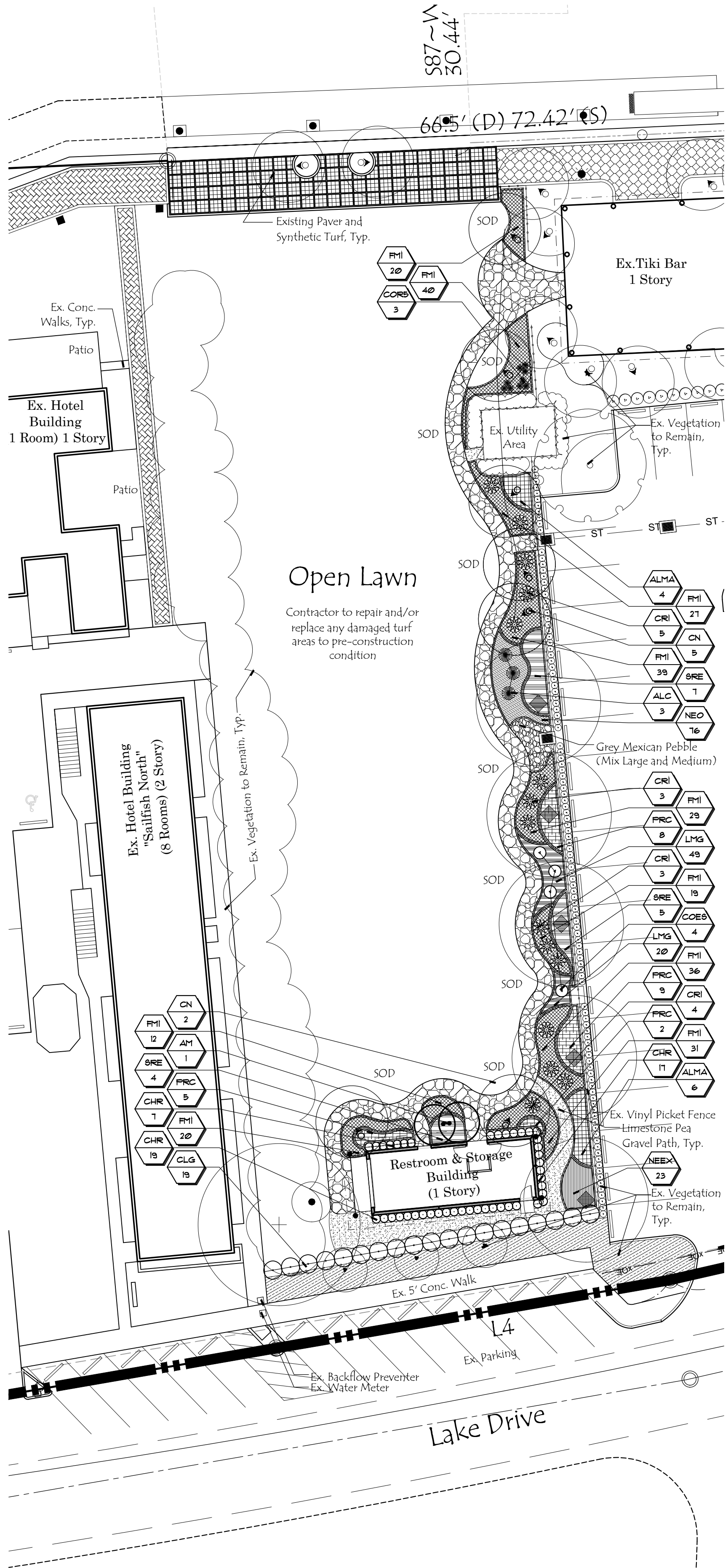


FILE: P:\SAILFISH MARINA 14-0001\DRAWING FILES\CURRENT\14-0001 SAILFISH LANDSCAPE PLAN FOR RESTROOM BLDG.dwg
PLOT: 5/17/20 AT 9:43AM BY: DSE/SEN
XREFS:



Paspalum Sod Section Detail

N.T.S.



Landscape Legend

Proposed Vegetation for Restroom and Path Areas:

	COCONUT PALM (12' C.T. MIN.)		GREEN ISLAND FICUS
	ADONIDIA PALM (8' G.W. HT.)		BLACK STEM ELEPHANT EAR
	QUEEN EMMA CRINUM LILY		ORANGE BIRD OF PARADISE
	ODERATA BROMELIAD		FIREBALL BROMELIADS
	FLORICA TI PLANT		PHILODENDRON ROJO CONGO
	DIAMOND HEAD ELEPHANT EAR		GIANT LIRIOPE
	RED TIP COCOPLUM (24" HT.)		BOSTON FERN
	SMALL LEAF CLUSIA (10'-9" HT.)		SEASIDE PASPALUM (SEE INSTALLATION DETAIL AND SPECIFICATION)

Existing Vegetation To Remain:

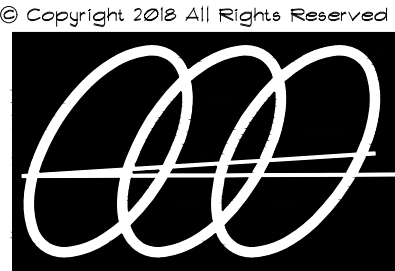
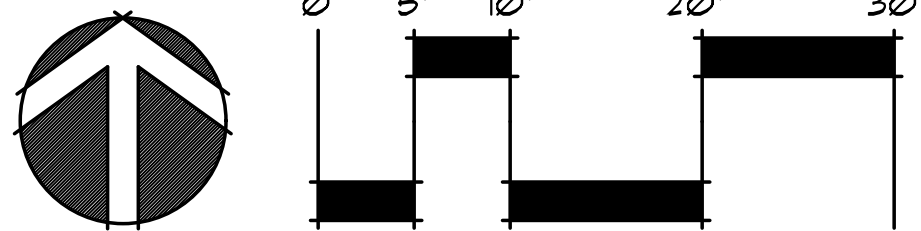
	EX. CABBAGE PALM		EX. FICUS TREE
	EX. FOXTAIL PALMS		EX. ARECA PALMS
	EX. COCONUT PALM		EX. CLUSIA HEDGE
	EX. GUMBO LIMBO		EX. SHRUBS AND GROUNDCOVERS
	EX. BLACK OLIVE TREE, TYP.		

Notes:

- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING AND PROPOSED UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO PLANT INSTALLATION. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OF RECORD PRIOR TO INSTALLATION.

Final Landscape Plan

PLANT MATERIAL, SPECIES AND LAYOUT SUBJECT TO CHANGE THROUGH THE MUNICIPAL APPROVAL PROCESS



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O'Mahoney
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Final Landscape Plan
Sailfish Marina Restroom Bldg.
Palm Beach Shores, Florida

Designed: _____ DSS
Drawn: _____ DSS
Approved: _____ GGG/EOM/MTM
Date: _____ 5-20-20
Job no. _____ 16-1004
Revisions: _____ 5-7-20

8ea

LC 0000177
Sheet Title:
**Final
Landscape
Plan**

Scale: 1"=10'-0"

Sheet No.

LP-1

16-1004

Plant List

PALMS										
KEY	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	SPACING	D.T.	NATIVE	REMARKS	
AM	1	ADONIDIA MERRILLII	ADONIDA PALM	8'	G.W.	As Shown	M	N	DOUBLE SPECIMEN. MATCHED AND FULL	
CN	7	COCOS NUCIFERA 'GREEN MALAYAN'	COCONUT PALM	12-16'	C.T.	As Shown	M	N	CURVED SPECEMEN	

ACCENTS										
KEY	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	GAL.	SPACING	D.T.	NATIVE	REMARKS
ALC	3	ALCANTAREA ODORATA	GIANT SILVER BROMELIAD	24"	24"	#3	As Shown	M	N	FULL TO BASE
CORS	3	CORDYLINE FRUTICOSA 'EXOTICA'	EXOTICA' TI PLANT	3'	18"	#3	As Shown	M	N	Substitute 'Florica' In full sun situation. Min. 3 stalks per pot
CRI	15	CRINUM AUGUSTUM 'QUEEN EMMA'	QUEEN EMMA CRINUM	36"	36"		As Shown	M	N	FULL AND HEALTHY
SRE	16	STRELITZIA REGINAE	ORANGE BIRD OF PARADISE	30"	30"	#7	4 O.C.	M	N	FULL TO BASE

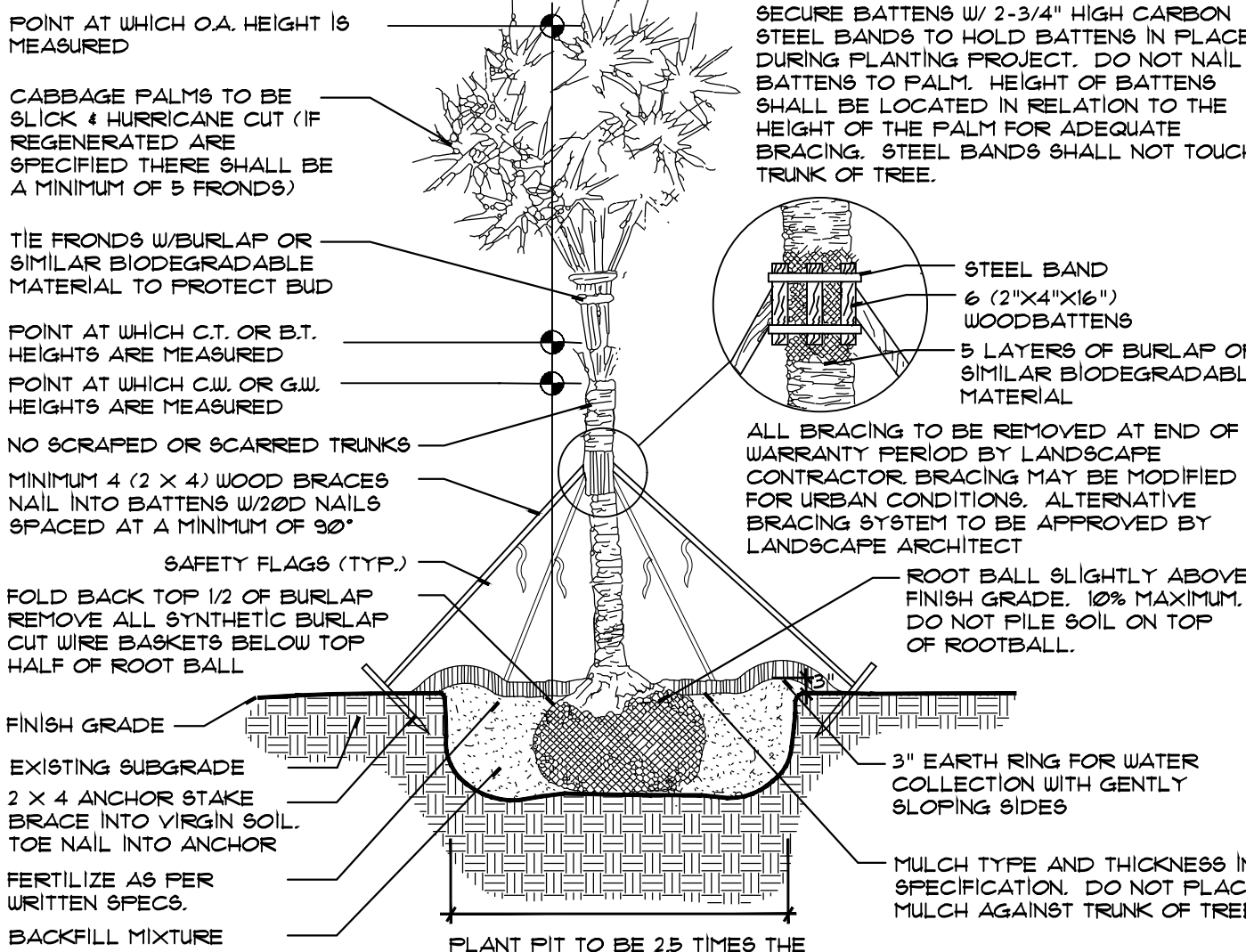
SHRUBS										
KEY	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	GAL.	SPACING	D.T.	NATIVE	REMARKS
CHR	43	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCOPLUM	24"	18"		2 O.C.	V	Y	
CLG	19	CLUSIA GUTTIFERA	SMALL LEAF CLUSIA	12 ft.	5'		4.5 O.C.	M	N	MIN. HEIGHT SHALL BE 10' OR TOP OF ADJACENT BUILDING BEAM
PRC	38	PHILODENDRON 'ROJO CONGO'	SAME	3'	24"		3 O.C.	M	N	FULL TO BASE

GROUND COVER										
KEY	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	GAL.	SPACING	D.T.	NATIVE	REMARKS
FMI	273	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	18"			2 O.C.	M	N	FULL TO BASE
LMG	69	LIRIOPE MUSCARI 'GIGANTEA'	GIANT LILYTURF	12"	12"	#1 FULL POT	1.5 O.C.	M	N	FULL TO BASE
NEO	76	NEOREGELIA 'FIREBALL'	FIREBALL BROMELIAD	6"	12"	#1	1.5 O.C.	M	N	FULL WITH MULTIPLE LEADERS

Perennials										
Abbreviation	Number of Plants	Species	Common Name	Height	Girth	Density	Specification			Diameter
COES	4	COLOCASIA ESCULENTA	ELEPHANTS EAR	As Shown			'DIAMOND HEAD' SPECIES. FULL TO BASE			
ALMA	10	ALOCASIA MACRORRHIZA	ELEPHANTS EAR	4 O.C.			BLACK STEM VARIETY. 36" HEIGHT MINIMUM			
NEEX	23	NEPHROLEPIS EXALTATA		6 IN.			BOSTON FERN. FULL TO BASE			

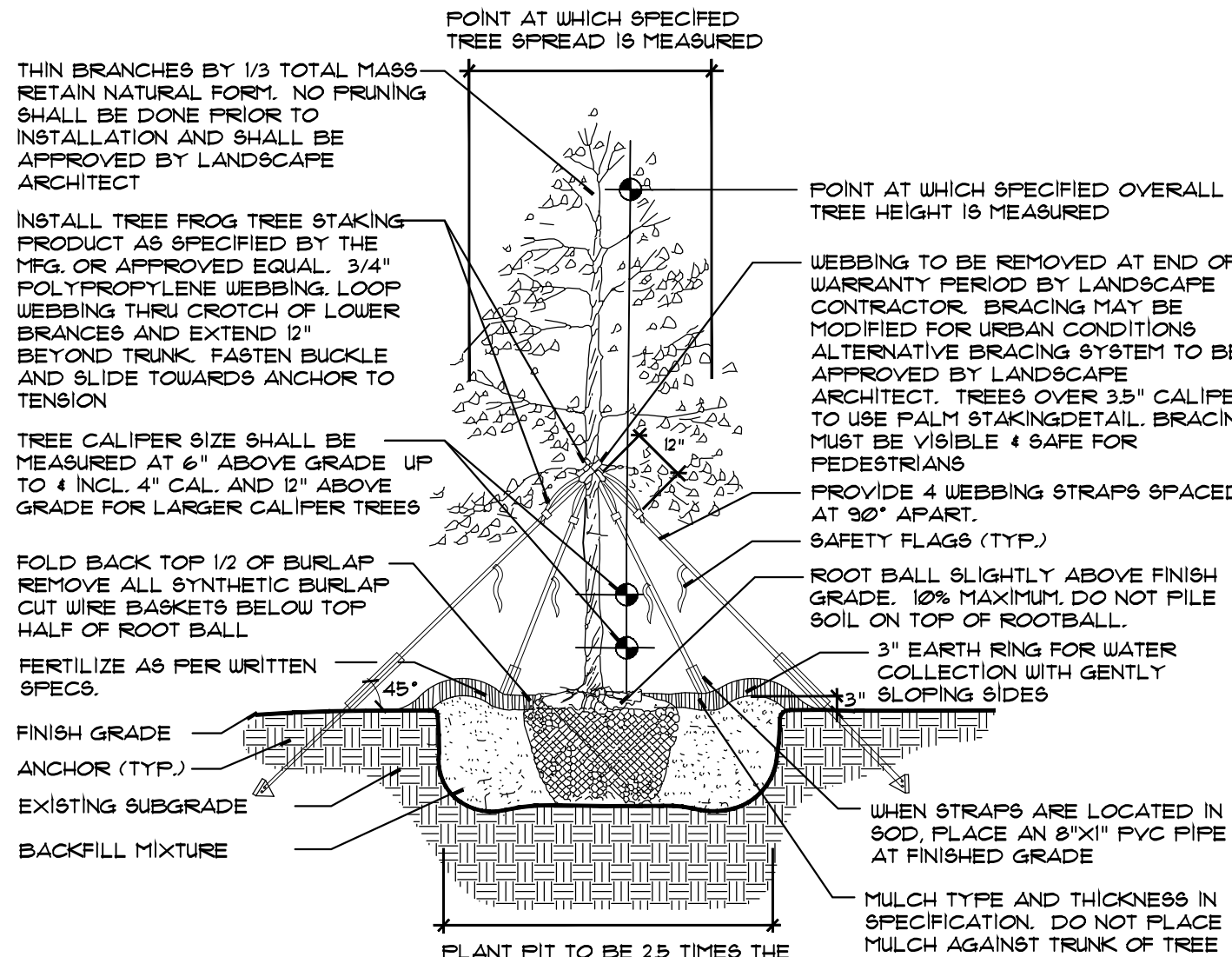
ABBREVIATIONS:
D.T.: DROUGHT TOLERANCE, V= VERY, M= MODERATE, L= LOW
NATIVE: Y= YES, N= NO
G.W.=GREY WOOD, C.T.= CLEAR TRUNK, O.A.=OVERALL, A.S.= AS SPECIFIED, O.C.=ON CENTER

Details



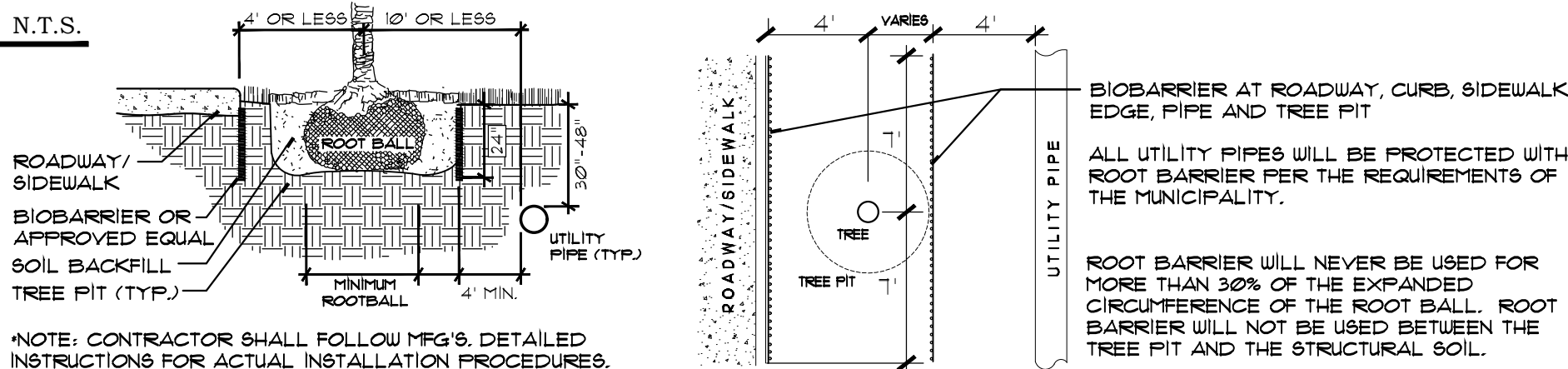
Palm Planting Detail N.T.S.

Tree Planting Over 3.5\"/>



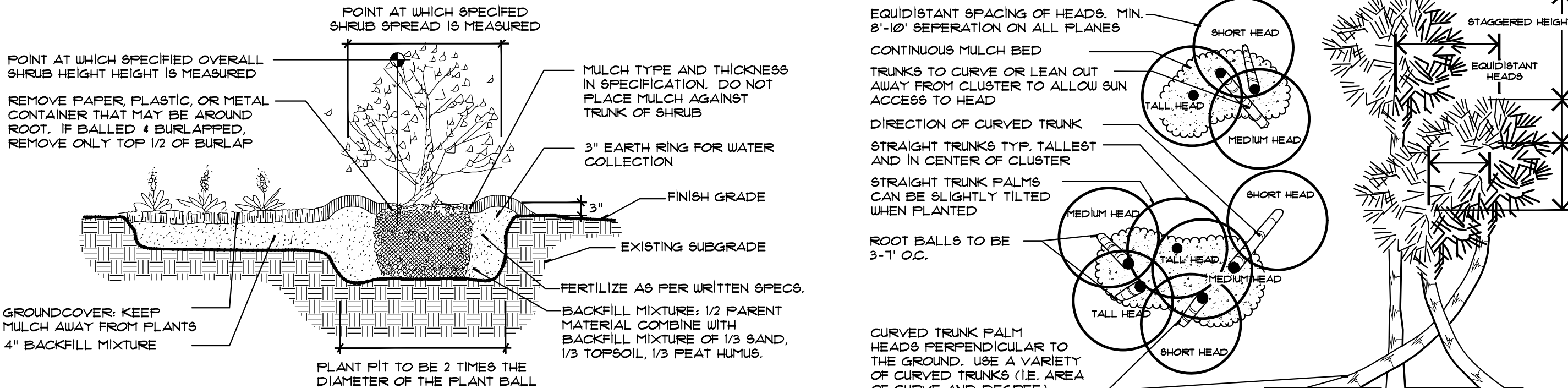
Tree Planting Detail N.T.S.

Tree Planting 1\"/>



Tree Root Barrier Section N.T.S.

Tree Root Barrier Plan N.T.S.



Shrub & Ground Cover Planting Detail N.T.S.

Typical Cabbage Palm Layout N.T.S.

Specifications - Exterior Plants

- 1.4. **QUALITY ASSURANCE:**
SOIL ANALYSIS SHALL BE CONDUCTED BY THE LANDSCAPE CONTACTOR PRIOR TO APPLICATION OF ANY SOIL AMENDMENTS, FERTILIZERS AND BACKFILL MIXTURES. THE LANDSCAPE CONTACTOR SHALL USE A QUALIFIED SOIL TESTING LABORATORY.

THE RESULT OF THE SOIL TESTS SHALL BE SUBMITTED TO THE OWNER AND LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO THE APPLICATION OF SAID MATERIALS. ADJUSTMENTS TO THE SOIL AMENDMENTS MAY BE MADE UPON CONSULTATION WITH THE OWNER AND THE LANDSCAPE ARCHITECT.
- 1.5. **DELIVERY, STORAGE AND HANDLING:**
PRUNING OF TREES SHALL BE DONE ON SITE AFTER PLANTING FOR DAMAGED LIMBS OR AS DIRECTED TO IMPROVE OVERALL PLANT APPEARANCE. DO NOT REMOVE MORE THAN 15% OF BRANCHES. PRUNING METHODS SHALL FOLLOW STANDARD HORTICULTURAL PRACTICES USING APPROPRIATE TOOLS. LOPPING, SHEARING OR TOPPING OF PLANT MATERIAL WILL BE GROUNDS FOR REJECTION. DAMAGED, SCARRED, FRAYED, SPLIT OR SKINNED BRANCHES, LIMBS OR ROOTS TO BE PRUNED BACK TO LIVE WOOD. THE CENTRAL LEADER OR BUD SHALL BE LEFT INTACT UNLESS SEVERELY DAMAGED.

PRUNE SHRUBS TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE, THIN OUT STRUCTURE AND REMOVE NOT MORE THAN 15% OF BRANCHES.
- 1.6. **WARRANTY:**
WARRANT ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST DEATH AND UNHEALTHY CONDITION, EXCEPT AS MAY RESULT FROM NEGLECT BY OWNER. DAMAGE BY OTHERS AND UNUSUAL PHENOMENA BEYOND CONTRACTOR'S CONTROL. REPLACEMENTS SHALL BE MADE WITH COMPATIBLE SIZE AND QUALITY OF MATERIAL AT A TIME REQUESTED OR ACCEPTABLE BY THE OWNER OR LANDSCAPE ARCHITECT. PLANT MATERIAL REJECTED DURING THE COURSE OF CONSTRUCTION SHALL BE REMOVED WITHIN FIVE (5) WORKING DAYS AND REPLACED BEFORE THE FINAL INSPECTION FOR COMPLETION WILL BE SCHEDULED. WARRANTY ON REPLACEMENT PLANTS SHALL BE 1 YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE REPLACEMENTS. ANY DAMAGE TO LANDSCAPE, SODDED OR SEEDED AREAS DURING REPLACEMENT OF PLANT MATERIAL SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR.
- 1.7. **MAINTENANCE SERVICE:**
MAINTENANCE AND GENERAL CLEAN UP SHALL BE PERFORMED DAILY. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, REMOVAL OF LITTER, MOWING, PRUNING, RESETTling SETTLED PLANTS, REMOVING, REPAIRING OR REPLACING STAKES AND GUYS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GROWTH AND HEALTHY PLANT MATERIAL. MAINTENANCE SHALL BEGIN AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE FOR NINETY (90) DAYS FROM THE DATE OF FINAL ACCEPTANCE.
- 1.8. **QUANTITIES, LOCATION AND SUBSTITUTIONS:**
THE QUANTITIES OF PLANT MATERIALS SHOWN ON PLANS SHALL TAKE PRECEDENCE OVER THE PLANT QUANTITIES ON THE PLANT LIST. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST THE NUMBER AND LOCATIONS OF THE DESIGNATED TYPES AND SPECIES OF PLANTS TO BE USED AT ANY OF THE LOCATIONS SHOWN. THE OWNER SHALL RECEIVE A CREDIT OR DEBIT FOR THE UNIT PRICE OF THE PLANT MATERIAL. NO SUBSTITUTION OF PLANT MATERIAL TYPES, SPECIFICATIONS OR SIZES WILL BE PERMITTED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT. THE OWNER AND/OR LANDSCAPE ARCHITECT RESERVES THE RIGHT TO NOT ACCEPT PLANT MATERIAL THAT DOES NOT, IN THE OPINION OF THE OWNER AND/OR LANDSCAPE ARCHITECT, MEET THE SPECIFICATIONS HEREIN.
- 2.1. **PLANT MATERIAL:**
2.2. PROVIDE SIZES AND SPECIFICATIONS OF PLANTS AS SHOWN ON PLANS OR LISTED ON PLANT LIST. ALL TREES, PALMS, SHRUBS, GROUND COVERS AND OTHER PLANTS SHALL CONFORM TO THE STANDARD OF FLORIDA NO. 1 OR BETTER AS GIVEN IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS BY FLORIDA DEPARTMENT OF AGRICULTURE, PART I AND II. PLANT MATERIAL SHALL ALSO CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. (ANSI) BULLETIN Z 60.1 - 1990 AND AS REVISED.
2.3. SPECIMEN PLANTS SHALL BE FLORIDA FANCY OR BETTER AND SHALL CONFORM TO THE LITERATURE STANDARDS LISTED ABOVE.
- 2.4. **TOP SOIL:**
TOPSOIL SHALL BE FRIABLE FERTILE SOIL WITH REPRESENTATIVE CHARACTERISTICS OF AREA SOILS. IT SHOULD BE FREE OF HEAVY CLAY, SILT, STONE, EXCESS LIME, SHELL ROCK, PLANT ROOTS, WEEDS, DEBRIS OR OTHER FOREIGN MATTER. IT SHALL NOT CONTAIN NOXIOUS PLANT GROWTH (SUCH AS BERMUDA, TORPEDO OR NUT GRASS). IT SHALL TEST BETWEEN THE PH RANGE OF 5.0 TO 7.0 UNLESS OTHERWISE SPECIFIED AND CONTAIN NO TOXIC RESIDUE OR SUBSTANCES THAT WOULD ENDANGER PLANT GROWTH. IF TOPSOIL IS NOT AVAILABLE ON SITE, IT SHALL BE IMPORTED FROM LOCAL SOURCES WITH SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH NOT LESS THAN 4\"/>
- 2.5. **INORGANIC SOIL AMENDMENTS:**
SAND SHALL BE CLEAN, SALT-FREE AND CONTAINING NO EXTRANEEOUS MATTER.

MYCORRHIZAL AMENDMENT SHALL BE DIEHARD™ TRANSPLANT AS MANUFACTURED BY HORTICULTURAL ALLIANCE OR EQUAL TO WITH THE FOLLOWING INGREDIENTS:

ENDOMYCORRHIZAL FUNGI
ECTOMYCORRHIZAL FUNGI
BENEFICIAL BACTERIA
HUMIC ACID
SOLUBLE SEA KELP
AMINO ACIDS

HORTA-SORB WATER MANAGEMENT GEL
TRICHODERMA
YUCCA PLANT EXTRACTS
VITAMIN B COMPLEX
- 2.6. **ORGANIC SOIL AMENDMENTS:**
PEAT HUMUS SHALL BE DECOMPOSED PEAT WITH NO IDENTIFIABLE FIBERS OR IF AVAILABLE, MUCK MAY BE SUBSTITUTED AND SHALL BE FREE FROM STONES, EXCESSIVE PLANT ROOTS, DEBRIS OR OTHER FOREIGN MATTER. MUCK SHALL NOT BE OVERLY SATURATED WITH WATER.
- 2.7. **FERTILIZATION:**
PROVIDE FERTILIZER UNIFORM IN COMPOSITION, DRY, AND IN A FREE FLOWING CONDITION FOR APPLICATION BY SUITABLE EQUIPMENT, AND DELIVER IN UNOPENED BAGS OR CONTAINERS, EACH FULLY LABELED.

FERTILIZE TREES, SHRUBS AND GROUND COVERS WITH "MILORGANITE" OR AN APPROVED COMPLETE FERTILIZER. APPLY "MILORGANITE" IN A CIRCLE AROUND THE PLANT BEFORE MULCHING. DO NOT TOUCH THE PLANT WITH THE FERTILIZER. WATER IN FERTILIZER AFTER MULCHING. APPLY "MILORGANITE" FERTILIZER AT THE FOLLOWING RATE:
5.00 LBS. OR 14.5 CUPS / PALMS
3.00 LBS. OR 8.70 CUPS / 12'-16\"/>
- 2.8. **MULCHES:**
MULCH TO BE APPLIED TO ALL PLANTING BEDS, 3\"/>
- 2.10. **PLANTING SOIL MIX:**
BACKFILL MIXTURE: 1/2 PARENT SOIL, 1/2 MIXTURE (1/3 SAND, 1/3 TOPSOIL, 1/3 PEAT HUMUS).
- 3.1. **PLANTING BED ESTABLISHMENT:**
PREPARATION: PRIOR TO THE INSTALLATION OF PLANTS, THE SITE SHALL BE FREE OF WEEDS, GRASS, SOD, DEBRIS, ROCKS OR OTHER MATERIAL MAKING THE SITE UNPLANTABLE. FOR FINAL ACCEPTANCE ALL PLANTED AREAS SHALL BE WEED FREE.

FINISH GRADING: THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE INSTALLATION AND GRADING OF TOPSOIL, IF NECESSARY, WITH THE GENERAL CONTRACTOR, TO INSURE THE SITE IS AT FINISH GRADE PRIOR TO INSTALLING PLANTS.

- 3.2. **PLANTING TREES:**
LAYOUT PLANTS ACCORDING TO LANDSCAPE PLANS. IF A CONFLICT ARISES AS TO THE LOCATION, SPACING OR OTHER CONFLICT, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.

EXCAVATE PIT TO TWO AND ONE-HALF (2 1/2) TIMES THE DIAMETER OF TREE BALL AND NOT LESS THAN 6\"/>
- GUY AND STAKE TREES, LESS THAN 3.5\"/>
- 3.2. **PLANTING SHRUBS:**
EXCAVATE PITS OR TRENCH TWO (2) TIMES DIAMETER OF BALLS OR CONTAINERS, AND 3\"/>
- 3.4. **PLANTING GROUNDCOVERS:**
LOOSEN SUBGRADE TO DEPTH OF 4\"/>
- SPACE PLANTS AS OTHERWISE INDICATED. DIG HOLES LARGE ENOUGH TO ALLOW FOR SPREADING OF ROOTS. COMPACT BACKFILL TO ELIMINATE VOIDS, AND LEAVE GRADE SLIGHTLY DISHED AT EACH PLANT. WATER THOROUGHLY. APPLY FERTILIZER AS SPECIFIED AND THEN MULCH WITH THE TYPE AND THICKNESS SPECIFIED ON PLANT LIST, LIFTING PLANT FOLIAGE ABOVE MULCH. MULCH SHALL BE SPREAD BEFORE PLANTING PLANTS IN POTS LESS THAN 1 GALLON SIZE (4\", LINERS, ETC.).

Specifications - Lawns and Grasses

- 2.1. **PRODUCTS:**
SOD SHALL MEET AMERICAN SOD PRODUCES ASSOCIATION STANDARDS FOR NURSERY GROWN SOD FOR THICKNESS OF TILT, PAD SIZE, STRENGTH OF SECTIONS, MOISTURE CONTENT AND THATCH. SOD SHALL BE GUARANTEED TO BE UNIFORM IN COLOR, LEAF TEXTURE, AND SHOOT DENSITY AND FREE OF WEEDS, DISEASE, FUNGUS, INSECTS OR OTHER IMPERFECTIONS AND SUFFICIENTLY KNITTED TO SUSTAIN GROWTH. SOD SHALL BE MOWED FOR FINAL ACCEPTANCE.
- 2.3. **FERTILIZER:**
FERTILIZE TURF AREAS WITH TYPE 1 FERTILIZER, COMPLYING WITH THE STATE FERTILIZER LAWS. THE FERTILIZER SHALL BE CHEMICALLY DESIGNATED WITH 12-8-8. PROVIDE AT LEAST 50% OF THE PHOSPHORIC ACID FROM NORMAL SUPER PHOSPHATE OR AN EQUIVALENT SOURCE PROVIDING A MINIMUM OF TWO UNITS OF SULFUR. THE AMOUNTS OF SULFUR AND ALL OTHER CHEMICAL SHALL BE INDICATED ON THE QUANTITATIVE ANALYSIS CARD ATTACHED TO THE UNOPENED BAG.
- 3.1. **LAWN PREPARATION:**
LOOSEN SUBGRADE TO DEPTH OF 4\"/>
- 3.2. **SODDING:**
SOD TYPE SPECIFIED ON PLANT LIST SHALL BE MACHINE STRIPPED NOT MORE THAN 24 HOURS PRIOR TO LAYING.

LAY SOD STRIPS WITH TIGHT JOINTS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK SIFTED SOIL MIX INTO MINOR CRACKS BETWEEN PIECES OF SOD AND REMOVE EXCESS SOIL DEPOSITS FROM SODDED AREAS. SOD ON SLOPES GREATER THAN 3:1 SHALL BE STAKED IN PLACE. ROLL OR TAMP LIGHTLY AND WATER THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.
- Landscape Certification**
LANDSCAPE CERTIFICATION: THE LANDSCAPE ARCHITECT SHALL PROVIDE FINAL CERTIFICATION TO THE OWNER AND MUNICIPALITY THAT PLANTS ARE INSTALLED PER THE DESIGN PLAN, DETAILS AND SPECIFICATIONS. ANY CHANGES TO THE PLAN WILL NEED TO HAVE THE LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION. CONFORMITY TO FLORIDA GRADE #1 IN THE ROOT BALL REQUIRES THE LANDSCAPE ARCHITECT TO INSPECT TREES PRIOR TO INSTALLATION AT THE SITE. IT IS THE RESPONSIBILITY OF THE OWNER/GENERAL CONTRACTOR/LANDSCAPE CONTRACTOR FOR ORGANIZING INSPECTIONS OF PLANT MATERIAL PRIOR TO INSTALLATION.

General Notes:

- SOD TO BE SEASIDE PASPALUM UNLESS OTHERWISE NOTED ON PLANS
- ALL PLANTING AREAS SHALL RECEIVE 100% COVERAGE FROM A FULLY AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH A RAIN SENSOR.
- ALL CONSTRUCTION DEBRIS & HARDPAN TO BE REMOVED FROM PLANTING BEDS TO A DEPTH OF 30\"/>
- UTILITES:**
ABOVE AND BELOW GROUND UTILITIES SHALL BE VERIFIED AND LOCATED BY THE LANDSCAPE CONTRACTOR PRIOR TO COMMENCING WORK IN THE PROJECT AREA. IF UTILITY PLANS ARE AVAILABLE, THE CONTRACTOR SHALL EXAMINE THEM AND BRING ANY AND ALL CONFLICTS TO THE ATTENTION OF THE OWNER AND/OR LANDSCAPE ARCHITECT. WHEN WORKING IN AN AREA WHERE KNOWN UTILITIES EXIST, UTILITY LOCATIONS MAY NEED TO BE STAKED BY A SURVEYOR OR THE UTILITY COMPANIES. THE CONTRACTOR HAS THE OPTION TO CONTACT 811 TO SCHEDULE LOCATION OF THE UTILITIES WHICH SUBSCRIBE TO THEIR SERVICE.



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Landscape Specifications and Details

Sailfish Marina Restroom Bldg.

Palm Beach Shores, Florida

Designed: _____ DSS
Drawn: _____ DSS
Approved: _____ GGG/EOM/MTB
Date: _____ 5-20-20
Job no: _____ 16-1004
Revisions: _____ 5-7-20

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LC 0000117

Sheet Title:

Landscape Specification Sheet

Scale: AS SHOWN

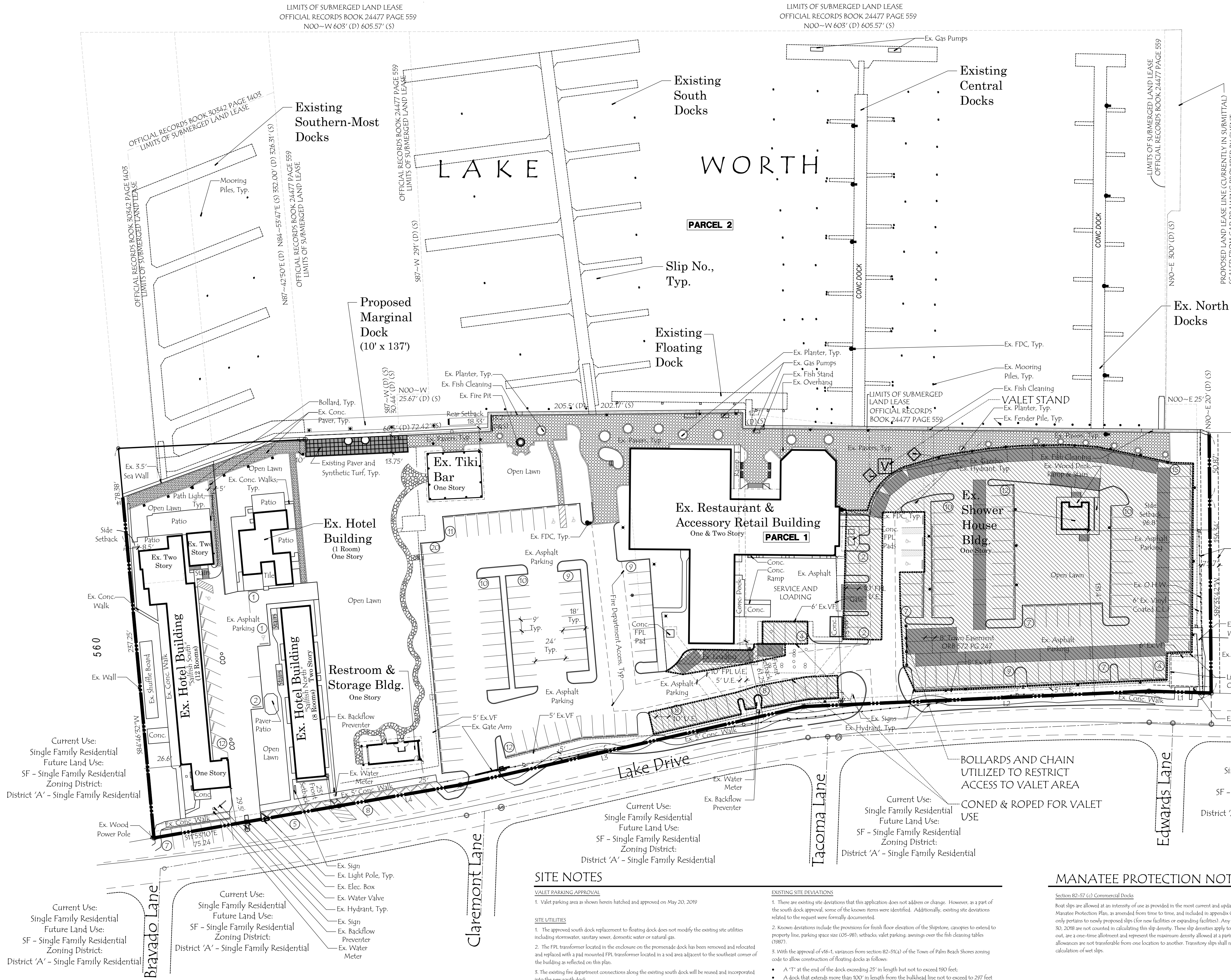
Sheet No.

LP-2

16-1004

FILE: P:\SAILFISH MARINA 16-1004\DRAWING FILES\CURRENT\210-SAILFISH LANDSCAPE PLAN FOR RESTROOM BLDG_4.DWG
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XREFS:

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PLOTTED: 5/11/20 AT 8:42AM BY: DISENSEN
REF: SW-1 BASE ADVIS



SITE DATA

COMP PLAN LAND USE:	MF-30 MULTI FAMILY
ZONING:	C MULTI FAMILY HIGH DENSITY
EXISTING USE:	MARINA WITH PRIVATE & PUBLIC DOCKS, FUELING, SHIPSTORE, TIKI BAR, RESTAURANT & MOTEL
TOTAL SITE AREA:	5.06 AC. (220,680 SF.)

USE DATA

USE	QUANTITY
Wet Boat Slips Total	106
Incl. Transitory Slips	7
Incl. Charter Wet Slips	20
Restaurant	
inside dining	157 seats
outside dining	48 seats
bar	57 seats
total restaurant	242 seats
Retail	
Tiki Bar	5,629 sf
Motel	28 rooms
Restroom & Storage	660 sf

PARKING SUMMARY

USE	CURRENT CODE REQUIREMENT	SPACES REQUIRED	SPACES PROVIDED
Wet Boat Slips = 79 (Incl. 7 transitory - 2 Taxi, SFM Sluff)	0.75 spaces per slip N/A	59 0	59 0
charter boats = 20 SLIPS	1.5 spaces per slip # passengers (2 sp./boat or 40 sp.) # 6 passengers (based on 6 pack license of boats for Charter)	70	70
restaurant	1 space per 3 seats		
inside dining (157 seats)			
outside dining (48 seats)			
bar (57 seats)			
total restaurant (242 seats)		81	81
retail	1 space per 200 sf	18	18
tiki bar (5,629 sf)			
tiki bar (28 seats)	1 space per 3 seats	9	9
motel (21 rooms)	1.25 spaces per room	26	26
SELF PARK SPACES		-	120 (7 HC)
VALET AREA SPACES		-	149
GRAND TOTAL:		265 (7 HC)	269 (7 HC)
loading		5 spaces	5 spaces

LOT AREA DATA

TOTAL LOT AREA	220,680 sf
landscaped open space	69,854.89 sf
vehicular use areas	91,785.07 sf
paved block areas	20,510.62 sf
building coverage	28,748.75 sf
concrete walkways	9,800.69 sf
TOTAL LOT COVERAGE	220,680 sf

SITE SETBACKS

SIDE	REQUIRED
front	25' min.
side	10' min.
rear	15' min.

Current Use:
Buccaneer Condominium
Future Land Use:
MF-30, Multi-Family
Zoning District:
District 'C' - Multi-Family Residential

Current Use:
Single Family Residential
Future Land Use:
SF - Single Family Residential
Zoning District:
District 'A' - Single Family Residential

Current Use:
Single Family Residential
Future Land Use:
SF - Single Family Residential
Zoning District:
District 'A' - Single Family Residential

L1	S01°41'02"W	49.79'
L2	S02°33'08"E	276.97'
L3	S12°50'28"E	282.32'
L4	S09°49'28"E	249.41'

VALET SYMBOL LEGEND

- VALET STAND
- TYPICAL 10' X 20' VALET PARKING SPACE (47 SPACES SHOWN)
- VALET PARKING AREA: 102 (STALLS) & 47 (DOUBLE PARKED) = 149 TOTAL
- BOLLARDS AND CHAIN UTILIZED TO RESTRICT ACCESS TO VALET AREA

SITE NOTES

VALET PARKING APPROVAL

1. Valet parking area as shown herein hatched and approved on May 20, 2019

SITE UTILITIES

1. The approved south dock replacement to floating dock does not modify the existing site utilities including stormwater, sanitary sewer, domestic water or natural gas.
2. The FPL transformer located in the enclosure on the promenade dock has been removed and relocated and replaced with a pad mounted FPL transformer located in a sod area adjacent to the southeast corner of the building as reflected on this plan.
3. The existing fire department connections along the existing south dock will be reused and incorporated into the new south dock.

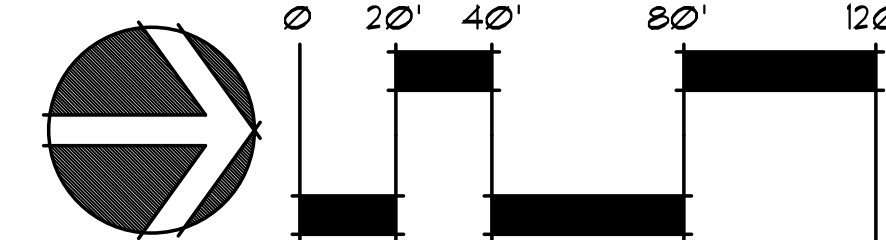
EXISTING SITE DEVIATIONS

1. There are existing site deviations that this application does not address or change. However, as a part of the south dock approval, some of the known items were identified. Additionally, existing site deviations related to the request were formally documented.
2. Known deviations include the provisions for finish floor elevation of the slipstore, canopies to extend to property line, parking space size (05-98), setbacks, valet parking, winings over the fish cleaning tables (1987).
3. With the approval of 46-1, variances from section 82-51(a) of the Town of Palm Beach Shores zoning code to allow construction of floating docks as follows:
 - A "T" at the end of the dock exceeding 25' in length but not to exceed 190 feet
 - A dock that extends more than 100' in length from the bulkhead line not to exceed to 297 feet (as measured along the centerline of the dock); and
 - Location of docks on multiple lots joined by unity of title covenant or by the construction of a building on more than one lot shall to be spaced and centered collectively within the boundary of the overall parcel.

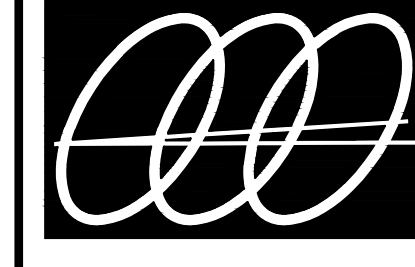
MANATEE PROTECTION NOTES

Section 82-57 (c) Commercial Docks

Boat slips are allowed at an intensity of use as provided in the most current and updated Palm Beach County Manatee Protection Plan, as amended from time to time, and included in appendix C. Slip intensity of use only pertains to newly proposed slips (for new facilities or expanding facilities). Any existing slips as of July 30, 2018 are not counted in calculating this slip density. These slip densities apply to a project at final build out, are a one-time allotment and represent the maximum density allowed at a particular location. Slip allowances are not transferable from one location to another. Transitory slips shall not be included in the calculation of wet slips.



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Gentile Glas Holloway O'Mahoney & Associates, Inc.
Landscape Architects
Planners and Environmental Consultants

1907 Commerce Lane
Suite 101
Jupiter, Florida 33458
561-575-9551
561-575-5260 FAX
www.2GHO.com

Site Plan Sailfish Marina Resort Palm Beach Shores, Florida

Designed: DSS
Drawn: DSS
Approved: GGS/EOM/MTM
Date: 5-20-19
Job no. 16-1004
Revisions: 4-22-19
5-2-19
6-12-19
South Pavers @ Seawall 11-21-19

Seal

LC 0000117
Sheet Title:

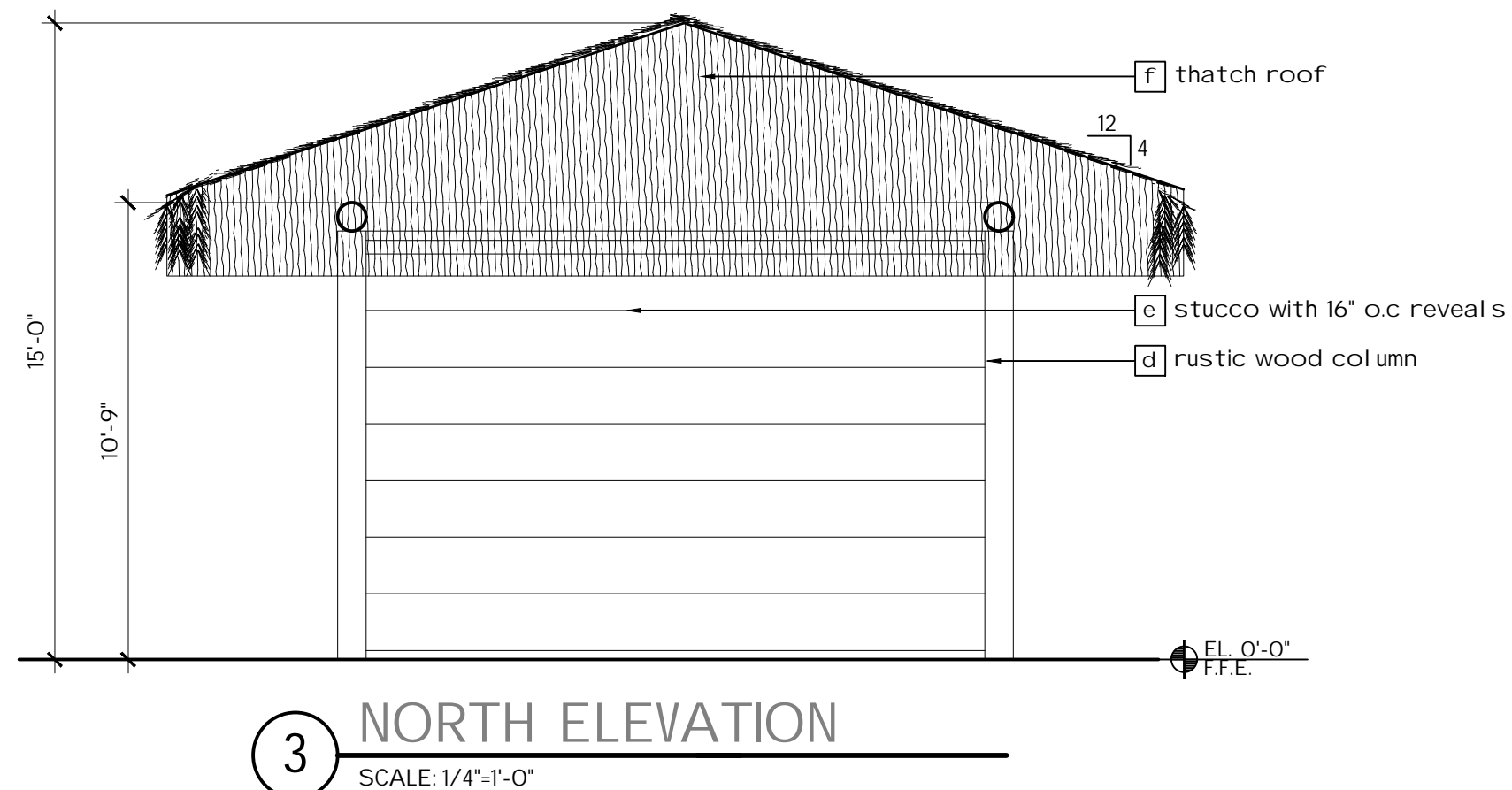
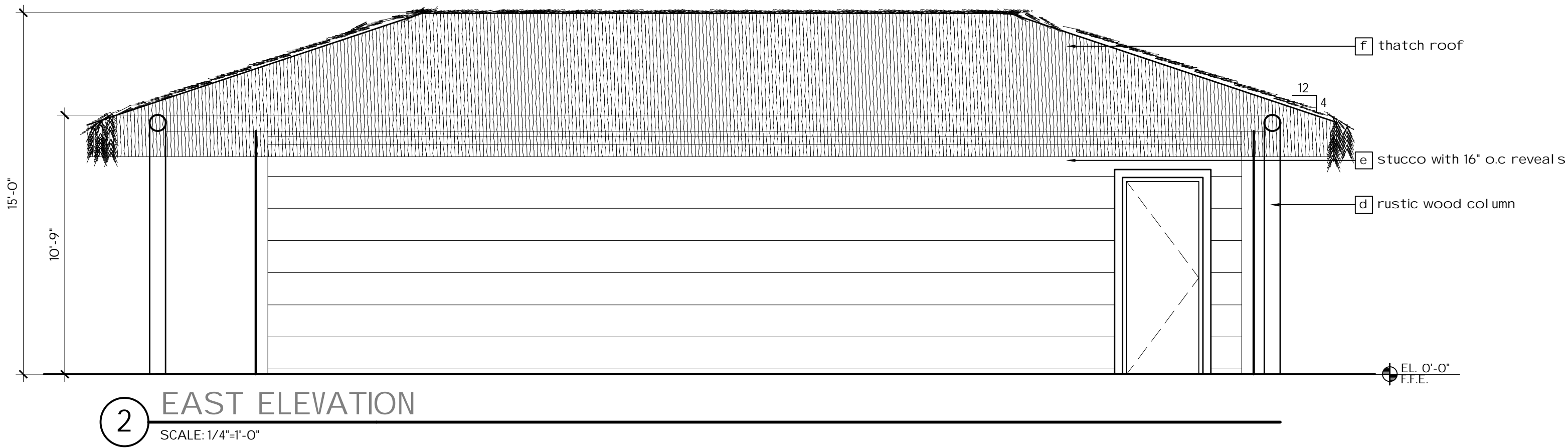
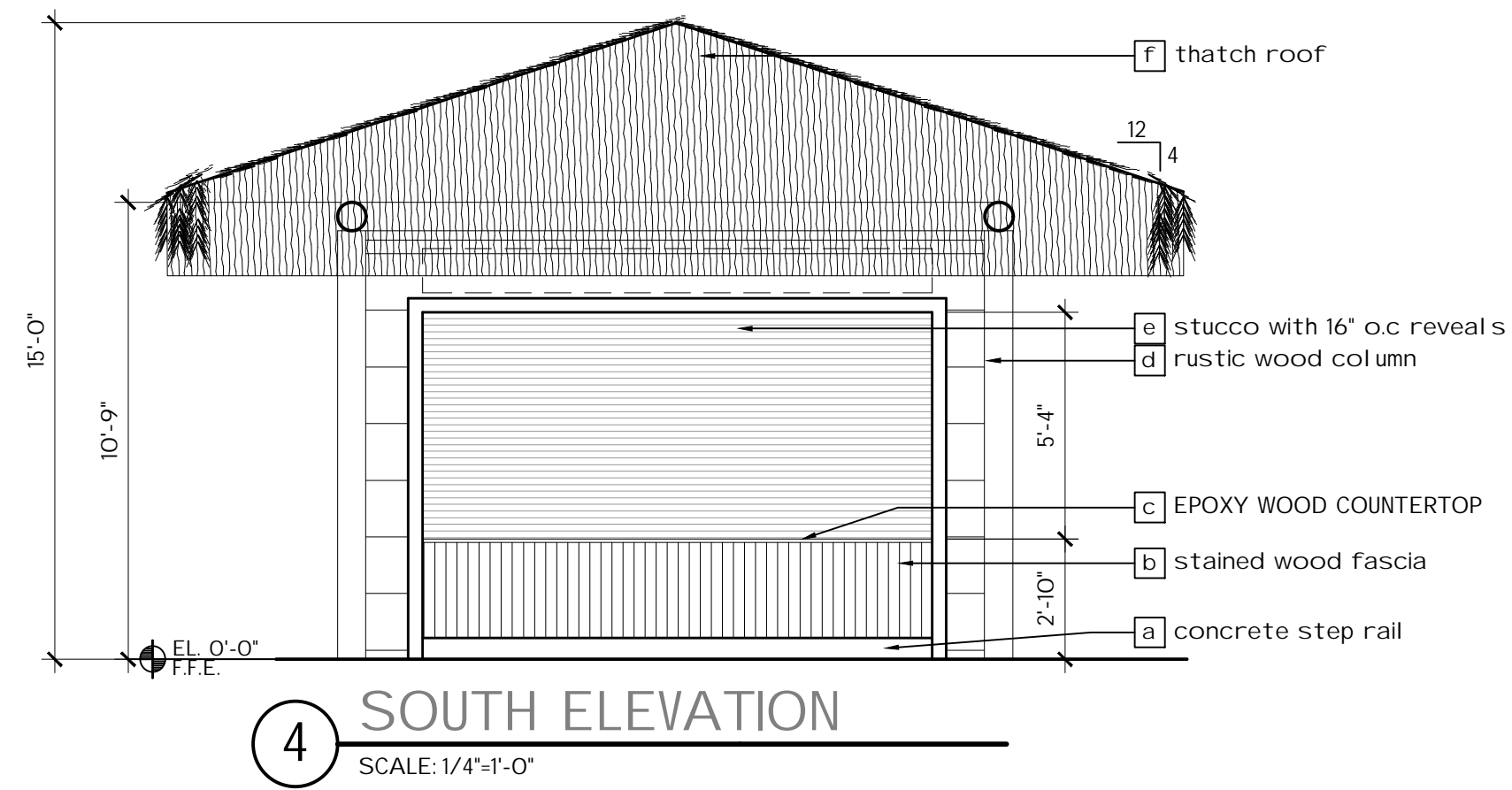
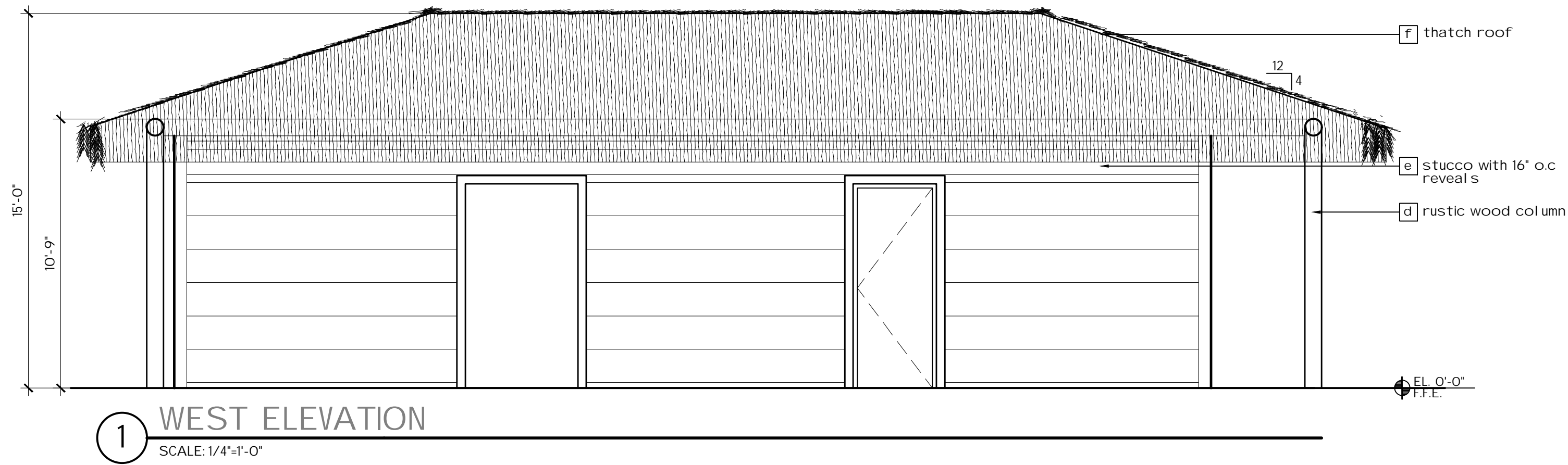
Site Plan

Scale: 1" = 40'-0"

Sheet No.

SP-1

16-1004



COLOR LEGEND	
[a]	COLOR (a) - concrete step rail
[b]	color (b) - stained wood fascia
[c]	color (c) - EPOXY WOOD COUNTERTOP
[d]	color (d) - rustic wood column
[e]	color (e) - stucco with 16" o.c reveals
[f]	color (f) - thatch roof



PROJECT NAME: BUCCANEER SITE MODIF.

Reviewed By: _____

Date: _____

Fee Paid: _____

Town Receipt No: _____

SUBMITTAL CHECKLIST

All submittals must include ten (10) paper sets (folded & sorted into complete packet sets) and an electronic copy (on cd or thumb drive) of the following:

- ☒ Completed **Development Application** (complete all fields, use N/A when not applicable).
 - ☒ Architectural & Aesthetic Review Request (pg. 11, all submittals)
 - ☐ Variance Request (pg. 13, if applicable)
 - ☐ Special Exception Request (pg. 14, if applicable)
- ☒ **Boundary Survey** (Dated to within 6 months of application submission).
- ☒ **Signed and Sealed Schematics** depicting building on site, setbacks, grading, drainage and elevations, as well as the relationship of the site to the neighboring sites (e.g. Site Plan, Drainage and Grading Plan, Roof Plan, Landscape Plan, Elevations).
- ☒ **Tabular Data** showing compliance with all lot coverage, floor area, building height, grade and landscaping requirements.

SITE PLAN CHECKLIST

Please be sure to include the following on the Site Plan:

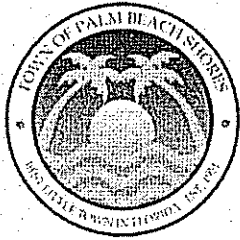
- ☐ Depict and label 10' Town Strip (front of property) and 5' utility easement (rear of property), and all other applicable easements.
- ☐ Depict and label all setbacks and Code required setback lines (front, rear, side, pool, etc.).
- ☐ Provide a tabular data table reflecting data from the tables on pgs. 7-8 of this development application.
- ☐ For renovations and/or additions, please shade proposed addition area(s) to differentiate from existing.
- ☐ Include all a/c equipment, pool equipment and emergency generators and label as proposed or existing.
- ☐ Ensure that beam height and top of roof are dimensioned on all elevation drawings submitted.
- ☐ Provide a construction schedule for the proposed project (including calendar dates).

LANDSCAPE PLAN CHECKLIST

Please be sure to include the following on the Landscape Plan:

- ☐ Depict and label the 10' Town Strip (front of property) and 5' utility easement (rear of property).
- ☐ Include and label both existing (to remain) and proposed landscaping on the subject property.
- ☐ Provide a species legend/key including the height of all landscaping to be provided at installation.
- ☐ Ensure that the requirements for 10' Town Strip and front yard trees are met.
- ☐ For multi-story construction, ensure that the requirements for privacy screening are met.
- ☐ Ensure screening is provided for all ground mounted mechanical equipment (e.g. a/c compressors, pool equipment, emergency generators).

NOTE: Checklists are not comprehensive. They are provided solely to remind Applicants to include items commonly omitted from plans submitted to the Town.



DEVELOPMENT APPLICATION

TOWN OF PALM BEACH SHORES
247 EDWARDS LANE
PALM BEACH SHORES, FL 33404
(561) 844-3457

OWNER/APPLICANT: Benjamin Sharfi Trust

PROJECT ADDRESS: 142 Lake Drive - Palm Beach Shores

APPLICATION NO.: SUBMITTAL DATE: 03-06-20

TYPE OF APPROVAL(S) REQUESTED (Check box(es) ☒)

ADMINISTRATIVE APPEAL		SITE PLAN MODIFICATION (14-62)	<input checked="" type="checkbox"/>
ARCHITECTURAL AND AESTHETIC REVIEW (Pf. 14-86)	<input checked="" type="checkbox"/>	SITE PLAN REVIEW (14-62)	
COMPREHENSIVE PLAN AMENDMENT (Pf. 17.3(B))		SPECIAL EXCEPTION (Pf. 15.8)	
PLAT APPROVAL		VARIANCE (Pf. 15.4)	
REZONING (Pf. 17.3(B))		ZONING TEXT AMENDMENT (Pf. 17.3(B))	

	PROPERTY OWNER(S)	APPLICANT (If different than Owner(s))
NAME:	Mr. Benjamin Sharfi Trust	N/A
ADDRESS:	73 North Sewalls Point Road Stuart, Fl. 34996	
PHONE:	772-763-8056	
EMAIL:	bsharfi@gms4sbc.com	

	AGENT (If different than Owner(s))	CURRENT OCCUPANT (If different than Owner(s))
NAME:	N/A	N/A
ADDRESS:		
PHONE:		
EMAIL:		

	PLANNER	DEVELOPER
NAME:		
ADDRESS:		
PHONE:		
EMAIL:		

	ARCHITECT	LANDSCAPE ARCHITECT
NAME:	Granfield Architects PLLC - Stewart Granfield - Principle	
ADDRESS:	1683 NE Jensen Beach Blvd. Jensen Beach, Florida 34957	
PHONE:	772-283-6032	
EMAIL:	stewart.granarch@gmail.com	

	SURVEYOR	ATTORNEY
NAME:	D.L. Blanton, Inc. Daniel Blanton - Surveyor	
ADDRESS:	1887 SW Newport Isles Blvd Port St. Lucie, Fl. 34953	
PHONE:	561-963-1953	
EMAIL:	DLBlanton@bellsouth.net	

	ENGINEER (USE ADD'L. SHEET FOR MULTIPLE ENGINEERS)	
NAME:	Stiles Engineering Group (Structural) Stiles Peet - Principle	Ingenuity Engineers (MEP) Daniel Chapman P.E.
ADDRESS:	850 NW Federal Hwy Suite 172 Stuart, Fl. 34996	4798 New Broad Street, Suite 300 Orlando, Fl. 32814
PHONE:	772-223-9883	407-398-6007
EMAIL:	stiles@stileseng.com	dchapman@ingenuityei.com

OWNER ACKNOWLEDGMENT & CERTIFICATION

I (We) affirm and certify that I (We) understand and will comply with all provisions and regulations of the Town of Palm Beach Shores, Florida. I (We) understand that if this Application is approved by the Town, the aforementioned real property described herein will be considered, in every respect, to be a part of the Town of Palm Beach Shores and will be subjected to all applicable laws, regulations, taxes and police powers of the Town including the Comprehensive Plan and Zoning Ordinance. I (We) further certify that all statements and diagrams submitted herewith are true and accurate to the best of my (our) knowledge and belief. Further, I (We) understand that this Application and attachments become part of the Official Records of the Town of Palm Beach Shores, Florida and are not returnable. I (We) acknowledge that no permit will be issued before all fees associated with Application are paid.

1. Owner acknowledges and understands that the fee for site plan review, architectural/aesthetic review, variance, special exception, rezoning, etc. *may not cover all review costs*. A final statement of any outstanding costs (covering advertising costs, legal, architectural and other consultant costs) will be sent to the applicant upon completion of the review process. Owner accepts financial responsibility for all costs incurred as a result of this Application.
2. A construction schedule is required of all developers during the development process. The Planning and Zoning Board must approve your proposed construction schedule.
3. The Town requires payment of impact fees for floor area added during the development, re-development or renovation of a property. These impact fees will be used to pay for capital improvements relative to Fire Protection, Police Protection, Parks & Recreation and Public Buildings. Impact fees must be paid to the Town before a Certificate of Occupancy will be issued.
4. Roll-off dumpsters for construction/demolition debris and solid waste must be rented through the Town's contracted solid waste hauler, Waste Management.
5. Final as-built plans must be submitted to the Town in digital form, preferably in PDF format.

By signing below, I acknowledge that I have read and understand the five (5) items listed above.

Signature of Owner



3/5/2020

Date

Benjamin K. Sharfi

Printed Name of Owner

STATE OF FLORIDA PALM BEACH COUNTY:

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization this 5 day of March, 2020,

by Benjamin K. Sharfi who is personally known to me or has produced _____ (type of identification) as identification.

(Name - _____ clearly)



(Signature)



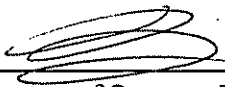
NOTARY'S SEAL

**AUTHORIZATION OF AGENT & ACKNOWLEDGEMENT OF
FINANCIAL RESPONSIBILITY**

Consent to an agent is required from the property owner(s) and contract purchaser, if applicable, if the property owner(s) or contract purchaser does not intend to attend all meetings and public hearings and submit it person all material pertaining to the Application. Consent to a firm shall be deemed consent for the entire firm, unless otherwise specified.

This form shall serve as consent for the agent identified below to prepare or have prepared all documents for the Application affecting property I (We) have an ownership interest in.

I (We) hereby designate and authorize the below-signed person to act as my (our) agent in regard to this Application and accept financial responsibility for any costs incurred by the agent as a result of this Application. Further, I (We) acknowledge that no permit will be issued before all fees associated with Application are paid.



Signature of Owner or Trustee

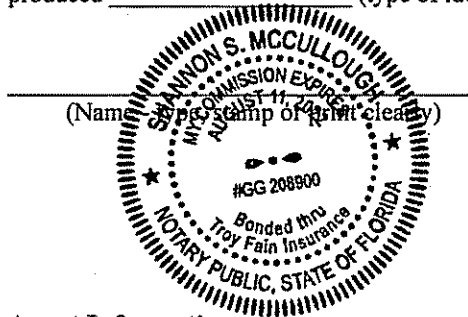
3/5/2020

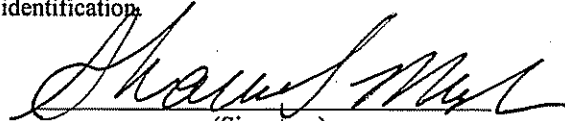
Date

STATE OF FLORIDA
~~PALM BEACH~~ COUNTY:

Martin

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization this 5 day of March 2020,
by Benjamin K. Sharf who is personally known to me or has
produced _____ (type of identification) as identification.





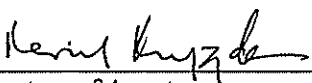
(Signature)

NOTARY'S SEAL

Agent Information:

Kevin Kryzda

Printed Name of Agent



Signature of Agent

Name of Firm

3/5/2020

Date

PROCEDURES AND TIMELINES

All development applications required to be submitted to the Planning and Zoning Board for review (Site Plan Review, Site Plan Modification, Architectural and Aesthetic Review, Special Exceptions and Variances) will be subject to the following procedures:

1. Development Review Committee ("DRC") review is regularly scheduled for the first Wednesday of each month at 2:00 pm. In order to be placed on the DRC agenda, a complete application must be submitted to the Town Clerk by the close of business on Monday of the week prior to the regularly scheduled DRC meeting. **Incomplete applications and late submittals will not be placed on a DRC agenda.**
2. If, as a result of the initial DRC review, it is determined by the DRC that a subsequent DRC meeting is necessary, the complete revised application must be submitted to the Town Clerk by the close of business on Monday of the week prior to the regularly scheduled DRC meeting. **Applications that fail to include all revisions required by the DRC, or that are submitted late will not be placed on a DRC agenda until they have been corrected and are timely.**
3. If, as a result of the initial DRC review, it is determined by the DRC that the project can proceed to the Planning and Zoning Board, a complete Planning and Zoning Board application must be submitted to the Town Clerk including all revisions noted by the DRC. A sufficiency review will be performed by the Town to confirm that all comments provided by the DRC have been addressed and a complete revised application submitted. Once all DRC comments have been adequately addressed and a complete revised application submitted, the submittal will be placed on the agenda for the next available Planning and Zoning Board, subject to legal advertising requirements. Planning and Zoning Board review is regularly scheduled for the fourth Wednesday of each month. **Applications that fail to include all revisions required by the DRC or that are incomplete will not be placed on a Planning and Zoning Board agenda.**

APPLICATION FEE INFORMATION

Administrative Appeal	\$250.00
Site Plan Review	\$200.00
Site Plan Modification Review	\$200.00
Variance Request	\$ 250.00
Special Exception Request	\$ 250.00
Telecom Site Plan Review or Modification	\$ 500.00
Plat Approval Request	\$ 600.00
Comprehensive Plan Amendment	\$ 750.00
Zoning Text Amendment / Rezoning	\$ 750.00
Sufficiency Review	Zoning Official (rate per hour)

NUMBER OF COPIES REQUIRED

Development Review Committee

Ten (10) paper sets (folded & sorted into complete packet sets), including one (1) sealed original with original signatures and nine (9) copies, three (3) of which are sealed by a licensed engineer, architect and/or surveyor, and an electronic copy of all documents (on cd or thumb drive).

Planning and Zoning Board

Ten (10) paper sets (folded & sorted into complete packet sets), including one (1) sealed original with original signatures and nine (9) copies, three (3) of which are sealed by a licensed engineer, architect and/or surveyor, and an electronic copy of all documents (on cd or thumb drive).

Local Planning Agency

Ten (10) copies (folded & sorted into complete packet sets).

Town Commission

Ten (10) paper sets (folded & sorted into complete packet sets), including one (1) sealed original with original signatures and nine (9) copies, three (3) of which are sealed by a licensed engineer, architect and/or surveyor (as applicable), and an electronic copy of all documents (on cd or thumb drive).

Applicant acknowledges and understands that the fee for Site Plan Review, Architectural/aesthetic Review, Variance, Special Exception, Rezoning, etc. *may not cover all review costs.* A final statement of any outstanding costs (covering advertising costs, legal, architectural, and other consultants) will be sent to the Applicant upon completion of the review process.


Tabular data showing compliance with all lot coverage, floor area, building height, grade and landscaping requirements must be provided on all submitted plans (Town Code § 14-62).

PROJECT NAME: Buccaneer Accessory Dining Facility: Dining Patio & Sidewalk Site Modifications

PROJECT ADDRESS: 142 Lake Drive - Palm Beach Shores, Florida

PROJECT LEGAL DESCRIPTION: See attached survey

*** All boxes must be completed, use N/A where appropriate ***

GENERAL DATA	CODE REQUIREMENT	EXISTING	PROPOSED
COMPREHENSIVE PLAN DESIGNATION: (SF-5, MF-21, MF-30, MF-42, P, ROS)	None		
LAND USE: (Residential, Commercial, Recreational, Marina, Public, etc.)	None	Residential Condo Private Marina / Dining Facility	No Change
ZONING DISTRICT: (A, B, C, D, P, ROS, designated at Pf. 3.1, Zoning Ordinance)	None	C	C
FLOOD ZONE CATEGORY:	None	AE (Elev 6')	AE (Elev 6')
LOT COVERAGE, LANDSCAPING & PARKING	CODE REQUIREMENT	EXISTING	PROPOSED
TOTAL LOT SIZE: (sq. ft.)	None	47,503 sqft	No change
TOTAL COVERAGE OF A LOT BY BUILDINGS: (Pf. 5.4, 6.4, 7.5 or 8.5, Zoning Ordinance)	16,151 sqft (34%) max	15,239 sqft (32.1%)	No change
TOTAL LANDSCAPE COVERAGE: (Pf. 5.4.3, Zoning Ordinance)	N/A	12,628 sqft (26.6%)	10,463 sqft (22.0%)
OFF-STREET PARKING: (Pf. 5.13, 6.12, 7.13 or 8.14, Zoning Ordinance)	23		No change
SETBACKS	CODE REQUIREMENT	EXISTING	PROPOSED
FRONT YARD: (Pf. 5.5, 6.6, 7.7 or 8.7, Zoning Ordinance)	35'	39.04'	No change
REAR YARD: (Pf. 5.6, 6.7, 7.9 or 8.9, Zoning Ordinance)	15'	49.64'	No change
SIDE YARD: (Pf. 5.7, 6.8, 7.8 or 8.8, Zoning Ordinance)	10'	6.70'	No change

FLOOR AREA	CODE REQUIREMENT	EXISTING	PROPOSED
FIRST FLOOR AREA (sq. ft.):	None	11,813 sqft	No Change
SECOND FLOOR AREA (sq. ft.): (Pf. 5.4.2, Zoning Ordinance)	N/A	5,274 sqft	No Change
TOTAL FLOOR AREA (sq. ft.): (Pf.2.23, Zoning Ordinance)	None	17,087 sqft	No Change
FLOOR AREA RATIO: (Pf. 5.4.2, Zoning Ordinance)	N/A	70%:30%	No Change
DWELLING UNIT DENSITY: (Pf. 6.5, 7.6 or 8.6, Zoning Ordinance)	33 Units	18 Units	No Change
IMPERVIOUS AREA	NET INCREASE	EXISTING	PROPOSED
BUILDING FIRST FLOOR AREA (sq. ft.):	No Change	11,813 sqft	No Change
OTHER IMPERVIOUS AREA (sq. ft.): (Decks, Patios, Walkways, Driveways, Pool Deck & Pool Surface Areas)	(+)215 sqft	21,198 sqft	21,413 sqft
TOTAL IMPERVIOUS AREA (sq. ft.):	215 sqft 0.7% Increase	33,011 sqft (69.5%)	33,226 sqft (69.9%)
ELEVATIONS	CODE REQUIREMENT	EXISTING	PROPOSED
GRADE ELEVATION (NAVD): (Pf. 4.6, Zoning Code)	4.96' NAVD	3.30' NAVD (mean elev)	No Change
ESTABLISHED 1 ST FLOOR ELEVATION (NAVD): (Pf. 4.6, Zoning Code)	5.46' NAVD	Dining: 3.25' NAVD Condos: 4.05'NAVD	Dining: 3.50' NAVD Condos: 4.05'NAVD
MEAN CROWN OF ROAD ELEVATION (NAVD):	None	3.46' NAVD	No change
BUILDING HEIGHT	CODE REQUIREMENT	EXISTING	PROPOSED
TOTAL BUILDING HEIGHT (NAVD): (Pf. 5.2, 6.2, 7.3 or 8.3, Zoning Ordinance)	43.3' NAVD	Dining: 15.5' NAVD Condos: 24.2'NAVD	No change
TOP OF BEAM HEIGHT (NAVD): (Pf. 5.2, 6.2, 7.3 or 8.3, Zoning Ordinance)	38.3' NAVD	Dining: 12.6' NAVD Condos: 21.4' NAVD	No change
ROOF PITCH: (Pf. 5.2, 6.2 or 7.3, Zoning Ordinance)	Flat roofs shall provide mansard or parapet	Flat roofs with mansards & parapets	No change
FLAT ROOF PERCENTAGE: (Pf. 5.2, Zoning Ordinance)	N/A	100%	No change

JUSTIFICATION STATEMENT

Provide a summary of the proposed project, describing in detail the construction, phasing and proposed development to occur as part of this application (attach additional sheets if needed):

- #1 Enlargement of previously permitted open Dining Patio to now provide access to (& enclose with CMU knee wall similar to dining patio) previously permitted stair landings leading to roof-top observation deck
- #2 Addition of a 573 sqft shallow pond water-feature around perimeter of Dining Patio
- #3 Replacement of existing concrete sidewalks & gravel parking area with new pervious concrete pavement

Note: Construction Schedule is due as part of site plan review and before building permit issuance. (Town Code §14-63). A signed and notarized contract (signed by owner) must be provided before building permit issuance. (Town Code §14-108).

Provide an estimate of construction costs:

\$35,000

Describe the existing improvements located on the subject property (attach additional sheets if needed):

One & two story residential condominium unit structures surrounding a single story Dining facility structure - Private marina dock and dock master structure - Pool - Patios - Walks & parking

Provide a project history for the subject property, including any prior development approvals filed within the last year in connection with the subject property. Please include the date of previous site plan approval by the Planning and Zoning Board for this property (attach additional sheets if needed):

2019 DRC approval & construction of new roof-top Observation Deck above Dining facility and replacement of the existing Dining Patio - (see sheet 12 of 14)

2018 Building Department approval and renovation of existing attached laundry / restroom structure.

Provide the justification, special reasons, or basis for the approval of this application. Explain why this application is consistent with good planning and zoning practice, will not be contrary to the Town's Comprehensive Development Plan, and will not be detrimental to the promotion of public appearance, comfort, convenience, general welfare, good order, health, morals, prosperity, and safety of the Town. Additionally, all standards set forth in the Town Code of Ordinances for Special Exceptions, Variances, Administrative Appeals, etc. must be addressed. (attach additional sheets if needed):

Proposed site modifications have very minimal site impacts - they occur only a grade level (with exception of an additional 33' LF of 30" high CMU knee walls which are not visible from adjoining properties or street) and increase the total site impervious area by less than 1%.

Provide any other pertinent information related to the subject property to support the proposed request.

DRAINAGE REQUIREMENTS

(For projects proposing additional on-site impervious area)

For proposed renovations/modifications to existing projects that result in LESS THAN a 50% increase in total site imperviousness, retain 1" of stormwater volume from the total additional impervious area.

For proposed new construction, or renovations/modifications to existing projects that result in a GREATER THAN a 50% increase in total site imperviousness, retain 1" of stormwater volume over the entire site.

Submit a Survey with topographic elevations and existing improvements.

A Drainage and Grading Plan and drainage calculations are required to be submitted with the application package for new construction projects and substantial modifications to existing projects. The Drainage Plan must show the following:

- a. Existing and proposed elevations.
- b. Location of sodded swales, sodded depressed retention areas, underground exfiltration trench and/or other proposed stormwater treatment/retention methods.
- c. Underground piping and inlets and other drainage system improvements proposed.
- d. Drainage calculations showing the retention of the volume of 1" of stormwater from addition impervious areas (or overall site).
- e. Show drainage improvements and underground piping, including water and sewer services, on the Landscape Plans to show no conflicts exist.
- f. Include note that no runoff may be directed to adjacent properties and all storm flows and runoff must be retained on-site prior to discharge into the adjacent roadway right-of-way following retention of required stormwater volume.
- g. Provide engineering details of gutter and downspout dry wells, if proposed.
- h. Provide engineering detail of exfiltration trench, if proposed.
- i. Provide engineering detail of sodded swales, if proposed.
- j. Provide engineering detail of depressed dry retention areas, if proposed.
- k. Provide Geotechnical Report or engineering assumptions/justification for coefficient of permeability (K Factor) for exfiltration trench design, if proposed.
- l. Engineering details/cross sections at property lines demonstrating no runoff will flow to adjacent properties may be required.

Project Engineer or Architect shall be responsible for insuring the drainage improvements are completed in substantial accordance with the approved plan.

Prior to C.O., Project Engineer or Architect to provide final signed and sealed certification that the drainage improvements and grading have been completed in substantial accordance with the approved plan.

Upon receipt of final Certification from Project Engineer or Architect, Town Engineer to visit site and ensure conformance of Town requirements prior to issuance of final C.O.

REQUEST FOR ARCHITECTURAL AND AESTHETIC REVIEW

Please be advised that pursuant to Sec. 14-86 and 14-87 of the Town Code of Ordinances, the Town Planning and Zoning Board uses the following criteria in order to complete its Architectural and Aesthetic Review. Each criteria must be addressed by the applicant prior to the application being processed.

1. Relationship of building to site: (Explain transition from streetscape; placement of parking and service areas; and compatibility of building height and scale with site):

* See attached narrative

2. Relationship of building and site to adjoining area(s): (Explain how structures and landscaping are consistent with established neighborhood character and will enhance the surrounding area. Include description of architectural style, as well as textures, materials and colors to be utilized):

* See attached narrative

3. Landscape and site treatment: (Explain how landscaping, exterior lighting and other site elements will be used to enhance architectural features, buffer the mass of buildings as appropriate, and enhance the privacy of the owner and neighbors. Describe the use of native species and xeriscaping as appropriate.):

* See attached narrative

4. Building design: (Explain proposed building design and style, and how components such as roofs, windows, doors, eaves and parapets are balanced in proportion to each other; address harmoniousness of colors, visual interest and compatibility):

* See attached narrative

Please provide all documentation and/or samples necessary to address all architectural review criteria as applicable. Attach additional pages as necessary.

REQUEST FOR SITE PLAN MODIFICATION

1. Previously approved (Original) site plan information:

- a. Original Project Name: Buccaneer Dining Facility Rooftop Observation Deck Addition
- b. Original Site Plan Application No.: SPM 19-3 - AAR 19.6
- c. Original Site Plan Approval Date: 05-22-19
- d. List of all other relevant information on file with original application: _____

Observation Deck addition included 2) exterior stair units with concrete landings, a H.C. chair lift and replacement of the existing concrete dining patio with new CMU knee wall wall addition around its entire perimeter.

2. Requested Modification(s): _____

Expand the previously permitted dining patio replacement by an additional 169 sqft. of impervious concrete walks, linking the patio to the stair landings. The CMU knee wall surrounding the Dining patio shall increase in length to enclose the walkway additions.

Addition of a 573 sqft shallow pond water-feature surrounding the existing Dining Patio.

Please provide all documentation necessary to describe the proposed modification and to explain the reason(s) for the proposed modification(s), including a survey, if applicable. Attach additional pages as necessary.

REQUEST FOR VARIANCE

The Applicant is requesting a variance from the Town Code Section(s)_____to permit the following:

N/A

Please be advised that a variance from the terms of the Zoning Code shall not be recommended by the Planning and Zoning Board, nor granted by the Town Commission, unless the Applicant is able to demonstrate the following:

1. Explain the special conditions and circumstances which exist that are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or building in the same zoning district:

2. Explain how the special conditions and circumstances that exist do not result from the actions of the Applicant:

3. Explain how the literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Code and would work unnecessary and undue hardship on the Applicant:

4. Explain how the variance requested is the minimum variance that will make possible a reasonable use of the land, building or structure:

5. Explain how the granting of the requested variance will not confer on the Applicant any special privilege that is denied by the Zoning Code to other lands, structures, or buildings in the same zoning district:

6. Explain how the grant of the requested variance will be in harmony with the general intent and purpose of the Zoning Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare:

The burden of meeting the standards as set forth above is upon the Applicant. Please provide all documentation necessary to prove your case, including a survey, if applicable. Attach additional pages as necessary.

REQUEST FOR SPECIAL EXCEPTION

The Applicant is requesting a special exception pursuant to Town Code Section(s) _____ to permit the following:

N/A

A Special Exception shall not be recommended by the Town Planning and Zoning Board, nor granted by the Town Commission, unless the Applicant is able to demonstrate the following:

1. Explain how all structures will be separated from adjacent and nearby uses by appropriate screening devices:

2. Explain whether or not excessive vehicular traffic will be generated on surrounding residential streets:

3. Explain whether or not a vehicular parking or traffic problem is created:

4. Explain where on the site appropriate drives, walkways and buffers will be installed:

5. Explain how the proposed use will make a substantial contribution to the neighborhood environment and will not infringe on the rights of properties in the vicinity:

6. Explain how the proposed use will not endanger, restrict or impair public safety:

The initial burden of meeting the standards as set forth above is upon the Applicant. Please provide all documentation necessary to prove your case, including a survey, if applicable. Attach additional pages as necessary.



1603 NE JENSEN BEACH BLVD.
JENSEN BEACH, FLORIDA 34957

PHONE: 772-283-6032
FAX: 772-283-8150

March 6, 2020

**TOWN OF PALM BEACH SHORES - ARCHITECTURAL & AESTHETIC NARRATIVE for:
SITE MODIFICATIONS at the BUCCANEER CONDOMINIUM & DINING FACILITY**

Project Scope & Design Intent:

The project scope includes the replacement of existing, and the addition of, new paved surfaces; a new shallow pond water feature and the extension of 33 linear feet of the previously permitted 30" high CMU knee wall surrounding the existing dining patio. The proposed shallow pond water feature surrounding the previously permitted dining patio knee wall is designed to mimic the transom of a sportfishing boat floating in water. The "transom wall" (and the proposed extensions) will have a smooth stucco, painted finish with teak wood caps & trim. The proposed knee wall extensions have been proposed to permit access to the stairs leading up to the rooftop observation deck from the existing dining patio.

Regarding the relationship of the proposed "building" to its site and the adjoining areas:

The proposed project does not include any new building additions or renovations to existing structures. All proposed work is grade level and site related only. With the exception of some pervious concrete replacement of an existing gravel parking area, all proposed work is within the interior of the site and not visible from the street or adjoining properties. The only aspect of the proposed work that would be visible from any location outside the site would be the proposed 30" high knee wall extensions, which will only be partially visible from the waterfront. All proposed materials and finishes shall be consistent with the existing structures and site features.

Landscape and Site Treatment:

No additional landscape treatment is proposed, the proposed site paving is mainly the replacement of existing paving. Areas of proposed pavement and water feature, not replacing existing pavement or gravel, is occurring in existing grass areas adjacent to the waterfront side of the site. No other planting material or areas will be affected.

Sincerely,

Stewart Granfield

Stewart Granfield – NCARB
Florida, AR92817
Granfield Architects, PLLC

SITE DATA			
Total Site Area	47,503 s.f.	1.09 ac.	100 %
Zoning	DISTRICT "C"		
Future Land Use	?		
PCN	54-43-42-27-41-000-0190		
Existing Use	CONDOMINIUM / DINING/MARINA		
Proposed Use	NO CHANGE		
Dwelling Density (Max.)	30 Units / Acre = 33 Units		
Existing	18 Units		
Proposed	NO CHANGE		

PERVIOUS OPEN SPACE (existing / proposed)			
Landscaped Areas:	12,628 s.f. / 10,463 s.f.		
Gravel Parking / Drives:	1,697 s.f. / 1,242 s.f.		
Pervious Concrete Paving:	167 s.f. / 2,572 s.f.		
Total Pervious Open Space:			
Existing	14,492 s.f.	0.332 ac.	30.5 %
Proposed	14,277 s.f.	0.328 ac.	30.1 %
Other Open Space	N/A		
Preserve Area	N/A		
Wetland	N/A		
Upland	N/A		

IMPERVIOUS AREA (existing / proposed)			
Developed Areas:			
Building Footprint (Enclosed)	11,813 s.f. / 11,813 s.f.		
Covered Walk / Patio	5,481 s.f. / 5,481 s.f.		
Pavement (Incl. Curbs)	8,389 s.f. / 8,389 s.f.		
Open Patios / Pool / Decks	4,806 s.f. / 4,772 s.f.		
Open Walks / Bulkhead	2,722 s.f. / 2,198 s.f.		
Surface Water	N/A	573 s.f.	
Total Impervious Developed Space:			
Existing	33,011 s.f.	0.758 ac.	69.5 %
Proposed	33,226 s.f.	0.763 ac.	69.9 %

BUILDING DATA			
Total Gross Floor Area			
Existing	16,854 s.f.	0.387 ac.	35.5 %
Proposed	16,854 s.f.	0.387 ac.	35.5 %
Building Coverage			
Existing	15,239 s.f.	0.349 ac.	32.1 %
Proposed	15,239 s.f.	0.349 ac.	32.1 %
Code Maximum	16,151 s.f.	0.371 ac.	34.0 %
Height (Max. Above Grade)			
Existing (Roof Peak)	20.2'	@ 2 Story Condo	
Proposed (Top Parapet)	12.7'	@ 1 Story Dining	
Code Maximum	40'		

PARKING			
USE	AREA	PARKING REQUIREMENTS	SPACES REQUIRED
MOTEL / CONDO	18 Units	1.25 Spaces per Unit	23
TOTAL # OF SPACES REQUIRED PER P.B.S. (PI.7.13.):			
TOTAL # OF ON-SITE SPACES PROVIDED:			

HATCH LEGEND

- EXISTING OPEN / COVERED IMPERVIOUS AREAS TO REMAIN
- EXISTING / PROPOSED BUILDING COVERAGE AREA
- PROPOSED PERVIOUS CONCRETE SIDEWALKS / PARKING AREA

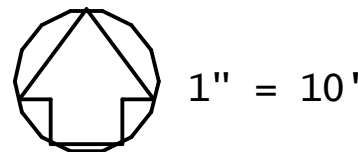


SITE PAVING REPLACEMENT:	
EXISTING CONCRETE SIDEWALKS TO BE REMOVED & REPLACED WITH PERVIOUS CONCRETE	524 SQFT
EXISTING GRAVEL PARKING TO BE REPLACED WITH PERVIOUS CONCRETE	455 SQFT
PROPOSED PERVIOUS CONCRETE PAVEMENT	2,572 SQFT

SCOPE OF WORK

- SITE MODIFICATIONS TO BE PERFORMED:
- 163 SQFT EXPANSION TO PREVIOUSLY APPROVED DINING PATIO WITH CMU KNEE WALL, TO NOW ENCOMPASS THE 2D ROOF TERRACE STAIR LANDINGS.
 - ADDITION OF NEW 573 SQFT SHALLOW POND WATER FEATURE ADJUTING DINING PATIO
 - REPLACEMENT & RECONFIGURATION OF PREVIOUSLY REMOVED AND EXISTING CONCRETE SIDEWALKS WITH NEW PERVIOUS CONCRETE WALKS AS DEFINED ON SHEET SP1 & DETAILED ON SHEET SP2

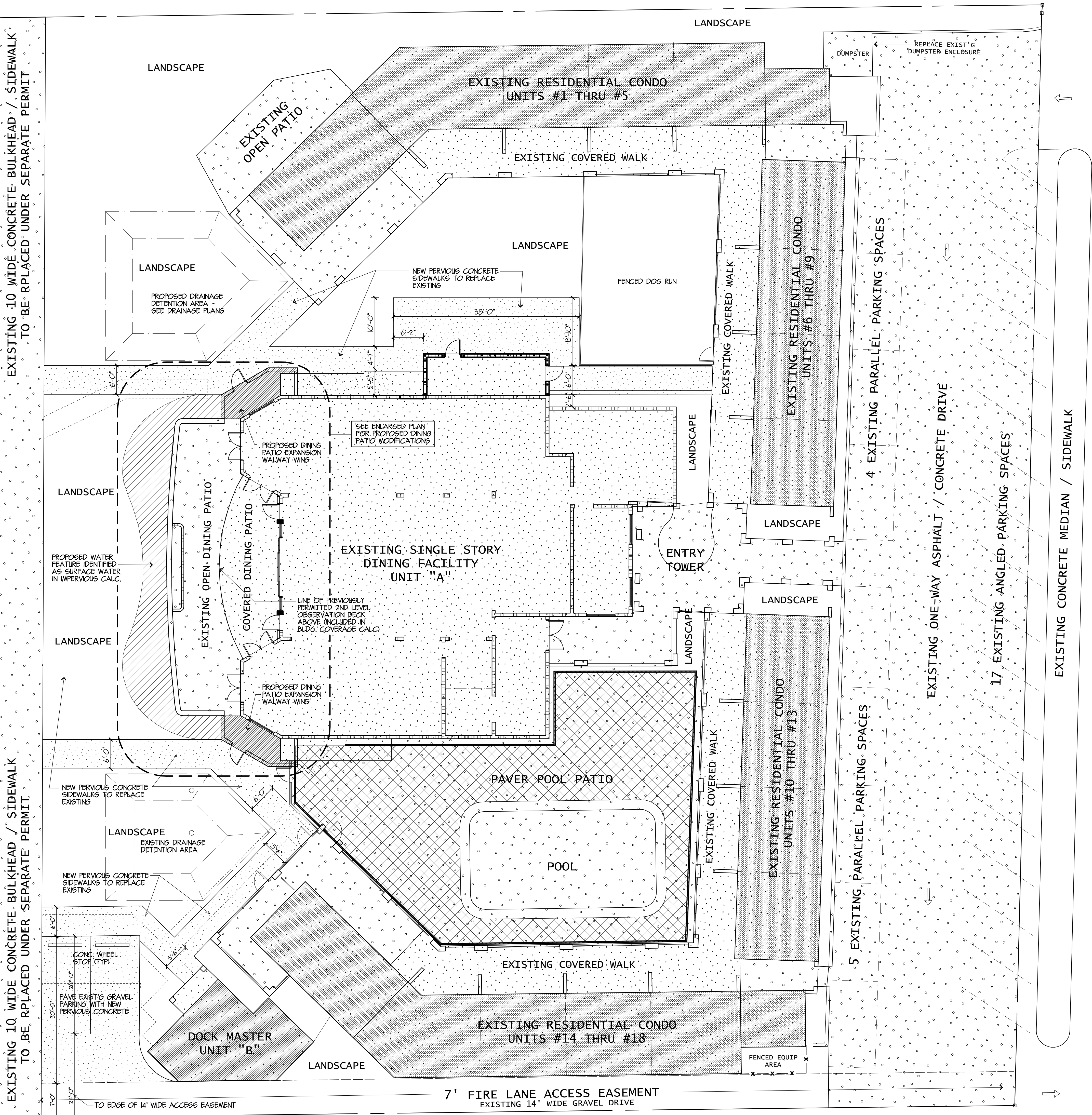
BUCCANEER CONDOMINIUM



SITE PLAN

INFORMATION BASED ON BOUNDARY / TIE-IN SURVEY
PERFORMED BY D.L. BLANTON INC. SURVEYING & MAPPING
DATED 12-31-19 - REFERENCE NO. 20/33

INTRACOASTAL WATERWAY



LAKE DRIVE

PROPOSED BUILDING / SITE IMPROVEMENTS FOR:

BUCCANEER UNIT "A"

142 LAKE DRIVE

PALM BEACH SHORES, FLORIDA

COMMERCIAL - RESIDENTIAL - INSTITUTIONAL DESIGN

ARRANFIELD ARCHITECTS

603 NE JENSEN BEACH BLVD.
JENSEN BEACH, FLORIDA 33457

PHONE: 772-285-6032
FAX: 772-285-9850

SEAL

REVISIONS

JOB NO. 17-633

DATE 02-21-20

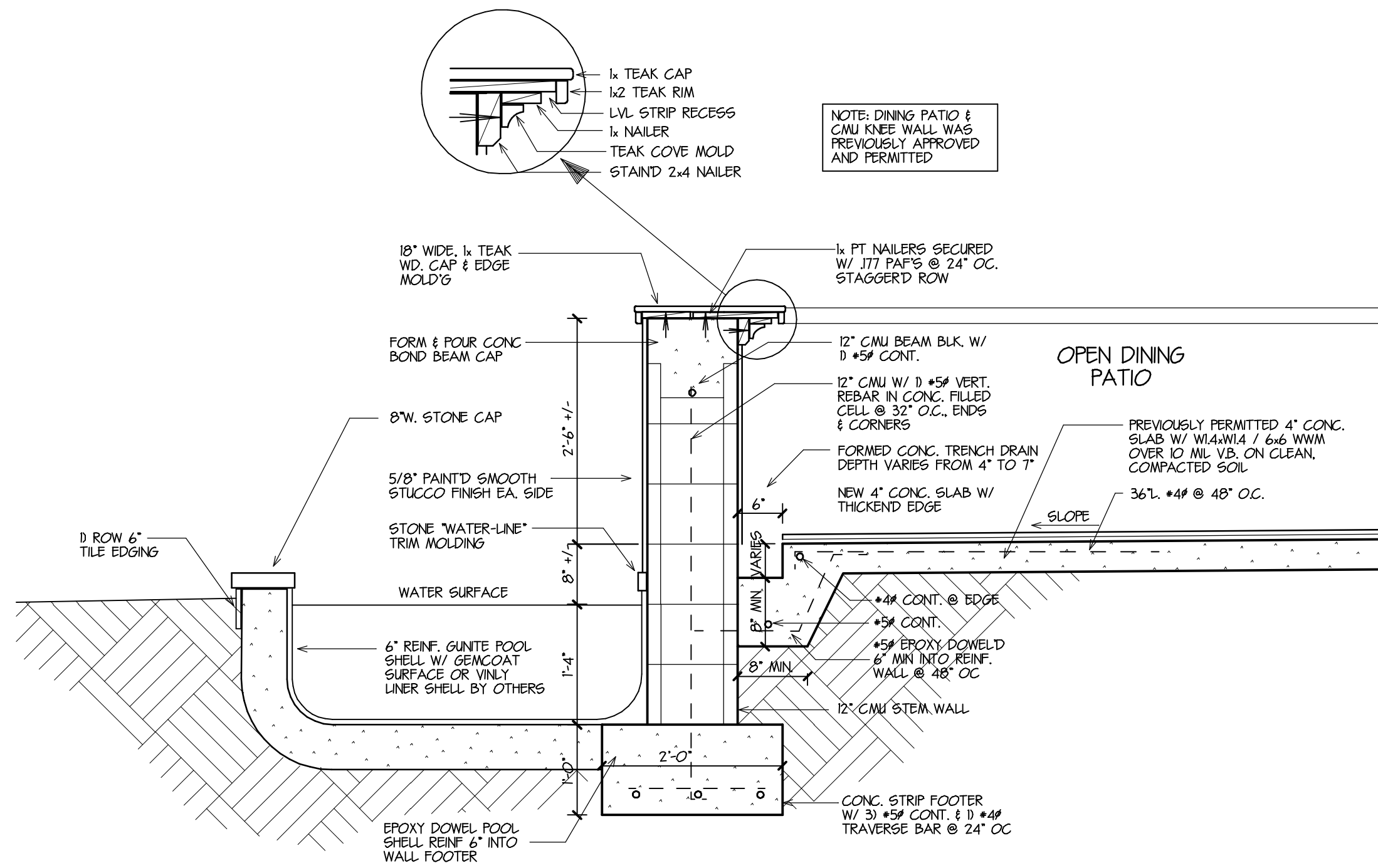
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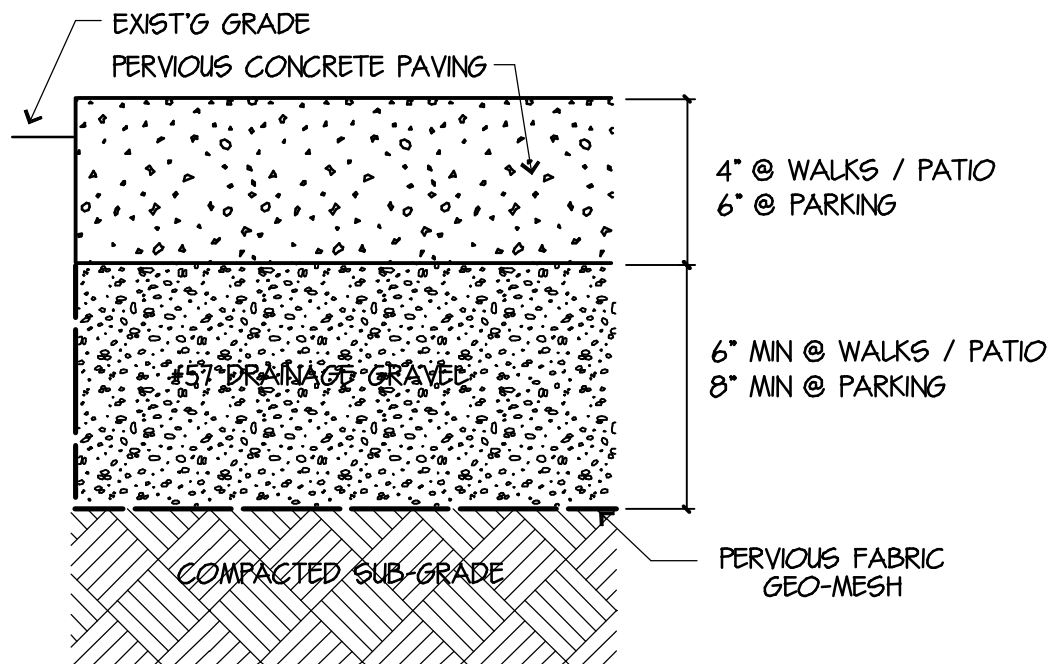
SHEET

SP1

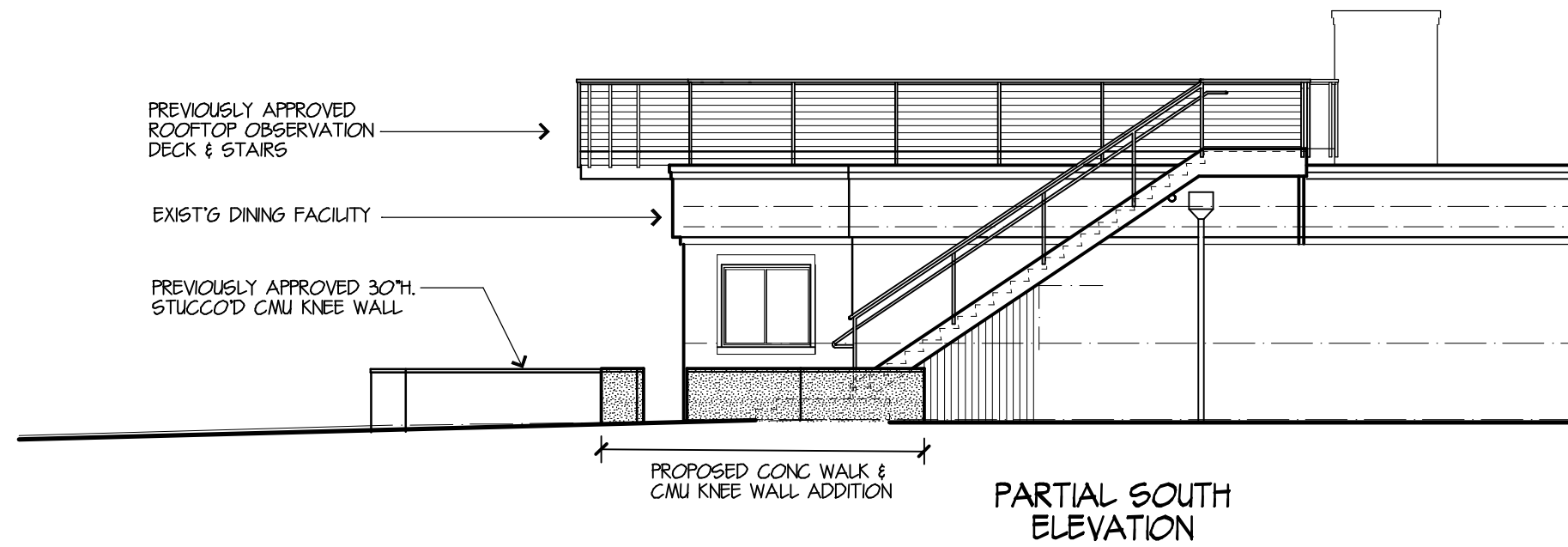
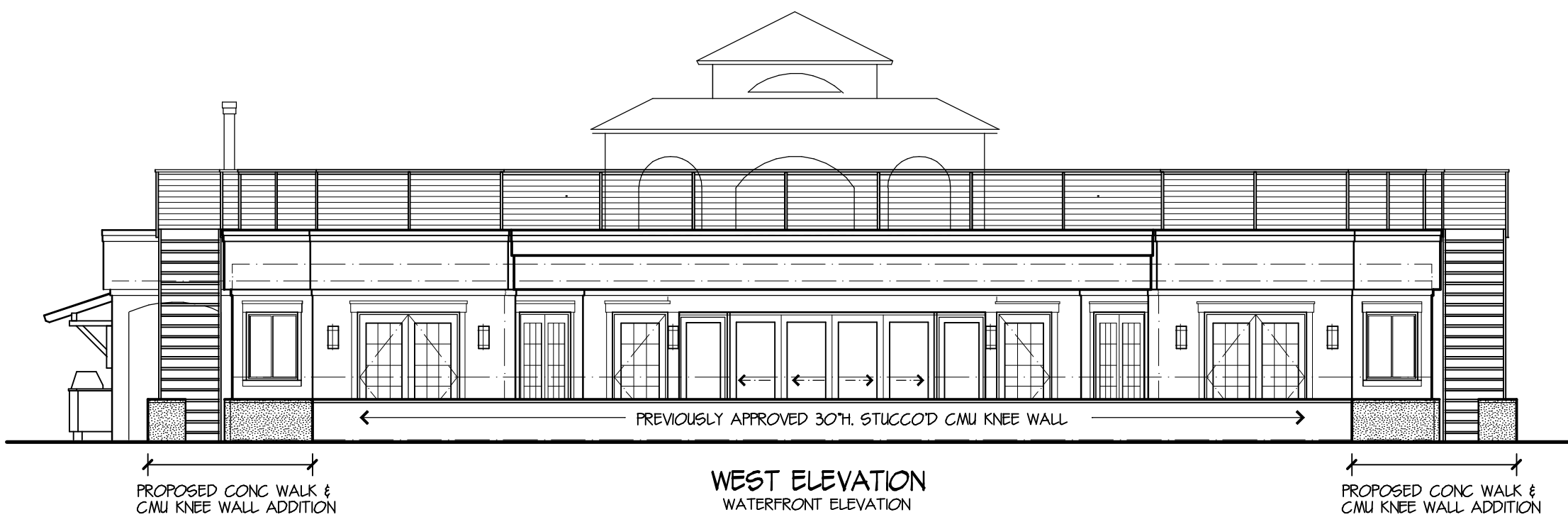
1 OF 2



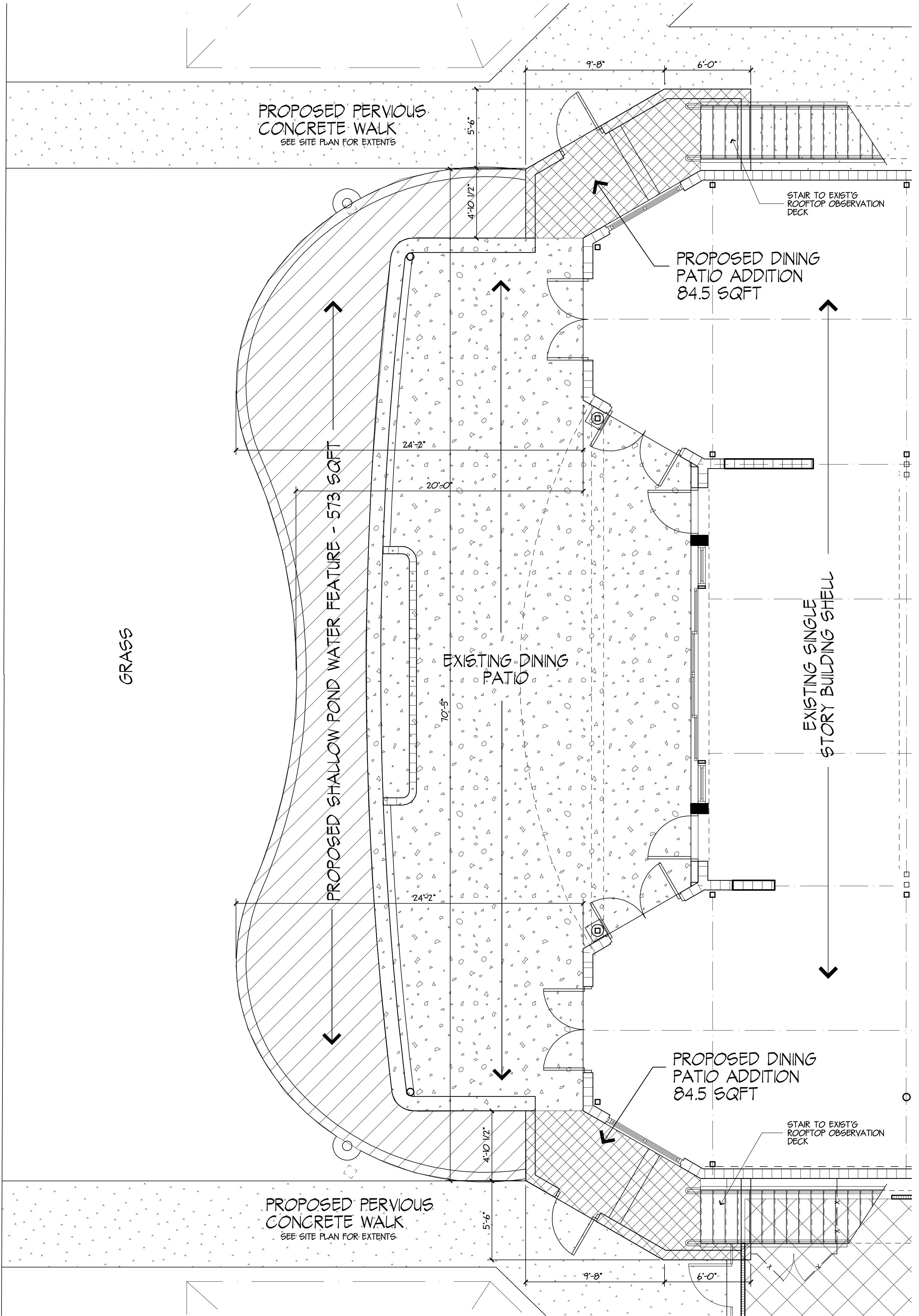
PATIO WALL / WATER-FEATURE DETAIL 3/4"



PERVIOUS CONCRETE DETAIL



NEW CONCRETE SIDEWALK & BULKHEAD
UNDER SEPARATE PERMIT



COMMERCIAL - RESIDENTIAL - INSTITUTIONAL DESIGN

ARRANFIELD
ARCHITECTS

603 NE JENSEN BEACH BLVD.
JENSEN BEACH, FLORIDA 33457
PHONE: 772-289-6032
FAX: 772-289-9850

PROPOSED BUILDING / SITE IMPROVEMENTS FOR:

BUCCANEER UNIT "A"

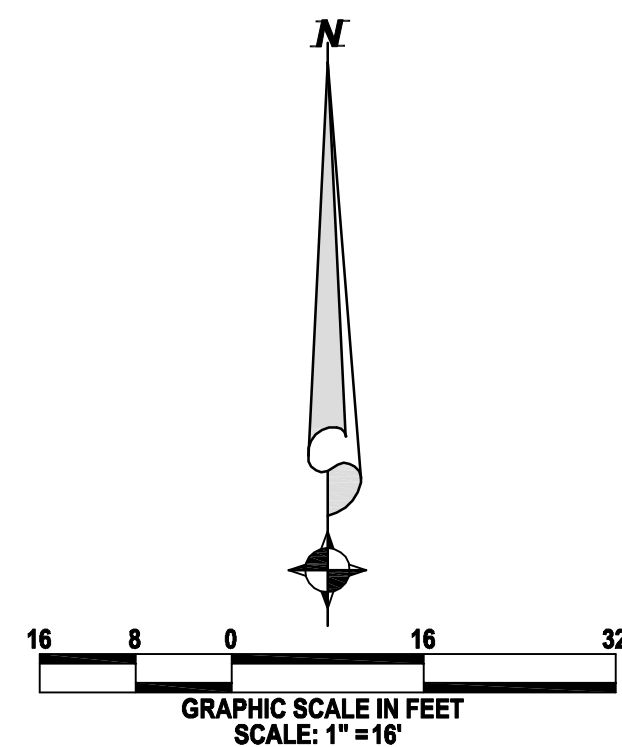
142 LAKE DRIVE
PALM BEACH SHORES, FLORIDA

SEAL

REVISIONS

JOB NO. 17-633
DATE 02-21-20
DRAWN BY SMG
CHECKED BY SMG

SHEET
SP2
2 OF 2



RIPARIAN LINE (PROPERTY LINE EXTENDED)

WORTH

LAKE

EXISTING 10' WIDE WOOD DOCK WITH 2' FINGER PIERS

HIGHEST OBSERVED WATER ELEVATION

PER TIDE ID 872-2557 OCTOBER 25TH, 1973
2.32 NAVD
PER TIDE ID 872-2807 SEPTEMBER 25, 2008
2.24 NAVD

WATER ELEVATIONS +/-

(MHHW) ELEV = 0.48 ft
Mean Higher High Water
(MHW) ELEV = 0.29 ft
Mean High Water
(MLW) ELEV = (-) 2.45 ft
Mean Low Water
(MLLW) ELEV = (-) 2.64 ft
Mean Lower Low Water

FIELD DRAIN OUTLET
INVERT EAST
4" PVC
ELEV = 0.55'

RIPARIAN LINE (PROPERTY LINE EXTENDED)

PROPERTY CORNER & CONTROL DATA

- 1 = Found PK Nail & Washer stamped LB 4165
- 2 = Found PK Nail & Washer Stamped "Wallace"
(3' Offset East)
- 3 = Found PK Nail & Washer stamped LB 4165
(0.5' Offset East)
- 4 = Found 1/2" Iron pipe, No Identification Number

- 5 = Found Mag Nail, No Identification Number
- 6 = Found 3"x3" Concrete Monument

ADJACENT SEWALL CAP AT RESIDENTIAL
PROPERTY ELEVATION = 2.52 NAVD 1988
NEW SEWALL UNDER CONSTRUCTION
ELEVATION WILL BE HIGHER WHEN COMPLETED

LOT 545

GREAT AMERICAN LIFE INSURANCE COMPANY
LOT 107 OF REPLAT LOTS 541-545
PALM BEACH SHORES
PLAT BOOK 24, PAGE 75

N89°35'25"E 213.93'

8" WOOD FENCE IN DISREPAIR

2 STORY CBS
CONDOMINIUM BUILDING
FINISHED FLOOR ELEVATION = 4.05' NAVD 1988

COVERED WALK / 2ND FLOOR TERRACE ABOVE

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LOT 549

SAILFISH MARINA
PER ORB 17195, PAGE 191
LOTS 549-557 PALM BEACH SHORES
PLAT BOOK 23, PAGE 30

S89°35'25"W 208.58'

2 STORY CBS
CONDOMINIUM BUILDING
FINISHED FLOOR ELEVATION = 4.05' NAVD 1988

COVERED WALK / 2ND FLOOR TERRACE ABOVE

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COVERED WALK / 2ND FLOOR TERRACE ABOVE

NORTH LINE LOT 533

S05°31'55"W 1.67'

5" UTILITY EASEMENT PER RS 24, PAGE 75

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CATCH BASIN WITH CONC. FLUME
TYPE FIGUR
GRATE ELEV = 3.34'
BOTTOM ELEV = (-) 1.51'
INVERT NORTH
18" CONCRETE PIPE
ELEV = (+) 1.16'
INVERT SOUTH
18" CONCRETE PIPE
ELEV = (+) 1.16'
INVERT SW
12" CONCRETE PIPE
ELEV = (+) 0.24'

CATCH BASIN WITH CONC. FLUME
TYPE FIGUR
GRATE ELEV = 2.97'
BOTTOM ELEV = (-) 0.88'
INVERT NORTH
18" CONCRETE PIPE
ELEV = (+) 0.88'
INVERT SOUTH
18" CONCRETE PIPE
ELEV = (+) 0.88'



LOCATION MAP (Not to scale)

LEGAL DESCRIPTION UPLAND PARCEL PER ORB 3237, PAGE 1645

ALL OF LOTS 546, 547 AND 548, PALM BEACH SHORES, ACCORDING TO THE PLAT THEREOF, AS
RECORDED IN PLAT BOOK 23, PAGES 29 THROUGH 32, OF THE PUBLIC RECORDS OF PALM BEACH
COUNTY, FLORIDA.

ALSO KNOWN AS THE BUCCANEER CONDOMINIUM, AS PER THE DECLARATION OF CONDOMINIUM
RECORDED IN OFFICIAL RECORD BOOK 3237, PAGE 1645, OF THE PUBLIC RECORDS OF PALM
BEACH COUNTY, FLORIDA.

SURVEYOR'S NOTES

1. The current and expected use of the site is Commercial and meets the accuracy standards for such as required by the Florida Minimum Technical Standards per FAC chapter 5J-17.
2. The Specific purpose of this survey is to provide data for permitting of proposed site improvements.
3. The overall Property contains 47,503 square feet / 1.09 acres more or less.
4. Foundations, Footers and other Underground Facilities not located, unless otherwise shown.
5. Existing easements and rights-of-way as shown hereon are per plat of Palm Beach Shores recorded in Plat Book 23, Pages 29-32, unless otherwise shown.
6. Distances and angles / bearings shown hereon are per plat and agree with the survey measurement unless otherwise specified.
7. The Bearing base is the South line of lot 548, and all other bearings are relative thereto.
8. A search of the Public Records was provided to this Surveyor in the form of a Title Search Report, Fund File # 494660 dated 9/14/2017. All survey related matters contained within said report have been shown hereon.
9. This survey cannot be transferred or assigned, unless authorized by Daniel L. Blanton.
10. Additions or Deletions to this sketch other than by the signing surveyor are prohibited.
11. Not valid without the signature and original raised seal of a Florida licensed surveyor and mapper.
12. Property lies in Flood Zone "AE" Elevation 8, per interpretation of FEMA's Flood Insurance Rate Map, Community Panel Number 125137-0393-F, dated 10/5/2017.
13. Elevations and Topology as shown hereon are in feet and decimal parts thereof, NAVD 1988 Datum, and are derived by differential leveling from Palm Beach County Benchmark "BREAKERS". (ELEVATION CONVERSION NAVD 1988 (+1.522 feet) = NGVD 1929)

LEGEND

- Wood Power Pole
- Guy Anchor
- Manhole / Misc. Type
- Manhole Sanitary Sewer
- Water Valve
- Water Meter
- Fire Hydrant Stand Pipe
- Fuel Tank Lids
- Fuel Tank Valves
- Cleanout
- Fire Line Check Valve
- Catch Basin
- Curb Inlet
- Field Drain
- Handicapped Parking

Fencing Rail Type

Fencing Shaowdbox

Strom Drain Line

Overhead Electric Line

Evidence of Future Underground Electric

Evidence of Underground Telecommunications line

Evidence of Underground Sewer Force Main

Evidence of Underground Water Main

Topology Elevation at "x" shown in feet, NAVD88 Datum

ABBREVIATIONS

- L.B. = Licensed Business
- C/L = Centerline
- CONC = Concrete
- CBS Concrete Block Structure
- ORB = Official Record Book
- PB = Plat Book
- PG = Page
- NGVD = National Geodetic Vertical Datum 1929
- NAVD = North American Vertical Datum 1988
- FEMA = Federal Emergency Management Agency

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

DANIEL L. BLANTON
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA CERTIFICATION NO. 59888

BOUNDARY & TOPOGRAPHIC SURVEY
The Buccaneer Condominium
142 Lake Drive, Palm Beach Shores, Florida 33404

Florida Certificate LB No. 7487 1887 SW Newport Isles Blvd Port Saint Lucie, Florida, 34953 Telephone: (561) 963-1953 Email: DLBlanton@bellsouth.net	REFERENCE: 2330 OFFICE: DLB DATE OF SURVEY: 12/3/2019	REVISIONS: 7/3/18 New FEMA Flood 10/1/19 Add Topology @ NAVD88 Datum 11/21/2019 Additional Topo 12/03/2019 Update	SCALE: 1"=16' DWG. NUMBER: 15-025-42 SHEET 1 OF 1
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This instrument prepared by:
Erica L. English, Esq.
Katz Barron Squitero Faust
Friedberg English & Allen, P.A.
2699 South Bayshore Drive, 7th Floor
Miami, Florida 33133

After recording return to:
Nina Ferraro, Esq.
Ferraro Law Group, PL
3601 SE Ocean Blvd, Suite 201
Stuart, FL 34996

Real Property Tax Folio No.: 54-43-42-27-41-001-0010

WARRANTY DEED

THIS WARRANTY DEED, made this 9th day of January, 2017, by and between GREAT AMERICAN LIFE INSURANCE COMPANY, an Ohio corporation ("Grantor"), whose mailing address is Two Alhambra Plaza, suite 1280, Coral Gables, FL 33134, and BENJAMIN K. SHARFI, AS TRUSTEE OF THE BENJAMIN SHARFI 2002 TRUST UNDER TRUST DATED DECEMBER 18, 2002 ("Grantee"), whose mailing address is 73 Sewall's Point Road, Sewall's Point, FL 34996.

WITNESSETH:

Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration to it in hand paid by Grantee, the receipt and sufficiency of which is hereby acknowledged, hereby grants, bargains, and sells to Grantee, the following described land, situate, lying and being in Palm Beach County, Florida, to-wit:

Condominium Parcel Commercial Unit "A" of Buccaneer Condominium according to the Declaration of Condominium of Buccaneer Condominium, recorded in Official Records Book 3237, Page 1645, as amended, of the Public Records of Palm Beach County, Florida, together with all interest, rights and appurtenances thereto as provided in such Declaration

SUBJECT TO comprehensive land use plans, zoning and other land use restrictions, prohibitions and requirements imposed by governmental authority; restrictions and matters appearing on the plat and otherwise common to the subdivision; public utility easements of record; the matters set forth in Exhibit "A" attached hereto; and taxes and assessments for 2017 and subsequent years.

TOGETHER WITH, all rights of way, tenements, hereditaments and appurtenances thereto belonging or in any way appertaining.

TO HAVE AND TO HOLD, the same unto Grantee in fee simple forever.

AND Grantor hereby covenants with Grantee that the Grantor is lawfully seized of the Property in fee simple; that the Grantor has good right and lawful authority to sell and convey the Property; that the Grantor hereby fully warrants the title to the Property and will defend the same against the lawful claims of all persons whomsoever; and that the Property is free of all encumbrances, except taxes and assessments for the year 2017 and subsequent years and the matters set forth above.

IN WITNESS WHEREOF, Grantor has signed and sealed these presents the day and year first above written.

Witnesses:

GRANTOR:

GREAT AMERICAN LIFE INSURANCE
COMPANY, an Ohio corporation

By: [Signature]
Mark F. Muething, Executive Vice President

[Signature]
Print Name: Deborah L. Oaks

[Signature]
Print Name: Sherri L. Barnes

STATE OF OHIO)
COUNTY OF HAMILTON)

SS:

The foregoing Warranty Deed was acknowledged before me, a notary public, in the State and County aforesaid, on this 9th day of January, 2017 by Mark F. Muething, as Executive Vice President of Great American Life Insurance Company, an Ohio corporation, on behalf of the corporation who ☒ is personally known to me or ☐ has produced as proof of identification.

[Signature]
NOTARY PUBLIC, State of Ohio

My Commission Expires:

(Type or stamped name of notary public)



Yvonne M. Amburn
Notary Public, State of Ohio
My Commission Expires 07-19-2020

EXHIBIT "A"

1. Plat of Palm Beach Shores recorded in Plat Book 23, Pages 29 to 32, inclusive, of the Public Records of Palm Beach County, Florida.
2. Declaration of Condominium, recorded in Official Record Book 3237, Page 1645, and amended in Official Record Book 3857, Page 1515, Official Record Book 3908, Page 1674, and Official Record Book 26685, Page 8194, of the Public Records of Palm Beach County, Florida.
3. Collateral Assignment of Right to Collect Assessments and Assignment of Lien Rights recorded in Official Record Book 28265 Page 1033,
4. Declaration recorded in Deed Book 895, Page 291, and amended in Deed Book 908, Page 519 of the Public Records of Palm Beach County, Florida.
5. Right-of-Way of Florida East Coast Canal (Intracoastal Waterway) recorded in Plat Book 17, Page 1, Public Records of Palm Beach County, Florida.
6. Agreement between Buccaneer Condominium Association of Palm Beach Shores, Inc. and Grantor pertaining to Sailfish Marina, being recorded contemporaneously herewith.

This is to certify that the conveyance of Buccaneer Commercial Unit A of Buccaneer Condominium of Palm Beach Shores, Inc. a condominium, according to the Declaration of Condominium, recorded in Official Records Book _____ at Page _____ of the Public Records of Palm Beach County, Florida, from Great American Life Insurance Company to Benjamin Sharfi, as Trustee of the Benjamin Sharfi Trust has been approved by Buccaneer Condominium Association with the express stipulation that said approval is conditioned on the absence of any agreement between the grantor and the grantee whether by the transfer of title documents or otherwise, that contains restrictions of use other than those imposed by the Buccaneer Declaration of Condominium and the Buccaneer Condominium By-Laws.

Such approval has been given pursuant to the provisions of Article XVI, Section 16-3-2-2A of the Declaration of Condominium of such condominium regime containing Buccaneer Commercial Unit A.

Dated this 9 day of January, 2017

Buccaneer Condominium Association

By *[Signature]* President/Chairman of the Board of Directors

By _____
Director

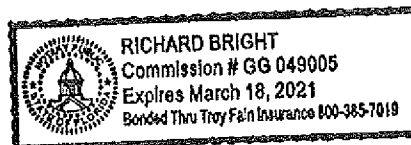
State of Florida

County of Palm Beach

Before me, the undersigned authority, personally appeared Fred Cohen and _____, well known to me to be the Directors of The Buccaneer Condominium Association, a Florida corporation, and acknowledged before me that they did, as such officers, execute the foregoing Certificate of Approval and that the execution of said Certificate is the act and deed of the said corporation and that the same was executed for the use and purposes therein.

In witness whereof, I have hereunto set my hand and official seal on this 9 day of January 2017.

[Signature]
Notary Public
State of Florida at Large



My Commission Expires: _____