

**CITY OF SHOREWOOD  
CITY COUNCIL REGULAR MEETING  
MONDAY, AUGUST 22, 2022**

**5755 COUNTRY CLUB ROAD  
COUNCIL CHAMBERS  
7:00 P.M.**

For those wishing to listen live to the meeting, please go to [ci.shorewood.mn.us/current\\_meeting](https://ci.shorewood.mn.us/current_meeting) for the meeting link. Contact the city at 952.960.7900 during regular business hours with questions.

**AGENDA**

**1. CONVENE CITY COUNCIL MEETING**

A. Pledge of Allegiance

B. Roll Call

Mayor Labadie\_\_\_\_  
Siakel\_\_\_\_  
Johnson\_\_\_\_  
Callies\_\_\_\_  
Gorham\_\_\_\_

C. Review and Adopt Agenda

**Attachments**

**2. CONSENT AGENDA** The Consent Agenda is a series of actions which are being considered for adoption this evening under a single motion. These items have been reviewed by city council and city staff and there shall be no further discussion by the council tonight on the Consent Agenda items. Any council member or member of city staff may request that an item be removed from the Consent Agenda for separate consideration or discussion. If there are any brief concerns or questions by council, we can answer those now.

**Motion to approve items on the Consent Agenda & Adopt Resolutions Therein:**

- |   |  |
|---|--|
| A. City Council Regular Meeting Minutes of August 8, 2022   | Minutes  |
| B. Approval of the Verified Claims List   | Claims List  |
| C. Accept Quote for 2022 Catch Basin and Culvert Project, City Project 22-04  | City Engineer Memo<br>Resolution 22-073            |
| D. Accept Final Improvement for Beverly Drive & Cajed Lane Drainage Improvements, City Project 20-03                              | City Engineer Memo<br>Resolution 22-074            |
| E. Accept Final Improvements for Glen Road/Amlee Road/ Manitou Lane Street Reconstruction and Utility Project, City Project 18-08 | City Engineer Memo<br>Resolution 22-075            |
| F. Approve Vacation of a Portion of Fire Lane 1 to Set Property Line Location: 4580 Enchanted Point at Fire Lane 1                | Planning Director Memo<br>Resolution 22-068        |
| G. Approve Agreement with Christmas Lake Association for Improvements to the Christmas Lake Public Access                         | Director of Public Works Memo<br>Resolution 22-076 |
| H. Accept Quote for Security Upgrades to the Christmas Lake Public Access   | Director of Public Works Memo<br>Resolution 22-077 |

- I. Accept Quote and Award Contract for One Replacement 2000 Gallon Tanker Truck Director of Public Works Memo

**3. MATTERS FROM THE FLOOR** This is an opportunity for members of the public to bring an item, which is not on tonight's agenda, to the attention of the mayor and council. When you are recognized, please raise your hand or use the raise your hand feature. Please identify yourself by your first and last name and your address for the record. After this introduction, please limit your comments to three minutes. No action will be taken by the council on this matter. The mayor or council may request that staff place this matter on a future agenda or ask staff to address it during Item 10. Staff Reports. (No Council Action will be taken)

**4. REPORTS AND PRESENTATIONS**

- A. Highway 7 Safety Audit Presentation, MnDOT
- B. Chief of Police, Brian Tholen 2023 Budget Presentation SLMPD Proposed Budget
- C. Fire Chief, Curt Mackey 2023 Budget Presentation Excelsior Fire District Proposed Budget

**5. PUBLIC HEARING**

- A. Request for Rezoning, PUD concept/development stage and Preliminary Plat for Maple Shores Planning Director Memo  
Location: 20430 Radisson Road and Adjacent Vacant Lots  
Applicant: Chamberlain Capital, LLC.

**6. PARKS**

- A. Report by Commissioner Heinz on August 16, 2022 Park Commission Meeting Minutes

**7. PLANNING**

- A. Report by Commissioner Riedel on August 2, 2022 Meeting Minutes
- B. Request for Rezoning, PUD concept/development stage and Preliminary Plat for Maple Shores Planning Director Memo  
Location: 20430 Radisson Road and Adjacent Vacant Lots Ordinance 591  
Applicant: Chamberlain Capital, LLC. Resolution 22-078  
Resolution 22-079
- C. Cooperative Housing Development Planning Director Memo  
Applicant: Lifestyle Communities  
Location: 24250 and 24320 Smithtown Road

**8. ENGINEERING/PUBLIC WORKS**

**9. GENERAL/NEW BUSINESS**

- A. Approve Proposed 2023 SLMPD Budget
- B. Approve Proposed 2023 Excelsior Fire District Budget

## 10. STAFF AND COUNCIL REPORTS

### A. Staff

- |   |   |
|---|---|
| 1. Primary Election and Candidate Filing Update | City Clerk/HR Director Memo               |
| 2. Fall Shred Event                             | Communications/Recycling Coordinator Memo |

### B. Mayor and City Council

**11. ADJOURN**

CITY OF SHOREWOOD  
CITY COUNCIL REGULAR MEETING  
MONDAY, AUGUST 8, 2022

5755 COUNTRY CLUB ROAD  
COUNCIL CHAMBERS  
7:00 P.M.

## MINUTES

### 1. CONVENE CITY COUNCIL REGULAR MEETING

Councilmember Siakel called the meeting to order at 7:00 P.M. She explained that Mayor Labadie was on vacation and Councilmember Johnson, who is the Acting Mayor, was out sick this evening which meant that the Council would need to vote for someone else to serve as Acting Mayor just for the meeting.

**Callies moved, Gorham seconded, appointing Councilmember Siakel to serve as Temporary Acting Mayor. All in favor, motion passed.**

### PLEDGE OF ALLEGIANCE

#### A. Roll Call

Present: Councilmembers Siakel, Gorham, and Callies; Interim City Administrator Shukle; City Clerk/HR Director Thone; Finance Director Rigdon; Planning Director Darling; Director of Public Works Brown; and, City Engineer Budde

Absent: Mayor Labadie and Councilmember Johnson

#### B. Review Agenda

**Gorham moved, Siakel seconded, approving the agenda as presented. All in favor, motion passed.**

### 2. CONSENT AGENDA

Temporary Acting Mayor Siakel explained that Item F. was due to Park and Recreation Director Twila Grout retiring. She stated that Park and Recreation Director Grout has done a fantastic job serving in the City and reviewed her various roles dating back to 1997. She stated that Ms. Grout will be missed and wanted to make sure that her work and dedication received attention.

**Callies moved, Gorham seconded, Approving the Motions Contained on the Consent Agenda and Adopting the Resolutions Therein.**

A. City Council Regular Meeting Minutes of July 25, 2022

B. Approval of the Verified Claims List

C. Continue Review – Vacation of a Portion of Fire Lane 1 to Set Property Line Location: 4580 Enchanted Point

D. Accept Final Improvements for Freeman Park Baseball Field Drainage, Adopting RESOLUTION NO. 22-070, "A Resolution to Accept Final



**Improvements for the Freeman Park Drainage Improvements Project, City Project 20-10"**

- E. Extension of Variance Approval: Location: 23320 Park Street, Applicant: Kimberly Poe, Adopting RESOLUTION NO. 22-071, "A Resolution Approving an Extension for a Variance to the Side Yard Setback for Property Located at 23320 Park Street."**
- F. Accept Resignation of Park and Recreation Director and Authorize Advertisement for Position**
- G. Approve Hiring Public Works LEO/Shop Technician**
- H. Accept Quote for Badger Park Cameras and Intrusion System**

All in favor, motion passed.

**3. MATTERS FROM THE FLOOR**

Richard Mann, 25545 Birch Bluff Road noted that his comments were related to the continued discussion of road widening and stormwater mains for Birch Bluff Road. He stated that he has done a lot of research and would like it known for the record that the constituents of the road that he has spoken to are against the widening of the roadway but were in favor of having water and sewer brought in. He explained that the proposed widening is causing a lot of heartburn from both an aesthetic point of view and because of a fear of increased speed. He stated that if things continue to move forward he would ask that the City look into permanent speed bumps to slow the traffic down. He stated that he feels the information related to the pre-scope paper did not have anything that would affect the wetlands and feels it needs to be studied further. He stated that he would like to hear from City Engineer Budde at some point as far as the environmental impacts related to width and what statutes are being applied to ensure that the road needs to go to 26 feet rather than its current status and width. He reiterated that the majority of people along Birch Bluff Road that he has spoken to do not wish to have the road widened.

Greg Larson, 25535 Orchard Circle, asked about the Smithtown Ponds construction plans related to tree preservation. He stated that it appears that most of the trees that were supposed to be preserved have been whacked and asked for details on those decisions.

Temporary Acting Mayor Siakel stated that Matters from the Floor is designed as an opportunity for the Council to listen to feedback and questions from the residents.

Mr. Larson asked what forum was available to the residents to actually address the Council and get questions answered.

Temporary Acting Mayor Siakel asked if Mr. Larson had contacted City staff because many times they can address the concerns from the residents. She stated that she does not know if anyone on the Council has the specific information available at the moment in order to answer Mr. Larson's question related to tree preservation.

Mr. Larson asked if anyone present had information on why all the trees in the tree preservation plan for the Smithtown Pond project have been whacked and are gone. He stated that if anyone

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on the Council doubts what he is saying he suggested that they meet tomorrow morning at 10:00 a.m. to do a walk-through of the area.

City Engineer Budde stated that the tree preservation plan that Mr. Larson is referring to is based off a very early concept. He stated that as they went through the permitting process, one of the major obstacles was with the Army Corps of Engineers which meant some adjustments needed to be made to the grading on the site in order to be able to address the drainage concerns. He stated that part of those adjustments were that some of the trees that they had originally wanted to preserve were not able to be preserved. He stated that they are still planning to replace many of those trees and also plan to exceed the replacement counts that they are supposed to meet based on the Tree Preservation Policy. He reiterated that the document Mr. Larson was referring to was a very early concept and not the final plans.

Mr. Larson stated that he pulled this document off the City's website this morning.

Temporary Acting Mayor Siakel thanked Mr. Larson for bringing his concerns to the attention of the Council and assured him that the Council would direct staff to look into the issues Mr. Larson had raised.

Mr. Larson stated that during the June 13, 2022 City Council meeting when the Council had discussed the Birch Bluff Road plan there was a statement made that most of the trees impacted are scrub trees and not of good quality. He asked about the definition of a 'scrub' tree.

Temporary Acting Mayor Siakel stated that scrub trees are the little saplings that have grown up along Birch Bluff Road. She stated that she believes that there were only a few trees that were impacted which may even be less now that they are not putting in a sidewalk.

Mr. Larson stated that he has had a request in for the last six weeks to find out how many trees and which trees will be removed as part of this project but noted that he had not yet received a response yet.

Temporary Acting Mayor Siakel stated that she wasn't sure details related to which trees would be removed had been determined yet.

City Engineer Budde stated that this was correct because they had not yet completed the final design nor have they completed all of their easement negotiations yet. He stated that they will not know this information until those things are done and many times they do not know this information until the project begins. He explained that oftentimes there are property owners who want the City to remove trees along the corridor that are close the property line or on the property line, which the City will do.

Mr. Larson stated that one of the stated goals for Smithtown Ponds was to preservation and restoration of trees and habitat and asked if that remained a goal.

Temporary Acting Mayor Siakel thanked Mr. Larson for his comments and asked if there was anybody on-line that would like to address the Council.

Alan Yelsey, 26335 Peach Circle, noted that City Engineer Budde had made a comment in response to Mr. Larson that the trees would be 'replaced' and stated his opinion that the City would not 'replace' a thirty foot tree that would have a width of three feet. He stated that the plans

destroy mature trees and they will not have them back for another forty or fifty years, which to him would not be considered 'replacement'. He stated that it appears as though the Council refuses to have discussion with the residents on all of these matters nor do they provide a forum for discussion. He stated that the citizens of Shorewood should not tolerate a format where there can be no discussion with the City Council and staff in a public forum like this. He stated that he feels the City needs to create some kind of format where that is possible. He stated that his remaining comments are related to the illegalities that the City is involved with that if they are not addressed can result in malfeasance and noted that the Council could be held accountable. He stated that he and Mr. Larson are not attacking the Council. He stated that the illegalities in the Smithtown Ponds project are that there are no construction zones and protected tree areas marked have had trees removed; silt fences were not placed around the property for the first three weeks of the project and did not protect the creek; a gravestone was discovered on the property which was not preserved and protected in the manner prescribed by law with construction continuing. He stated that he wanted to make sure that the Council was aware that there needs to be consequences for the City doing illegal acts and, since they do not appear to be regulating themselves, in his opinion, it is a real problem.

Temporary Acting Mayor Siakel noted that legal counsel was not present tonight to comment on some of these concerns raised by Mr. Yelsey so she asked staff to make sure that City Attorney Shepherd follows up on these concerns.

**4. PUBLIC HEARING**

**5. REPORTS AND PRESENTATIONS**

**A. Proclamation of Support for Veterans Celebration  
Chaska Area Fishing with Friends  
Veteran's Celebration Fishing and BBQ**

Temporary Acting Mayor Siakel read aloud a proclamation in recognition of the Chaska Area Fishing with Friends Veteran's Celebration.

**6. PARKS**

**A. Authorize Preparation of Plans and Specifications for Freeman Park Trail Improvement, City Project 22-05**

City Engineer Budde explained that the Three Rivers Park District had approached the City about adding a new trail head connection within Freeman Park. He stated that three alternative routes were discussed at a Park Commission meeting in July of 2021 and the Council was updated on their recommendation in August of 2021. He stated that staff has continued discussions with the Three Rivers Park District who have asked that the City take the lead on the design and administration of the project. He noted that the plan is for it to be combined with other planned trail rehabilitation efforts proposed by the City within the Park which has been included in the CIP for 2023. He explained that the trail head connection will be a ten foot wide trail from the existing Lake Minnetonka Regional Trail to the southern parking lot near Eureka Road. He noted that in the future there will be a joint powers agreement with the Three Rivers Park District to clarify the cost sharing and maintenance responsibilities. He explained that the City had budgeted \$200,000 and Three Rivers Park District had budgeted \$231,000 but anticipates that this number may change for 2023. He noted that Three Rivers Park District has agreed to pay for the engineering

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efforts. Staff recommends that the Council authorize preparation of final plans and specifications for this project. He stated that once the plans are fifty percent completed, they will follow up with the Parks Commission to seek their comments on the plans.

Councilmember Gorham asked for a refresher on the options that were considered and the preferred option location.

City Engineer Budde noted that the location was highlighted with the red dashed line on the drawings and noted that it hugs the tree line to the north and is north of the sporting fields.

Councilmember Gorham asked if the plans will affect the outfield fence.

City Engineer Budde stated that he did not believe so, but those details are yet to be determined.

Temporary Acting Mayor Siakel gave a brief overview of the past possibility of the City entering a cost sharing improvement to Freeman Park and presented the three options that were considered last year. She stated that she thinks this is a nice project and creates trails and walkability for the residents. She stated that she feels the City should be thankful that the Three Rivers Park District approached the City and asked them to participate in this project.

Councilmember Callies stated that the City has been discussing this for a long time and feels it should move forward because it will be an improvement.

**Gorham moved, Siakel seconded, Adopting RESOLUTION NO. 22-072, "A Resolution to Authorize Preparation of Final Plans and Specifications for the Freeman Park Trail Improvements Project, City Project 22-05". All in favor, motion passed.**

### **7. PLANNING**

### **8. ENGINEERING/PUBLIC WORKS**

### **9. GENERAL/NEW BUSINESS**

### **10. STAFF AND COUNCIL REPORTS**

#### **A. Administrator and Staff**

Interim City Administrator Shukle stated that Baker Tilly had received fifty applications for the City Administrator position and are currently in the process of narrowing the prospective list down to about eighteen candidates. He stated that once those candidates are narrowed down, the pertinent materials will be made available to the Council for review. He stated that Baker Tilly has asked the Council to take a look at this material and then determine the five candidates that they would like to interview.

Councilmember Gorham asked if the Council was expected to rank the candidates on their own or if it would take place during a workshop discussion.

Interim City Administrator Shukle stated that the idea would be that the Council rank them on their own individually and then discuss their choices at a Council meeting. He stated that the thought was that hopefully the Council would be able to come to a consensus on which five candidates

should be interviewed. He stated that they could schedule a special Council meeting or work session to discuss this but noted that the agenda for the Council Work Session on August 22, 2022 is already full.

Temporary Acting Mayor Siakel stated that she would support a special meeting for this discussion because she does not want it to be a rushed decision.

**There was a Consensus of the Council to hold a special meeting in order to discussion the City Administrator candidates.**

Interim City Administrator Shukle stated that he wanted to make sure that not too much time is wasted in this process because the candidates may be considering other positions. He will share this information with Mayor Labadie and Councilmember Johnson and try to get a meeting scheduled as soon as possible.

City Engineer Budde stated that the Grant Steet project will be paved today. He stated that over the last week the contractor made the connection on the Shorewood Oaks project which had the sump pumps running over into the pipe. He stated that is pretty much functioning and the drainage streams are separate but will ultimately be fully working once Smithtown Ponds is excavated. He stated that for the Smithtown Ponds project they have had both the Minnesota Pollution Control Agency and the Minnehaha Creek Watershed out to do site inspections which have passed, and no concerns were raised. He stated that he is not concerned about any of the silt fencing or erosion control on this project. He stated that in relation to the headstone that was encountered, as soon as they knew about it, their archeologist was on site and did some additional research and also had contact with the State archeologist. He stated that they received approval to keep moving ahead within a few days of identifying it. He stated that this was purely on the piece north of the trail where no excavation has yet happened. He stated that the City has met all the requirements and done their due diligence on that issue. He stated that it ended up being a redundant gravestone that had been re-engraved and placed in St. Cloud. He stated that essentially the gravestone was obsolete and was given back to the property owner. He noted that Mr. Yelsey had received an e-mail shortly after this incident happened, so he was aware that the City was looking into this issue.

Planning Director Darling stated that the Pesticide Management Auditing Plan will be sent to the Parks Commission with their next meeting packet. She explained that they will have a full month to review the information and will be able to discuss details with the consultant at the September 13, 2022 meeting. She noted that the public would be welcomed at that meeting.

**B. Mayor and City Council**

Councilmember Gorham stated that he would second the sentiment shared by Temporary Acting Mayor Siakel regarding Parks and Recreation Director Grout because she will definitely be missed.

**11. ADJOURN**

**Gorham moved, Callies seconded, Adjourning the City Council Regular Meeting of August 8, 2022, at 7:36 P.M. All in favor, motion passed.**

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**ATTEST:**

Debbie Siakel, Acting Mayor

Sandie Thone, City Clerk

DRAFT



#2 B

MEETING TYPE  
Regular Meeting

## City of Shorewood Council Meeting Item

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**Title / Subject:** Verified Claims

**Meeting Date:** August 22, 2022

**Prepared by:** Michelle Nguyen, Senior Accountant  
Joe Rigdon, Finance Director

**Attachments:** Claims lists

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**Policy Consideration:**

Should the attached claims against the City of Shorewood be paid?

**Background:**

Claims for council authorization.

<b>67520 - 67535 &amp; ACH</b>	<b>587,060.50</b>
<b>Total Claims</b>	<b>\$587,060.50</b>

We have also included a payroll summary for the payroll period ending **August 14, 2022**

**Financial or Budget Considerations:**

These expenditures are reasonable and necessary to provide services to our residents and funds are budgeted and available for these purposes.

**Options:**

The City Council may accept the staff recommendation to pay these claims or may reject any expenditure it deems not in the best interest of the city.

**Recommendation / Action Requested:**

Staff recommends approval of the claims list as presented.

**Next Steps and Timelines:**

Checks will be distributed following approval.

# Payroll

## G/L Distribution Report

User: mnguyen  
Batch: 00002.08.2022 - PR-08-15-2022  
CITY OF SHOREWOOD



Account Number	Debit Amount	Credit Amount	Description
FUND 101	General Fund		
101-00-1010-0000	0.00	66,949.20	CASH AND INVESTMENTS
101-11-4103-0000	1,716.64	0.00	PART-TIME
101-11-4122-0000	131.31	0.00	FICA CONTRIB - CITY SHARE
101-13-4101-0000	8,666.95	0.00	FULL-TIME REGULAR
101-13-4102-0000	308.88	0.00	OVERTIME
101-13-4103-0000	898.56	0.00	PART-TIME
101-13-4121-0000	740.55	0.00	PERA CONTRIB - CITY SHARE
101-13-4122-0000	742.85	0.00	FICA CONTRIB - CITY SHARE
101-13-4131-0000	1,684.87	0.00	EMPLOYEE INSURANCE - CITY
101-13-4151-0000	73.46	0.00	WORKERS COMPENSATION
101-15-4101-0000	5,617.92	0.00	FULL-TIME REGULAR
101-15-4121-0000	421.33	0.00	PERA CONTRIB - CITY SHARE
101-15-4122-0000	432.30	0.00	FICA CONTRIB - CITY SHARE
101-15-4131-0000	641.58	0.00	EMPLOYEE INSURANCE - CITY
101-15-4151-0000	30.04	0.00	WORKERS COMPENSATION
101-18-4101-0000	8,318.89	0.00	FULL-TIME REGULAR
101-18-4103-0000	414.62	0.00	PART-TIME
101-18-4121-0000	655.05	0.00	PERA CONTRIB - CITY SHARE
101-18-4122-0000	605.41	0.00	FICA CONTRIB - CITY SHARE
101-18-4131-0000	1,416.57	0.00	EMPLOYEE INSURANCE - CITY
101-18-4151-0000	63.73	0.00	WORKERS COMPENSATION
101-24-4101-0000	3,576.53	0.00	FULL-TIME REGULAR
101-24-4121-0000	268.23	0.00	PERA CONTRIB - CITY SHARE
101-24-4122-0000	278.30	0.00	FICA CONTRIB - CITY SHARE
101-24-4131-0000	748.24	0.00	EMPLOYEE INSURANCE - CITY
101-24-4151-0000	19.81	0.00	WORKERS COMPENSATION
101-32-4101-0000	15,679.82	0.00	FULL-TIME REGULAR
101-32-4102-0000	873.12	0.00	OVERTIME
101-32-4105-0000	421.20	0.00	STREET PAGER PAY
101-32-4121-0000	1,273.07	0.00	PERA CONTRIB - CITY SHARE
101-32-4122-0000	1,200.76	0.00	FICA CONTRIB - CITY SHARE
101-32-4131-0000	1,738.28	0.00	EMPLOYEE INSURANCE - CITY
101-32-4151-0000	1,052.36	0.00	WORKERS COMPENSATION
101-33-4101-0000	178.36	0.00	FULL-TIME REGULAR



Account Number	Debit Amount	Credit Amount	Description
101-33-4121-0000	13.37	0.00	PERA CONTRIB - CITY SHARE
101-33-4122-0000	23.92	0.00	FICA CONTRIB - CITY SHARE
101-33-4131-0000	217.33	0.00	EMPLOYEE INSURANCE - CITY
101-33-4151-0000	17.49	0.00	WORKERS COMPENSATION
101-52-4101-0000	2,512.01	0.00	FULL-TIME REGULAR
101-52-4121-0000	188.41	0.00	PERA CONTRIB - CITY SHARE
101-52-4122-0000	185.94	0.00	FICA CONTRIB - CITY SHARE
101-52-4131-0000	612.64	0.00	EMPLOYEE INSURANCE - CITY
101-52-4151-0000	118.52	0.00	WORKERS COMPENSATION
101-53-4101-0000	1,789.46	0.00	FULL-TIME REGULAR
101-53-4121-0000	134.21	0.00	PERA CONTRIB - CITY SHARE
101-53-4122-0000	138.24	0.00	FICA CONTRIB - CITY SHARE
101-53-4131-0000	17.50	0.00	EMPLOYEE INSURANCE - CITY
101-53-4151-0000	90.57	0.00	WORKERS COMPENSATION
<b>FUND Total:</b>	<b>66,949.20</b>	<b>66,949.20</b>	
FUND 201	Shorewood Comm. & Event Center		
201-00-1010-0000	0.00	2,129.07	CASH AND INVESTMENTS
201-00-4101-0000	1,298.19	0.00	FULL-TIME REGULAR
201-00-4103-0000	467.04	0.00	PART-TIME
201-00-4121-0000	124.95	0.00	PERA CONTRIB - CITY SHARE
201-00-4122-0000	137.05	0.00	FICA CONTRIB - CITY SHARE
201-00-4131-0000	26.24	0.00	EMPLOYEE INSURANCE - CITY
201-00-4151-0000	75.60	0.00	WORKERS COMPENSATION
<b>FUND Total:</b>	<b>2,129.07</b>	<b>2,129.07</b>	
FUND 601	Water Utility		
601-00-1010-0000	0.00	8,349.79	CASH AND INVESTMENTS
601-00-4101-0000	5,270.37	0.00	FULL-TIME REGULAR
601-00-4102-0000	184.33	0.00	OVERTIME
601-00-4105-0000	421.26	0.00	WATER PAGER PAY
601-00-4121-0000	440.72	0.00	PERA CONTRIB - CITY SHARE
601-00-4122-0000	464.22	0.00	FICA CONTRIB - CITY SHARE
601-00-4131-0000	1,368.47	0.00	EMPLOYEE INSURANCE - CITY
601-00-4151-0000	200.42	0.00	WORKERS COMPENSATION
<b>FUND Total:</b>	<b>8,349.79</b>	<b>8,349.79</b>	
FUND 611	Sanitary Sewer Utility		
611-00-1010-0000	0.00	9,513.50	CASH AND INVESTMENTS
611-00-4101-0000	5,373.21	0.00	FULL-TIME REGULAR
611-00-4102-0000	1,316.45	0.00	OVERTIME
611-00-4105-0000	421.26	0.00	SEWER PAGER PAY

Account Number	Debit Amount	Credit Amount	Description
611-00-4121-0000	533.28	0.00	PERA CONTRIB - CITY SHARE
611-00-4122-0000	523.69	0.00	FICA CONTRIB - CITY SHARE
611-00-4131-0000	1,109.65	0.00	EMPLOYEE INSURANCE - CITY
611-00-4151-0000	235.96	0.00	WORKERS COMPENSATION
<b>FUND Total:</b>	<b>9,513.50</b>	<b>9,513.50</b>	
FUND 621	Recycling Utility		
621-00-1010-0000	0.00	559.83	CASH AND INVESTMENTS
621-00-4101-0000	409.64	0.00	FULL-TIME REGULAR
621-00-4121-0000	30.74	0.00	PERA CONTRIB - CITY SHARE
621-00-4122-0000	31.43	0.00	FICA CONTRIB - CITY SHARE
621-00-4131-0000	85.12	0.00	EMPLOYEE INSURANCE - CITY
621-00-4151-0000	2.90	0.00	WORKERS COMPENSATION
<b>FUND Total:</b>	<b>559.83</b>	<b>559.83</b>	
FUND 631	Storm Water Utility		
631-00-1010-0000	0.00	2,140.85	CASH AND INVESTMENTS
631-00-4101-0000	1,288.18	0.00	FULL-TIME REGULAR
631-00-4102-0000	289.66	0.00	OVERTIME
631-00-4121-0000	118.34	0.00	PERA CONTRIB - CITY SHARE
631-00-4122-0000	122.58	0.00	FICA CONTRIB - CITY SHARE
631-00-4131-0000	288.26	0.00	EMPLOYEE INSURANCE - CITY
631-00-4151-0000	33.83	0.00	WORKERS COMPENSATION
<b>FUND Total:</b>	<b>2,140.85</b>	<b>2,140.85</b>	
FUND 700	Payroll Clearing Fund		
700-00-1010-0000	89,642.24	0.00	CASH AND INVESTMENTS
700-00-2170-0000	0.00	42,981.59	GROSS PAYROLL CLEARING
700-00-2171-0000	0.00	10,152.32	HEALTH INSURANCE PAYABLE
700-00-2172-0000	0.00	6,269.87	FEDERAL WITHHOLDING PAYABLE
700-00-2173-0000	0.00	2,778.70	STATE WITHHOLDING PAYABLE
700-00-2174-0000	0.00	10,036.00	FICA/MEDICARE TAX PAYABLE
700-00-2175-0000	0.00	9,225.55	PERA WITHHOLDING PAYABLE
700-00-2176-0000	0.00	4,263.29	DEFERRED COMPENSATION
700-00-2177-0000	0.00	2,014.69	WORKERS COMPENSATION
700-00-2179-0000	0.00	183.33	SEC 125 DEP CARE REIMB PAYABLE
700-00-2183-0000	0.00	638.00	HEALTH SAVINGS ACCOUNT
700-00-2184-0000	0.00	826.90	DENTAL DELTA
700-00-2185-0000	0.00	272.00	DENTAL - UNION
<b>FUND Total:</b>	<b>89,642.24</b>	<b>89,642.24</b>	

Account Number	Debit Amount	Credit Amount	Description
<hr/>			
	<hr/>	<hr/>	
	<hr/>	<hr/>	
Report Total:	179,284.48	179,284.48	

# Accounts Payable

## Computer Check Proof List by Vendor

User: mnguyen  
 Printed: 08/15/2022 - 1:54PM  
 Batch: 00003.08.2022 - PR-08-15-2022



Invoice No	Description	Amount	Payment Date	Acct Number	Reference
Vendor: 4	AFSCME CO 5 MEMBER HEALTH FUND-UN			Check Sequence: 1	ACH Enabled: True
August-2022	PR Batch 00002.08.2022 Dental - Union	272.00	08/15/2022	700-00-2185-0000	PR Batch 00002.08.2022 Dental - Union
	Check Total:	272.00			
Vendor: 5	EFTPS - FEDERAL W/H			Check Sequence: 2	ACH Enabled: True
PR-08-15-2022	PR Batch 00002.08.2022 Federal Income Tax	6,269.87	08/15/2022	700-00-2172-0000	PR Batch 00002.08.2022 Federal Income T
PR-08-15-2022	PR Batch 00002.08.2022 FICA Employee Portio	4,066.88	08/15/2022	700-00-2174-0000	PR Batch 00002.08.2022 FICA Employee I
PR-08-15-2022	PR Batch 00002.08.2022 FICA Employer Portio	4,066.88	08/15/2022	700-00-2174-0000	PR Batch 00002.08.2022 FICA Employer I
PR-08-15-2022	PR Batch 00002.08.2022 Medicare Employee Pc	951.12	08/15/2022	700-00-2174-0000	PR Batch 00002.08.2022 Medicare Emplo
PR-08-15-2022	PR Batch 00002.08.2022 Medicare Employer Po	951.12	08/15/2022	700-00-2174-0000	PR Batch 00002.08.2022 Medicare Emplo
	Check Total:	16,305.87			
Vendor: 6	HEALTH PARTNERS-MEDICAL			Check Sequence: 3	ACH Enabled: True
August-2022	PR Batch 00002.08.2022 Health Insurance-HSA	5,734.26	08/15/2022	700-00-2171-0000	PR Batch 00002.08.2022 Health Insurance
August-2022	PR Batch 00002.08.2022 Health Ins - CoPay-2	4,418.06	08/15/2022	700-00-2171-0000	PR Batch 00002.08.2022 Health Ins - CoPa
	Check Total:	10,152.32			
Vendor: 1166	HEALTHPARTNER-DENTAL			Check Sequence: 4	ACH Enabled: True
August-2022	PR Batch 00002.08.2022 Dental - Non Union	826.90	08/15/2022	700-00-2184-0000	PR Batch 00002.08.2022 Dental - Non Uni
August-2022-CB	PR Batch 00002.08.2022 Dental - Cobra	45.94	08/15/2022	700-00-2184-0000	PR Batch 00002.08.2022 Dental - Non Uni
	Check Total:	872.84			
Vendor: 2	ICMA RETIREMENT TRUST-302131-457			Check Sequence: 5	ACH Enabled: True
PR-08-15-2022	PR Batch 00002.08.2022 Deferred Comp-ICMA	2,955.13	08/15/2022	700-00-2176-0000	PR Batch 00002.08.2022 Deferred Comp-I
PR-08-15-2022	PR Batch 00002.08.2022 Deferred Comp-ICMA	83.16	08/15/2022	700-00-2176-0000	PR Batch 00002.08.2022 Deferred Comp-I
	Check Total:	3,038.29			
Vendor: 11	MINNESOTA DEPARTMENT OF REVENUE			Check Sequence: 6	ACH Enabled: True
PR-08-15-2022	PR Batch 00002.08.2022 State Income Tax	2,778.70	08/15/2022	700-00-2173-0000	PR Batch 00002.08.2022 State Income Tax

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Check Total:	2,778.70			
Vendor: 1091	MSRS-MN DEFERRED COMP PLAN 457			Check Sequence: 7	ACH Enabled: True
PR-08-15-2022	PR Batch 00002.08.2022 Deferred Comp-MSRS	1,225.00	08/15/2022	700-00-2176-0000	PR Batch 00002.08.2022 Deferred Comp-1
	Check Total:	1,225.00			
Vendor: 665	OPTUM BANK			Check Sequence: 8	ACH Enabled: True
PR-08-15-2022	PR Batch 00002.08.2022 HSA-OPTUM BANK	638.00	08/15/2022	700-00-2183-0000	PR Batch 00002.08.2022 HSA-OPTUM B.
	Check Total:	638.00			
Vendor: 9	PERA			Check Sequence: 9	ACH Enabled: True
PR-08-15-2022	PR Batch 00002.08.2022 MN-PERA Deduction	4,283.30	08/15/2022	700-00-2175-0000	PR Batch 00002.08.2022 MN-PERA Dedu
PR-08-15-2022	PR Batch 00002.08.2022 MN PERA Benefit Em	4,942.25	08/15/2022	700-00-2175-0000	PR Batch 00002.08.2022 MN PERA Bene1
	Check Total:	9,225.55			
	Total for Check Run:	44,508.57			
	Total of Number of Checks:	9			

# Accounts Payable

## Computer Check Proof List by Vendor

User: mnguyen  
Printed: 08/17/2022 - 2:06PM  
Batch: 00004.08.2022 - AP-08-22-2022



Invoice No	Description	Amount	Payment Date	Acct Number	Reference
Vendor: 462	A1 RENT IT - 3607			Check Sequence: 1	ACH Enabled: False
172163-1	Propane	25.00	08/22/2022	601-00-4245-0000	
	Check Total:	25.00			
Vendor: 887	ADVANCED ENGINEERING & ENVIRONMI			Check Sequence: 2	ACH Enabled: False
82166	General SCADA Svcs	480.00	08/22/2022	601-00-4400-0000	
	Check Total:	480.00			
Vendor: 105	ADVANCED IMAGING SOLUTIONS			Check Sequence: 3	ACH Enabled: True
INV283316	Konica Minolta/C658 Copier	39.00	08/22/2022	101-19-4221-0000	
	Check Total:	39.00			
Vendor: 111	AMERICAN ENGINEERING TESTING, INC.			Check Sequence: 4	ACH Enabled: True
INV-085983	2022 Mill & Overlay	2,403.90	08/22/2022	416-00-4680-0000	
	Check Total:	2,403.90			
Vendor: 677	BOLTON & MENK, INC.			Check Sequence: 5	ACH Enabled: True
290990	Lift Station 9 Rehabilitation	947.00	08/22/2022	611-00-4303-0000	
294814	Mill & Overlay-2021	1,256.00	08/22/2022	413-00-4680-0000	
294815	Catchbasin & Culvert Repairs-2022	5,345.00	08/22/2022	631-00-4303-0000	
294816	General Engineering	7,869.13	08/22/2022	101-31-4303-0000	
294817	Mill & Overlay-2022	22,679.50	08/22/2022	416-00-4303-0000	
294818	Pavement Marking	902.00	08/22/2022	404-00-4620-0007	
294819	5815 Club Lane	531.00	08/22/2022	101-00-3414-0000	
294820	Beverly Drive Wetland	216.00	08/22/2022	631-00-4303-0000	
294821	Birch Bluff St-Utility Imprvmt	24,228.00	08/22/2022	414-00-4303-0000	
294822	Christmas Lake Boat Landing	146.00	08/22/2022	402-00-4400-0000	
294823	Data Requests	146.00	08/22/2022	101-31-4303-0000	
294824	GIS-Utilities-Stormwater	1,109.50	08/22/2022	631-00-4303-0000	
294824	GIS-Utilities-Water	696.00	08/22/2022	601-00-4303-0000	

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
294824	GIS-Utilities-Sewer	270.00	08/22/2022	611-00-4303-0000	
294824	GIS-Utilities-Street	1,011.00	08/22/2022	404-00-4303-0000	
294825	Glen Rd-Manitou Ln-Amlee Rd St	3,932.00	08/22/2022	407-00-4303-0000	
294826	Grant Street Drainage	14,453.46	08/22/2022	631-00-4303-0000	
294827	Lift Station 10 Rehabilitation	1,151.10	08/22/2022	611-00-4303-0000	
294828	Lift Station 9 Rehabilitation	555.00	08/22/2022	611-00-4303-0000	
294829	Maple Shores Development	405.00	08/22/2022	101-00-3414-0000	
294830	Mary Lake Outlet	130.00	08/22/2022	631-00-4303-0000	
294831	MS4 Administration	1,094.00	08/22/2022	631-00-4302-0009	
294832	Shady Island Bridge Forcemain	142.00	08/22/2022	611-00-4303-0000	
294833	Shorewood Ln Ravine Restore	496.00	08/22/2022	631-00-4303-0000	
294834	Silverwood Park Improvements	528.00	08/22/2022	402-00-4400-0000	
294835	Smithtown Pond	5,594.46	08/22/2022	631-00-4303-0000	
294836	Strawberry Ln St Reconst & Trl	22,748.00	08/22/2022	409-00-4303-0000	
294837	Stream Restoration	3,018.00	08/22/2022	631-00-4303-0000	
294838	Walnut Grove Villas	1,700.00	08/22/2022	101-00-3414-0000	
	Check Total:	123,299.15			
Vendor: 1221	CAMPBELL KNOTSON P.A.			Check Sequence: 6	ACH Enabled: True
3526-0000G-7	General Matters/Administration	4,213.98	08/22/2022	101-16-4304-0000	
3526-0001G-7	Planning & Zoning	1,402.50	08/22/2022	101-18-4304-0000	
3526-0002G-7	Public Works	231.00	08/22/2022	101-16-4304-0000	
3526-0004G-6	Ugerots Litigation	66.00	08/22/2022	101-16-4304-0000	
3526-0999G-10	Prosecution	3,483.93	08/22/2022	101-16-4304-0000	
	Check Total:	9,397.41			
Vendor: 1081	COMMERCIAL ASPHALT CO.			Check Sequence: 7	ACH Enabled: False
220731	Roadway Patching Materials	2,365.74	08/22/2022	101-32-4250-0000	
	Check Total:	2,365.74			
Vendor: 167	ECM PUBLISHERS INC			Check Sequence: 8	ACH Enabled: True
905287	Ord. No. 590	227.55	08/22/2022	101-13-4351-0000	
905487	Ord. No. 590	151.05	08/22/2022	101-13-4351-0000	
906360	HP Chamberlain Capit	61.50	08/22/2022	101-18-4351-0000	
	Check Total:	440.10			
Vendor: 647	EDGEWOOD MARKETING			Check Sequence: 9	ACH Enabled: False
75050	Safety Camp - Event Programs	344.00	08/22/2022	101-53-3478-0000	

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Check Total:	344.00			
Vendor: 198	G.F. JEDLICKI, INC.			Check Sequence: 10	ACH Enabled: False
PV#4Final-BD&CL	PV#4-Final - Beverly Drive & Cajed Lane Draia	19,661.77	08/22/2022	631-00-4680-0000	
	Check Total:	19,661.77			
Vendor: 211	HAWKINS, INC.			Check Sequence: 11	ACH Enabled: True
6259830	Chemicals Water Treatment	1,129.13	08/22/2022	601-00-4245-0000	
6263659	Chemicals Water Treatment	80.00	08/22/2022	601-00-4245-0000	
	Check Total:	1,209.13			
Vendor: 861	CHRISTOPHER HEITZ			Check Sequence: 12	ACH Enabled: True
08-03-2022-Joey	Foods - Joey Nova's	126.68	08/22/2022	101-32-4245-0000	
	Check Total:	126.68			
Vendor: 471	HENNEPIN COUNTY ACCOUNTS RECEIVABLE			Check Sequence: 13	ACH Enabled: False
1000189371	Assessment Fees -1st Half Payment 8/1/21-7/31/	77,500.00	08/22/2022	101-16-4400-0000	
	Check Total:	77,500.00			
Vendor: 985	HENNEPIN COUNTY ACCOUNTS RECEIVABLE			Check Sequence: 14	ACH Enabled: False
1000190031	REC0001086-View Recorded Documents	30.00	08/22/2022	101-31-4400-0000	RecordEase Payment
	Check Total:	30.00			
Vendor: 215	HENNEPIN COUNTY INFORMATION TECHNOLOGY			Check Sequence: 15	ACH Enabled: True
1000189754	Monthly Radio Fleet & MESB	205.92	08/22/2022	101-32-4321-0000	
	Check Total:	205.92			
Vendor: 1188	KIDCREATE STUDIO			Check Sequence: 16	ACH Enabled: False
14955470	Summer Program	217.00	08/22/2022	101-53-4248-0000	
	Check Total:	217.00			
Vendor: 1274	SARAH & BJORN LARSON			Check Sequence: 17	ACH Enabled: False
5750SmithtownCi	Withdraw Variance Application - Refund - 5750	400.00	08/22/2022	101-00-3413-0000	
	Check Total:	400.00			
Vendor: 1090	LENNAR HOMES			Check Sequence: 18	ACH Enabled: False



Invoice No	Description	Amount	Payment Date	Acct Number	Reference
24400BrassieCir	Escrow Refund - 24400 Brassie Circle	7,350.00	08/22/2022	880-00-2200-0000	
25160BentgrassW	Escrow Refund - 25160 Bentgrass Way	13,050.00	08/22/2022	880-00-2200-0000	
25180BentgrassW	Escrow Refund - 25180 Bentgrass Way	7,350.00	08/22/2022	880-00-2200-0000	
5725FeatherieBa	Escrow Refund - 5725 Featherie Bay	13,050.00	08/22/2022	880-00-2200-0000	
	Check Total:	40,800.00			
Vendor: 279	METROPOLITAN COUNCIL (WASTEWATE			Check Sequence: 19	ACH Enabled: True
1143832	Monthly Waste Water Svc	89,237.49	08/22/2022	611-00-4385-0000	
	Check Total:	89,237.49			
Vendor: 1039	MID-COUNTY COOP			Check Sequence: 20	ACH Enabled: False
55064	Fuel	1,026.85	08/22/2022	101-32-4212-0000	
55065	Fuel	591.10	08/22/2022	101-32-4212-0000	
	Check Total:	1,617.95			
Vendor: 813	MIDWAY FORD COMPANY			Check Sequence: 21	ACH Enabled: False
132014	2022 FORD - F250	36,888.29	08/22/2022	403-00-4640-0000	
	Check Total:	36,888.29			
Vendor: 305	MNSPECT, LLC			Check Sequence: 22	ACH Enabled: True
9057	Inspection Services	1,997.50	08/22/2022	101-24-4400-0000	
	Check Total:	1,997.50			
Vendor: 325	ON SITE SANITATION -TWIN CITIES			Check Sequence: 23	ACH Enabled: True
1379145	Cathcart Park-26655 W- 62nd St	78.21	08/22/2022	101-52-4410-0000	
1379146	Freeman Park-6000 Eureka Rd	426.00	08/22/2022	101-52-4410-0000	
1379147	Silverwood Pk-5755 Covington R	78.21	08/22/2022	101-52-4410-0000	
1379148	South Shore-5355 St Albans Bay	78.21	08/22/2022	101-52-4410-0000	
1379149	Christmas Lk Rd-5625 Merry Ln	274.85	08/22/2022	101-52-4410-0000	
	Check Total:	935.48			
Vendor: 903	PERRILL			Check Sequence: 24	ACH Enabled: True
258079	ROWay Web App-Monthly	75.00	08/22/2022	611-00-4400-0000	
258079	ROWay Web App-Monthly	75.00	08/22/2022	601-00-4400-0000	
	Check Total:	150.00			
Vendor: 1176	SCHNEIDER EXCAVATING & GRADING, IN			Check Sequence: 25	ACH Enabled: False
PV#2-FreemanPrk	PV#2-Final - Freeman Park Drainage Improvem	3,367.78	08/22/2022	402-00-4680-0000	

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Check Total:	3,367.78			
Vendor: 1248	EDWARD J. SHUKLE, Jr.			Check Sequence: 26	ACH Enabled: True
08-16-2022	Interim City Administrator Svc 08/03/22-08/16/2	3,285.00	08/22/2022	101-13-4400-0000	
	Check Total:	3,285.00			
Vendor: 360	SOUTH LAKE MINNETONKA POLICE DEPA			Check Sequence: 27	ACH Enabled: False
Sept-2022-OB	Monthly-Operating Budget Exp	117,010.25	08/22/2022	101-21-4400-0000	
	Check Total:	117,010.25			
Vendor: 1101	SPRINGBROOK HOLDING COMPANY LLC			Check Sequence: 28	ACH Enabled: True
INV-010129	Springbrook-CivicPay Fees	236.00	08/22/2022	621-00-4450-0000	
INV-010129	Springbrook-CivicPay Fees	236.00	08/22/2022	631-00-4450-0000	
INV-010129	Springbrook-CivicPay Fees	236.00	08/22/2022	611-00-4450-0000	
INV-010129	Springbrook-CivicPay Fees	236.00	08/22/2022	601-00-4450-0000	
	Check Total:	944.00			
Vendor: 1275	THOMAS H. OLIVE LAW PA			Check Sequence: 29	ACH Enabled: False
4865FemcroftDr	Escrow Release-Stephan Home Construction-486	167.82	08/22/2022	880-00-2200-0000	
	Check Total:	167.82			
Vendor: 694	TIMESAVER OFF SITE SECRETARIAL, INC.			Check Sequence: 30	ACH Enabled: True
M27548	Council Meeting	154.00	08/22/2022	101-13-4400-0000	
M27548	Planning Meeting	316.00	08/22/2022	101-18-4400-0000	
	Check Total:	470.00			
Vendor: 421	VERIZON WIRELESS			Check Sequence: 31	ACH Enabled: False
9912467495	Sewer & Water - Acct842017386	81.08	08/22/2022	601-00-4321-0000	Acct #842017386-00001
9912467495	Sewer & Water - Acct842017386	81.10	08/22/2022	611-00-4321-0000	Acct #842017386-00001
9912467495	Sewer & Water - Acct842017386	81.08	08/22/2022	631-00-4321-0000	Acct #842017386-00001
	Check Total:	243.26			
Vendor: 415	WARNER CONNECT			Check Sequence: 32	ACH Enabled: True
29940943	Network Maint Services	4,653.12	08/22/2022	101-19-4321-0000	
	Check Total:	4,653.12			
Vendor: 408	WM MUELLER & SONS INC			Check Sequence: 33	ACH Enabled: True

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
279263	Road Maint	397.11	08/22/2022	101-32-4250-0000	
279578	Road Maint	1,970.67	08/22/2022	101-32-4250-0000	
	Check Total:	2,367.78			
Vendor: 410	WSB AND ASSOCIATES, INC.			Check Sequence: 34	ACH Enabled: True
R-014590-000-35	Woodside Rd Street Reclamation	179.25	08/22/2022	408-00-4303-0000	
	Check Total:	179.25			
Vendor: 411	XCEL ENERGY, INC.			Check Sequence: 35	ACH Enabled: True
791451584	5655 Merry Lane	32.05	08/22/2022	101-52-4380-0000	5655 Merry Lane
791601255	5500 Old Market Rd	60.11	08/22/2022	601-00-4398-0000	5500 Old Market Rd
	Check Total:	92.16			
	Total for Check Run:	542,551.93			
	Total of Number of Checks:	35			



## City of Shorewood Council Meeting Item

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**Title/Subject:** Accept Low Quote for 2022 Catch Basin & Culvert Project  
City Project 22-04  
**Meeting Date:** Monday, August 22, 2022  
**Prepared by:** Andrew Budde, City Engineer  
**Reviewed by:** Larry Brown, Director of Public Works  
**Attachments:** Quote Abstract, Final Plans, Resolution

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**Background:** Annually, the City completes a catch basin and culvert repair project on local roadways to improve drainage and replace failing infrastructure. The city identified the culvert along Rustic Way, as shown in Attachment 1, as the highest priority in 2022.

Quotes for the project were requested from contractors and opened on August 16, 2022. A total of five quotes were received and the low quote was submitted by Schneider Excavating from Norwood Young America, MN. The quotes are summarized below:

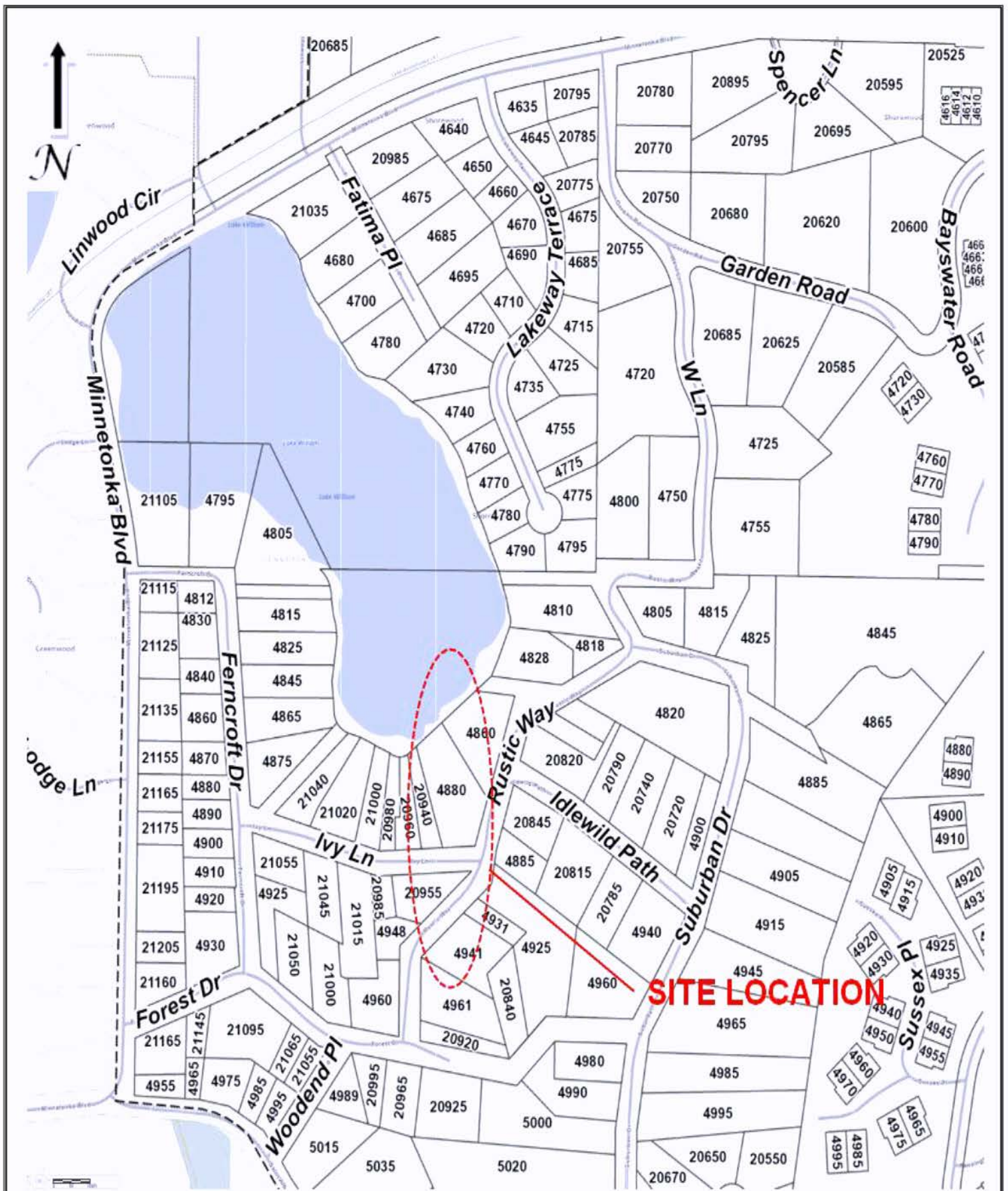
<b>Contractor:</b>	<b>Total Quote Amount:</b>
Schneider Excavating & Grading, Inc.	\$68,061.50
Bituminous Roadways, Inc.	\$74,845.00
Valley Paving, Inc.	\$81,565.00
Kusske Construction Company	\$83,380.00
Minger Construction Company	\$84,135.50

Staff has reviewed all the quotes for accuracy and the quoting process was competitive. Work for these repairs is to be completed by November 23, 2022. Permits have been submitted to the Minnehaha Creek Watershed District. Final approval from the MCWD is anticipated prior to the project work starting.

**Financial or Budget Considerations:** Utilizing the low quote and accounting for engineering, survey, and administrative the total project cost is anticipated to be \$80,000. The city has budgeted \$30,000 for the 2022 CB & Culvert Repair project in the CIP and has also budgeted \$100,000 for Storm Pond Sediment Cleaning & Disposal. Staff proposes utilizing the \$30,000 as budgeted and \$50,000 from the Storm Pond Sediment Cleaning & Disposal for these efforts. The remaining \$50,000 from the Storm Pond Sediment Cleaning & Disposal would be carried over to the 2023 CIP item of the same name.

**Recommendation/Action Requested:** Staff recommends approval of the Resolution that awards the 2022 Catch Basin & Culvert Repair & Replacement Project the amount of \$68,061.50 to the low bidder, Schneider Excavating & Grading, Inc.





**CITY OF SHOREWOOD**

**ATTACHMENT 1  
SITE LOCATION**



**City of Shorewood**

**Project Bid Tabulation**

**2022 CATCH BASIN & CULVERT REPAIR & REPLACEMENT**

BMI No. 0C1.126810

Soliciting agent:

Bolton & Menk, Inc.

Contact:

Andrew Budde, P.E.

Bid Date:

08/16/2022 1:00 PM CDT

Firm	Amount Base Bid
Schneider Excavating, Inc.	\$68,061.50
Bituminous Roadway, Inc.	\$74,845.00
Valley Paving, Inc.	\$81,565.00
Kusske Construction Company	\$83,380.00
Minger Construction Company	\$84,135.50

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Engineer's Opinion of Cost

\$87,171.25

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*I hereby certify that this is a true and correct tabulation of the bids as received on August 16, 2022 for the 2022 Catch Basin & Culvert Repair & Replacement, City Project 22-04.*

Andrew Budde

\_\_\_\_\_  
Andrew Budde, P.E., City Engineer

*Sandie Thone*

\_\_\_\_\_  
Sandie Thone, City Clerk

ABSTRACT OF BIDS  
2022 CATCH BASIN & CULVERT REPAIR & REPLACEMENT  
CITY OF SHOREWOOD, MINNESOTA  
PROJECT NO. OC1.126810

				ENGINEER'S ESTIMATE		1 SCHNEIDER EXCAVATING		2 BITUMINOUS ROADWAYS		3 VALLEY PAVING		4 KUSSE CONSTRUCTION		5 MINGER CONSTRUCTION	
ITEM NO.	BID ITEM	APPROX. QUAN.	UNIT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT
PRORATA ITEMS															
1	MOBILIZATION	1	LUMP SUM	\$4,000.00	\$4,000.00	\$8,500.00	\$8,500.00	\$2,375.00	\$2,375.00	\$8,900.00	\$8,900.00	\$14,500.00	\$14,500.00	\$6,500.00	\$6,500.00
2	TRAFFIC CONTROL	1	LUMP SUM	\$1,200.00	\$1,200.00	\$1,500.00	\$1,500.00	\$2,970.00	\$2,970.00	\$1,200.00	\$1,200.00	\$3,500.00	\$3,500.00	\$3,000.00	\$3,000.00
3	STREET SWEEPER (WITH PICKUP BROOM)	6	HOURL	\$275.00	\$1,650.00	\$200.00	\$1,200.00	\$166.00	\$996.00	\$180.00	\$1,080.00	\$150.00	\$900.00	\$150.00	\$900.00
REMOVALS															
4	CLEAR & GRUB TREE	4	EACH	\$1,200.00	\$4,800.00	\$875.00	\$3,500.00	\$594.00	\$2,376.00	\$1,000.00	\$4,000.00	\$985.00	\$3,940.00	\$2,000.00	\$8,000.00
5	REMOVE DRAINAGE STRUCTURE	2	EACH	\$800.00	\$1,600.00	\$200.00	\$400.00	\$655.00	\$1,310.00	\$875.00	\$1,750.00	\$1,125.00	\$2,250.00	\$500.00	\$1,000.00
6	REMOVE SEWER PIPE (STORM)	80	LIN FT	\$20.00	\$1,600.00	\$10.00	\$800.00	\$13.00	\$1,040.00	\$19.00	\$1,520.00	\$21.00	\$1,680.00	\$30.00	\$2,400.00
7	REMOVE BITUMINOUS PAVEMENT	140	SQ YD	\$25.00	\$3,500.00	\$17.50	\$2,450.00	\$8.50	\$1,190.00	\$23.00	\$3,220.00	\$7.50	\$1,050.00	\$24.00	\$3,360.00
ROADWAY CONSTRUCTION															
8	AGGREGATE BASE (CV) CLASS 5 (100% CRUSHED LIMESTONE)	70	TON	\$90.00	\$6,300.00	\$20.00	\$1,400.00	\$42.00	\$2,940.00	\$68.00	\$4,760.00	\$38.00	\$2,660.00	\$57.00	\$3,990.00
9	TYPE SP 9.5 WEARING COURSE MIX (2,C)	30	TON	\$325.00	\$9,750.00	\$270.00	\$8,100.00	\$295.00	\$8,850.00	\$295.00	\$8,850.00	\$400.00	\$12,000.00	\$250.00	\$7,500.00
10	GEOTEXTILE FABRIC TYPE 5	115	SQ YD	\$10.00	\$1,150.00	\$3.50	\$402.50	\$3.50	\$402.50	\$4.00	\$460.00	\$5.00	\$575.00	\$3.00	\$345.00
11	SITE GRADING	1	LUMP SUM	\$5,000.00	\$5,000.00	\$5,500.00	\$5,500.00	\$2,285.00	\$2,285.00	\$2,000.00	\$2,000.00	\$2,500.00	\$2,500.00	\$7,500.00	\$7,500.00
12	CONCRETE CURB & GUTTER DESIGN B618	170	LIN FT	\$65.00	\$11,050.00	\$55.00	\$9,350.00	\$62.00	\$10,540.00	\$60.00	\$10,200.00	\$65.00	\$11,050.00	\$70.00	\$11,900.00
UTILITIES															
13	12" RC PIPE SEWER DES 3006 CL V	72	LIN FT	\$125.00	\$9,000.00	\$69.00	\$4,968.00	\$168.00	\$12,096.00	\$125.00	\$9,000.00	\$80.00	\$5,760.00	\$121.50	\$8,748.00
14	12" RC PIPE APRON W/TRASH GUARD	1	EACH	\$3,250.00	\$3,250.00	\$2,802.00	\$2,802.00	\$2,255.00	\$2,255.00	\$2,500.00	\$2,500.00	\$3,775.00	\$3,775.00	\$3,500.00	\$3,500.00
15	EXTERNAL CHIMNEY SEAL	2	EACH	\$425.00	\$850.00	\$300.00	\$600.00	\$350.00	\$700.00	\$325.00	\$650.00	\$565.00	\$1,130.00	\$450.00	\$900.00
16	CASTING ASSEMBLY (R-3067-VB)	2	EACH	\$2,500.00	\$5,000.00	\$1,000.00	\$2,000.00	\$1,095.00	\$2,190.00	\$1,600.00	\$3,200.00	\$1,040.00	\$2,080.00	\$800.00	\$1,600.00
17	HAND PLACED RIPRAP CL 2	12	CU YD	\$250.00	\$3,000.00	\$150.00	\$1,800.00	\$119.00	\$1,428.00	\$225.00	\$2,700.00	\$130.00	\$1,560.00	\$200.00	\$2,400.00
18	CONSTRUCT DRAINAGE STRUCTURE DESIGN 2"X3"	3	LIN FT	\$1,250.00	\$3,750.00	\$805.00	\$2,415.00	\$1,360.00	\$4,080.00	\$1,100.00	\$3,300.00	\$1,060.00	\$3,180.00	\$700.00	\$2,100.00
19	CONSTRUCT DRAINAGE STRUCTURE DES 48-4022	8	LIN FT	\$800.00	\$6,400.00	\$678.00	\$5,424.00	\$1,420.00	\$11,360.00	\$900.00	\$7,200.00	\$755.00	\$6,040.00	\$650.00	\$5,200.00
RESTORATION															
20	STORM DRAIN INLET PROTECTION	2	EACH	\$275.00	\$550.00	\$250.00	\$500.00	\$232.00	\$464.00	\$400.00	\$800.00	\$200.00	\$400.00	\$190.00	\$380.00
21	COMMON TOPSOIL BORROW (LV)	25	CU YD	\$85.00	\$2,125.00	\$35.00	\$875.00	\$46.00	\$1,150.00	\$73.00	\$1,825.00	\$53.00	\$1,325.00	\$35.00	\$875.00
22	ROLLED EROSION PREVENTION CAT. 10	85	SQ YD	\$3.25	\$276.25	\$15.00	\$1,275.00	\$3.50	\$297.50	\$10.00	\$850.00	\$5.00	\$425.00	\$5.50	\$467.50
23	ROLLED EROSION PREVENTION CAT. 25	120	SQ YD	\$4.75	\$570.00	\$15.00	\$1,800.00	\$5.00	\$600.00	\$10.00	\$1,200.00	\$5.00	\$600.00	\$8.50	\$1,020.00
24	SEDIMENT CONTROL LOG TYPE WOOD FIBER	100	LIN FT	\$8.00	\$800.00	\$5.00	\$500.00	\$9.50	\$950.00	\$4.00	\$400.00	\$5.00	\$500.00	\$5.50	\$550.00
TOTAL BID:					\$87,171.25		\$68,061.50		\$74,845.00		\$81,565.00		\$83,380.00		\$84,135.50

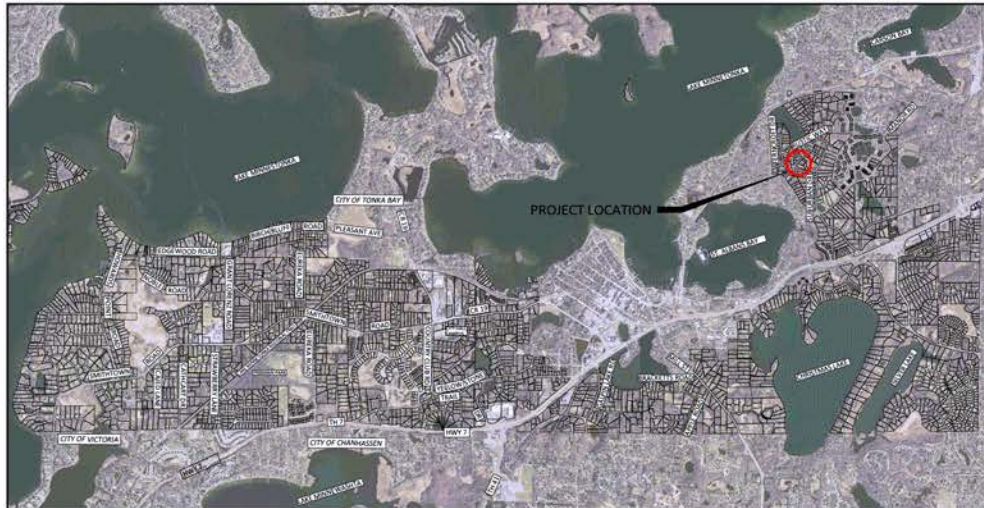


# CITY OF SHOREWOOD

## CONSTRUCTION PLANS FOR

# 2022 CATCH BASIN & CULVERT REPAIR & REPLACEMENT

AUGUST 2022



### SHEET INDEX

SHEET NUMBER	SHEET TITLE
C1.01	TITLE SHEET
C1.02	LEGEND
C1.03	RUSTIC ROAD CONSTRUCTION PLANS
C1.04	CONSTRUCTION DETAILS

MAP OF THE  
CITY OF SHOREWOOD  
HENNEPIN COUNTY, MN



NOTE: EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN PROVIDED BY THE UTILITY OWNER. THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS PRIOR TO COMMENCING CONSTRUCTION AS REQUIRED BY STATE LAW. NOTIFY Gopher State One Call: 1-800-252-3166 OR 651-454-0002.

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D UNLESS OTHERWISE NOTED. THIS UTILITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

PHILIP J. SCHLUFF  
S.E.  
08/01/2022



2638 SHADOW LANE, SUITE 200  
CHRYSLER, MINNESOTA 55118  
Phone: (762) 448-8838  
Email: Chaska@bolton-menk.com  
www.bolton-menk.com

NO.	DATE	DESCRIPTION
1	08/01/2022	ISSUED FOR PERMIT

CITY OF SHOREWOOD  
2022 CATCH BASIN & CULVERT REPAIR & REPLACEMENT  
TITLE SHEET

SHEET  
C1.01

## EXISTING TOPOGRAPHIC SYMBOLS

ACCESS GRATE	REGULATION STATION GAS
AIR CONDITION UNIT	SATELLITE DISH
ANTENNA	SIGN NON TRAFFIC
AUTO SPRINKLER CONNECTION	SIGN TRAFFIC
BARRICADE PERMANENT	SIGNAL CONTROL CABINET
BASKETBALL POST	SOIL BORING
BENCH	SIREN
BIRD FEEDER	TELEPHONE BOOTH
BOLLARD	TILE INLET
BUSH	TILE OUTLET
CATCH BASIN RECTANGULAR CASTING	TILE RISER
CATCH BASIN CIRCULAR CASTING	TRANSFORMER-ELECTRIC
CURB STOP	TREE-CONIFEROUS
CLEAN OUT	TREE-DEAD
CULVERT END	TREE-DECIDUOUS
DRINKING FOUNTAIN	TREE STUMP
DOWN SPOUT	TRAFFIC ARM BARRIER
FIRE HYDRANT	TRAFFIC SIGNAL
FLAG POLE	TRASH CAN
FLARED END / APRON	UTILITY MARKER
FUEL PUMP	VALVE
GRIFF	VALVE POST INDICATOR
GUY WIRE ANCHOR	VALVE VAULT
HANDHOLE	VAULT
HANDICAP SPACE	VENT PIPE
IRRIGATION SPRINKLER HEAD	WATER SPOUT
IRRIGATION VALVE BOX	WELL
LIFT STATION CONTROL PANEL	WETLAND
LIFT STATION	WET WELL
LIGHT ON POLE	YARD HYDRANT
LIGHT-GROUND	
MAILBOX	
MANHOLE-COMMUNICATION	
MANHOLE-ELECTRIC	
MANHOLE-GAS	
MANHOLE-HEAT	
MANHOLE-SANITARY SEWER	
MANHOLE-STORM SEWER	
MANHOLE-UTILITY	
MANHOLE-WATER	
METER	
ORDER MICROPHONE	
PARKING METER	
PAVEMENT MARKING	
PEDESTAL-COMMUNICATION	
PEDESTAL-ELECTRIC	
PEDESTALIAN PUSH BUTTON	
PIEDIC TABLE	
POLE-UTILITY	
POLE-BRACE	
POST	
RAILROAD SIGNAL POLE	

## PROPOSED TOPOGRAPHIC SYMBOLS

CLEANOUT
MANHOLE
LIFT STATION
STORM SEWER CIRCULAR CASTING
STORM SEWER RECTANGULAR CASTING
STORM SEWER FLARED END / APRON
STORM SEWER OUTLET STRUCTURE
STORM SEWER OVERFLOW STRUCTURE
CURB BOX
FIRE HYDRANT
WATER VALVE
WATER REDUCER
WATER BEND
WATER TEE
WATER CROSS
WATER SLEEVE
WATER CAP / PLUG
RIP RAP
DRAINAGE FLOW
TRAFFIC SIGNS

## SURVEY SYMBOLS

BENCHMARK LOCATION
CONTROL POINT
MONUMENT FOUND
CAST IRON MONUMENT
STONE MONUMENT

## EXISTING TOPOGRAPHIC LINES



## SURVEY LINES



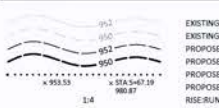
## EXISTING UTILITY LINES



## PROPOSED UTILITY LINES



## GRADING INFORMATION



## HATCH PATTERNS



## EXISTING PRIVATE UTILITY LINES

NOTE:  
EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN PROVIDED BY THE UTILITY OWNER. THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS PRIOR TO COMMENCING CONSTRUCTION AS REQUIRED BY STATE LAW. NOTIFY Gopher State One Call, 1-800-252-1186 OR 651-454-0002.

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D UNLESS OTHERWISE NOTED. THIS UTILITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/USACE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA".

UNDERGROUND FIBER OPTIC
UNDERGROUND ELECTRIC
UNDERGROUND GAS
UNDERGROUND COMMUNICATION
OVERHEAD ELECTRIC
OVERHEAD COMMUNICATION
OVERHEAD UTILITY

## UTILITIES IDENTIFIED WITH A QUALITY LEVEL:

LINE TYPES FOLLOW THE FORMAT: UTILITY TYPE - QUALITY LEVEL  
EXAMPLE: UNDERGROUND GAS, QUALITY LEVEL A  
UTILITY QUALITY LEVEL (A,B,C,D) DEFINITIONS CAN BE FOUND IN C/USACE 38-02.

## UTILITY QUALITY LEVELS:

QUALITY LEVEL D: PROVIDES THE MOST BASIC LEVEL OF INFORMATION. IT INVOLVES COLLECTING DATA FROM EXISTING UTILITY RECORDS, RECORDS MAY INCLUDE AS-BUILT DRAWINGS, DISTRIBUTION AND SERVICES MAPS, EXISTING GEOGRAPHIC INFORMATION SYSTEM DATABASES, CONSTRUCTION PLANS, ETC.

QUALITY LEVEL C: INVOLVES SURVEYING VISIBLE SUBSURFACE UTILITY STRUCTURES SUCH AS MANHOLES, HAND-HOLES, UTILITY VALVES AND METERS, FIRE HYDRANTS, PEDESTALS AND UTILITY MARKERS, AND THEN CORRELATING THE INFORMATION WITH EXISTING UTILITY RECORDS TO CREATE COMPOSITE DRAWINGS. INCLUDES QUALITY LEVEL D ACTIVITIES.

QUALITY LEVEL B: INVOLVES DESIGNATING THE HORIZONTAL POSITION OF SUBSURFACE UTILITIES THROUGH SURFACE DETECTION METHODS AND COLLECTING THE INFORMATION THROUGH A SURVEY METHOD. INCLUDES QUALITY LEVEL C AND D TASKS.

QUALITY LEVEL A: PROVIDES THE HIGHEST LEVEL OF ACCURACY. IT INVOLVES LOCATING OR POT-HOULING UTILITIES AS WELL AS ACTIVITIES IN QUALITY LEVELS B, C, AND D. THE LOCATED FACILITY INFORMATION IS SURVEYED AND MAPPED AND THE DATA PROVIDES PRECISE PLAN AND PROFILE INFORMATION.

## ABBREVIATIONS

A	ALGEBRAIC DIFFERENCE	GRAV	GRAVEL	RSC	RIGID STEEL CONDUIT
ADI	ADJUST	GU	GUTTER	RT	RIGHT
ALT	ALTERNATE	GV	GATE VALVE	SAN	SANITARY SEWER
B-B	BACK TO BACK	HDP	HIGH DENSITY POLYETHYLENE	SCH	SCHEDULE
BIT	BITUMINOUS	HH	HANDHOLE	SERV	SERVICE
BLDG	BUILDING	HP	HIGH POINT	SHLD	SHOULDER
BMP	BEST MANAGEMENT PRACTICE	HWL	HIGH WATER LEVEL	STA	STATION
BR	BEGIN RADIUS	HYD	HYDRANT	STD	STANDARD
BV	BUTTERFLY VALVE	I	INVERT	STM	STORM SEWER
CB	CATCH BASIN	K	CURVE COEFFICIENT	TC	TOP OF CURB
C&G	CURB AND GUTTER	L	LENGTH	TE	TEMPORARY EASEMENT
CP	CAST IRON PIPE	LO	LOWEST OPENING	TEMP	TEMPORARY
CPP	CURED-IN-PLACE PIPE	LP	LOW POINT	TNH	TOP NUT HYDRANT
CL	CENTER LINE	LT	LEFT	TP	TOP OF PIPE
CL	CLASS	MAX	MAXIMUM	TP	TYPICAL
CLVT	CULVERT	MH	MANHOLE	VCP	VITRIFIED CLAY PIPE
CMP	CORRUGATED METAL PIPE	MIN	MINIMUM	VERT	VERTICAL
C.O.	CHANGE ORDER	MR	MID RADIUS	VPC	VERTICAL POINT OF CURVE
COMM	COMMUNICATION	N/C	NOT IN CONTRACT	VPI	VERTICAL POINT OF INTERSECTION
CON	CONCRETE	NMC	NON-METALLIC CONDUIT	VPT	VERTICAL POINT OF TANGENT
CSP	CORRUGATED STEEL PIPE	NTS	NOT TO SCALE	WM	WATERMAIN
DIA	DIAMETER	NWL	NORMAL WATER LEVEL		
DIP	DUCTILE IRON PIPE	OHW	ORDINARY HIGH WATER LEVEL		
DWY	DRIVEWAY	PC	POINT OF CURVE	AC	ACRES
E	EXTERNAL CURVE DISTANCE	PCC	POINT OF COMPOUND CURVE	CF	CUBIC FEET
ELEC	ELECTRIC	PE	PERMANENT EASEMENT	CV	COMPACTED VOLUME
ELEV	ELEVATION	PEP	PEDESTALIAN, PEDESTAL	CY	CUBIC YARD
EOF	EMERGENCY OVERFLOW	PERF	PERFORATED PIPE	EA	EACH
ER	END RADIUS	PERM	PERMANENT	EV	EXCAVATED VOLUME
ESMT	EASEMENT	PI	POINT OF INTERSECTION	LB	POUND
EX	EXISTING	PL	PROPERTY LINE	LF	LINEAR FEET
FES	FLARED END SECTION	PRC	POINT OF REVERSE CURVE	LS	LUMP SUM
F-F	FACE TO FACE	PT	POINT OF TANGENT	LV	LOOSE VOLUME
FF	FINISHED FLOOR	PVC	POLYVINYL CHLORIDE PIPE	SF	SQUARE FEET
FI&I	FINISH AND INSTALL	PVMT	PAVEMENT	SY	STOCKPILE VOLUME
FM	FORCEMAIN	R	RADIUS		
FO	FIBER OPTIC	R/W	RIGHT-OF-WAY		
F.O.	FIELD ORDER	RCP	REINFORCED CONCRETE PIPE		
GRAN	GRANULAR	RET	RETAINING		

PHILIP J. SCHLUFF  
PHILIP J. SCHLUFF  
5/1/18

**BOLTON & MENK**

2638 SHADOW LANE, SUITE 200  
CHRYSLER, MINNESOTA 55128  
Phone: (952) 448-8838  
Email: Chris@bolton-menk.com  
www.bolton-menk.com

DATE: 06/01/2022  
BY: [Signature]  
CHECKED: [Signature]  
IN CHARGE: [Signature]  
SCALE: AS SHOWN

CITY OF SHOREWOOD  
2022 CATCH BASIN & CULVERT REPAIR & REPLACEMENT  
LEGEND

Sheet  
C1.02

# REMOVAL NOTES:

- 1) REMOVAL OF BITUMINOUS CURB IS INCIDENTAL TO BITUMINOUS PAVEMENT REMOVAL.
- 2) PROVIDE A SAWCUT WHERE PLACING NEW PAVEMENT ADJACENT TO EXISTING PAVEMENT TO ENSURE A UNIFORM JOINT. LOCATE ALL SAWCUTS ALONG LANE LINES OR PERPENDICULAR TO LANE LINES. ALL SAWING SHALL BE WET SAWING AND ALL DUST/SILICA SHALL BE COLLECTED TO THE EXTENT PRACTICABLE BY SWEEPING OR VACUUM AND DISPOSED OF ACCORDING TO THE SPECIFICATIONS. THIS WORK IS INCIDENTAL.
- 3) CONTRACTOR SHALL PROTECT AND SUPPORT AS NECESSARY ALL TREES, BUILDINGS, LANDSCAPING, RETAINING WALLS, WALKWAYS, DRIVEWAYS, CURB & GUTTER, ETC. UNLESS NOTED OTHERWISE AND APPROVED FOR REMOVAL IN THE FIELD BY THE ENGINEER.



KATHY HAY KUCERA  
JOB NO. 2002-05  
P.O. BOX 1171100000

PROTECT TREE

REMOVE BURIED DRAINAGE STRUCTURE

RACHEL LEM &  
DANIEL LEM  
4045 RUSTIC WAY  
P.O. BOX 1171110000

ROW (TYP)

PROTECT DRIVEWAY

RELOCATE  
CROSS LINE  
(BY OTHERS)

REMOVE DRAINAGE STRUCTURE

PROTECT DRIVEWAY

PATRICIA HAY & GARDEN  
4045 RUSTIC WAY  
P.O. BOX 1171110000

REMOVAL LEGEND
CLEAR & GRUB
CONSTRUCTION LIMITS
SAWCUT BITUMINOUS PAVEMENT (INCIDENTAL)
REMOVE SEWER PIPE (STORM)
REMOVE BITUMINOUS PAVEMENT



*Philip J. Schuyler*  
PHILIP J. SCHUYLER  
S.E.  
06/02/2022

**BOLTON & MENK**

2638 SHADOW LANE, SUITE 200  
CHRYSLER, MINNESOTA 55118  
Phone: (762) 448-8818  
Email: Chasing@bolton-menk.com  
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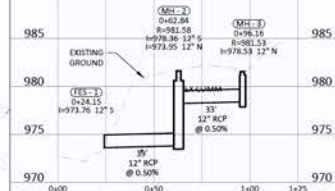
NO.	REV.	DESCRIPTION	DATE
1	1	SCHEMATIC	06/02/2022
2	1	PLAN	06/02/2022
3	1	SECTION	06/02/2022

CITY OF SHOREWOOD  
2022 CATCH BASIN & CULVERT REPAIR & REPLACEMENT  
RUSTIC ROAD CONSTRUCTION PLANS

SHEET  
C1.03

# CONSTRUCTION NOTES:

- 1) CONTRACTOR MAY CLOSE THE ROAD FOR ONE WORKING DAY TO COMPLETE THE WORK, BUT MUST GIVE RESIDENTS AND THE CITY A SEVEN DAY NOTICE. WORKING HOURS FOR THAT DAY SHALL BE FROM 7AM TO 7 PM.
- 2) THE BID ITEM TRAFFIC CONTROL INCLUDES ALL SIGNAGE, FLAGGERS, BARRICADES, ETC. NEEDED.
- 3) CONTRACTOR SHALL PAVE THE STORM SEWER PATCH WITHIN 5 DAYS OF INSTALLING THE STORM SEWER.
- 4) BITUMINOUS STREET PATCH SHALL MATCH EXISTING BITUMINOUS PAVEMENT SECTION.
- 5) RESTORE DISTURBED TURF AREA WITH MHOT SEED MIX 25-151 AT AN APPLICATION RATE OF 120 LBS/ACRE AND ROLLED EROSION PREVENTION MAT 10.
- 6) HAND PLACED RIPRAP FINAL LOCATION SHALL BE APPROVED BY THE ENGINEER.
- 7) CONTRACTOR SHALL FILL ERODED SWALE AS SHOWN IN THE PLANS AND APPROVED BY THE ENGINEER. CONTRACTOR MAY USE ANY EXCESS MATERIAL GENERATED ON SITE. APPROXIMATELY 6 CY OF FILL IS NEEDED.



CONTRACTOR SHALL FILL ERODED SWALE & ADD TOPSOIL, MHOT SEED MIX 25-151 & ROLLED EROSION PREVENTION MAT 10.

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CONTRACTOR SHALL FILL ERODED SWALE & ADD TOPSOIL, MHOT SEED MIX 25-151 & ROLLED EROSION PREVENTION MAT 10.

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CONTRACTOR SHALL FILL ERODED SWALE & ADD TOPSOIL, MHOT SEED MIX 25-151 & ROLLED EROSION PREVENTION MAT 10.

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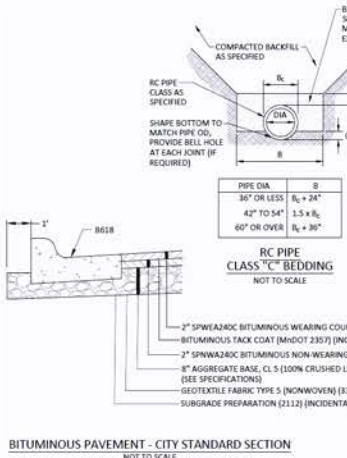
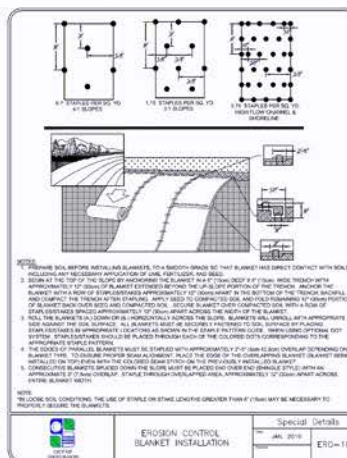
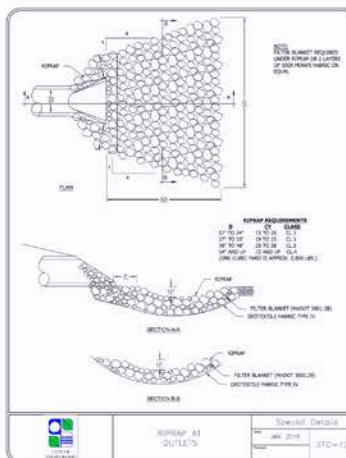
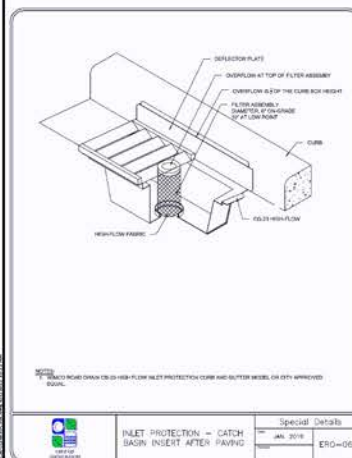
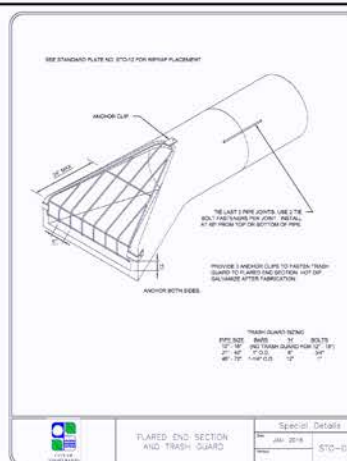
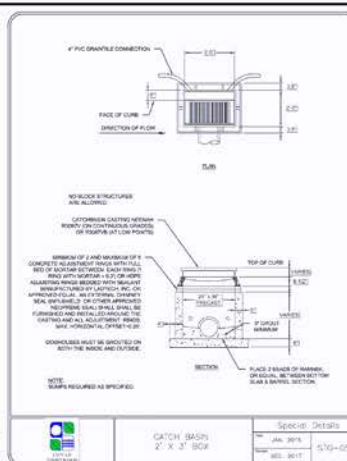
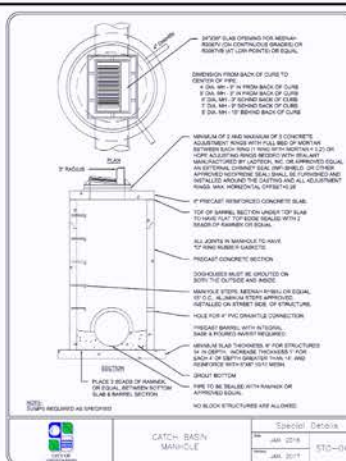
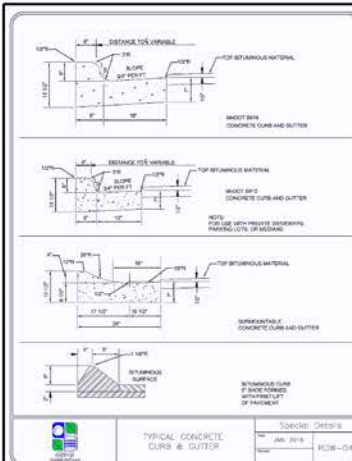
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**CITY OF SHOREWOOD  
COUNTY OF HENNEPIN  
STATE OF MINNESOTA**

**RESOLUTION 22-073**

**A RESOLUTION AWARDING THE 2022 CATCH BASIN & CULVERT  
REPAIR CONTRACT, CITY PROJECT 22-04**

**WHEREAS**, quotes for the 2022 Catch Basin & Culvert Repair & Replacement Improvements Project were received on August 16, 2022 opened and tabulated according to law, with the following quotes received:

<b>Contractor</b>	<b>Quote Amount</b>
Schneider Excavating	\$68,061.50
Bituminous Roadways	\$74,845.00
Valley Paving	\$81,565.00
Kusske Construction	\$83,380.00
Minger Construction	\$84,135.50

**WHEREAS**, City staff recommends award of the 2022 Catch Basin & Culvert Repair & Replacement Improvements to Schneider Excavating & Grading, Inc. who is the lowest responsible bidder; and

**WHEREAS**, Schneider Excavation & Grading, Inc. is a responsible and responsive contractor, that has completed projects of similar size and scope successfully; and

**NOW THEREFORE, IT RESOLVED:** by the City Council of the City of Shorewood the City Clerk is hereby authorized and directed to enter into a contract with Schneider Excavating & Grading, Inc. based on the lowest quote amount of \$68,061.50 in the name of the City of Shorewood for the 2022 Catch Basin & Culvert Repair & Replacement Improvements Project according to the plans and specifications on file in the office of the City Clerk.

**ADOPTED BY THE CITY COUNCIL OF THE CITY OF SHOREWOOD** this 22<sup>nd</sup> day of August, 2022.

---

**Jennifer Labadie, Mayor**

**Attest:**

---

**Sandie Thone, City Clerk**



## City of Shorewood Council Meeting Item

---

**Title/Subject:** Approve Resolution to Accept Final Improvements for the Beverly Drive & Cajed Lane Drainage Project  
City Project 20-03

**Meeting Date:** Monday, August 22, 2022

**Prepared by:** Andrew Budde, City Engineer

**Reviewed by:** Larry Brown, Director of Public Works

**Attachments:** Resolution and Final Payment Application

---

**Background:** At the July 27<sup>th</sup>, 2020 Council Meeting, the City Council awarded the contract for the Beverly Drive & Cajed Lane Drainage Improvement Project to G.F. Jedlicki, Inc. The intent of the project was to improve existing drainage issues at properties on Beverly Drive and Cajed Lane resulting in flooding of yards and standing water. The project entailed installing new storm sewer piping, catch basins, and supplemental site grading to improve drainage. G.F. Jedlicki, Inc. has completed all work associated with the project and is requesting final payment and acceptance of the work.

G.F. Jedlicki, Inc. has submitted the Minnesota IC-134 Withholding Affidavit Form and the request for final payment.

A resolution accepting the improvements associated with the Beverly Drive & Cajed Lane Drainage Improvements Project and authorizing final payment is included for Council consideration and approval.

**Financial Considerations:** G.F. Jedlicki, Inc. was awarded the project with a bid in the amount of \$201,900.00. The final, completed amount is for \$215,836.10, which is 7% above the estimated project cost. The additional cost was attributable to some unknown utility conflicts encountered during construction and additional turf restoration.

**Recommendation/Action Requested:** Staff has reviewed the estimate, verified quantities, and recommends approval of the resolution for final acceptance and payment for city project 20-03, the Beverly Drive & Cajed Lane Drainage Improvements Project, and final payment in the amount of \$19,661.77 to G.F. Jedlicki, Inc.





**BOLTON  
& MENK**

Real People. Real Solutions.

2638 Shadow Lane  
Suite 200  
Chaska, MN 55318-1172

Ph: (952) 448-8838  
Fax: (952) 448-8805  
Bolton-Menk.com

August 10, 2022

City of Shorewood  
Attn: Larry Brown  
5755 Country Club Road  
Shorewood, MN 55331

Re: City of Shorewood  
Beverly Drive and Cajed Lane Drainage Improvements Project  
Pay Request No. 4 - FINAL

Dear Mr. Brown:

Enclosed please find Payment Request No. 4, for work performed on the above referenced project. Payment for this estimate includes work for reseeding of yards and all remaining retainage.

We have reviewed the estimate, verified the quantities, and recommend payment in the amount of **\$19,661.77** to G.F. Jedlicki, Inc, 525 Creekridge Drive, Chaska, MN 55318.

Please contact me if you have any questions or need additional information.

Sincerely,  
*BOLTON & MENK, INC.*

Andrew L. Budde  
Principal Engineer

**Contractor's Application for Payment**

<b>Owner:</b> <u>City of Shorewood</u>	<b>Owner's Project No.:</b> <u>20-03</u>
<b>Engineer:</b> <u>Andrew L. Budde</u>	<b>Engineer's Project No.:</b> <u>C16.120919</u>
<b>Contractor:</b> <u>G.F. Jedlicki, Inc.</u>	<b>Contractor's Project No.:</b> _____
<b>Project:</b> <u>Beverly Drive and Cajed Lane Drainage Improvements</u>	
<b>Contract:</b> _____	
<b>Application No.:</b> <u>4 - Final</u>	<b>Application Date:</b> <u>6/16/2022</u>
<b>Application Period:</b> <b>From</b> <u>9/1/2021</u> <b>to</b> <u>6/1/2022</u>	

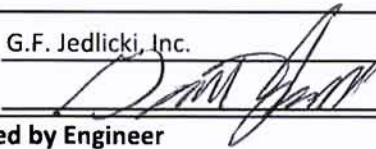
  

1. Original Contract Price	\$ 201,900.00
2. Net change by Change Orders	\$ -
3. Current Contract Price (Line 1 + Line 2)	\$ 201,900.00
4. Total Work completed and materials stored to date (Sum of Column G Lump Sum Total and Column J Unit Price Total)	\$ 215,836.10
5. Retainage	
a. _____ X \$ 215,836.10 Work Completed	\$ -
b. _____ X \$ - Stored Materials	\$ -
c. Total Retainage (Line 5.a + Line 5.b)	\$ -
6. Amount eligible to date (Line 4 - Line 5.c)	\$ 215,836.10
7. Less previous payments (Line 6 from prior application)	\$ 196,174.33
8. Amount due this application	\$ 19,661.77
9. Balance to finish, including retainage (Line 3 - Line 4)	\$ (13,936.10)

**Contractor's Certification**  
The undersigned Contractor certifies, to the best of its knowledge, the following:  
(1) All previous progress payments received from Owner on account of Work done under the Contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with the Work covered by prior Applications for Payment;  
(2) Title to all Work, materials and equipment incorporated in said Work, or otherwise listed in or covered by this Application for Payment, will pass to Owner at time of payment free and clear of all liens, security interests, and encumbrances (except such as are covered by a bond acceptable to Owner indemnifying Owner against any such liens, security interest, or encumbrances); and  
(3) All the Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

<b>Contractor:</b> <u>G.F. Jedlicki, Inc.</u>	
<b>Signature:</b> 	<b>Date:</b> <u>8/2/22</u>

<b>Recommended by Engineer</b>	<b>Approved by Owner</b>
<b>By:</b> <u>Andrew L. Budde</u>	<b>By:</b> _____
<b>Title:</b> <u>City Engineer</u>	<b>Title:</b> _____
<b>Date:</b> <u>6/16/2022</u>	<b>Date:</b> _____
<b>Approved by Funding Agency</b>	
<b>By:</b> _____	<b>By:</b> _____
<b>Title:</b> _____	<b>Title:</b> _____
<b>Date:</b> _____	<b>Date:</b> _____



# Progress Estimate - Unit Price Work

# Contractor's Application for Payment

Owner:	City of Shorewood	Owner's Project No.:	20-03
Engineer:	Andrew L. Budde	Engineer's Project No.:	C16.120919
Contractor:	G.F. Jedlicki, Inc.	Contractor's Project No.:	
Project:	Beverly Drive and Cajal Lane Drainage Improvements		
Contract:			

Application No.:		4 - Final		Application Period:		From		09/01/21		to		06/01/22		Application Date:		06/16/22	
A	B			C	D	E	F		G	H	I	J	K	L			
Bid Item No.	Description	Item Quantity	Units	Unit Price (\$)	Value of Bid Item (C X E) (\$)	Work Completed		Materials Currently Stored (not in G) (\$)	Work Completed and Materials Stored to Date (H + I) (\$)	% of Value of Item (J / F) (%)	Balance to Finish (F - J) (\$)						
						Contract Information											
						Estimated Quantity Incorporated in the Work	Value of Work Completed to Date (E X G) (\$)										
Original Contract																	
1	MOBILIZATION	1.00	LS	6,500.00	6,500.00	1.00	6,500.00		6,500.00	100%	-						
2	TRAFFIC CONTROL	1.00	LS	2,200.00	2,200.00	1.00	2,200.00		2,200.00	100%	-						
3	STABILIZED CONSTRUCTION EXIT	1.00	LS	900.00	900.00	1.00	900.00		900.00	100%	-						
4	VERIFY UTILITIES BY POTHOLING W/VAC TRUCK	8.00	HR	220.00	1,760.00	12.00	2,640.00		2,640.00	150%	(880.00)						
5	TRENCH DEWATERING	1.00	LS	12,500.00	12,500.00	1.00	12,500.00		12,500.00	100%	-						
6	REMOVE FENCE	22.00	LF	10.00	220.00	22.00	220.00		220.00	100%	-						
7	SALVAGE FENCE	200.00	LF	10.00	2,000.00	279.00	2,790.00		2,790.00	140%	(790.00)						
8	REMOVE BITUMINOUS PAVEMENT	80.00	SY	5.00	400.00	20.00	100.00		100.00	25%	300.00						
9	SAWING BIT PAVEMENT (FULL DEPTH)	85.00	LF	5.00	425.00	66.00	330.00		330.00	78%	95.00						
10	CLEARING	6.00	TREE	380.00	2,280.00	13.00	4,940.00		4,940.00	217%	(2,660.00)						
11	GRUBBING	6.00	TREE	265.00	1,590.00	13.00	3,445.00		3,445.00	217%	(1,855.00)						
12	CONSTRUCT DRAINAGE STRUCTURE DES 48-4020	60.00	LF	720.00	43,200.00	59.28	42,681.60		42,681.60	99%	518.40						
13	12" RC PIPE APRON	1.00	EA	1,430.00	1,430.00	1.00	1,430.00		1,430.00	100%	-						
14	TRASH GUARD FOR 12" PIPE APRON	1.00	EA	745.00	745.00	1.00	745.00		745.00	100%	-						
15	CASTING ASSEMBLY	6.00	EA	385.00	2,310.00	7.00	2,695.00		2,695.00	117%	(385.00)						
16	CHIMNEY SEAL	6.00	EA	220.00	1,320.00	7.00	1,540.00		1,540.00	117%	(220.00)						
17	RANDOM RIP RAP CLASS III	24.00	CY	88.00	2,112.00	7.80	686.40		686.40	33%	1,425.60						
18	8" DRAINTILE CLEANOUT	1.00	EA	795.00	795.00	1.00	795.00		795.00	100%	-						
19	8" PERFORATED PD DRAINTILE (OPEN CUT)	250.00	LF	44.00	11,000.00	236.00	10,384.00		10,384.00	94%	616.00						
20	8" HDPE STORM PIPE (DIRECTIONALLY DRILLED)	487.00	LF	55.00	26,785.00	440.00	24,200.00		24,200.00	90%	2,585.00						
21	8" HDPE STORM PIPE (OPEN CUT)	20.00	LF	55.00	1,100.00	45.00	2,475.00		2,475.00	225%	(1,375.00)						
22	12" HDPE STORM PIPE (DIRECTIONALLY DRILLED)	611.00	LF	71.00	43,381.00	594.00	42,174.00		42,174.00	97%	1,207.00						
23	12" HDPE STORM PIPE (OPEN CUT)	125.00	LF	71.00	8,875.00	125.00	8,875.00		8,875.00	100%	-						
24	CONNECT TO EXISTING STORM SEWER	2.00	EA	600.00	1,200.00	3.00	1,800.00		1,800.00	150%	(600.00)						
25	BITUMINOUS CURB	40.00	LF	14.40	576.00	13.00	187.20		187.20	33%	388.80						
26	BITUMINOUS STREET PATCH	80.00	SY	67.50	5,400.00	20.00	1,350.00		1,350.00	25%	4,050.00						
27	GUIDE POST TYPE B	5.00	EA	120.00	600.00	6.00	720.00		720.00	120%	(120.00)						
28	12" WIDE DBL SWING CHAIN LINK GATE	1.00	EA	945.00	945.00	1.00	945.00		945.00	100%	-						
29	CHAIN LINK FENCE	10.00	LF	48.00	480.00	-	-		-	-	480.00						
30	INSTALL FENCE	200.00	LF	22.00	4,400.00	279.00	6,138.00		6,138.00	140%	(1,738.00)						
31	STORM DRAIN INLET PROTECTION	6.00	EA	120.00	720.00	4.00	480.00		480.00	67%	240.00						
32	SILT FENCE, TYPE MS	400.00	LF	2.65	1,060.00	280.00	742.00		742.00	70%	318.00						
33	SEDIMENT CONTROL LOG TYPE WOOD FIBER	50.00	LF	4.40	220.00	50.00	220.00		220.00	100%	-						
34	SEED MIX 25-151	84.00	LB	8.00	672.00	84.00	672.00		672.00	100%	-						
35	SEED MIX 36-211	2.00	LB	57.00	114.00	2.00	114.00		114.00	100%	-						
36	ROLLED EROSION PREVENTION CATEGORY 20	300.00	SY	1.65	495.00	-	-		-	-	495.00						
37	STREET SWEEPER W/PICKUP BROOM	8.00	HR	65.00	520.00	4.00	260.00		260.00	50%	260.00						
38	COMMON TOPSOIL BORROW (LV)	30.00	CY	36.00	1,080.00	12.00	432.00		432.00	40%	648.00						
39	FURNISH DECIDUOUS TREE, 2 1/2" CALIPER, B&B	6.00	EA	765.00	4,590.00	6.00	4,590.00		4,590.00	100%	-						
40	LANDSCAPE ALLOWANCE	1.00	ALLOWANCE	5,000.00	5,000.00	1.14	5,720.10		5,720.10	114%	(720.10)						

EJCDC C-620 Contractor's Application for Payment

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Unit Price

2 of 3

Progress Estimate - Unit Price Work

Contractor's Application for Payment

Owner:	City of Shorewood	Owner's Project No.:	20-03
Engineer:	Andrew L. Budde	Engineer's Project No.:	C16.120919
Contractor:	G.F. Jedlicki, Inc.	Contractor's Project No.:	
Project:	Beverly Drive and Cajed Lane Drainage Improvements		
Contract:			

Application No.:		4 - Final		Application Period:		From		09/01/21		to		06/01/22		Application Date:		06/16/22				
A	B					C	D	E	F	G		H	I	J	K	L				
Bid Item No.	Description					Contract Information				Work Completed		Materials Currently Stored (not in G) (\$)	Work Completed and Materials Stored to Date (H + I) (\$)	% of Value of Item (J / F) (%)	Balance to Finish (F - J) (\$)					
						Item Quantity	Units	Unit Price (\$)	Value of Bid Item (C X E) (\$)	Estimated Quantity Incorporated in the Work	Value of Work Completed to Date (E X G) (\$)									
EW1	SANITARY SERVICE LOCATE					1.00	LS	385.00	385.00	1.00	385.00		385.00	100%	-					
EW2	SMALL UTILITY CONFLICTS ON SMITHTOWN RD					1.00	LS	4,000.00	4,000.00	1.00	4,000.00		4,000.00	100%	-					
EW3	CONCRETE APRON REPAIR					1.00	LS	2,498.00	2,498.00	1.00	2,498.00		2,498.00	100%	-					
EW4	RESEEDING RESIDENTIAL YARDS					1.00	LS	9,336.80	9,336.80	1.00	9,336.80		9,336.80	100%	-					
Original Contract Totals									\$	201,900.00		\$	215,836.10	\$	-	\$	215,836.10	107%	\$	(13,936.10)
Change Orders																				
Change Order Totals									\$	-		\$	-	\$	-	\$	-		\$	-
Original Contract and Change Orders																				
Project Totals									\$	201,900.00		\$	215,836.10	\$	-	\$	215,836.10	107%	\$	(13,936.10)

**CITY OF SHOREWOOD  
COUNTY OF HENNEPIN  
STATE OF MINNESOTA**

**RESOLUTION 22-074**

**A RESOLUTION ACCEPTING FINAL IMPROVEMENTS FOR THE  
BEVERLY DRIVE AND CAJED LANE DRAINAGE IMPROVEMENTS PROJECT;  
CITY PROJECT 20-03**

**WHEREAS**, On, July 27<sup>th</sup>, 2020, the Shorewood City Council awarded a Contract to G.F. Jedlicki, Inc., for the Beverly Drive and Cajed Lane Drainage Improvement Project; and

**WHEREAS**, G.F. Jedlicki, Inc. has completed all work in accordance with the awarded contract; and

**WHEREAS**, G.F. Jedlicki, Inc. is requesting final payment and acceptance for the work; and

**WHEREAS**, Staff has reviewed the estimate, verified quantities, verified completed punch list items, received all applicable close out documents from the contractor, and recommends final payment and acceptance of the project to G.F. Jedlicki, Inc.

**NOW, THEREFORE, BE IT RESOLVED:** the City Council of the City of Shorewood hereby accepts the improvements and authorizes final payment to G.F. Jedlicki, Inc., for the Beverly Drive and Cajed Lane Drainage Improvement Project according to the plans and specifications on file in the office of the City Clerk.

**ADOPTED BY THE CITY COUNCIL OF THE CITY OF SHOREWOOD** this 22<sup>nd</sup> day of August, 2022.

---

**Jennifer Labadie, Mayor**

**Attest:**

---

**Sandie Thone, City Clerk**



## City of Shorewood Council Meeting Item

---

**Title/Subject:** Accept Final Improvements for Glen Road, Amlee Road,  
Manitou Lane Street Improvement Project; City Project 18-08  
**Meeting Date:** Monday August 22, 2022  
**Prepared by:** Andrew Budde, City Engineer  
**Reviewed by:** Larry Brown, Director of Public Works  
**Attachments:** Resolution

---

**Background:** At the February 8, 2021 Council Meeting, Council awarded the contract for the Glen Road, Amlee Road, Manitou Lane Street Improvement Project to WM Mueller & Sons, Inc. The project included the reconstruction of the existing infrastructure, as well as the installation of watermain. WM Mueller & Sons has completed all work associated with the project and is requesting acceptance of the work.

WM Mueller & Sons, has submitted the Minnesota IC-134 Withholdings Affidavit Form, Consent of Surety, Maintenance Bond, and request acceptance.

A resolution accepting the improvements for the Glen Road, Amlee Road, Manitou Lane Street Improvement Project is included for Council consideration and approval.

**Financial Considerations:** WM Mueller & Sons was awarded the project with a bid for \$2,547,188.25. The final, completed amount is for \$2,548,592.11, which is \$1,403.86 above the estimated project cost. The extra cost was for previously approved change orders that addressed resident access and drainage concerns.

**Recommendation/Action Requested:** Staff has reviewed the estimate, verified quantities, and recommends approval of the resolution for final acceptance for city project 18-08, the Glen Road, Amlee Road, Manitou Lane Street Improvement Project.

**CITY OF SHOREWOOD  
COUNTY OF HENNEPIN  
STATE OF MINNESOTA**

**RESOLUTION 22-075**

**A RESOLUTION FOR ACCEPTANCE OF FINAL IMPROVEMENTS FOR THE GLEN  
ROAD, MANITOU LANE, AND AMLEE ROAD STREET IMPROVEMENTS,  
CITY PROJECT 18-08**

**WHEREAS**, On February 8, 2021, the City Council awarded a contract to WM Mueller & Sons, Inc., for the Glen Road, Manitou Lane, and Amlee Road Street Improvement Project; and

**WHEREAS**, WM Mueller & Sons, Inc. has completed all work in accordance with the awarded contract; and

**WHEREAS**, WM Mueller & Sons, Inc. is requesting acceptance for the work; and

**WHEREAS**, the City Engineer has reviewed said Improvement and found it to be in general conformance to the approved plans and specifications; and

**WHEREAS**, Staff has reviewed the estimate, verified quantities, received the warranty bond, IC-134s, consent of surety, and recommends acceptance of the project to WM Mueller & Sons, Inc.

**NOW, THEREFORE, BE IT RESOLVED:** the City Council of the City of Shorewood hereby accepts final Improvements and authorizes final payment to WM Mueller & Sons for the Glen Road, Manitou Lane, and Amlee Road Street Improvements according to the plans and specifications on file in the office of the City Clerk.

**ADOPTED BY THE CITY COUNCIL OF THE CITY OF SHOREWOOD** this 22<sup>nd</sup> day of August, 2022.

---

**Jennifer Labadie, Mayor**

**Attest:**

---

**Sandie Thone, City Clerk**





## City of Shorewood Council Meeting Item

#2F

MEETING TYPE  
Regular Meeting

**Title / Subject:** Vacate a portion of Fire Lane 1 to Set Property Line

**Meeting Date:** August 22, 2022  
**Prepared by:** Marie Darling, Planning Director

**Applicant:** City of Shorewood  
**Location:** 4580 Enchanted Point

**Attachments:** Exhibits indicating right of way to be vacated  
DNR Comment Letter  
Resolution

The item was continued to this meeting from the August 8, 2022 meeting as action requires a 4/5<sup>th</sup> vote of the Council.

**Public Notice:** The public hearing was opened on June 27, 2022 and closed on July 25, 2022. The notice for the request and public hearing opened on June 27, 2022 were published twice in the official newspaper and the affected property owner received notice as required by statute. The DNR was also noticed and given a 60-day comment period as required by statute. (Attached)

**Action Requested:** Staff recommends that City Council and adopt the attached resolution that vacates a portion of Fire Lane 1 to set the property line for the south side of 4580 Enchanted Point.



**Proposed Motion:** Move to adopt the attached resolution vacating a portion of Fire Lane 1 to set the south property line of 4580 Enchanted Point.

Action on this item requires a 4/5<sup>th</sup> majority of Councilmembers.

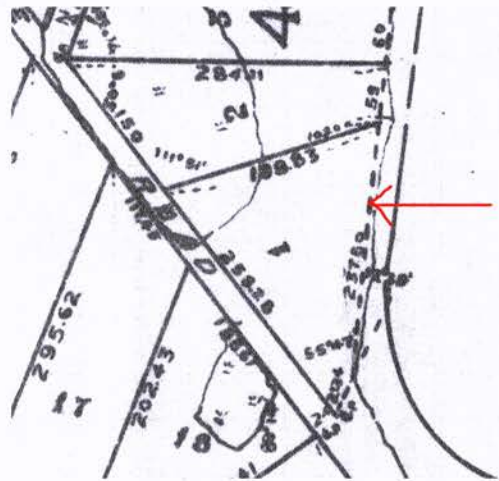
**Next Steps and Timelines:** If approved, staff would record the certified resolution at Hennepin County.

**Mission Statement:** *The City of Shorewood is committed to providing residents quality public services, a healthy environment, a variety of attractive amenities, a sustainable tax base, and sound financial management through effective, efficient, and visionary leadership.*

**Background:** The Upper Lake Minnetonka Yacht Club property is shown in the aerial photo on the first page. The property was created in 1909 by the Enchanted Park property subdivision. The subdivision drew the lot lines to the shore and stopped there. The exhibit below is from the Enchanted Park subdivision. The dashed line (indicated by the red arrow) is likely the edge of the areas surveyed at the time.

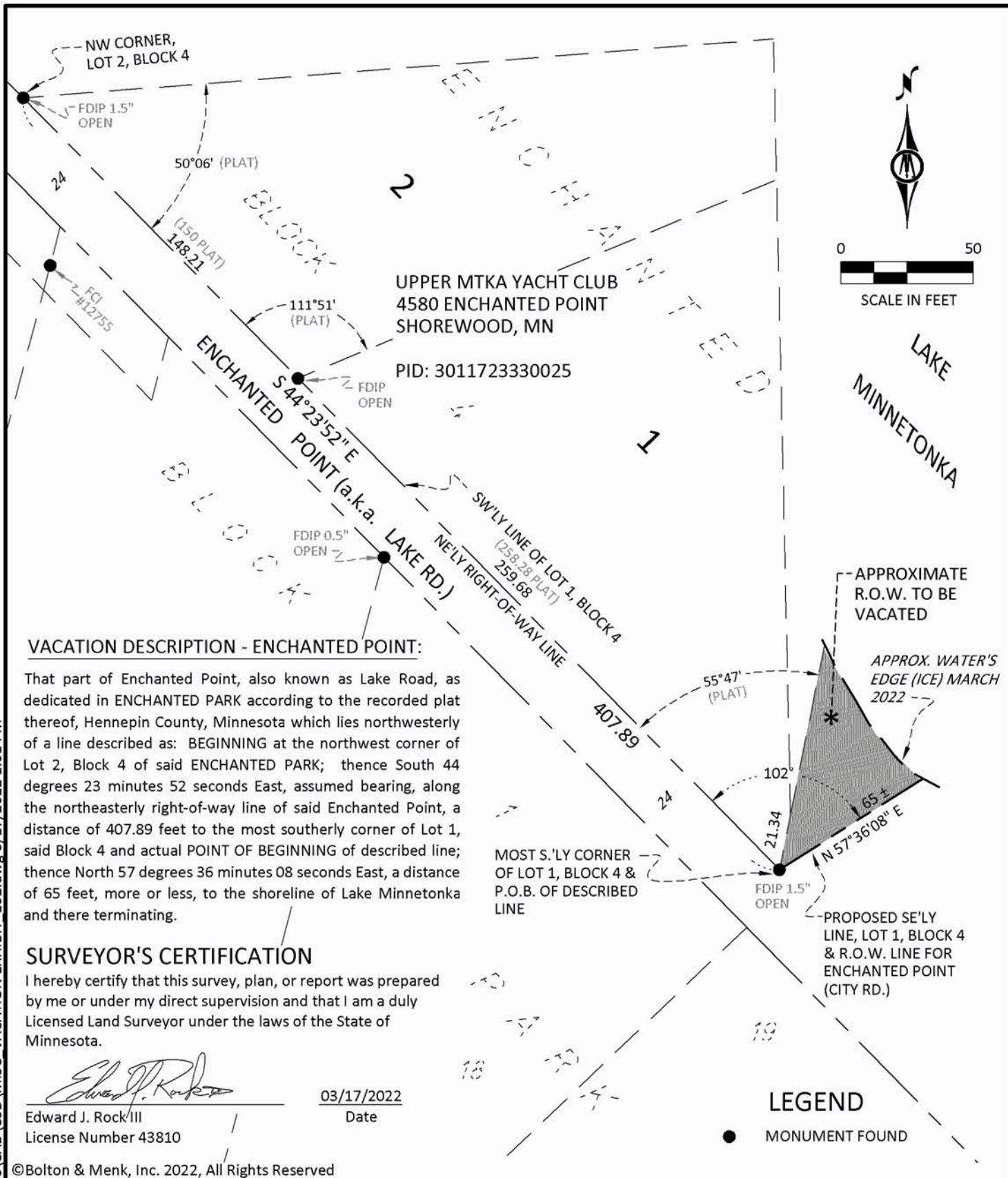
The issue that this creates is that there is more land between the property and the shoreline at the south end of the property and the division between the public right-of-way line and the private property isn't clear.

To resolve this issue, the staff and the ULMYC set the property line as shown in the attached exhibits.





H:\SHWD\16120806\CAD\C3D\MISC VACATION EXHIBIT 102.dwg 3/17/2022 1:01 PM



#### VACATION DESCRIPTION - ENCHANTED POINT:

That part of Enchanted Point, also known as Lake Road, as dedicated in ENCHANTED PARK according to the recorded plat thereof, Hennepin County, Minnesota which lies northwesterly of a line described as: BEGINNING at the northwest corner of Lot 2, Block 4 of said ENCHANTED PARK; thence South 44 degrees 23 minutes 52 seconds East, assumed bearing, along the northeasterly right-of-way line of said Enchanted Point, a distance of 407.89 feet to the most southerly corner of Lot 1, said Block 4 and actual POINT OF BEGINNING of described line; thence North 57 degrees 36 minutes 08 seconds East, a distance of 65 feet, more or less, to the shoreline of Lake Minnetonka and there terminating.

#### SURVEYOR'S CERTIFICATION

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

*Edward J. Rock III*

Edward J. Rock III  
License Number 43810

03/17/2022  
Date

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#### VACATION EXHIBIT PART OF ENCHANTED POINT RIGHT-OF-WAY



**BOLTON  
& MENK**

2638 SHADOW LANE, SUITE 200  
CHASKA, MINNESOTA 55318  
(952) 448-8838

STREET VACATION FOR PART OF ENCHANTED POINT AS DEDICATED IN ENCHANTED PARK, HENNEPIN COUNTY, MN RESOLUTION NO.

FOR: CITY OF SHOREWOOD  
SHEET 1 OF 1

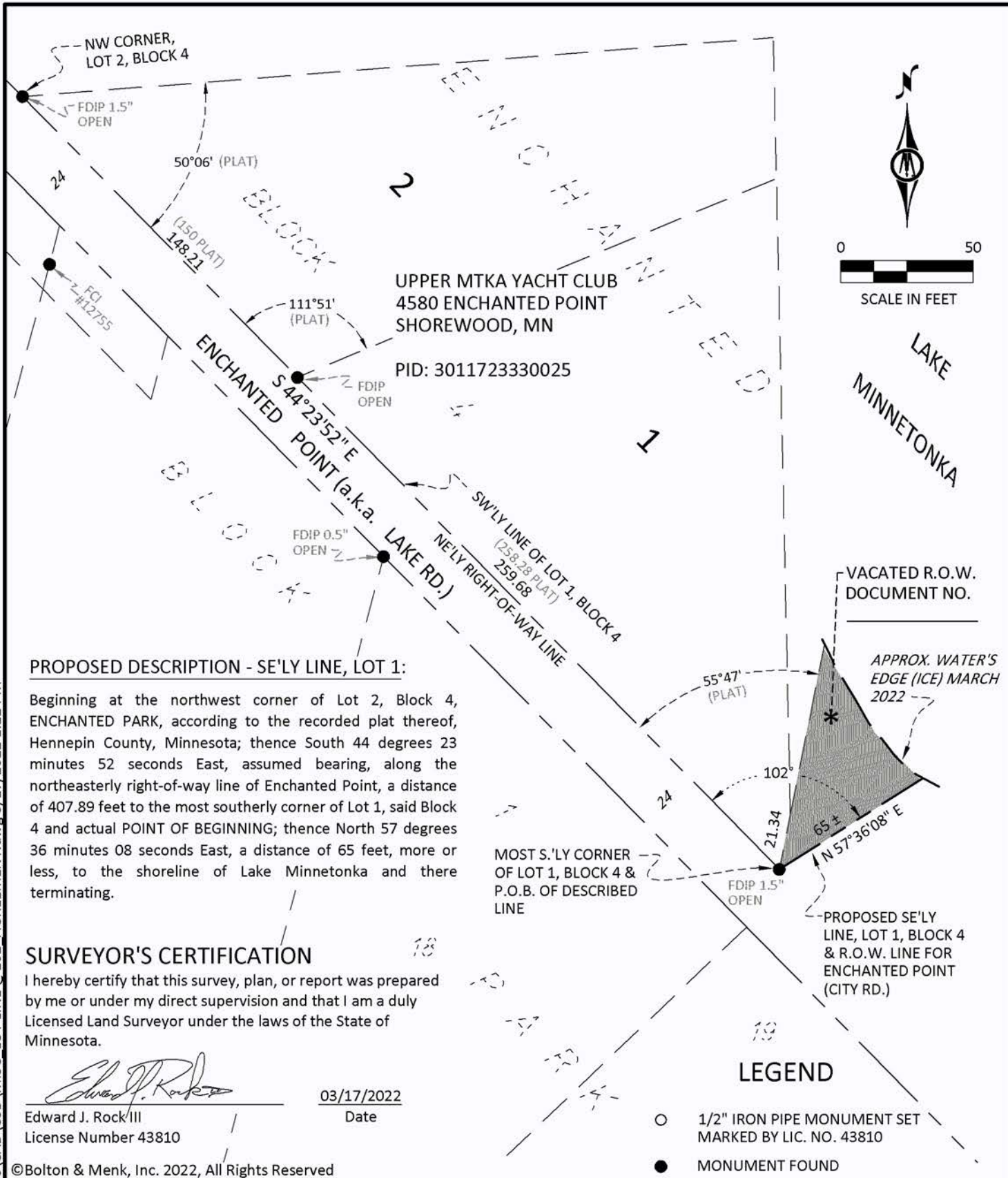
JOB NUMBER: 120806

FIELD BOOK:

DRAWN BY: EJR



H:\SHWD\16120806\CAD\C3D\MISC LOT LINE @102 AGREEMENT.dwg 3/17/2022 1:22 PM



# DEPARTMENT OF NATURAL RESOURCES

Office of the Regional Director  
DNR Central Region Headquarters  
1200 Warner Road  
St. Paul, MN 55106

June 10, 2022

City of Shorewood, MN  
Marie Darling, AICP, Planning Director  
5755 Country Club Road  
Shorewood, MN 55331

Re: Proposed Vacation of a portion of Enchanted Point Right-Of-Way adjacent to 4580 Enchanted Point,  
Shorewood, MN 55364

Dear Ms. Darling,

Thank you for your letter to Commissioner Strommen regarding this proposed road vacation. Your letter was forwarded to me for review and comment, as required by M.S. 412.851.

M.S. 412.851 indicates that *"No vacation shall be made unless it appears in the interest of the public to do so."* In response *"The commissioner must evaluate:*


- (1) the proposed vacation and the public benefits to do so;*
- (2) the present and potential use of the land for access to public waters; and*
- (3) how the vacation would impact conservation of natural resources."*

It is the DNR's understanding that the vacation request is to clarify property lines along Enchanted Point Road, and that the city intends to retain the road which includes public access to Lake Minnetonka. Our charge is to evaluate the proposed vacation using M.S. 412.851 criteria. With these criteria in mind, the Department of Natural Resources (DNR) concludes that the proposed vacation as described above does not substantially diminish the public benefit and protects public access to the lake.

Thank you for the opportunity to comment on the proposed vacation. DNR does not plan to attend the public hearing. Please send us the results of the hearing and the city's final decision on this road vacation.

If you have any questions or concerns about this letter, please contact Nancy Spooner-Mueller, Acquisition and Development Specialist with DNR Parks & Trails, at [nancy.spooner-mueller@state.mn.us](mailto:nancy.spooner-mueller@state.mn.us). You may contact her by phone at 651-269-1370.

Sincerely,



Grant L. Wilson  
Central Region Director

cc: Nancy Spooner-Mueller, Division of Parks and Trails  
Rachel Henzen, Division of Parks and trails.



**RESOLUTION NO. 22-068**

**CITY OF SHOREWOOD  
COUNTY OF HENNEPIN  
STATE OF MINNESOTA**

**A RESOLUTION VACATING A PORTION OF FIRE LANE 1 TO IDENTIFY  
THE SOUTH PROPERTY LINE OF 4580 ENCHANTED POINT**

**RECITALS**

WHEREAS, the City of Shorewood, (the “City”) has jurisdiction over the Right-of-way for Enchanted Point as recorded on the plat named Enchanted Park, Lake Minnetonka, Minnesota; and,

WHEREAS, the Upper Lake Minnetonka Yacht Club, Inc. owns the adjacent property described as:

Lots 1 and 2, Block 4, Enchanted Park, Lake Minnetonka, Minnesota according to the plat thereof on file and of record in the office of the Register of Deeds in and for Hennepin County, Minnesota; and

WHEREAS, the City submitted a request to vacate a portion of the right of way for Enchanted Point (the “Vacation”); and,

WHEREAS, notice of the request was submitted to the Commission of the DNR for their comment on March 25, 2022 and said agency submitted comments that indicated that the proposed vacation does not substantially diminish the public benefit and protects public access to the lake; and,

WHEREAS, notice of public hearing on the proposed Vacation of a portion of the Enchanted Point in the City of Shorewood, Hennepin County, Minnesota, was published in the Sun Sailor Newspaper on June 8, 2022 and June 15, 2022 and was published in the Laker Pioneer Newspaper on June 10, 2022 and June 17, 2022; and,

WHEREAS, said notice of public hearing was posted on the city’s website and at the Shorewood City Hall; and,

WHEREAS, the City of Shorewood City Council heard all interested parties on the question of the Vacation at a public hearing opened on June 27, 2022 and closed on July 25, 2022, in the Council Chambers at the City Hall.

## **RESOLUTION**

**NOW THEREFORE BE IT RESOLVED** by the City Council of the City of Shorewood, Minnesota that the right of way legally described as follows and depicted in Exhibit A is hereby vacated for public right-of-way purposes:

That part of Enchanted Point, also known as Lake Road, as dedicated in ENCHANTED PARK according to the recorded plat thereof, Hennepin County, Minnesota which lies northwesterly of a line described as:

BEGINNING at the northwest corner of Lot 2, Block 4 of said ENCHANTED PARK; thence South 44 degrees 23 minutes 52 seconds East, assumed bearing, along the northeasterly right-of-way line of said Enchanted Point, a distance of 407.89 feet to the most southerly corner of Lot 1, said Block 4 and actual POINT OF BEGINNING of described line; thence North 57 degrees 36 minutes 08 seconds East, a distance of 65 feet, more or less, to the shoreline of Lake Minnetonka and there terminating.

**BE IT FURTHER RESOLVED**, that the vacated street be legally combined with the following property:

Lots 1 and 2, Block 4, Enchanted Park, Lake Minnetonka, Minnesota according to the plat thereof on file and of record in the office of the Register of Deeds in and for Hennepin County, Minnesota; and

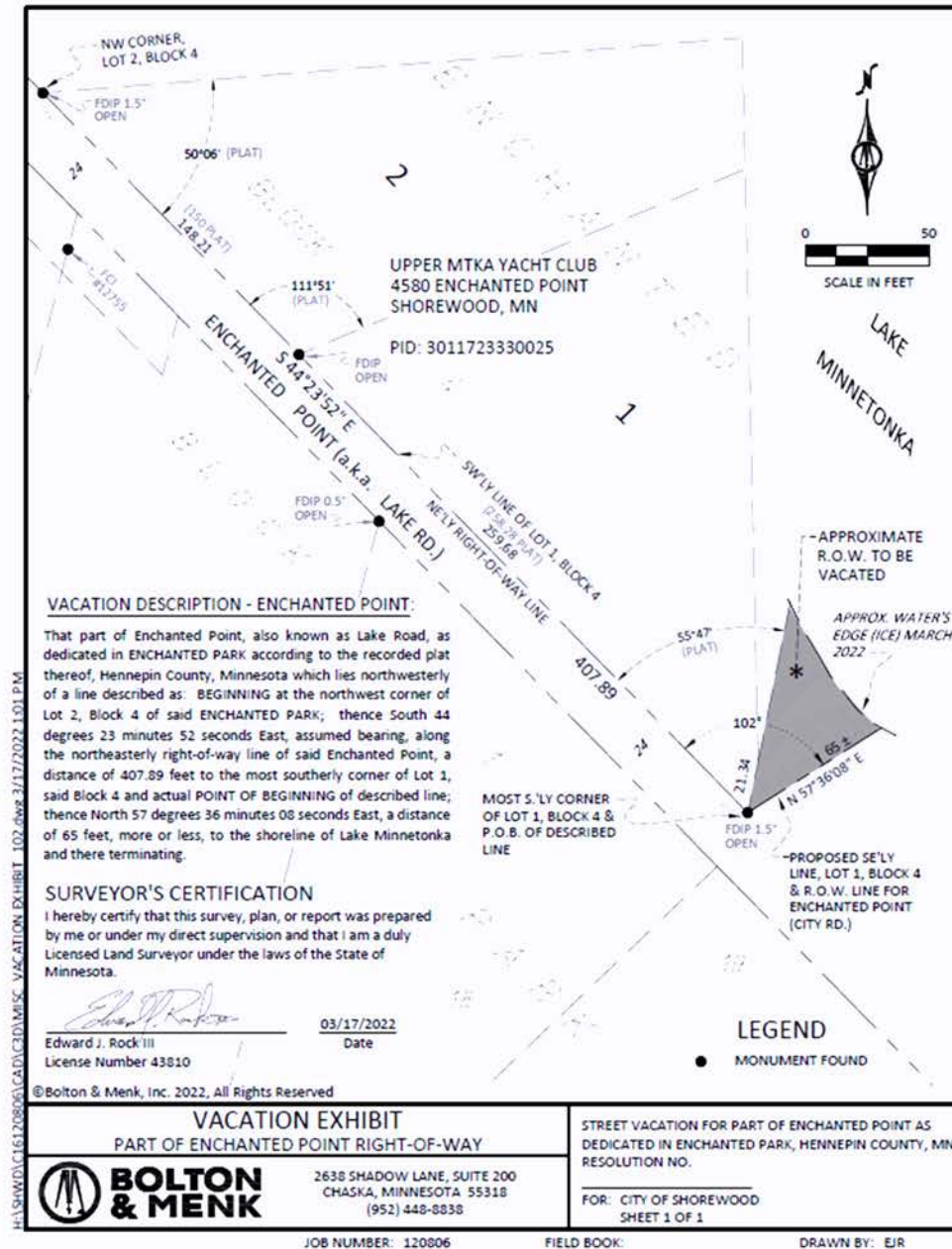
**ADOPTED BY THE CITY COUNCIL OF THE CITY OF SHOREWOOD** this 22<sup>nd</sup> day of August, 2022.

\_\_\_\_\_  
**Jennifer Labadie, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Sandie Thone, City Clerk**

# EXHIBIT A:





## City of Shorewood Council Meeting Item

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**Title/Subject:** Approve A Resolution Accepting Agreement With the Christmas Lake Association for Improvements to the Christmas Lake Public Access

**Meeting Date:** Monday August 22, 2022

**Prepared by:** Larry Brown, Director of Public Works

**Reviewed by:** Ed Shukle, Interim City Administrator

**Attachments:** Site Location Map, Proposal by GSSC, Sign Layout, Sign Location Map, Agreement and Resolution

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**Background:** The Christmas Lake Association (CLA) had previously approached city staff requesting consideration of improvements to the Christmas Lake Public Access. Attachment 1 is a site location map

The improvements requested include the following:

1. Upgrading the existing security camera and adding two additional security cameras to the site.
2. Posting of signage located east and west of the intersection of Merry Lane and the southerly frontage road of State Highway 7.
3. The City would be the host for live video broadcast of parking conditions.

Currently, the Christmas Lake Public Access has one camera that was installed by the CLA that is fed by a Mediacom for broadcast. There have been issues with the current installation to maintain an adequate and stable video feed. Therefore, it is desired to upgrade the camera and broadcast of this system.

In addition to upgrading the current camera, both staff and representatives of the CLA agreed that it is prudent to add two additional cameras to provide a better visual of the site and boat ramp, for security purposes, and to enable a live broadcast for potential visitors of the site to be able to monitor what parking spots are available for use, or if the site is at capacity prior to entering the site. Attachment 3 is a diagram indicating the location and viewing angles of the proposed cameras. Camera feeds would be recorded cyclically on a thirty-day basis.

Representatives of CLA have agreed to pay for fifty percent of the camera upgrade and installation costs. As proposed, the remaining fifty percent and ongoing operating costs would be borne by the city.

For the camera upgrade, staff has solicited a proposal from the city's current security and video provider, GSSC. Total costs for the installation are \$15,336.36 (without sales tax). Therefore, each party to the agreement will pay the initial portion in the amount of \$7,668.18.

Also discussed was proposed signage to the site. As proposed, signs would be installed both east and west of the intersection of Merry Lane with the southerly frontage road to State Highway 7. Attachment 3 is a diagram of the sign layout with QR code and website address to the City of Shorewood's website. This link brings the user to the regulations page and an additional submenu to view live parking conditions.

Attachment 4 is a site diagram as to the proposed location of the signs. It is noted that the easterly sign must be located a fair distance east of the intersection, due to space limitations. A permit from MNDOT will be required for installation of this sign, as well.

Attachment 5 is the proposed agreement. As noted, the CLA has agreed to pay fifty percent of the installation costs for the improvements. The remaining fifty percent, ongoing operational costs and website maintenance is borne by the city.

**Financial Considerations:** If approved, it is proposed that this installation be funded from the Parks Capital Improvement Program, as the public access is considered part of the park system. Ongoing operational costs would be funded from the Park Operating budget.

**Recommendation/Action Requested:** Staff is recommending approval of the Resolution that accepts the agreement between the Christmas Lake Association and the City of Shorewood for site improvements to the Christmas Lake Public Access.







Proposal #25783  
Printed on 2022-07-11  
Quote valid through 2022-08-10

# **REV2 - CITY OF SHOREWOOD - BOAT LAUNCH HOSTEED VIDEO SYSTEM**

*for*

***City of Shorewood***

5755 Country Club Road  
Shorewood, MN 55331- USA

---

***Prepared For:***

Larry Brown

952-960-7913

Lbrown@shorewoodpw.com

***Prepared By:***

Robert Kilian

Senior Business Development Manager

952-858-5068

robertk@gssc.net

---

## Statement of Work

### **Eagle Eye Cloud-Based Video Surveillance:**

GSSC to install a three camera Eagle Eye camera system to monitor the Christmas Lake parking lot and Christmas Lake boat landing. The proposed system will store 30 days of video via Eagle Eyes hosted cloud based servers. The cameras live and recorded video feeds will be accessed via Eagle Eyes hosted software.

The cameras proposed will be dual streaming allowing one stream for the Eagle Eye Cloud storage and one stream for public viewing of both cameras via public web site (GSSC to work with Customer's IT Point Of Contact)

### **The proposed access control system will include the following components:**

#### **3- Axis 5MP Exterior IP cameras with two ports for dual streaming - One Public one Private.**

- 1- Eagle Eye IP Bridge. Supports up to 15 IP cameras and at least two days of on premise buffering.
- 1- Hardened 4 Port POE switch with battery backup.
- 1- Underground Boring
- 1- Wire and Wire Pull
- 1- Set up and programming
- 1- One year parts and labor guarantee.

### **City of Shorewood to Provide:**

Access to site for Installation

Small Boom Lift For Installation of Cameras

WAN internet port

Network Personal for IP Addresses for Camera Installation

Video Monitor for Programming Cameras

### **CLARIFICATIONS:**

#### **The following exclusions:**

- Any additional devices needed outside this Bill of Materials will be billed as an addition by change order
- Does not include any 3rd party streaming applications
- Does not include 120V electrical service to all equipment, conduit, boxes or mounting hardware
- Does not include permits
- Does not include a lift/boom rental, scaffolding, etc.
- Does not include premium time labor rates
- Does not include expedited freight
- Does not include painting of equipment and/or conduit
- Does not include patch or paint

### **Outbound Ports for the Bridge**

The following TCP and UDP ports are used by the Eagle Eye Bridge.



All connections are outbound-only, meaning that the bridge connects outbound and never accepts inbound connections (so you do NOT need to set up e.g. NAT rules as a general rule).

- 80/tcp # Used to discover video termination endpoints in the cloud
- 443/tcp # Used to transfer video to the cloud (TLS 1.2+)
- 773/tcp # Used to transfer video to the cloud (TLS 1.2+)
- 8081/tcp # Used to transfer video to the cloud
- 8082/udp # Used to transfer video metadata to the cloud
- 50000-60000/tcp # Used occasionally to provide remote troubleshooting and maintenance (Secured via SSL)

### **Eagle Eye Features and Benefits:**

#### **EAGLE EYE CLOUD BASED VIDEO MANAGEMENT SYSTEM (VMS):**

The Eagle Eye Security Camera VMS is a fully managed cloud video surveillance solution, delivering an end-to-end video management system that's simple to deploy and easy to use. It supports all modern browsers and works on Windows, Mac, even Linux with no plugins to install.

#### **FULLY MOBILE**

The fully functional iOS and Android applications provide complete access to live and recorded video and can also be used to install, configure and manage the system.

#### **CLOUD**

Eagle Eye Networks provides a cloud based, video management system. The Eagle Eye Bridge is installed on-site, connects to your cameras, records video locally, and then securely synchronizes both video and meta data to the Eagle Eye Cloud Data center. It is a robust, secure appliance specifically designed to overcome the demands of transmitting high-resolution video through the Internet.

#### **COMPREHENSIVE CAMERA SUPPORT**

At Eagle Eye Networks we believe that camera compatibility is important. There is no need to be locked in to a single camera vendor. Businesses need the flexibility to work with the cameras that they choose. Eagle Eye Bridges and CMVRs support ONVIF Profile S IP cameras. Eagle Eye Combo Bridges and CMVRs support IP as well as NTSC and PAL analog cameras. For an up to date list of all compatible cameras visit [www.EagleEyeNetworks.com/cameras](http://www.EagleEyeNetworks.com/cameras).

#### **WORRY FREE MANAGEMENT**

All of the software in the Eagle Eye Cloud and firmware on the Eagle Eye Bridge is managed and updated by Eagle Eye Networks. The hardware is fully backed by Eagle Eye with full replacement if anything ever goes wrong.

#### **SECURITY SIMPLIFIED**

With Eagle Eye Complete Privacy Encryption™, video is fully encrypted during transmission and at rest. The Eagle Eye Bridge also has no open ports to the Internet, eliminating security vulnerabilities commonly found in other systems and requiring no router or firewall adjustments.

#### **RECORDING FEATURES**

• Video encrypted in transit & at rest • Fully cloud managed • Intelligent Bandwidth Management with local buffering • Full frame rate on 720p & 1080p cameras • Optional audio recording

#### **SYSTEM ADMINISTRATION**

• 100% browser-based - no software • Centralized management • Granular user permissions • Multi site support • Point and click video sharing

#### **WEB INTERFACE & MOBILE FEATURES**

• Native iOS & Android apps • View live & recorded video • Compatible with all modern browsers • Motion detection with alerts • Map & floor plan display



## Quote Details

### PURCHASED EQUIPMENT

QTY	DESCRIPTION
VIDEO	
1	SWITCH,4 PORT,HARDENED,2-FIBER,NEMA ENCL
4	BATT,SLA,12VDC,4AH
1	KIT,MNT,POLE,WP2,ALTRONIX,NETWAY,SPL ORDER
6	INLET,GLAND,WIRE,NEMA,EXT
1	MODULE,SFP,COPPER,RJ45,NETWAY
1	ENCL,12X10X5 IN,NEMA 4X,UL LISTED,HEATED/FAN,EXT
1	Exterior Enclosure Pole Mount
1	BRIDGE,2-DAY,15IP,4POE,WALL/SHELF,EAGLE EYE
3	CAM,MD,IP,3-8MM,5MP,H265,WDR,VNDL,12W,EXT,WHT
3	MNT,POLE,CAM,100-410MM
3	MNT,WALL,1.5IN NPS,LOW PROFILE
3	KIT,CAP,PNDT,1.5IN NPS,EXT,WHT
1	CBL,PATCH CORD,CAT6,10FT,BLU
1	CBL,24-4P,CAT5E,NS,SOL,DB,EXT USE,BLK JKT,500',BOX
1	PKG,CONN,CAT6,EZ-RJ45,MALE,NETWORK,10PC
4	CONDUIT, BOXES, SHOP SUPPLIES

### INSTALLATION SERVICES

DESCRIPTION
VIDEO
Installation Services

### RECURRING PROFESSIONAL SERVICES

DESCRIPTION
VIDEO
Hosted Video, 5MP,30 Days Storage, 36 Month Agreement Term



**QUOTE TOTALS**

ONE-TIME CHARGES	PRICE
ONE-TIME CHARGES SUBTOTAL	\$15,336.36
SALES TAX	\$195.18
ONE-TIME CHARGES TOTAL	<b>\$15,531.54</b>

RECURRING CHARGES	PRICE PER MONTH
RECURRING CHARGES SUBTOTAL	\$90.00
SALES TAX	\$6.77
RECURRING CHARGES TOTAL	<b>\$96.77</b>

## General Terms and Conditions

1. CUSTOMER agrees to purchase or rent from GSSC E.P.G. LLC or lease from a third party, the security alarm system identified on the attached Equipment List, including transmission boxes and wire connections, and excluding communication lines, necessary to transmit signals from the above installation location to GSSC E.P.G. LLC's central station monitoring center (if applicable) (the "System").
2. CUSTOMER agrees to pay GSSC E.P.G. LLC under the terms described herein.
3. **IF THIS AGREEMENT COVERS A SECURITY ALARM SYSTEM FOR PERSONAL, FAMILY, HOUSEHOLD OR OTHER CONSUMER USE, THEN YOU, AS THE CUSTOMER, MAY CANCEL THIS TRANSACTION PRIOR TO MIDNIGHT OF THE THIRD BUSINESS DAY AFTER THE DATE OF THIS AGREEMENT. SEE THE ATTACHED NOTICE OF CANCELLATION FORM FOR AN EXPLANATION OF THIS RIGHT.**
4. GSSC E.P.G. LLC warrants that the System will be free from defects in material and workmanship for a period of one (1) year from the date of installation. GSSC E.P.G. LLC also warrants that the installation of the System will be performed in a workman like manner and will conform to all requirements necessary to provide the CUSTOMER a functioning system and monitoring services at the time of installation. GSSC E.P.G. LLC will, during normal business hours of 8:00 a.m. through 4:30 p.m. Monday through Friday excluding holidays, at its discretion repair or replace any defective part of the System at no cost to CUSTOMER during the term of the warranty. Warranty services performed outside of such days and hours shall be subject to applicable hourly charges. It is further agreed that during the term of the warranty herein recited CUSTOMER shall not tamper with, disturb, damage, remove, adjust or interfere with the System or its operation nor permit anyone ("Improper Acts"), other than GSSC E.P.G. LLC's representatives to do the same, and if an Improper Act occurs, by any unauthorized person, the above warranty shall be of no force or effect and CUSTOMER agrees to pay GSSC E.P.G. LLC all of the costs of repair or relocation arising from such Improper Act. After normal business hours emergency service is available at overtime rates, calls to or from on-call technicians are billable.
5. If GSSC E.P.G. LLC is providing monitoring service for the System, CUSTOMER shall provide GSSC E.P.G. LLC with a list of persons who shall have the right to enter the premises and may be called upon by GSSC E.P.G. LLC for a key to enter the Premises.
6. Notwithstanding the term of this Agreement as stated above and subject to GSSC E.P.G. LLC's right to terminate this Agreement as provided herein, the initial term of this Agreement commences on the date the System is installed and becomes operative and thereafter until such time as either party upon 30 days advance written notice advises the other party of its intent to terminate this Agreement at the end of the then current term. It is further agreed that after the expiration of the initial term of this Agreement, this Agreement shall automatically renew for successive periods of one year and GSSC E.P.G. LLC may periodically adjust the charges due under this Agreement, if applicable. Within thirty (30) days of receipt of notice of such adjustment, CUSTOMER may terminate this Agreement by providing written notice to GSSC E.P.G. LLC, provided CUSTOMER is not in default of any terms or conditions in this Agreement.
7. In consideration of the goods and services provided by GSSC E.P.G. LLC as described herein, CUSTOMER agrees to pay GSSC E.P.G. LLC as follows: GSSC E.P.G. LLC shall invoice CUSTOMER for the services rendered pursuant to this Agreement. If CUSTOMER contends that any such invoice is incorrect, CUSTOMER shall notify GSSC E.P.G. LLC's accounting department, in writing, within fourteen (14) days after receipt of such invoice and specify the reason for such contention. If CUSTOMER does not so notify GSSC E.P.G. LLC, CUSTOMER forever waives the right to further dispute such invoice and CUSTOMER agrees to the accuracy of such invoice. CUSTOMER shall pay such invoice within thirty (30) days after the date of the invoice and GSSC E.P.G. LLC's rights in and to such payments shall be absolute and unconditional and shall not be subject to any abatement, reduction, set-off, defense, counterclaim or recoupment for any reason, including, without limitation, any past, present or future claims which CUSTOMER may have against GSSC E.P.G. LLC. If CUSTOMER fails to pay GSSC E.P.G. LLC within thirty (30) days after the date of such invoice, CUSTOMER agrees to pay GSSC E.P.G. LLC interest at a rate which is equal to the greater of (i) the maximum rate allowed by applicable law; or (ii) one and one-half percent per month. CUSTOMER agrees to pay GSSC E.P.G. LLC for all costs and expenses incurred by GSSC E.P.G. LLC in collecting amounts owed by CUSTOMER under this Agreement, including reasonable pre-judgment and post-judgment attorneys' fees.
8. If CUSTOMER is purchasing the System, this Agreement hereby constitutes a Security Agreement under the Uniform Commercial Code. CUSTOMER hereby grants GSSC E.P.G. LLC a security interest in the System to secure CUSTOMER's payment for the System and monitoring charges under this Agreement and payment of any amount due under any other agreement between CUSTOMER and GSSC E.P.G. LLC. CUSTOMER agrees that GSSC E.P.G. LLC may file a financing statement under the Uniform Commercial Code in order to perfect the security interest granted herein. If a Event of Default occurs as defined herein, CUSTOMER hereby consents and acknowledges that GSSC E.P.G. LLC may exercise, in addition to the rights and remedies contained herein, all rights and remedies of a secured party under the Uniform Commercial Code or any other applicable law.
9. An Event of Default under this Agreement shall mean that (i) a bankruptcy petition, whether voluntary or involuntary, is filed by or against CUSTOMER; (ii) CUSTOMER makes an assignment for the benefit of creditors; (iii) CUSTOMER fails to pay GSSC E.P.G. LLC when due all amounts owed by CUSTOMER to GSSC E.P.G. LLC under any agreement between CUSTOMER and GSSC E.P.G. LLC; (iv) CUSTOMER or GSSC E.P.G. LLC fails to perform any obligation under any agreement between CUSTOMER and GSSC E.P.G. LLC. If an Event of Default occurs, GSSC E.P.G. LLC has the right to exercise any one or more of the following remedies: (a) to declare the entire unpaid amounts owed to GSSC E.P.G. LLC under this Agreement and/or any other agreement between CUSTOMER and GSSC E.P.G. LLC immediately due and payable; (b) to sue CUSTOMER to recover all unpaid amounts owed to GSSC E.P.G. LLC by CUSTOMER under this Agreement and/or any other agreement between GSSC E.P.G. LLC and CUSTOMER; (c) to immediately terminate this Agreement or any other agreement between CUSTOMER and GSSC E.P.G. LLC; and (e) to pursue any other lawful remedy available to GSSC E.P.G. LLC. If an Event of Default occurs, CUSTOMER has the right to terminate this Agreement or any other agreement between CUSTOMER and GSSC E.P.G. LLC.
10. If any authority having jurisdiction or CUSTOMER shall require or make necessary any changes to the System as per this contract, CUSTOMER agrees to pay for such changes and immediately notify GSSC E.P.G. LLC of such changes. All such changes to the System, of any kind, shall be subject to the security interest granted herein by CUSTOMER to GSSC E.P.G. LLC. CUSTOMER also agrees to obtain and pay any city, state or federal taxes, fees or permit charges now in force or hereinafter relating to the System.
11. If CUSTOMER is leasing the System and CUSTOMER does not exercise the purchase option, if any, upon the expiration or earlier termination of this Agreement, with respect to the System, or any part thereof, CUSTOMER shall provide GSSC E.P.G. LLC with reasonable access to the premises described above for the purpose of removal of the System, or any part thereof, from the premises in good repair, condition and working order (ordinary wear and tear excepted). After such removal, GSSC E.P.G. LLC will not repair any holes made as a result of installing or removing the System, or any part thereof and GSSC E.P.G. LLC will not refinish ceilings, walls or floors, or the replacement of wall coverings or floor coverings.

Initials: \_\_\_\_\_



12. Prior to installation of the System, CUSTOMER shall obtain the consent of the owner of the above installation address and of any other affected occupants. By signing this Agreement, CUSTOMER warrants that all of the necessary consents to the installation and operation of the System, including necessary work such as drilling holes, driving nails and making attachments have been obtained by CUSTOMER. The NEC (National Electrical Code) as Adopted by the State of Minnesota requires that abandoned cable be removed from a building or tagged at both ends for future use. Removal of any abandoned cable is the responsibility of the Building Owner/Tenant unless specified otherwise on this contract. Any such removal of abandoned cable required by the Authority Having Jurisdiction is the sole responsibility of the building owner/tenant to contract with a qualified contractor.

13. CUSTOMER AGREES AND ACKNOWLEDGES THAT (i) GSSC E.P.G. LLC IS NOT AN INSURER; (ii) CUSTOMER ASSUMES ALL RISK FOR LOSS OR DAMAGE TO ITS PREMISES AND THE CONTENTS THEREIN; (iii) GSSC E.P.G. LLC HAS MADE NO REPRESENTATIONS OR WARRANTIES, NOR HAS CUSTOMER RELIED ON ANY REPRESENTATIONS OR WARRANTIES, EXPRESS OR IMPLIED, EXCEPT AS PROVIDED HEREIN; (iv) THE SYSTEM MAY BE COMPROMISED OR CIRCUMVENTED; (v) THE SYSTEM WILL NOT PREVENT ANY LOSS BY THEFT, BURGLARY, FIRE OR OTHERWISE; AND (vi) THE SYSTEM WILL NOT IN ALL CASES PROVIDE THE PROTECTION FOR WHICH IT IS INSTALLED OR INTENDED.

14. Charges for services provided under this Agreement are based solely upon the value of the services provided and are not related to the value of CUSTOMER's premises. The amounts payable by CUSTOMER hereunder are not sufficient to warrant GSSC E.P.G. LLC assuming any risk of damages due to GSSC E.P.G. LLC's actions or inactions. GSSC E.P.G. LLC shall not be liable to CUSTOMER or to any other person or entity, for any loss or damage to persons or property, or for any other damages or liabilities of any kind or nature whatsoever, whether direct, incidental or consequential resulting from the delay or failure of the System to operate properly, or in any manner resulting from the condition, installation, operation, service, monitoring or use of the System.

15. GSSC E.P.G. LLC shall not be liable for damages arising from either delays in installation or interruption of service due to fire, theft, flood, strikes, civil disturbance, terrorism, war or any other cause beyond the control of GSSC E.P.G. LLC. CUSTOMER shall pay the cost of repairing or replacing the System by reason of damages or loss arising from burglary, fire or any other cause. CUSTOMER is responsible for periodically testing the System to ensure that it is properly operating. Although GSSC E.P.G. LLC recommends monthly testing, GSSC E.P.G. LLC is not responsible for such testing.

16. Since it is impractical and extremely difficult to fix actual damages which may arise due to the faulty operation of the System or failure of monitoring services provided, if, notwithstanding the above provisions, there should arise any liability on the part of GSSC E.P.G. LLC, such liability shall be limited to \$2,000.00. This sum shall be complete and exclusive and shall be paid and received as liquidated damages and not as a penalty.

17. EXCEPT AS IS SPECIFICALLY PROVIDED HEREIN, GSSC E.P.G. LLC MAKES NO EXPRESS OR IMPLIED WARRANTY OF MERCHANTABILITY OR FITNESS FOR ANY PARTICULAR PURPOSE, AS TO ANY MATTER WHATSOEVER, INCLUDING, WITHOUT LIMITATION, THAT THE SYSTEM OR MONITORING SERVICES PROVIDED MAY NOT BE COMPROMISED, THE QUALITY OF MATERIAL OR WORKMANSHIP OF THE SYSTEM OR ITS CONFORMITY WITH ANY SPECIFICATIONS OR PURCHASE ORDERS. NO DEFECT OR UNFITNESS OF THE EQUIPMENT CLAIMED BY CUSTOMER SHALL RELIEVE CUSTOMER OF THE OBLIGATIONS UNDER THIS AGREEMENT. CUSTOMER ACCEPTS THE SYSTEM "AS IS" AND "WITH ALL FAULTS."

18. CUSTOMER will keep the System at the Premises and will throughout the initial term of this Agreement and any extension, renewal or additional term hereof maintain the System in good repair, condition and working order and will make all payments required hereunder when due notwithstanding that the System or any part thereof is for any reason not in such condition and working order.

19. Each Party shall indemnify and hold the other Party and its Affiliates, officers, directors, employees, agents and shareholders harmless against any and all losses, liabilities, damages, claims, judgments, demands, costs and expenses (including reasonable attorneys' fees) arising out of or in connection with the breach by the indemnifying Party of any of its representations, warranties, covenants or obligations contained in this Agreement.

20. This Agreement is not assignable by CUSTOMER except upon the written consent of GSSC E.P.G. LLC, which shall be in GSSC E.P.G. LLC's sole discretion. This Agreement or any portion thereof is assignable by GSSC E.P.G. LLC in its sole discretion. GSSC E.P.G. LLC may, in its sole discretion, subcontract for the provision of services under this Agreement. CUSTOMER acknowledges and agrees that the provisions of this Agreement inure to the benefit of and are applicable to any assignee of GSSC E.P.G. LLC or to any subcontractor engaged by GSSC E.P.G. LLC to provide any service set forth herein to CUSTOMER, and bind CUSTOMER to any such assignee and/or subcontractor with the same force and effect as they bind CUSTOMER to GSSC E.P.G. LLC.

21. The services provided by GSSC E.P.G. LLC hereunder are solely for the benefit of CUSTOMER and neither this Agreement nor the services rendered hereunder confer any rights to any other party as a third party beneficiary or otherwise. It is agreed and understood by the parties that this Agreement constitutes the entire Agreement between the parties and there are no verbal understandings changing or modifying any of the terms of this Agreement. This Agreement may not be changed, modified or varied except in writing and signed by an authorized representative of GSSC E.P.G. LLC. This Agreement shall be governed and interpreted in accordance with the laws of the State of Minnesota and any and all claims relating to this Agreement shall be brought in the state or federal courts located in Hennepin County, State of Minnesota and all parties to this Agreement hereby consent to the exclusive jurisdiction of such courts. Should any part or provision of this Agreement be illegal or in conflict with any law, the validity of the remaining portions or provisions shall not be affected thereby. Further, if any provision of this Agreement is determined to be overbroad as written, that provision should be considered to be amended to narrow its application to the extent necessary to make the provision enforceable according to applicable law and enforced as amended. If this is a subcontract for monitoring services, GSSC E.P.G. LLC will not commence monitoring until CUSTOMER (contractor) provides GSSC E.P.G. LLC with a signed release from the end user in a form acceptable to GSSC E.P.G. LLC.

22. Notwithstanding anything contained herein to the contrary, (a) upon receipt of a signal from the System ("Listed Code") and prior to telephoning proper authorities, GSSC E.P.G. LLC may, in its sole and absolute discretion and without any liability, contact or attempt to contact the Premises or other telephone numbers or electronic mail addresses provided by you in writing as frequently as GSSC E.P.G. LLC deems appropriate to verify the necessity to report the receipt of a Listed Code to proper authorities, and (b) upon the receipt of an abort code or oral advice to disregard the receipt of the Listed Code, GSSC E.P.G. LLC may, in its sole and absolute discretion and without any liability, refrain from contacting proper authorities or advise proper authorities of receipt of an abort code or oral advice to disregard the receipt of the Listed Code. GSSC E.P.G. LLC's efforts to notify proper authorities shall be satisfied by advice by telephone to any person answering the telephone at the telephone number(s) provided to GSSC E.P.G. LLC in writing or by leaving a message with a telephone answering service or any mechanical, electrical, electronic or other technology permitting the recordation of voice or data communications.

Initials: \_\_\_\_\_



## Payment Terms

**Thank you for considering GSSC as your Partner in Security! Listed below you will find our payment terms.**

*All projects commenced on or after the Quote / Proposal Date are subject to the following payment terms. Any variation from these terms must be approved in advance by GSSC's Accounting Team.*

### **SALES**

#### **A. First Time Customer:**

- 50% Down with signed quotation
- Balance on Delivery C.O.D. (cash, check or credit card\*)

#### **B. Recurring Customer:** (Orders greater than \$5000+ or for deliveries to locations outside of Minnesota)

- 50% Down with signed quotation
- Balance Net 10 – Upon Acceptable Payment Performance

#### **C. Recurring Customer:** (Orders under \$5,000 for deliveries to locations in Minnesota)

- 0% Down with signed quotation
- Balance Net 10 – Upon Acceptable Payment Performance

### **SALES & INSTALLATION**

#### **A. Retrofit: (50/50 or 50/47/3)**

- 50% Down with executed Sale & Installation Agreement
- 50% Upon earlier of Substantial Completion (evidenced by fully executed Substantial Completion Acceptance Form) or when customer begins using the system
- If necessary, a 3% holdback may be withheld until all Punch List Items are complete

#### **B. New Construction: (25/50/25 or 25/50/22/3)**

- 25% Down with executed Sale & Installation Agreement
- 50% 60 days prior to install
- 25% Upon earlier of Substantial Completion (evidenced by fully executed Substantial Completion Acceptance Form) or when customer begins using the system
- If necessary, a 3% holdback may be withheld until all Punch List Items are complete

### **RECURRING CHARGES\*\***

#### **A. Recurring Invoices (Under \$1,000)**

- Balance Net 10
- Check, ACH or Credit Card

#### **B. Recurring Invoices (Over \$1,000)**

- Balance Net 10
- Check, ACH or Credit Card\*

\* Credit card processing fees of up to 4% will apply

\*\* Recurring charges will begin when system(s) is operational

## Proposal Summary

**BILL TO:**

City of Shorewood - City Hall  
5755 Country Club Road  
Shorewood, MN 55331-8926

**SHIP TO:**

City of Shorewood - Christmas Lake Boat Launch  
5655 Merry Lane  
Shorewood, MN 55425

**ONE-TIME CHARGES**

DESCRIPTION	PRICE
ONE-TIME CHARGES SUBTOTAL	\$15,336.36
SALES TAX	\$195.18
ONE-TIME CHARGES TOTAL	\$15,531.54

**RECURRING CHARGES**

DESCRIPTION	PRICE PER MONTH*
RECURRING CHARGES SUBTOTAL	\$90.00
SALES TAX	\$6.77
RECURRING CHARGES TOTAL	\$96.77

*\*Price shown per month, but recurring services may be billed monthly, quarterly, biannually, or annually per customer's preference.*

It is the responsibility of the customer to provide all AC power connectors and/or outlets needed on dedicated circuits if necessary. If applicable, all sprinkler alarm and supervisory switches are to be provided by the customer. If any additional equipment or services are required by the person(s) having jurisdiction, (e.g.: Fire Marshall, Building Inspector, etc), the costs will be incurred solely by the customer, including any permits or inspection fees. GSSC is able to invoice in-progress installations. This Schedule of Equipment is incorporated herein by reference into the Agreement between two parties. All terms and conditions of the last fully signed Agreement between the parties shall apply to this document.

GSSC hereby to propose to furnish labor and materials complete in accordance with the above specifications only, for the above dollars with payment as follows: Net 10 days. All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs, will be executed only upon written/verbal orders, and will become an extra charge over and above the estimate. All agreements contingent on upon strikes, accidents or delays beyond our control. This proposal subject to acceptance within 30 days and is void thereafter at the option of GSSC.

The above prices, specifications and conditions are hereby accepted. GSSC is authorized to do work as specified. Payments will be made as outlined above.

**City of Shorewood**

**General Security Services Corporation**

SIGNATURE: \_\_\_\_\_

NAME: \_\_\_\_\_

TITLE: \_\_\_\_\_

DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

NAME: \_\_\_\_\_

TITLE: \_\_\_\_\_

DATE: \_\_\_\_\_

## **CHRISTMAS LAKE BOAT ACCESS**

- **AIS INSPECTIONS PERFORMED BEFORE ENTRY INTO CHRISTMAS LAKE**
- **SCAN THE QR CODE OR VISIT THE LINK BELOW FOR REAL TIME PARKING INFORMATION**

[https://ci.shorewood.mn.us/environment  
watershed\\_and\\_lakes/lake\\_protection.php](https://ci.shorewood.mn.us/environment/watershed_and_lakes/lake_protection.php)







CITY OF SHOREWOOD

PROPOSED SIGN LOCATIONS

## **LANDING SECURITY COST SHARING AGREEMENT**

**THIS COST SHARING AGREEMENT** (this "Agreement") is made this 22<sup>ND</sup> day of August, 2022, by and between the **CITY OF SHOREWOOD**, a Minnesota municipal corporation (the "City") and **CHRISTMAS LAKE HOMEOWNERS ASSOCIATION** a Minnesota non-profit corporation/Homeowner's association (the "HOA").

### **Recitals**

- A. The City owns land with PID 35-117-23-13-9938, which is located in Hennepin County, and which serves as the boat launch and public access for Christmas Lake (the "Landing").
- B. The HOA is the homeowner's association for residents living on or nearby Christmas Lake, or those who wish to support the goals and purpose of the HOA.
- C. Both the City and HOA desire to improve security at the Landing, and General Security Services Corporation ("GSSC") has provided a quote #25783 attached hereto as Exhibit A, which is entitled "REV2 - CITY OF SHOREWOOD - BOAT LAUNCH HOSTEED (sic) VIDEO SYSTEM" for the installation of security equipment, including video cameras, and ongoing monitoring (the "Proposal").
- D. The HOA and the City have agreed to share the costs of purchasing and installing new security video cameras at the Landing as provided in this Agreement.

**NOW, THEREFORE, IN CONSIDERATION OF THEIR MUTUAL COVENANTS HEREIN, THE PARTIES AGREE AS FOLLOWS:**

**1. WORK.** GSSC will provide install security equipment at the Landing as provided in the Proposal. The HOA and the City will cooperate and promptly complete any reasonable requests made by GSSC in pursuit of completing the security installation.

**2. COST SHARE.**

- A. GSSC Costs are GSCC's complete costs of equipment and installation of the equipment as estimated on page 6 of the Proposal as "One Time Charges", and any additional work approved as provided under the terms of this Agreement (collectively, the "GSCC Costs").
- B. The City shall contract with GSCC for the goods and services provided in the Proposal.
- C. The HOA agrees to reimburse the City for Fifty percent (50%) of all GSSC Costs. The City shall bill the HOA for its share of the GSSC Costs. The HOA will pay the City for the HOA's share of the GSSC Costs promptly, and in no event later

than 30 days after receipt of the City's bill.

- D. No additional work by GSSC, the City, or the HOA other than the work approved under this Agreement shall be authorized for payment without an amendment of this Agreement. Where approval of any party is required hereunder, such approval shall not be unreasonably withheld, conditioned or delayed.

3. **NOTICES.** For purposes of this Agreement, the following individuals shall serve as the contacts for each party and notices to be provided under this Agreement shall be provided at the following addresses:

**CITY:** City Administrator  
City of Shorewood  
5755 Country Club Road  
Shorewood, MN 55331

**HOA:** President  
Christmas Lake Homeowners Association  
6030 Ridge Road  
Shorewood, MN 55331

4. **TERMINATION.** This Agreement may be terminated by either party upon 60 days written notice to the other party to this Agreement without cause. Upon notice of termination, each party will equally share the cost of any outstanding invoice through the date of termination. Upon such termination, the terminating party shall have no further liability to perform or pay for any of the GSSC costs.

5. **AMENDMENT.** This Agreement may be amended at any time only by mutual consent of the parties set forth in a written statement hereto.

**IN WITNESS WHEREOF,** the parties have caused this Agreement to be executed by their proper officers on their behalf, pursuant to resolutions duly executed by their respective governing bodies.

**CITY OF SHOREWOOD**


\_\_\_\_\_  
Jennifer Labadie, Mayor

\_\_\_\_\_  
Sandie Thone, City Clerk



**CHRISTMAS LAKE HOMEOWNERS  
ASSOCIATION**

BY:

  
Todd Erickson, Its President

Date: August 17, 2022

**CITY OF SHOREWOOD  
COUNTY OF HENNEPIN  
STATE OF MINNESOTA**

**RESOLUTION 22-076**

**A RESOLUTION APPROVING AGREEMENT BETWEEN THE CHRISTMAS LAKE  
ASSOCIATION AND CITY OF SHOREWOOD FOR IMPROVEMENTS TO THE  
CHRISTMAS LAKE BOAT ACCESS**

**WHEREAS**, The City owns land with PID 35-117-23-13-9938, which is located in Hennepin County, and which serves as the boat launch and public access for Christmas Lake; and

**WHEREAS**, The Christmas Lake Association (“CLA”) for residents living on or nearby Christmas Lake, or those who wish to support the goals and purposes of the public boat access; and

**WHEREAS**, The CLA and city staff have worked together to develop a plan for proposed improvements to said public access for security and parking management; and

**WHEREAS**, The City of Shorewood has proposed a cost sharing agreement for the installation of said improvements, attached hereto as “Exhibit A.”

**NOW, THEREFORE, BE IT RESOLVED:** the City Council of the City of Shorewood hereby accepts the proposed agreement between the Christmas Lake Association and the City of Shorewood for shared costs for the improvements to the Christmas Lake Boat Access.

**ADOPTED BY THE CITY COUNCIL OF THE CITY OF SHOREWOOD** this 22<sup>nd</sup> day of August, 2022.

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**Jennifer Labadie, Mayor**

**Attest:**

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**Sandie Thone, City Clerk**



## City of Shorewood Council Meeting Item

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**Title/Subject:** Accept Quote for Security Upgrades to the Christmas Lake Public Access  
**Meeting Date:** Monday August 22, 2022  
**Prepared by:** Larry Brown, Director of Public Works  
**Attachments:** Proposal by GSSC

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**Background:** In accordance with the previous item on the City Council Agenda, this item considers the acceptance of the quote from GSSC for the furnishing and installation of the upgrade to the camera systems for the Christmas Lake Public Access and Boat Launch.

Attachment 1 is a graphic of the site that approximates the views of the proposed cameras.

As noted in the previous agenda item, cost for the installation total and ongoing costs are as follows:

- One Time Charges of \$15,336.36 (CLA to reimburse City for 50%)
- Recurring Charges for network storage and hosting of \$90.00/month

**Financial Considerations:** If approved, it is proposed that this installation be funded from the Parks Capital Improvement Program, as the public access is considered part of the park system. Ongoing operational costs would be funded from the Park Operating budget.

**Recommendation/Action Requested:** Staff is recommending approval of the Resolution that accepts proposal from GSSC for site improvements to the Christmas Lake Public Access.





CITY OF SHOREWOOD

CAMERA VIEWS

**CITY OF SHOREWOOD  
COUNTY OF HENNEPIN  
STATE OF MINNESOTA**

**RESOLUTION 22-077**

**A RESOLUTION AWARDING THE QUOTE FOR SECURITY IMPROVEMETS TO THE  
CHRISTMAS LAKE PUBLIC BOAT ACCESS**

**WHEREAS**, A quote was solicited from GSSC for installation of cameras and various network improvements for the Christmas Lake Public Boat Access; and

**WHEREAS**, On this date the City of Shorewood has entered into an agreement with the Christmas Lake Association, for cost sharing of said improvements; and

**WHEREAS**, GSSC has provided a quote that is found acceptable by city staff and the Christmas Lake Association;

**NOW THEREFORE, IT RESOLVED**: that the quote provided by GSSC in the amount of \$15,336.36, with ongoing costs of \$90.00 (without taxes), is hereby approved.

**ADOPTED BY THE CITY COUNCIL OF THE CITY OF SHOREWOOD** this 22<sup>nd</sup> day of August, 2022.

\_\_\_\_\_  
**Jennifer Labadie, Mayor**

**Attest:**

\_\_\_\_\_  
**Sandie Thone, City Clerk**



## City of Shorewood Council Meeting Item

21

MEETING TYPE  
Regular Meeting

**Title / Subject:** Accept Quote and Award Contract for One Replacement 2000 Gallon Tanker Truck

**Meeting Date:** August 22, 2022

**Prepared by:** Larry Brown, Director of Public Works

**Attachments:** Capital Improvement Program Excerpt, Quote

**Policy Consideration:** Should the City Council authorize the expenditure of funds for one replacement Water Tanker Truck for the Department of Public Works?

**Background:** The 2022 Capital Improvement Program, Equipment Replacement Fund, has an amount of \$75,000 budgeted within both the Sanitary Sewer Fund and the Water Fund for a total amount of \$150,000 for replacement of one 2001 Freightliner Water Truck. This unit was purchased used in 2007 as a converted over the road cab and chassis with a new tank installed. This vehicle has deteriorated in condition over the past few years and is in need of replacement.

Attachment 1 is an excerpt from the 2022 Capital Improvement Program (CIP).

Staff solicited quotes from five firms. Due to supply chain issues, only one quote was received for the proposed vehicle. The quote solicitations and results are summarized below:

Vendor	Quote Amount
Custom Truck	No Quote Submitted
United Built Water Trucks	\$170,000
Niece Equipment, LP	No Quote Submitted
Elliott Machine Works, Inc.	No Quote Submitted
Knapheide Manufacturing	No Quote Submitted

**Table 1**

The quote received from United Built Water Trucks has been included in Attachment 2.

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**Mission Statement:** *The City of Shorewood is committed to providing residents quality public services, a healthy environment, a variety of attractive amenities, a sustainable tax base, and sound financial management through effective, efficient, and visionary leadership.*



**Finance:** The quote received is \$20,000 more than what was budgeted. This is not totally surprising in that the budget was set prior to many of the supply chain issues that had been in full effect for this industry when the price was set. In review of the quote with Mr. Joe Rigdon, Finance Director, there are adequate reserves in the sewer and water funds for the additional amount to cover the proposed expenditure.

**Recommendation:** Staff is recommending approval of the motion that awards the contract for one 2000 gallon Tanker Truck to United Built Water Trucks, in the amount of \$170,000.

## 2022 - 2031 Capital Improvement Program

Source	#	Priority	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	Total
Edgewood Rd reclaim	ST-21-01	n/a										1,238,846	1,238,846
Strawberry Court reclaim	ST-22-01	n/a		220,338									220,338
Peach Circle reconstruction	ST-22-02	n/a		353,671									353,671
Strawberry Ln reconstruction	ST-23-01	n/a		1,983,677									1,983,677
Grant Lorenz Rd reclaim	ST-23-02	n/a								908,970			908,970
Eureka Rd N Mill & Overlay	ST-23-03	n/a				694,371							694,371
Birch Bluff Rd reconstruction	ST-23-99	n/a		1,952,123									1,952,123
Noble Rd recon	ST-24-01	n/a						1,203,555					1,203,555
Noble Rd Reclaim	ST-24-02	n/a						493,107					493,107
Galpin Lake Rd/Trail	ST-24-03	n/a						1,257,557					1,257,557
Mill Street Trail Construction	T004	n/a						115,927					115,927
Mill Street Trail ROW - County Led	T017	n/a				109,273							109,273
Smithtown Pond Trail Connection	T018	n/a	40,000										40,000
<b>404 - Street Reconstruction Fund Total</b>			<b>922,500</b>	<b>4,509,809</b>		<b>1,297,884</b>		<b>3,070,146</b>		<b>1,499,309</b>		<b>1,238,846</b>	<b>12,538,494</b>

### 601 - Water Fund

Freightliner Water Truck 50%	085	n/a	75,000										75,000
Edgewood Rd reclaim	ST-21-01	n/a										750,245	750,245
Strawberry Court reclaim	ST-22-01	n/a		283,250									283,250
Peach Circle reconstruction	ST-22-02	n/a		115,824									115,824
Strawberry Ln reconstruction	ST-23-01	n/a		394,943									394,943
Grant Lorenz Rd reclaim	ST-23-02	n/a								0			0
Birch Bluff Rd reconstruction	ST-23-99	n/a		859,020									859,020
Noble Rd recon	ST-24-01	n/a						416,179					416,179
Galpin Lake Rd/Trail	ST-24-03	n/a						396,582					396,582
Boulder Bridge VT Well Motor Replace	W-18-01	n/a	35,000										35,000
Rebuild Well Pump SE VT Well	W-19-05	n/a				25,000							25,000
SE Area Well Motor Replace	W-20-03	n/a	45,000										45,000
Rebuild Well Pump Amesbury VT Well	W-20-05	n/a					25,000						25,000
Rebuild Well Pump Badger VT Well	W-21-02	n/a	30,000						35,000				65,000
SE Area Well Pipe Coatings and Corrosion Prev	W-22-01	n/a	25,000										25,000
Rebuild Well Pump Boulder Bridge VT Well	W-22-02	n/a						35,000					35,000
FilterMediaChangeout/RehabIronRemovalFilterSEPlant	W-22-03	n/a	40,000										40,000

Wednesday, December 8, 2021

ATTACHMENT 1  
EXCERPT 2022 - 2031 CIP

Source	#	Priority	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	Total
Rebuild Well Pump Amesbury Submersible Well	W-23-01	n/a		30,000						36,000			66,000
Rebuild Well Pump Boulder Bridge Submersible Well	W-24-01	n/a			30,000								30,000
East Water Tower Paint & Reconditioning	W-24-02	n/a			380,000								380,000
Replace VFD SE Area Well	W-24-03	n/a			10,000								10,000
Replace VFD Badger Well	W-26-01	n/a					12,000						12,000
Watermain Reconstruction Activity	W-99-01	n/a			100,000	105,000	110,000	115,000	120,000	125,000	130,000	135,000	940,000
<b>601 - Water Fund Total</b>			<b>250,000</b>	<b>1,683,037</b>	<b>520,000</b>	<b>130,000</b>	<b>147,000</b>	<b>962,761</b>	<b>155,000</b>	<b>161,000</b>	<b>130,000</b>	<b>885,245</b>	<b>5,024,043</b>

#### 611 - Sanitary Sewer Fund

Freightliner Water Truck 50%	085	n/a	75,000										75,000
Lift Station 11 Rehab - 20465 Radisson Rd.	SS-13-01	n/a		240,000									240,000
Lift Station 9 Rehab - 20995 Minnetonka Blvd	SS-14-01	n/a	240,000										240,000
Lift Station 10 Rehab - 4773 Lakeway Terrace	SS-15-01	n/a	150,000										150,000
Lift Station 7 Rehab - 5600 Woodside Road	SS-16-02	n/a	240,000										240,000
CIP Sewer Repairs Assoc with Roadway Reconstr	SS-99-01	n/a	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	500,000
Televising & Cleaning	SS-99-02	n/a	0	0	0	0	0	0	0	0	0	0	0
Sewer Additional	SS-99-04	n/a			25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	200,000
Infiltration and Inflow Reduction	SS-99-06	n/a	70,000	70,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	780,000
Edgewood Rd reclaim	ST-21-01	n/a										228,335	228,335
Strawberry Ln reconstruction	ST-23-01	n/a		180,250									180,250
Grant Lorenz Rd reclaim	ST-23-02	n/a							143,895				143,895
Eureka Rd N Mill & Overlay	ST-23-03	n/a				127,849							127,849
Birch Bluff Rd reconstruction	ST-23-99	n/a		120,510									120,510
Noble Rd recon	ST-24-01	n/a						202,873					202,873
<b>611 - Sanitary Sewer Fund Total</b>			<b>825,000</b>	<b>660,760</b>	<b>155,000</b>	<b>282,849</b>	<b>155,000</b>	<b>357,873</b>	<b>155,000</b>	<b>298,895</b>	<b>155,000</b>	<b>383,335</b>	<b>3,428,712</b>

#### 631 - Stormwater Management Fund

Pump - 4' Discharge Trailer Mtd	050	n/a		62,400									62,400
Culvert Replace - 22535 Murray St/6180 Cardinal Dr	CR-22-01	n/a	11,000										11,000
Edgewood Rd reclaim	ST-21-01	n/a										185,278	185,278
Strawberry Court reclaim	ST-22-01	n/a		52,242									52,242

UNITED TRUCK & EQUIPMENT  
2045 West Buckeye Road  
Phoenix, Arizona 85009  
Office: (602) 253-7739  
FAX : (602) 258-6312

Page 1 of 2

Bill To:  
SHOREWOOD, CITY OF (SHO705)  
5755 COUNTRY CLUB ROAD  
SHOREWOOD, MN 55331  
(952) 960-7913

Print Date 08/15/22  
Quote Date 08/15/22  
Quote Number 033556  
Salesperson NT

SYSTEM DESCRIPTION: 2000 GAL WATER TRUCK

REFERENCE: LARRY BROWN; PUBLIC WORKS DEPT

BASE PRICE	165000.00	** VALID TO 09/14/22, EXCLUDES ADDERS **
EXCISE TAX	.00	** FET Not Applicable **
SALES TAX	.00	** Out of State Exemption **
FREIGHT	5000.00	** FOB SHOREWOOD, MN 55331 **
REQUIRED DEPOSIT	.00	
BALANCE DUE	170000.00	

PAYMENT TERMS:

SCHEDULED SHIPMENT: ESTIMATED 2023 Q2

UNITED TRUCK & EQUIPMENT thanks you for considering this proposal, and we will sincerely appreciate your acceptance. All sales are subject to taxes applicable at time of invoice. Tank gallon capacities are nominal and may vary +/- 5%. Prices are subject to supply chain surcharges at time of invoice.

UNITED TRUCK APPROVAL:

BUYER APPROVAL:

\_\_\_\_\_  
Title

\_\_\_\_\_  
Firm Name

\_\_\_\_\_  
Manager Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Purchase Order Number

\_\_\_\_\_  
E-Mail Address

\*\*\* IMPORTANT: Please indicate either  
\*\*\* 'Yes' or 'No' for all Page 2 Adders

\_\_\_\_\_  
Printed Name & Title

\_\_\_\_\_  
Buyer Signature

\_\_\_\_\_  
Date

\*\*\* Please call if signed order is not confirmed within two business days. \*\*\*

ATTACHMENT 2



UNITED TRUCK & EQUIPMENT  
2045 West Buckeye Road  
Phoenix, Arizona 85009  
Office: (602) 253-7739  
FAX : (602) 258-6312

Page 2 of 2

\*\* IMPORTANT! \*\*

PROVIDE SHIPPING INSTRUCTIONS: (SHIPTO)

Print Date 08/15/22

Quote Date 08/15/22

Quote Number 033556

Salesperson NT

SYSTEM DESCRIPTION: 2000 GAL WATER TRUCK  
LARRY BROWN; PUBLIC WORKS DEPT

OPTION  
PRICE Y/N

CHASSIS:

Make	NEW 2024 FREIGHTLINER M2 106 4X2 CONVENTIONAL CAB	Included
Engine	CUMMINS B6.7 250 HP 660LB/FT TORQUE CARB COMPLIANT	Included
Transmission	ALLISON 3500 RDS AUTOMATIC W/PTO PROVISION	Included
Rear End	21,000# SPRING SUSPENSION; 295/75R22.5 TIRES	Included
Front Axle	12,000# 295/75R22.5 TIRES	Included
Mileage	NEW	Included
Warranty	NEW FREIGHTLINER FACTORY WARRANTY	Included
Features	SEE TRUCK SPEC SHEET FOR FULL LIST OF SPECS	Included

TANK:

Size	2000 GAL 6C10 VISION TANK; 3/16" A36 MILD STEEL	Included
Baffle	(1) FITTED, CURVED W/4" OFFSET & WELDED ALL SEAMS	Included
Ladder	3/4" CONSTRUCTION W/ANTI-SLIP RUNGS; REAR MOUNT	Included
Manway	25" DIAMETER ROUND, NO LID, SCREENED	Included
Hydrant Fill	2.5" PIPE W/SWING SPOUT, AIR-GAP & QD CAMLOC	Included
Sight Gauge	FRONT AND REAR; BRASS HARDWARE W/FLEXIBLE TUBING	Included
Fenders	TROUGH STYLE TRAY FENDERS BLACK BEDLINER COATED	Included
Rear Bumper	PUSH PLATE BUMPER 1/2" CONSTRUCTION W/STORAGE BOX	Included
Lights	STANDARD DOT SPECS LED; UNITEDBUILT WIRE HARNESS	Included
BU Alarm	PETERSON 780 BACKUP ALARM	Included
Coating	TANK INTERIOR EPOXY LINED I58T604 SAFETY RED	Included
Paint	TANK EXTERIOR POWDER COATED WHITE TO MATCH CAB	Included
Runners	1/4" HD U-SHAPED CRADLE FULL-LENGTH OF TANK	Included
Mounting	HEAVY DUTY, GRADE 8 HARDWARE, FRONT SPRINGS	Included
Warranty	*** 5-YEAR TANK CONSTRUCTION WARRANTY ***	Included

PUMP AND PLUMBING:

Pump	UNITEDBUILT M3ZRMS 4X3 CAST IRON MECHANICAL SEAL	Included
Drive	CHELSEA HOT SHIFT PTO; BALANCED TUBE DRIVE LINE	Included
Front Spray	(2) UNITEDBUILT AV1100 AIROP VALVES; ADJ NOZZLES	Included
Rear Spray	(2) UNITEDBUILT AV1100 AIROP VALVES; ADJ NOZZLES	Included
Side Spray	(1) UNITEDBUILT AV1100 AIROP VALVE; DUCKBILL NOZZL	Included
Jet Valve	1.5" BRASS BALL VALVE W/25' MILL HOSE & FOG NOZZLE	Included
Suction Fill	SUCTION FILL, INTERNAL PRIMER, HOSE ASY, FOOT VALV	Included
Hose Reel	COX MANUAL REEL 1.5" X 50' W/HOSE & FOG NOZZLE	Included
Suction Hose	(2) ADDITIONAL 3" X 10' W/ MXF CAM & GROOVE FIT	Included
Hydrant Hose	2.5" X 50' MILL HOSE WITH NST SWIVEL & FEM CAM	Included
Plumbing	SCH40 PIPE W/GROOVE FITTINGS (NO THREAD/HOSE)	Included
Console	CAB AIR CONSOLE TO INDEPENDENTLY OPERATES VALVES	Included
Work Lights	(2) LED ECCO 92004 LIGHTS (LOCATION TBD)	Included
Rear Strobe	(2) MPOWER TRICOLOR WHITE/ORANGE/BLUE REAR TANK	Included
Strobe	(1) WHELEN R1LPPA STROBE (LOCATION TBD)	Included
Warranty	*** 1-YEAR PLUMBING WARRANTY ***	Included

\*\*\* O P T I O N S \*\*\*

Adder #1 SCH40 SS PIPE W/GROOVE FITTINGS (NO THREAD/HOSE) ADD 2000.00

Work Order approved by \_\_\_\_\_ Date \_\_\_\_\_

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_



## Freightliner M2 106



Components shown may not reflect all spec'd options and are not to scale

## S P E C I F I C A T I O N   P R O P O S A L

Data Code	Description	Weight Front	Weight Rear
<b>Price Level</b>			
PRL-27M	M2 PRL-27M (EFF:MY24 ORDERS)		
<b>Data Version</b>			
DRL-006	SPECPRO21 DATA RELEASE VER 006		
<b>Vehicle Configuration</b>			
001-172	M2 106 CONVENTIONAL CHASSIS	5,709	3,450
004-224	2024 MODEL YEAR SPECIFIED		
002-004	SET BACK AXLE - TRUCK		
019-002	STRAIGHT TRUCK PROVISION		
003-001	LH PRIMARY STEERING LOCATION		
<b>General Service</b>			
AA1-002	TRUCK CONFIGURATION		
AA6-002	DOMICILED, USA (EXCLUDING CALIFORNIA AND CARB OPT-IN STATES)		
A85-011	CONSTRUCTION SERVICE		
A84-1CO	CONSTRUCTION BUSINESS SEGMENT		
AA4-002	LIQUID BULK COMMODITY		
AA5-006	TERRAIN/DUTY: 10% (SOME) OF THE TIME, IN TRANSIT, IS SPENT ON NON-PAVED ROADS		
AB1-008	MAXIMUM 8% EXPECTED GRADE		
AB5-006	MAINTAINED DIRT OR SOFT SOIL - MOST SEVERE IN-TRANSIT (BETWEEN SITES) ROAD SURFACE		
995-091	MEDIUM TRUCK WARRANTY		
A66-99D	EXPECTED FRONT AXLE(S) LOAD : 12000.0 lbs		
A68-99D	EXPECTED REAR DRIVE AXLE(S) LOAD : 21000.0 lbs		
A63-99D	EXPECTED GROSS VEHICLE WEIGHT CAPACITY : 33000.0 lbs		
<b>Truck Service</b>			
AA3-003	TANK BODY		
A88-99D	EXPECTED TRUCK BODY LENGTH : 0.0 ft		
AF3-2BH	UNITED TRUCK BODY		
AF7-99D	EXPECTED BODY/PAYLOAD CG HEIGHT ABOVE FRAME "XX" INCHES : 32.0 in		
<b>Engine</b>			
101-21U	CUM B6.7 250 HP @ 2400 RPM, 2600 GOV, 660 LB-FT @ 1600 RPM		
<b>Electronic Parameters</b>			

Data Code	Description	Weight Front	Weight Rear
79A-070	70 MPH ROAD SPEED LIMIT		
79B-000	CRUISE CONTROL SPEED LIMIT SAME AS ROAD SPEED LIMIT		
79P-007	PTO RPM WITH CRUISE SET SWITCH - 1100 RPM		
79Q-007	PTO RPM WITH CRUISE RESUME SWITCH - 1100 RPM		
79S-001	PTO MODE CANCEL VEHICLE SPEED - 5 MPH		
79U-007	PTO GOVERNOR RAMP RATE - 250 RPM PER SECOND		
80G-002	PTO MINIMUM RPM - 700		
80J-002	REGEN INHIBIT SPEED THRESHOLD - 5 MPH		
<b>Engine Equipment</b>			
99C-021	2010 EPA/CARB/GHG21 CONFIGURATION		
99D-010	NO 2008 CARB EMISSION CERTIFICATION		
13E-001	STANDARD OIL PAN		
105-001	ENGINE MOUNTED OIL CHECK AND FILL		
014-1B5	SIDE OF HOOD AIR INTAKE WITH DONALDSON HIGH CAPACITY AIR CLEANER WITH SAFETY ELEMENT, FIREWALL MOUNTED		
124-1D7	DR 12V 160 AMP 28-SI QUADRAMOUNT PAD ALTERNATOR WITH REMOTE BATTERY VOLT SENSE		
292-205	(2) DTNA GENUINE, FLOODED STARTING, MIN 1900CCA, 350RC, THREADED STUD BATTERIES		
290-017	BATTERY BOX FRAME MOUNTED		
281-001	STANDARD BATTERY JUMPERS		
282-001	SINGLE BATTERY BOX FRAME MOUNTED LH SIDE UNDER CAB		
291-017	WIRE GROUND RETURN FOR BATTERY CABLES WITH ADDITIONAL FRAME GROUND RETURN		
289-001	NON-POLISHED BATTERY BOX COVER		
293-058	POSITIVE LOAD DISCONNECT WITH CAB MOUNTED CONTROL SWITCH MOUNTED OUTBOARD DRIVER SEAT	2	
295-029	POSITIVE AND NEGATIVE POSTS FOR JUMPSTART LOCATED ON FRAME NEXT TO STARTER	2	
107-032	CUMMINS TURBOCHARGED 18.7 CFM AIR COMPRESSOR WITH INTERNAL SAFETY VALVE		
108-002	STANDARD MECHANICAL AIR COMPRESSOR GOVERNOR		
131-013	AIR COMPRESSOR DISCHARGE LINE		
152-041	ELECTRONIC ENGINE INTEGRAL SHUTDOWN PROTECTION SYSTEM		
128-076	CUMMINS ENGINE INTEGRAL BRAKE WITH VARIABLE GEOMETRY TURBO ON/OFF	20	
016-1C2	RH OUTBOARD UNDER STEP MOUNTED HORIZONTAL AFTERTREATMENT SYSTEM ASSEMBLY WITH RH B-PILLAR MOUNTED VERTICAL TAILPIPE	30	25

Data Code	Description	Weight Front	Weight Rear
28F-002	ENGINE AFTERTREATMENT DEVICE, AUTOMATIC OVER THE ROAD REGENERATION AND DASH MOUNTED REGENERATION REQUEST SWITCH		
239-020	10 FOOT 00 INCH (120 INCH+0/-5.9 INCH) EXHAUST SYSTEM HEIGHT		
237-1CR	RH CURVED VERTICAL TAILPIPE B-PILLAR MOUNTED ROUTED FROM STEP		
23U-001	6 GALLON DIESEL EXHAUST FLUID TANK		
30N-003	100 PERCENT DIESEL EXHAUST FLUID FILL		
43X-002	LH MEDIUM DUTY STANDARD DIESEL EXHAUST FLUID TANK LOCATION		
23Y-002	DIESEL EXHAUST FLUID PUMP MOUNTED AFT OF DIESEL EXHAUST FLUID TANK		
43Y-001	STANDARD DIESEL EXHAUST FLUID TANK CAP		
242-011	ALUMINUM AFTERTREATMENT DEVICE/MUFFLER/TAILPIPE SHIELD(S)		
273-004	BORG WARNER VISCOUS FAN DRIVE		
110-003	CUMMINS SPIN ON FUEL FILTER		
118-001	FULL FLOW OIL FILTER		
266-100	700 SQUARE INCH ALUMINUM RADIATOR		
103-039	ANTIFREEZE TO -34F, OAT (NITRITE AND SILICATE FREE) EXTENDED LIFE COOLANT		
171-007	GATES BLUE STRIPE COOLANT HOSES OR EQUIVALENT		
172-001	CONSTANT TENSION HOSE CLAMPS FOR COOLANT HOSES		
270-016	RADIATOR DRAIN VALVE		
168-998	NO RADIATOR/OIL PAN GUARD	-5	
138-010	PHILLIPS-TEMRO 750 WATT/115 VOLT BLOCK HEATER	4	
140-053	BLACK PLASTIC ENGINE HEATER RECEPTACLE MOUNTED UNDER LH DOOR		
134-001	ALUMINUM FLYWHEEL HOUSING		
132-004	ELECTRIC GRID AIR INTAKE WARMER		
155-057	DELCO 12V 29MT STARTER WITH INTEGRATED MAGNETIC SWITCH		

### Transmission

342-584	ALLISON 3500 RDS AUTOMATIC TRANSMISSION WITH PTO PROVISION	200	60
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### Transmission Equipment

343-339	ALLISON VOCATIONAL PACKAGE 223 - AVAILABLE ON 3000/4000 PRODUCT FAMILIES WITH VOCATIONAL MODELS RDS, HS, MH AND TRV
84B-012	ALLISON VOCATIONAL RATING FOR ON/OFF HIGHWAY APPLICATIONS AVAILABLE WITH ALL PRODUCT FAMILIES
84C-023	PRIMARY MODE GEARS, LOWEST GEAR 1, START GEAR 1, HIGHEST GEAR 6, AVAILABLE FOR 3000/4000 PRODUCT FAMILIES ONLY



Data Code	Description	Weight Front	Weight Rear
84D-023	SECONDARY MODE GEARS, LOWEST GEAR 1, START GEAR 1, HIGHEST GEAR 6, AVAILABLE FOR 3000/4000 PRODUCT FAMILIES ONLY		
84E-000	PRIMARY SHIFT SCHEDULE RECOMMENDED BY DTNA AND ALLISON, THIS DEFINED BY ENGINE AND VOCATIONAL USAGE		
84F-000	SECONDARY SHIFT SCHEDULE RECOMMENDED BY DTNA AND ALLISON, THIS DEFINED BY ENGINE AND VOCATIONAL USAGE		
84G-000	PRIMARY SHIFT SPEED RECOMMENDED BY DTNA AND ALLISON, THIS DEFINED BY ENGINE AND VOCATIONAL USAGE		
84H-000	SECONDARY SHIFT SPEED RECOMMENDED BY DTNA AND ALLISON, THIS DEFINED BY ENGINE AND VOCATIONAL USAGE		
84J-000	ENGINE BRAKE RANGE PRESELECT RECOMMENDED BY DTNA AND ALLISON, THIS DEFINED BY ENGINE AND VOCATIONAL USAGE		
84K-000	ENGINE BRAKE RANGE ALTERNATE PRESELECT RECOMMENDED BY DTNA AND ALLISON, THIS DEFINED BY ENGINE AND VOCATIONAL USAGE		
84N-200	FUEL SENSE 2.0 DISABLED - PERFORMANCE - TABLE BASED		
84U-000	DRIVER SWITCH INPUT - DEFAULT - NO SWITCHES		
353-022	VEHICLE INTERFACE WIRING CONNECTOR WITHOUT BLUNT CUTS, AT BACK OF CAB		
34C-001	ELECTRONIC TRANSMISSION CUSTOMER ACCESS CONNECTOR FIREWALL MOUNTED		
362-823	CUSTOMER INSTALLED CHELSEA 280 SERIES PTO		
363-002	PTO MOUNTING, RH SIDE OF MAIN TRANSMISSION ALLISON & EATON FULLER		
341-018	MAGNETIC PLUGS, ENGINE DRAIN, TRANSMISSION DRAIN, AXLE(S) FILL AND DRAIN		
345-003	PUSH BUTTON ELECTRONIC SHIFT CONTROL, DASH MOUNTED		
97G-004	TRANSMISSION PROGNOSTICS - ENABLED 2013		
370-015	WATER TO OIL TRANSMISSION COOLER, IN RADIATOR END TANK		
346-003	TRANSMISSION OIL CHECK AND FILL WITH ELECTRONIC OIL LEVEL CHECK		
35T-001	SYNTHETIC TRANSMISSION FLUID (TES-295 COMPLIANT)		

#### Front Axle and Equipment

400-1A6	DETROIT DA-F-12.0-3 12,000# FF1 71.5 KPI/3.74 DROP SINGLE FRONT AXLE
402-1AP	MERITOR 15X4 Q+ CAM FRONT BRAKES, PLATINUM SHIELD SHOES
403-002	NON-ASBESTOS FRONT BRAKE LINING
419-001	CAST IRON OUTBOARD FRONT BRAKE DRUMS
409-006	FRONT OIL SEALS



Data Code	Description	Weight Front	Weight Rear
408-001	VENTED FRONT HUB CAPS WITH WINDOW, CENTER AND SIDE PLUGS - OIL		
416-022	STANDARD SPINDLE NUTS FOR ALL AXLES		
405-031	HALDEX AUTOMATIC FRONT SLACK ADJUSTERS WITH STAINLESS STEEL CLEVIS PINS		
536-050	TRW THP-60 POWER STEERING		
539-003	POWER STEERING PUMP		
534-015	2 QUART SEE THROUGH POWER STEERING RESERVOIR		
40T-002	CURRENT AVAILABLE SYNTHETIC 75W-90 FRONT AXLE LUBE		
<b>Front Suspension</b>			
620-1E9	12,000# MONO TAPERLEAF FRONT SUSPENSION		
619-005	MAINTENANCE FREE RUBBER BUSHINGS - FRONT SUSPENSION		
410-001	FRONT SHOCK ABSORBERS		
<b>Rear Axle and Equipment</b>			
420-009	RS-21-160 21,000# R-SERIES SINGLE REAR AXLE		180
421-643	6.43 REAR AXLE RATIO		
424-001	IRON REAR AXLE CARRIER WITH STANDARD AXLE HOUSING		
386-079	MXL 16T MERITOR EXTENDED LUBE MAIN DRIVELINE WITH HALF ROUND YOKES	-35	-35
423-020	MERITOR 16.5X7 Q+ CAST SPIDER CAM REAR BRAKES, DOUBLE ANCHOR, FABRICATED SHOES		
433-002	NON-ASBESTOS REAR BRAKE LINING		
434-012	BRAKE CAMS AND CHAMBERS ON REAR SIDE OF DRIVE AXLE(S)		
451-001	CAST IRON OUTBOARD REAR BRAKE DRUMS		
440-006	REAR OIL SEALS		
426-100	WABCO TRISTOP D LONGSTROKE 1-DRIVE AXLE SPRING PARKING CHAMBERS		
428-002	MERITOR AUTOMATIC REAR SLACK ADJUSTERS		
41T-001	MINERAL SAE 80/90 REAR AXLE LUBE		
<b>Rear Suspension</b>			
622-1MG	21,000# 52 INCH VARIABLE RATE MULTI-LEAF SPRING REAR SUSPENSION WITH LEAF SPRING HELPER		100
621-001	SPRING SUSPENSION - NO AXLE SPACERS		
431-001	STANDARD AXLE SEATS IN AXLE CLAMP GROUP		
<b>Brake System</b>			
018-002	AIR BRAKE PACKAGE		
490-100	WABCO 4S/4M ABS		

Data Code	Description	Weight Front	Weight Rear
871-001	REINFORCED NYLON, FABRIC BRAID AND WIRE BRAID CHASSIS AIR LINES		
904-001	FIBER BRAID PARKING BRAKE HOSE		
412-001	STANDARD BRAKE SYSTEM VALVES		
46D-002	STANDARD AIR SYSTEM PRESSURE PROTECTION SYSTEM		
413-002	STD U.S. FRONT BRAKE VALVE		
432-003	RELAY VALVE WITH 5-8 PSI CRACK PRESSURE, NO REAR PROPORTIONING VALVE		
480-009	BW AD-9 BRAKE LINE AIR DRYER WITH HEATER	20	
479-012	AIR DRYER MOUNTED UNDER HOOD		
460-001	STEEL AIR BRAKE RESERVOIRS		
477-001	PULL CABLE ON WET TANK, PETCOCK DRAIN VALVES ON ALL OTHER AIR TANKS		
485-003	QUICK DISCONNECT FITTING WITH TIRE INFLATION KIT	2	
<b>Trailer Connections</b>			
335-004	UPGRADED CHASSIS MULTIPLEXING UNIT		
32A-002	UPGRADED BULKHEAD MULTIPLEXING UNIT		
<b>Wheelbase &amp; Frame</b>			
545-385	3850MM (152 INCH) WHEELBASE		
546-094	9/32X3-7/16X10-1/16 INCH STEEL FRAME (7.14MMX255.6/0.281X10.06 INCH) 80KSI	-170	40
552-040	1875MM (74 INCH) REAR FRAME OVERHANG		
55W-007	FRAME OVERHANG RANGE: 71 INCH TO 80 INCH	-20	80
AC8-99D	CALC'D BACK OF CAB TO REAR SUSP C/L (CA) : 86.02 in		
AE8-99D	CALCULATED EFFECTIVE BACK OF CAB TO REAR SUSPENSION C/L (CA) : 83.02 in		
AE4-99D	CALC'D FRAME LENGTH - OVERALL : 264.35 in		
FSS-0LH	CALCULATED FRAME SPACE LH SIDE : 57.43 in		
FSS-0RH	CALCULATED FRAME SPACE RH SIDE : 33.88 in		
553-001	SQUARE END OF FRAME		
550-001	FRONT CLOSING CROSSMEMBER		
559-001	STANDARD WEIGHT ENGINE CROSSMEMBER		
561-001	STANDARD CROSSMEMBER BACK OF TRANSMISSION		
562-001	STANDARD MIDSHIP #1 CROSSMEMBER(S)		
572-001	STANDARD REARMOST CROSSMEMBER		
565-001	STANDARD SUSPENSION CROSSMEMBER		
<b>Chassis Equipment</b>			
556-1AP	THREE-PIECE 14 INCH PAINTED STEEL BUMPER WITH COLLAPSIBLE ENDS	30	
558-001	FRONT TOW HOOKS - FRAME MOUNTED	15	
574-001	BUMPER MOUNTING FOR SINGLE LICENSE PLATE		
586-024	FENDER AND FRONT OF HOOD MOUNTED FRONT MUDFLAPS		

Data Code	Description	Weight Front	Weight Rear
551-007	GRADE 8 THREADED HEX HEADED FRAME FASTENERS		
<b>Fuel Tanks</b>			
204-215	50 GALLON/189 LITER SHORT RECTANGULAR ALUMINUM FUEL TANK - LH	20	
218-005	RECTANGULAR FUEL TANK(S)		
215-005	PLAIN ALUMINUM/PAINTED STEEL FUEL/HYDRAULIC TANK(S) WITH PAINTED BANDS		
212-007	FUEL TANK(S) FORWARD		
664-001	PLAIN STEP FINISH		
205-001	FUEL TANK CAP(S)		
122-1J1	DETROIT FUEL/WATER SEPARATOR WITH WATER IN FUEL SENSOR, HAND PRIMER AND 12 VOLT PREHEATER"	-5	
216-020	EQUIFLO INBOARD FUEL SYSTEM		
202-016	HIGH TEMPERATURE REINFORCED NYLON FUEL LINE		
<b>Tires</b>			
093-2G7	BRIDGESTONE ECOPIA R268 295/75R22.5 14 PLY RADIAL FRONT TIRES	10	
094-2ED	BRIDGESTONE M770 295/75R22.5 14 PLY RADIAL REAR TIRES		88
<b>Hubs</b>			
418-060	CONMET PRESET PLUS PREMIUM IRON FRONT HUBS		
450-060	CONMET PRESET PLUS PREMIUM IRON REAR HUBS		
<b>Wheels</b>			
502-753	MAXION WHEELS 91262 22.5X8.25 10-HUB PILOT 6.20 INSET 5-HAND STEEL DISC FRONT WHEELS	10	
505-753	MAXION WHEELS 91262 22.5X8.25 10-HUB PILOT 5-HAND STEEL DISC REAR WHEELS		20
496-011	FRONT WHEEL MOUNTING NUTS		
497-011	REAR WHEEL MOUNTING NUTS		
<b>Cab Exterior</b>			
829-071	106 INCH BBC FLAT ROOF ALUMINUM CONVENTIONAL CAB		
650-008	AIR CAB MOUNTING		
648-002	NONREMOVABLE BUGSCREEN MOUNTED BEHIND GRILLE		
678-001	LH AND RH GRAB HANDLES		
646-009	PAINTED PLASTIC GRILLE		
65X-001	ARGENT SILVER HOOD MOUNTED AIR INTAKE GRILLE		
644-004	FIBERGLASS HOOD		
727-1AH	SINGLE 14 INCH ROUND POLISHED AIR HORN ROOF MOUNTED	4	



Data Code	Description	Weight Front	Weight Rear
726-001	SINGLE ELECTRIC HORN		
728-001	SINGLE HORN SHIELD		
575-001	REAR LICENSE PLATE MOUNT END OF FRAME		
312-043	INTEGRAL HEADLIGHT/MARKER ASSEMBLY		
302-001	(5) AMBER MARKER LIGHTS		
311-001	DAYTIME RUNNING LIGHTS		
294-001	INTEGRAL STOP/TAIL/BACKUP LIGHTS		
300-015	STANDARD FRONT TURN SIGNAL LAMPS		
744-1BC	DUAL WEST COAST BRIGHT FINISH HEATED MIRRORS WITH LH AND RH REMOTE		
797-001	DOOR MOUNTED MIRRORS		
796-001	102 INCH EQUIPMENT WIDTH		
743-204	LH AND RH 8 INCH BRIGHT FINISH CONVEX MIRRORS MOUNTED UNDER PRIMARY MIRRORS		
729-001	STANDARD SIDE/REAR REFLECTORS		
768-043	63X14 INCH TINTED REAR WINDOW		
661-003	TINTED DOOR GLASS LH AND RH WITH TINTED NON-OPERATING WING WINDOWS		
654-011	RH AND LH ELECTRIC POWERED WINDOWS	4	
663-013	1-PIECE SOLAR GREEN GLASS WINDSHIELD		
659-019	2 GALLON WINDSHIELD WASHER RESERVOIR WITHOUT FLUID LEVEL INDICATOR, FRAME MOUNTED		

#### Cab Interior

707-1AK	OPAL GRAY VINYL INTERIOR
706-013	MOLDED PLASTIC DOOR PANEL
708-013	MOLDED PLASTIC DOOR PANEL
772-006	BLACK MATS WITH SINGLE INSULATION
691-008	FORWARD ROOF MOUNTED CONSOLE WITH UPPER STORAGE COMPARTMENTS WITHOUT NETTING
694-010	IN DASH STORAGE BIN
742-007	(2) CUP HOLDERS LH AND RH DASH
680-006	GRAY/CHARCOAL FLAT DASH
700-002	HEATER, DEFROSTER AND AIR CONDITIONER
701-001	STANDARD HVAC DUCTING
703-005	MAIN HVAC CONTROLS WITH RECIRCULATION SWITCH
170-015	STANDARD HEATER PLUMBING
130-041	VALEO HEAVY DUTY A/C REFRIGERANT COMPRESSOR
702-002	BINARY CONTROL, R-134A
739-033	STANDARD INSULATION
285-013	SOLID-STATE CIRCUIT PROTECTION AND FUSES
280-007	12V NEGATIVE GROUND ELECTRICAL SYSTEM
324-014	DOME LIGHT WITH 3-WAY SWITCH ACTIVATED BY LH AND RH DOORS



Data Code	Description	Weight Front	Weight Rear
657-001	DOOR LOCKS AND IGNITION SWITCH KEYED THE SAME		
78G-004	KEY QUANTITY OF 4		
655-005	LH AND RH ELECTRIC DOOR LOCKS		
284-023	(1) 12 VOLT POWER SUPPLY IN DASH		
756-338	BASIC ISRINGHAUSEN HIGH BACK AIR SUSPENSION DRIVERS SEAT WITH MECHANICAL LUMBAR AND INTEGRATED CUSHION EXTENSION	30	
760-335	BASIC ISRI HIGH BACK NON SUSPENSION PASSENGER SEAT		
711-004	LH AND RH INTEGRAL DOOR PANEL ARMRESTS		
758-014	BLACK CORDURA PLUS CLOTH DRIVER SEAT COVER		
761-014	BLACK CORDURA PLUS CLOTH PASSENGER SEAT COVER		
763-101	BLACK SEAT BELTS		
532-002	ADJUSTABLE TILT AND TELESCOPING STEERING COLUMN	10	
540-015	4-SPOKE 18 INCH (450MM) STEERING WHEEL		
765-002	DRIVER AND PASSENGER INTERIOR SUN VISORS		

### Instruments & Controls

732-004	GRAY DRIVER INSTRUMENT PANEL		
734-004	GRAY CENTER INSTRUMENT PANEL		
87L-001	ENGINE REMOTE INTERFACE WITH PARK BRAKE INTERLOCK		
870-001	BLACK GAUGE BEZELS		
486-001	LOW AIR PRESSURE INDICATOR LIGHT AND AUDIBLE ALARM		
840-002	2 INCH PRIMARY AND SECONDARY AIR PRESSURE GAUGES		
198-025	INTAKE MOUNTED AIR RESTRICTION INDICATOR WITHOUT GRADUATIONS		
721-003	87 DECIBELS TO 112 DECIBELS AUTOMATIC SELF-ADJUSTING BACKUP ALARM		3
149-013	ELECTRONIC CRUISE CONTROL WITH SWITCHES IN LH SWITCH PANEL		
156-007	KEY OPERATED IGNITION SWITCH AND INTEGRAL START POSITION; 4 POSITION OFF/RUN/START/ACCESSORY		
811-042	ICU3S, 132X48 DISPLAY WITH DIAGNOSTICS, 28 LED WARNING LAMPS AND DATA LINKED		
160-038	HEAVY DUTY ONBOARD DIAGNOSTICS INTERFACE CONNECTOR LOCATED BELOW LH DASH		
844-001	2 INCH ELECTRIC FUEL GAUGE		
148-071	ENGINE REMOTE INTERFACE WITH INCREMENT/DECREMENT		
163-001	ENGINE REMOTE INTERFACE CONNECTOR AT BACK OF CAB		

Data Code	Description	Weight Front	Weight Rear
856-001	ELECTRICAL ENGINE COOLANT TEMPERATURE GAUGE		
864-001	2 INCH TRANSMISSION OIL TEMPERATURE GAUGE		
830-017	ENGINE AND TRIP HOUR METERS INTEGRAL WITHIN DRIVER DISPLAY		
372-035	(1) DASH MOUNTED PTO SWITCH WITH INDICATOR LAMP	10	
852-002	ELECTRIC ENGINE OIL PRESSURE GAUGE		
679-998	NO OVERHEAD INSTRUMENT PANEL		
746-136	AM/FM/WB WORLD TUNER RADIO WITH AUXILIARY INPUT, J1939	10	
747-001	DASH MOUNTED RADIO		
750-002	(2) RADIO SPEAKERS IN CAB		
753-001	AM/FM ANTENNA MOUNTED ON FORWARD LH ROOF		
810-027	ELECTRONIC MPH SPEEDOMETER WITH SECONDARY KPH SCALE, WITHOUT ODOMETER		
817-001	STANDARD VEHICLE SPEED SENSOR		
812-001	ELECTRONIC 3000 RPM TACHOMETER		
162-011	IDLE LIMITER, ELECTRONIC ENGINE		
836-015	DIGITAL VOLTAGE DISPLAY INTEGRAL WITH DRIVER DISPLAY		
660-008	SINGLE ELECTRIC WINDSHIELD WIPER MOTOR WITH DELAY		
304-001	MARKER LIGHT SWITCH INTEGRAL WITH HEADLIGHT SWITCH		
882-009	ONE VALVE PARKING BRAKE SYSTEM WITH WARNING INDICATOR		
299-013	SELF CANCELING TURN SIGNAL SWITCH WITH DIMMER, WASHER/WIPER AND HAZARD IN HANDLE		
298-039	INTEGRAL ELECTRONIC TURN SIGNAL FLASHER WITH HAZARD LAMPS OVERRIDING STOP LAMPS		

### Design

065-000	PAINT: ONE SOLID COLOR
---------	------------------------

### Color

980-5F6	CAB COLOR A: L0006EY WHITE ELITE EY
986-020	BLACK, HIGH SOLIDS POLYURETHANE CHASSIS PAINT
962-972	POWDER WHITE (N0006EA) FRONT WHEELS/RIMS (PKWHT21, TKWHT21, W, TW)
966-972	POWDER WHITE (N0006EA) REAR WHEELS/RIMS (PKWHT21, TKWHT21, W, TW)
964-6Z7	BUMPER PAINT: FP24812 ARGENT SILVER DUPONT FLEX
963-003	STANDARD E COAT/UNDERCOATING

### Certification / Compliance

<b>Data Code</b>	<b>Description</b>	<b>Weight Front</b>	<b>Weight Rear</b>
996-001	U.S. FMVSS CERTIFICATION, EXCEPT SALES CABS AND GLIDER KITS		

## T O T A L   V E H I C L E   S U M M A R Y

### Weight Summary

	<b>Weight Front</b>	<b>Weight Rear</b>	<b>Total Weight</b>
Factory Weight <sup>+</sup>	5907 lbs	4011 lbs	9918 lbs
Total Weight <sup>+</sup>	5907 lbs	4011 lbs	9918 lbs

### Extended Warranty

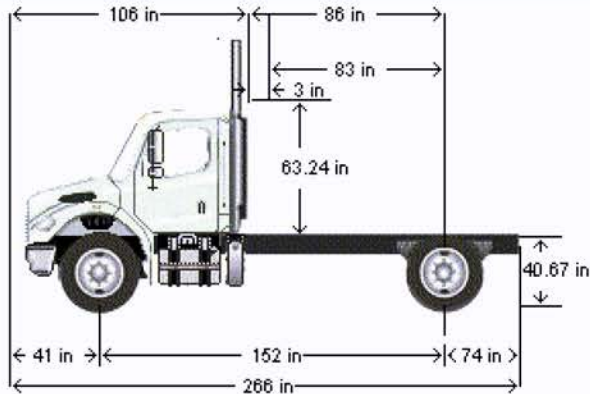
WAG-038    TOWING: 1 YEAR/UNLIMITED MILES/KM EXTENDED TOWING  
COVERAGE \$1200 CAP FEX APPLIES

(+) Weights shown are estimates only.

If weight is critical, contact Customer Application Engineering.

(\*\*\*) All cost increases for major components (Engines, Transmissions, Axles, Front and Rear Tires) and government mandated requirements, tariffs, and raw material surcharges will be passed through and added to factory invoices.

## D I M E N S I O N S



### VEHICLE SPECIFICATIONS SUMMARY - DIMENSIONS

Model .....	M2106
Wheelbase (545) .....	3850MM (152 INCH) WHEELBASE
Rear Frame Overhang (552) .....	1875MM (74 INCH) REAR FRAME OVERHANG
Fifth Wheel (578) .....	NO FIFTH WHEEL
Mounting Location (577) .....	NO FIFTH WHEEL LOCATION
Maximum Forward Position (in) .....	0
Maximum Rearward Position (in) .....	0
Amount of Slide Travel (in) .....	0
Slide Increment (in) .....	0
Desired Slide Position (in) .....	0.0
Cab Size (829) .....	106 INCH BBC FLAT ROOF ALUMINUM CONVENTIONAL CAB
Sleeper (682) .....	NO SLEEPER BOX/SLEEPER CAB
Exhaust System (016) .....	RH OUTBOARD UNDER STEP MOUNTED HORIZONTAL AFTERTREATMENT SYSTEM ASSEMBLY WITH RH B-PILLAR MOUNTED VERTICAL TAILPIPE

### TABLE SUMMARY - DIMENSIONS



Dimensions	Inches
Bumper to Back of Cab (BBC)	106.3
Bumper to Centerline of Front Axle (BA)	40.7
Front Axle to Back of Cab (AC)	65.6
Min. Cab to Body Clearance (CB)	3.0
Back of Cab to Centerline of Rear Axle(s) (CA)	86.0
Effective Back of Cab to Centerline of Rear Axle(s) (Effective CA)	83.0
Back of Cab Protrusions (Exhaust/Intake) (CP)	2.0
Back of Cab Protrusions (Side Extenders/Trim Tab) (CP)	0.0
Back of Cab Protrusions (CNG Tank)	0.0
Back of Cab Clearance (CL)	3.0
Back of Cab to End of Frame	159.8
Cab Height (CH)	63.2
Wheelbase (WB)	151.6
Frame Overhang (OH)	73.8
Overall Frame Length	264.4
Overall Length (OAL)	266.1
Rear Axle Spacing	0.0
Unladen Frame Height at Centerline of Rear Axle	40.7

Performance calculations are estimates only. If performance calculations are critical, please contact Customer Application Engineering.

# 2023 OPERATING BUDGET



## PROPOSED 2023 OPERATING BUDGET SUMMARY

Monday – August 22<sup>nd</sup>, 2022  
City of Shorewood City Council Meeting

SOUTH LAKE MINNETONKA POLICE DEPARTMENT

## 2023 OPERATING BUDGET

### Projected Expenses

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ITEM	CATEGORY	AMOUNT
50100	Salaries - Full-Time	\$1,796,522
50200	Salaries - General Overtime	\$35,000
50230	Salaries - Reimbursed Overtime	\$53,500
50300	Salaries - Part-Time	\$60,970
50500	Social Security & Medicare	\$34,513
50600	PERA Pensions	\$314,136
50700	Insurance Benefits	\$316,351
50800	Long-Term Disability	\$6,500
51000	Contracted Services	\$39,682
52100	Equipment Leases	\$64,861
52200	Repairs & Maintenance	\$97,852
52300	Utilities	\$71,366
52400	Janitorial & Cleaning	\$10,340
52500	Printing & Publishing	\$2,500
53000	Supplies / Fuel	\$86,455
54000	Uniforms & Gear	\$21,600
54500	Training & Development	\$36,000
56000	Insurance	\$160,556
56100	Subscriptions & Memberships	\$2,130
57000	Special Projects	\$23,865
58000	Capital Outlay	\$71,691
	<b>TOTAL PROJECTED EXPENSES</b>	<b>\$3,306,390</b>

**SOUTH LAKE MINNETONKA POLICE DEPARTMENT**  
**2023 OPERATING BUDGET**  
**Projected Revenues**

--

ITEM	CATEGORY	AMOUNT
40110	Court Overtime	\$7,500
40120	Excelsior Park and Dock Patrol	\$23,000
42100	State Police Officer Aid	\$127,000
42200	State Training Reimbursement	\$13,500
43100	Minnetonka School District	\$5,000
43200	Administrative Requests	\$7,000
43400	Special Policing Details	\$27,000
44000	Investment Income	\$5,000
46400	Forfeitures	\$15,000
46500	Grant Reimbursements	\$20,000
46600	Other Reimbursements	\$75,000
	<b>TOTAL PROJECTED REVENUES</b>	<b>\$325,000</b>
	<b>Expenses in Excess of Revenues</b>	<b>\$2,981,390</b>
	<b>PROJECTED COST TO MEMBER CITIES</b>	<b>\$2,981,390</b>



# SOUTH LAKE MINNETONKA POLICE DEPARTMENT

## 2023 OPERATING BUDGET

Projected Contributions from Member Cities - Year 2023

### Reallocation Formula (2022-2026)

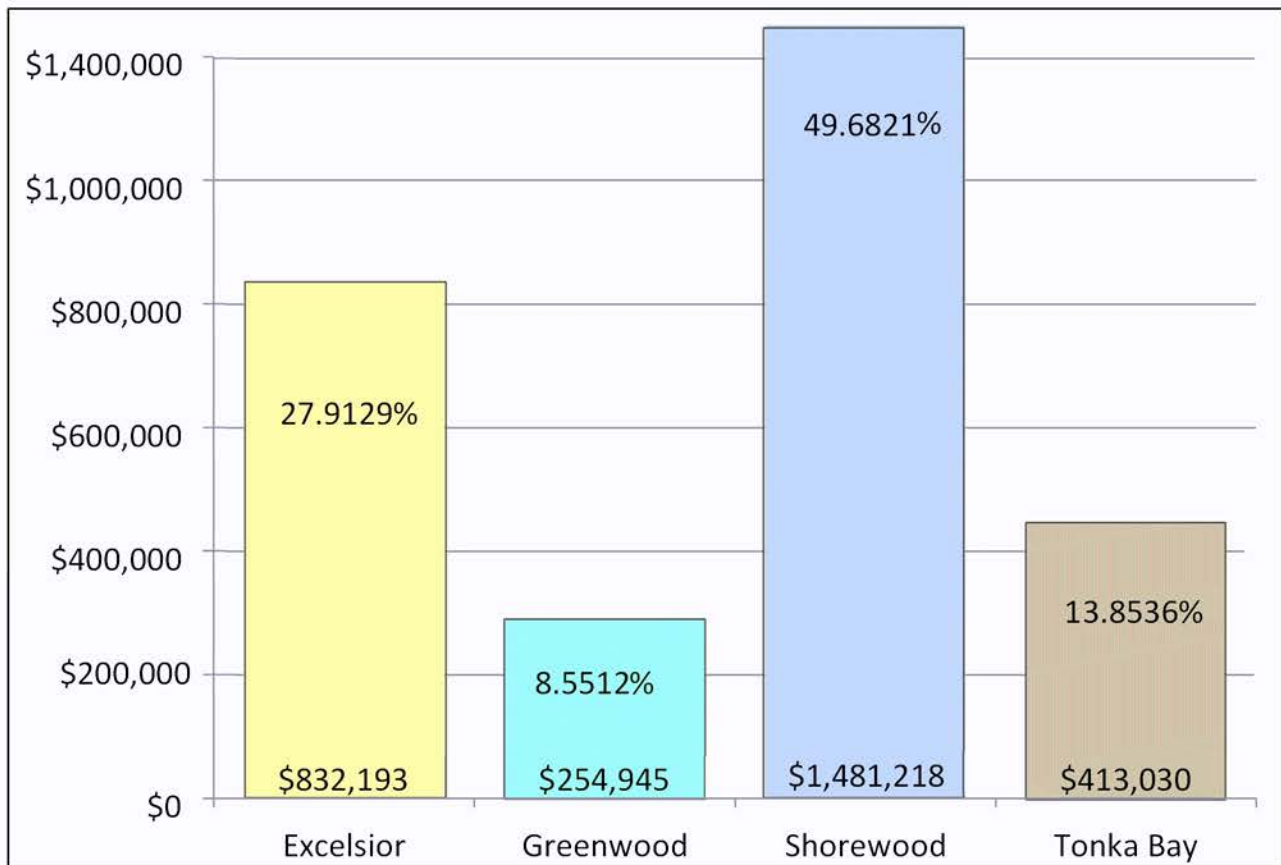
MEMBER CITY	TOTAL AMOUNT	% SHARE	\$ SHARE	\$INCREASE OVER 2022
Excelsior	\$2,981,390	27.9129%	\$832,193	\$42,115
Greenwood	\$2,981,390	8.5512%	\$254,945	\$13,358
Shorewood	\$2,981,390	49.6821%	\$1,481,218	\$77,095
Tonka Bay	\$2,981,390	13.8536%	\$413,030	\$21,254
<b>2023 Total Contributions from Member Cities</b>			\$2,981,390	
<b>2022 Total Contributions from Member Cities</b>			\$2,827,564	
The funding formula used to determine each member city's percentage contribution toward the operating budget is based on an arbitration ruling in 2006. Every five years the funding formula is subject to an automatic adjustment based on the criteria set forth in this ruling. The 2022 operating budget was the third time since the ruling took effect that the funding formula was subject to adjustment. Barring an amendment to the JPA, the reset funding formula is not subject to change again until 2027.				
<b>Dollar Increase Over 2022</b>			<b>\$153,826</b>	
<b>Percentage Increase Over 2022</b>			<b>5.4%</b>	

# SOUTH LAKE MINNETONKA POLICE DEPARTMENT

## 2023 OPERATING BUDGET



Proposed Contributions from Member Cities  
**Reallocation Formula (2022-2026)**  
**Total Amount - \$ 2,981,390**



**SOUTH LAKE MINNETONKA POLICE DEPARTMENT  
PUBLIC SAFETY FACILITY - POLICE PORTION**

**2022 DEBT SERVICE AMOUNTS**

Amount Due to the Shorewood Economic Development Authority (EDA) - \$400,650

Member City	Tax Capacity	Percentage	Share of Cost
Excelsior	\$7,711,709	18.5315%	\$74,246
Greenwood	\$4,778,360	11.4825%	\$46,005
Shorewood	\$21,702,658	52.1521%	\$208,947
Tonka Bay	\$7,421,441	17.8339%	\$71,452
<b>TOTAL</b>	<b>\$41,614,168</b>	<b>100.0000%</b>	<b>\$400,650</b>

<b>NOTATIONS</b>
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(1) 2021 Tax Capacity Figures - Hennepin County Assessor's Office ( <i>Data Run: July 16th, 2021</i> )
--

(2) Percentages Rounded Based Upon Tax Capacity ( <i>Ad Valorem</i> ) Formula
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(3) Total Debt Service Costs Validated with the Shorewood EDA ( <i>Includes Anticipated Fiscal Agent Fees</i> )
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The City of Shorewood would have  
\$131,852.00 of unallocated funds in  
2023 after leveraging the debt service  
payoff.

# ***Excelsior Fire District***

## **2023 BUDGET**

4C
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### **2023 OVERVIEW**

In preparing the 2023 budget, version 4, the following updates/changes were incorporated into the draft.

- Operations and Building budget increase of 4% total.
- Updated spreadsheet so that all operating expenses were calculated based upon detailed schedules contained in “2023 SalaryBenefits” and “2023 Supplies & Other” tabs.
- All PERA, FICA and Medicare expenses based upon formulas embedded in spreadsheet.
- 2022 actual updated to include income and expenses through June.
- End of year 2021 balance is \$341962, or 28.15% of operating budget.
  - Reserves higher than needed.

### **2023 CHANGES**

- INCREASED overnight duty crew stipend on Friday and Saturday nights from \$80 per night to \$100. Increased weekday overnight duty crew stipend from \$60 per night to \$80 per night.
- INCREASED all part-time, firefighter hourly wages by 13.79% effective 1/1/2023. \$14.07 to \$16.00 per hour. All full-time staff 5% annual increase starting on 01/01/2023.
- Funded Capital Equipment purchases support vehicle lease program and Engine 11 lease payment. Budget increase 121.7%
- Funded Building Improvement Fund. Budget increase 0%
- Added weekend Duty Crew daytime staffing 2 firefighters at both stations. Budget increase 5.8%

### **2023 KEY FINANCIAL NOTES**

- Assumptions:
  - Staffing predictability and availability will continue to challenge the organization resulting in the need to continue to invest in the duty crew model.
  - Duty officer program will continue to be needed unless or until additional full-time staff can be added.
  - Estimated 5-8% growth rate for all operating expenses except health insurance which was set to 10%
  - Organization complexity along with service demands and desire to achieve a balanced life/work for firefighters will result in the addition of some full-time positions beginning in 2024.
  - Fund reserves with a target reserve of 25% to 28%.
  - Leverage the elimination of mortgage debt into needed staffing.
  - Continue fire district marketing campaign (branding video, interactive Facebook and website pages), recruitment and retention to maintain paid on call model moving forward augmented with career fireground and administrative staffing.



## **2024-2028 CHANGES**

- Adding financial projections to building improvement fund to provide funding for roof replacement, boilers, interior concrete flooring, and other unanticipated building maintenance costs.
- ADD full-time Assistant Chief effective 4/1/2024
  - Assist Fire Chief with day-to-day operations
  - Focus on grant funding opportunities
  - Staff and officer development
- ADD three (3) full-time Deputy/Battalion Chiefs in 2024/2025 on 24-hour shifts.
  - Significantly REDUCE load on current duty officer program
  - INCREASE daily fireground and response resources
  - Create succession planning program
  - Cover and supervise duty crews during the day.
  - Manage: Training, Administration, and daily operations
- REDUCED duty officer coverage for non-full-time coverage days for vacation/sick time coverage only



## City of Shorewood Council Meeting Item

#5A

MEETING TYPE  
Regular Meeting

**Title / Subject:** Rezoning, PUD Concept/Development Stage Plan, Preliminary Plat  
Public Hearing for Maple Shores

**Applicant:** Chamberlain Capital, LLC.  
**Location:** 20430 Radisson Road and four adjacent unaddressed parcels, all on the south side of Highway 7

**Meeting Date:** August 22, 2022  
**Prepared by:** Marie Darling, Planning Director

**Review Deadline:** September 16, 2022

**Attachments:** Location Map  
Site Plan

Please also see staff report and attachments for Item 7B on this agenda and the minutes from the Planning Commission meeting for Item 7A on this agenda.

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### Background:

The applicant proposes to develop the subject properties into seven lots for new single and two-family homes and one open space outlot. This proposal includes the following requests:

- A rezoning from R-1A to Planned Unit Development (PUD)
- A PUD concept and development plan (the 1<sup>st</sup> and 2<sup>nd</sup> steps of the three-step process)
- A preliminary plat (the 1<sup>st</sup> of 2 steps in the subdivision process)

**Recommendation:** Staff recommend that the City Council open the second public hearing on this item and take and consider all offered testimony. Action on the item would be later in the agenda as item 7B. A public hearing was also held at the Planning Commission. A summary of the testimony received, and their action is below.

### Planning Commission Public Hearing and Public Testimony:

At their August 2, 2022, meeting, the Planning Commission voted unanimously to recommend approval of the application based on the findings that the request met the standards for approval, subject to the conditions listed in the staff report. The applicant was present at the meeting and spoke in favor of the request. Six people from the audience requested to speak. Staff received no written comments or questions. One correction and the majority of the issues raised are summarized below.

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**Mission Statement:** *The City of Shorewood is committed to providing residents quality public services, a healthy environment, a variety of attractive amenities, a sustainable tax base, and sound financial management through effective, efficient, and visionary leadership.*

Parking:

At the meeting, staff indicated that parking is not permitted on Radisson Road. Further south of the site where Radisson Road narrows, parking is restricted. In front of the site, parking is not restricted. Staff apologizes for the error and any confusion this may have caused.

The applicant is proposing approximately four to five spaces for each home (two-three inside and two outside) and an additional four parking spaces for guests. This exceeds ordinance requirements.

Density:

Two residents spoke regarding density and the increase of density on the property. Both were concerned about the impact of the additional density on the property and one speaker wanted to make sure that if the developer could develop at that density, he should be allowed to as well.

Staff note that the property is guided in the comprehensive plan for low density residential (1-2 units per acre). The applicant proposes to construct a development with two units to the acre, which is conforming. To calculate density, the applicant must use net acres. That means the acres below the ordinary high water level (OHWL) for Lake Como and those acres in the delineated wetland are removed from the calculation. In addition, the applicant has had to show that his building areas are not within the setback from the OHWL of the lake, in a bluff impact area, or within wetland buffers. He has shown that he has areas outside these features which means he has adequate property to develop. This is the same means of calculating density that other neighbors would have to show as well.

Flexibility Requested:

A resident stated that the flexibility requested would create a neighborhood that is not in keeping with the surrounding neighborhood. Staff believes that the applicant was speaking directly to three of the five requests for flexibility listed below (the full list is included in the planning commission report attached to Item 7B):

- The ability to construct single and two-family homes where the R-1A zoning district would restrict development to single-family homes.

Staff respond that most, but not all, of the homes in the area are single-family homes. Tanglewood has three-unit townhomes and is located on Radisson Road about 1/3 mile west. Barrington and other twin-homes are located north across Highway 7. This property is the first privately-owned property on the north side of Radisson Road and it is at the entrance to the neighborhood. Offering a variety of house styles in the community is encouraged by the Comprehensive Plan, but it is a policy decision for the City Council to decide as they review the development.

- A private street serving all seven homes where the subdivision regulations allow for a maximum of three homes to be served by a private street.
- Reduced setbacks to cluster the homesites along the private street and to be closer to Radisson Road. The garages are proposed 22-25 feet from the private street instead of 65 feet as required in the R-1A district and a 35-foot setback from the property line abutting the Radisson Road where the R-1A zoning district requires 50 feet.

Staff respond that with the exception of the home directly abutting the development and the two homes across the street, most homes in the area do not meet the front property setbacks required by the zoning district. As a result, staff found that the reduced setbacks would not be out of character for the area or for a townhouse development. Consequently, staff finds the setback reduction from 50 feet to 35 feet from the Radisson Road public right-of-way would not seem strange or out of character when viewed from the street. The Council could decide to require the developer to increase the setback from Radisson Road to be consistent with the homes immediately adjacent.

#### Tree Removal/Noise:

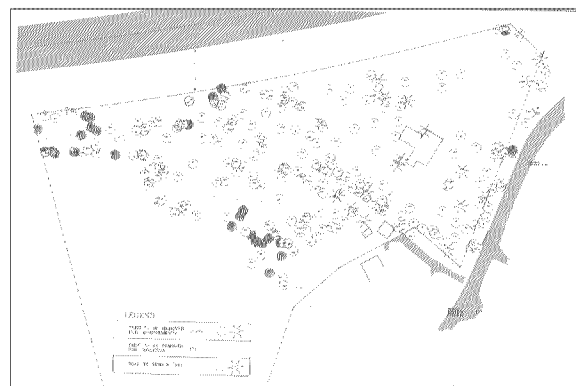
Two neighbors mentioned a concern with tree removal and one indicated that they were concerned that the loss of trees would increase the noise from Highway 7. The applicant is proposing to remove the majority of the trees from the east and central part of the development to lower the middle of the site and to construct the pond and other improvements. This action would necessitates substantial tree removal. The applicant has proposed no tree removal in the MnDOT right-of-way or on any of the steeper slopes and only in the public right-or-way as needed for the driveway, utility mains or to protect site visibility through the corridor.

One of the residents mentioned that if the site were developed for a few single-family homes instead of the development proposed, that more trees would be saved. Staff is skeptical that this would be true for any development other than one single-family home as the site would still require grading for home and driveway connections. Home sizes are increasing and after construction, new homeowners quickly add pools, sport courts, party patios and other amenities with additional tree removal after the fact, not to mention ongoing tree removal for access and view corridors to public waters.

The applicant responded that because the highway is above the canopy, many of the site trees they don't provide much noise protection for the homes anyway.

Staff adds that trees in this setting with the planting density shown, provide little noise reduction, but do provide a needed visual barrier. Staff has requested additional trees to be planted on the site and included conditions in the approving resolution to this effect.

Ash borer: The Planning Commissioners debated whether to require all the ash trees to be removed from the property now rather than wait until after the borer impacts the trees on the site. Staff indicated that they would go through the inventory to determine how many additional trees this would impact. One commissioner also asked what that does to the reforestation ratio. Staff found that an additional 25 trees noted to be saved are ash trees (indicated in blue in the graphic to the right). Many of the trees are in areas of the site not proposed to be disturbed





and would be within the wetland and/or bluff areas. Staff would normally not require trees that aren't exhibiting signs of disease to be removed in the remotest part of the site. If they are required to be removed based on their potential for disease in the future, reforestation should not be required. Nor should new trees be required to be planted in areas where it will be difficult or impossible to water or otherwise maintain them.

One of the ash trees is in the public right-of-way and the developer's arborist noted that it is leaning over the street. Staff believe that that tree and the adjacent mulberry tree which is also leaning should be removed regardless of the decision on the other ash trees as these two trees will eventually become a public hazard. Staff included a condition in the resolution that indicated that these two trees should be removed. As the trees are off-site, no reforestation would be required.

#### Lift Station Capacity:

A resident at the lowest service end of the force main indicated that he was concerned about adding additional homes without know that the lift station would be able to accommodate them. The Engineering staff responded that the lift station has adequate capacity to serve the new home and the lift station rehabilitation project (recently approved) would improve the dependability. Staff doesn't find any addition improvements to the lift station would be necessary to protect the existing or future homeowners.

#### Stormwater Runoff:

A resident was concerned that the storm water overflow from the pond would end up on his property and flood him out. The engineering staff confirmed that the pond would be designed to the required standards:

- Infiltrate a one-inch rainfall (providing volume control)
- Treat and hold the water up to a 100-year storm event (7.25 inches in a 24-hour period) (providing both volume control and treatment)
- Slow water leaving the site to no faster than the current rate for the 2-year, 10-year and 100-year events (rate control)

In the event that a larger than 100-year storm event occurs, an emergency overflow is provided that would direct water into Radisson Road, but that would be rare occurrence.

The applicant has shown that their project is conceptually consistent with the city's requirements but is still subject to City and watershed district review of the final design.

#### Watermain Extension:

A resident wanted to know that the watermain could be extended in the future to serve the adjacent neighborhood. Staff note that the size proposed would be adequate to serve the greater area and could also be provide a looped connection when extended to the existing main near the watertower in the future.

#### Lot 11:

Several speakers were concerned about the applicants' narrative which says that they have deeded access to Christmas Lake on Lot 11 of the Radisson Inn Addition, located south and west of the subject

properties adjacent to Christmas Lake. A neighbor and legal counsel for another neighbor requested the applicant be required to resolve the easement issue prior to moving forward with the development.

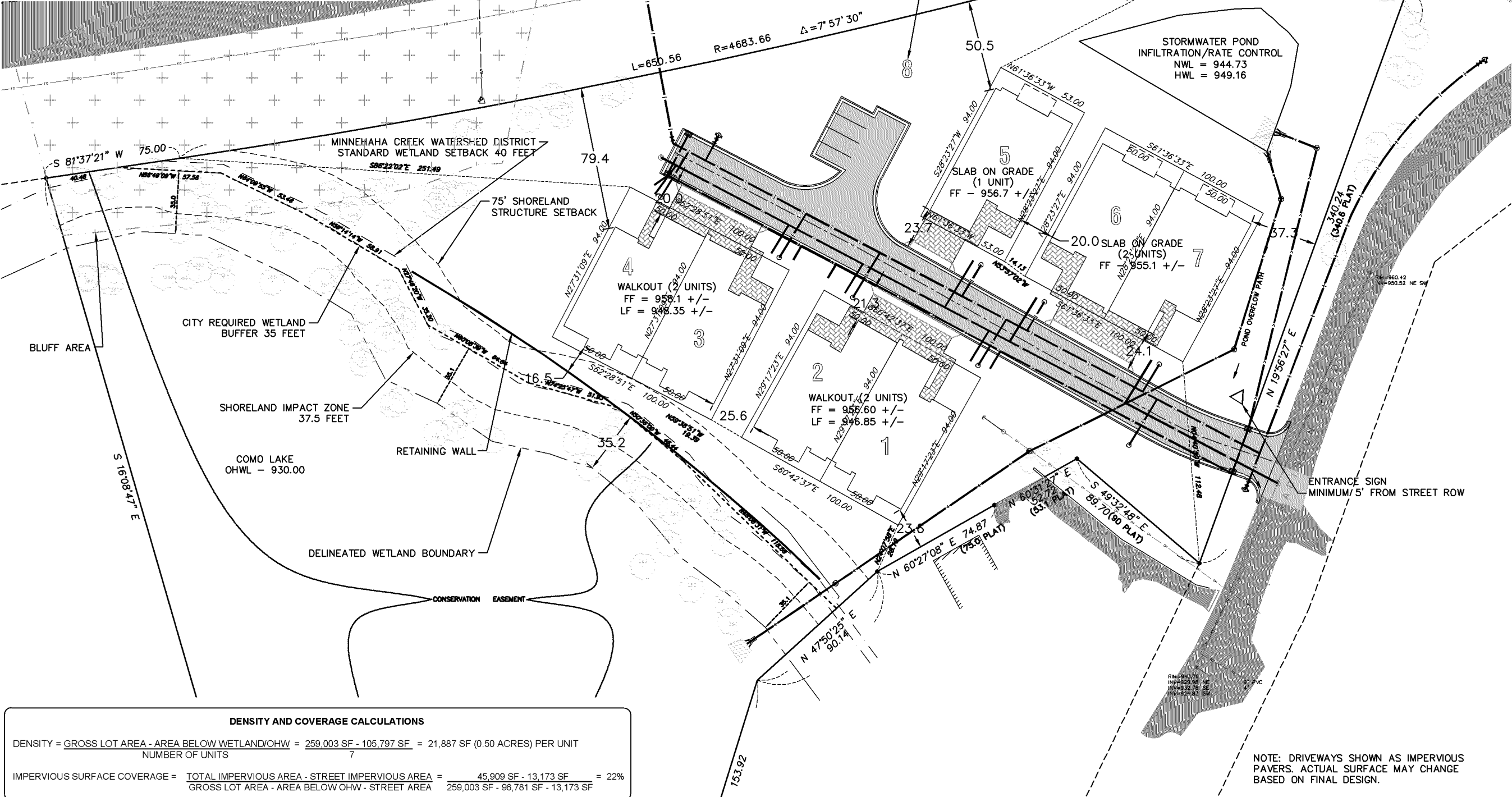
Staff and the Commission responded that the easement for Christmas Lake access is private and as a result outside the jurisdiction of the City of Shorewood. Any determination for whether the access easements are validly applied to the property is the responsibility of the property owners.

The City of Shorewood has a limited timeframe to review the development and cannot delay action on this item due to the private easements.

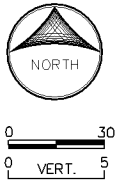
# Location Map



AREA & IMPERVIOUS SURFACE SUMMARY		
	AREA	IMPERVIOUS SURFACE AREA
LOT 1	4,700 SF	4,178 SF
LOT 2	4,700 SF	4,235 SF
LOT 3	4,700 SF	4,248 SF
LOT 4	4,700 SF	4,134 SF
LOT 5	4,982 SF	4,528 SF
LOT 6	4,700 SF	4,270 SF
LOT 7	4,700 SF	4,159 SF
LOT 8 (COMMON LOT)	225,821 SF	16,157 SF
DEVELOPMENT TOTAL	259,003 SF	45,909 SF
AREA BELOW COMO OHW	96,781 SF	-
AREA BELOW WETLAND BOUNDARY	105,797 SF	-
PRIVATE STREET ONLY	13,173 SF	13,173 SF
NET COMMON LOT (EXCLUDES WETLAND, OHWL, STREET)	106,851 SF	-



MAPLE SHORES 20430 RADISSON ROAD SHOREWOOD, MN		
	EXISTING	REQUESTED / PROPOSED
Zoning	R-1A	PUD - Planned Unit Development
Use	1 Single Family Home	3 Twin Homes (6 Units), 1 Single Home
Property Area	5.95 acres	5.95 acres
Impervious Surface	6,283 sf	45,909 sf



NO.	DATE	BY	REVISION DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *Lee Eleering* DATE: 06/29/22  
PRINTED NAME: LEE ELEERING L.C. NO.: 41613

MAPLE SHORES  
20430 RADISSON ROAD, SHOREWOOD, MN 55449  
SITE PLAN

DESIGNED BY: KJE  
APPROVED BY: KJE  
DRAWN BY: LWE  
JOB NUMBER: 900066E  
CAD DATE: 12/10/21  
CAD FILE: /Site Plan.dwg

SHEET  
C3.0

**DENSITY AND COVERAGE CALCULATIONS**

DENSITY =  $\frac{\text{GROSS LOT AREA} - \text{AREA BELOW WETLAND/OHW}}{\text{NUMBER OF UNITS}}$  =  $\frac{259,003 \text{ SF} - 105,797 \text{ SF}}{7}$  = 21,887 SF (0.50 ACRES) PER UNIT

IMPERVIOUS SURFACE COVERAGE =  $\frac{\text{TOTAL IMPERVIOUS AREA} - \text{STREET IMPERVIOUS AREA}}{\text{GROSS LOT AREA} - \text{AREA BELOW OHW} - \text{STREET AREA}}$  =  $\frac{45,909 \text{ SF} - 13,173 \text{ SF}}{259,003 \text{ SF} - 96,781 \text{ SF} - 13,173 \text{ SF}}$  = 22%

NOTE: DRIVEWAYS SHOWN AS IMPERVIOUS PAVERS. ACTUAL SURFACE MAY CHANGE BASED ON FINAL DESIGN.



CITY OF SHOREWOOD  
PARK COMMISSION MEETING  
TUESDAY, AUGUST 16, 2022

5755 COUNTRY CLUB RD  
SHOREWOOD CITY HALL  
7:00 P.M.

## MINUTES

### 1. CONVENE PARK COMMISSION MEETING

Chair Hirner convened the meeting at 7:02 p.m.

#### A. Roll Call

Present: Chair Hirner, Commissioners Schmid, Gallivan, and Heinz; Parks and Recreation Director Grout; and Planning Director Darling

Absent: None

#### B. Review Agenda

Gallivan moved to approve the agenda as written. Heinz seconded the motion. Motion carried 4-0.

### 2. APPROVAL OF MINUTES

#### A. Park Commission Meeting Minutes of July 12, 2022

Heinz moved to approve the minutes of the July 12, 2022 meeting as written. Schmid seconded the motion. Motion carried 4-0.

### 3. MATTERS FROM THE FLOOR

There were none.

### 4. NEW BUSINESS

#### A. Maple Shores Development – 20430 Radisson Road

Chair Hirner gave a brief overview of the proposed development of 7 lots at 20430 Radisson Road and noted that staff was recommending approval of park dedication fees in lieu of park land dedication.

Commissioner Heinz stated that the Comprehensive Plan stated that the City should concentrate more on developing and redeveloping existing parks. He stated that he thinks there is still an opportunity within the City to upgrade the current park system and encompass some of the emerging activities, such as pickle ball.

Commissioner Gallivan stated that he agreed with the recommendation by staff for dedication fees in lieu of additional park land.

Chair Hirner stated that he also agreed and noted that this parcel is right on Highway 7 and there have been many discussions about parks, such as Silverwood, that are right on Highway 7 and their actual useability because of the proximity to the highway.

**Gallivan moved to recommend approval of park dedication fees in lieu of park land for the Maple Shores Development at 20430 Radisson Road. Heinz seconded the motion. Motion carried 4-0.**

**B. Transmittal/Introduction of Pesticide Audit and Management Plan**

Planning Director Darling explained that this agenda item was intended to be an introduction to the Pesticide Audit and Management Plan. She stated that the consultant will be in attendance at the next Park Commission meeting in order to present information and answer questions about the plan, but staff wanted to give the Commission a chance to review some of the information prior to the meeting.

Chair Hirner noted that he felt the information was comprehensive but he did have a few questions, but would wait and have the consultant address them at the next meeting.

Commissioner Heinz noted the recommended mowing height of 3 inches and stated that his lawn service also mows his lawn at that height and he has gotten a lot of compliments about the greenness and look of his lawn.

Chair Hirner asked about the recommendation of 3 inch mowing height in relation to the baseball or soccer associations during playing season and asked about their preferred heights on the fields. He suggested that be a question that the consultant responds to at the next meeting.

Planning Director Darling stated that City staff can talk with the various associations prior to the next Park Commission meeting to find out if they have a preferred height for the fields.

Commissioner Gallivan asked how the City determined Class A, Class B, and Class C.

Planning Director Darling stated that those classifications came from the consultants and the way they are used. She explained that Class A fields are sporting fields or destination parks, such as Freeman Park with the others being more moderately used such as Manor Park as Class B and Silverwood Park for Class C. She asked if there was any information that the Commission would like to staff to research prior to the next meeting.

Chair Hirner asked if there would be any advantage in not mowing the hill at Silverwood Park.

Planning Director Darling explained that it is mowed up to the point where it is too steep to mow.

Chair Hirner reiterated that he would like to know if there may be any advantage in not mowing the hill, for example, does mowing it contribute to erosion on the hillside.

The Commission discussed staffing shortages in both regular employees and seasonal employees and the visibility of the City's parks to both residents and visitors to the area.

**C. Liaisons for City Council Meetings**

August – Commissioner Heinz

September – Chair Hirner

November – Commissioner Gallivan (with Chair Hirner as back-up if there is a scheduling issue)

## 5. OLD BUSINESS

Chair Hirner stated that he had stopped by Silverwood Park recently and thinks the park is really looking great, but the snow fence still needs to be taken down. He asked about the section where there is not a hand rail for the slides near the first set of stairs. He expressed concern that kids may get up there and jump off the little wall area. He suggested that it may be a good idea to get a short section of railing to fill in that section. He noted that he had taken a picture and can send it to staff so they know just what he is referring to. He asked if there were still plans to put fence posts behind the water pump station.

Planning Director Darling stated that they have repaired a few of the posts.

Chair Hirner noted that there are two levels and the upper level has no posts, so he was assuming that they were still working on it, but wanted to draw staff's attention to it, just in case.

Planning Director Darling noted that she would speak with the contractors and explained some of the other items that are on the punch list for them to complete.

Chair Hirner noted that he has seen more cars, bikes and people walking with strollers at Silverwood Park lately than he has seen there for years. He asked that staff add a future agenda item in order to plan a Grand Re-Opening.

Commissioner Heinz noted the usage of the walking trails through the country club area. He asked if there was any idea on how the entry points from the street have been received by the residents in the area.

Planning Director Darling stated that the issues that the residents have had not been related to the trail users. She stated she thinks they all bought their properties with the knowledge that there were public trails in the neighborhood.

## 6. STAFF AND LIAISON REPORTS / UPDATES

- A. City Council
- B. Staff

Planning Director Darling reported that Commissioner Cohen had to resign from the Commission because she took a new job and now has conflicts of interest with local government work. She noted that the City has begun posting the opening for applications for that position. She gave an overview of discussion and actions taken at recent City Council meetings.

Chair Hirner noted that the Park Commission will have a bit more time to work with Park and Recreation Director Grout before she retires, but wanted to let her know that it has been a pleasure to work along side her and that she would be missed when she retires and leaves the City.

**7. ADJOURN**

Gallivan moved to adjourn the Park Commission Meeting of August 16, 2022 at 7:50 p.m. Schmid seconded the motion. Motion carried 4-0.

DRAFT



CITY OF SHOREWOOD  
PLANNING COMMISSION MEETING  
TUESDAY, AUGUST 2, 2022

COUNCIL CHAMBERS  
5755 COUNTRY CLUB ROAD  
7:00 P.M.

### DRAFT MINUTES

#### CALL TO ORDER

Vice-Chair Riedel called the meeting to order at 7:00 P.M. and explained the Planning Commission is comprised of residents of the City of Shorewood who are serving as volunteers on the Commission and are appointed by the City Council. The Commission's role is to help the City Council in determining zoning and planning issues. One of the Commission's responsibilities is to hold public hearings and to help develop the factual record for an application and to make a non-binding recommendation to the City Council. The recommendation is advisory only.

#### ROLL CALL

Present: Commissioners Eggenberger, Riedel, Huskins and Holker; Planning Director Darling; Planning Technician Carlson, City Engineer Budde, and Council Liaison Gorham

Absent: Chair Maddy

#### **1. APPROVAL OF AGENDA**

Holker moved, Huskins seconded, approving the agenda for August 2, 2022, as presented. Roll call vote: All in favor, motion passed 4/0.

#### **2. APPROVAL OF MINUTES**

- May 3, 2022

Commissioner Huskins noted two minor typographical errors in the minutes on page 9.

Huskins moved, Holker seconded, approving the Planning Commission Meeting Minutes of May 3, 2022, as amended. Roll call vote: All in favor, motion passed 4/0.

#### **3. MATTERS FROM THE FLOOR - NONE**

#### **4. PUBLIC HEARINGS -**

- A. PUBLIC HEARING – MAPLE SHORES: REZONING, PUD, CONCEPT/DEVELOPMENT STAGE AND PRELIMINARY PLAT  
Applicant: Chamberlain Capital, LLC  
Location: 20430 Radisson Road and four adjacent parcels on the south side of Highway 7

Vice-Chair Riedel gave an overview of the procedures and rules for public hearings.

Planning Director Darling explained that the applicant is proposing to develop the property for seven homes in a planned community with shared maintenance to be called 'Maple Shores'. She noted that this site is comprised of 5 separate parcels located between Radisson Road and

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Highway 7 on the east and north sides of Lake Como. She reviewed the elevation and current conditions of the property. She noted that the developer is proposing to remove the existing home and lower the middle of the property in order to construct the homes along a new private street with 4 of the homes backing up to the lake and 3 backing up to a new stormwater pond. She stated that the plans call for water to be extended across Highway 7 and noted that sewer is available in Radisson Road. She explained that the homes would have the majority of the living area on the main level with either a walk-out level for those on the lakeside or an upper level on the stormwater pond side. The homes would be upwards of 3,400 square feet and feature extra deep two stall garages. She explained that the applicant has requested a rezoning from R-1A to PUD as well as a Concept/Development Stage and Preliminary Plat. She gave an overview of the items that the applicant is requesting flexibility on such as the ability to construct two-family homes, three homes to be served by a private street, reduced setback, ability to remove 5,840 cubic yards of material, and the ability to construct a model home prior to installation of utilities and street paving. She stated that the plans are to construct the townhomes and keep the majority of the site for open space and for the individual homeowners to just own the land around the foundation of the unit. She reviewed the impervious surface coverage requirement, the amount of dirt proposed to be removed from the site, the route for the truck traffic, and the requirement for a fence along the top of the retaining wall to address safety concerns. She gave a brief overview of the proposed conditions that staff is recommending, if this is approved. She stated that the site has a number of significant trees that will be removed as part of this project and would be required to replace 28 replacement trees, however, the applicant is proposing to plant 35 trees with a number of them being along Highway 7. She stated that staff feels the site can accommodate even more trees and would also provide a greater visual barrier for the residents, so they are recommending additional plantings. Staff recommends approval subject to the conditions listed in the staff report. She stated that the City has not received any written comments on this application.

Vice-Chair Riedel noted that the packet had also included an engineering report and information from the DNR.

Commissioner Huskins asked about how water would be brought into the development and whether the County would need to be involved.

Planning Director Darling stated that the City ordinance requires that any subdivision with four or more homes proposed has to be served by City water. She stated that in this area of the City there are two options for City water, one would be to directionally bore under Highway 7 from mains that are within Excelsior Boulevard and the other option would be to extend a main from public water main that is close to the water tower. She stated that the applicant has proposed the crossing under Highway 7 as their preferred approach and will require permits from MnDot, but no permits for the crossing from the County. She turned the answer to the question on operation questions on the extension to City Engineer Budde.

City Engineer Budde stated that he believes their plans are for directional drilling which means Highway 7 would be undisturbed from a traffic perspective. He stated that the City will require that they hook up with a 'wet tap' which means they are able to make the connection without having to shut down the existing 12 inch main on the north side.

Commissioner Holker asked about the location of the homes closest to this development.

There was an answer given from the audience.

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Commissioner Holker stated that she would also like to know about the indication on one of the maps about 'limit of landscaped yard'.

Planning Director Darling suggested that Vice-Chair Riedel repeat the statements that were made from the audience since those comments were not recorded.

Commissioner Holker stated that the answer that was given indicated that the structure she was referencing had bedrooms on the backside closest to the boundary of the proposed development.

Commissioner Huskins asked about information in the staff report about the common area being 'primarily' used for shore area, wetland, wetland buffers, stormwater pond, and open spaces.

Planning Director Darling stated that there are not a whole lot of uses beyond the conservation easements, wetland buffers, open spaces, and lawn areas. She stated that it is all within an outlot and a structure cannot be built on outlot, which would prohibit having something like a shed.

Commissioner Holker stated that there were a few references to Lot 11 and asked for clarification on what that was referring to.

Planning Director Darling stated that she believed those references were in the property owners narrative. She noted that lot 11 is owned by an adjacent property owner but many of the residents in the area have a private easement over the property for access to the lake and passive shoreland uses. She stated that the easement is private and whether or not the new residents in the subdivision have rights to the lot is outside the City's authority and the City does not get involved in the interpretation of private easements, which is why it was not addressed in her staff report.

Commissioner Huskins asked about Lake Como and its allowed uses.

Planning Director Darling stated that the lot lines, when they are showed as extending into the lake, are riparian, which means the DNR has jurisdiction over everything below the ordinary high water level for Lake Como. She stated that means it is open to use even though there is no public access to this lake. She explained that it was a very shallow lake with marshland all the way around it. She stated that there is nothing preventing people from fishing on the lake, but she was not sure if there were even any fish in the lake.

Commissioner Huskins asked if it would be a fair statement to say that if this PUD was completed, it would not change the character of the lake, access to the lake, or change what people have been routinely doing.

Planning Director Darling stated that is correct and the only change would be the areas that are adjacent to the lake that are within these parcels would be owned in common. She stated that it does mean that the residents could walk down to the shoreland and use the water, if there was any kind of clear and open access to the water, for example for a canoe or kayak.

Vice-Chair Riedel asked if there would be any restriction on putting a dock into the lake.

Planning Director Darling stated that the DNR would not have a restriction that would prohibit anyone from putting in a dock, however the City's wetland regulations do not allow for artificial obstructions of stormwater purposes, so this is a bit complicated because of the extensive marshland.

Commissioner Holker asked if looking across the lake the retaining wall would be visible.

Planning Director Darling stated that the lowest portion of the retaining wall would be about 18 feet above the ordinary high water level of the lake but noted that it is fairly heavily treed in the area which should obscure some of the visibility.

Commissioner Eggenberger asked about the plans to assign each home a certain amount of surface they can use in the future for impervious surface coverage.

Planning Director Darling explained that this was both now and in the future and is based on the stormwater design and the goal of not exceeding the 25% allowed.

Commissioner Eggenberger confirmed that the first person to build could not come in and use of the entire allotment.

Planning Director Darling explained that this was why there is a portion assigned to each lot so one homeowner could not use up the impervious surface allowed for another homeowner.

Commissioner Eggenberger stated that he assumes that there would be a lot of water behind the retaining wall and asked where the water will go.

Planning Director Darling stated that she anticipates that they will tile the water around the wall as part of their structural design of the wall.

Commissioner Eggenberger stated that there are 68 ash trees on the site. He stated that he understands that there are plans to have an arborist come in and see which ones should be removed but asked, before the development begins, why they wouldn't just come in and remove all of the ash trees so they are not even able to get ash borer. He stated that in his mind it may be easier to get them all out and then compensate with additional trees.

Planning Director Darling explained that the Commission could certainly propose something to that effect. She stated that some of the existing trees are on pretty steep slopes and getting the equipment down there may cause more damage than letting the tree die naturally. She stated that they are in the conservation easement area, so they can be allowed to become part of the natural environment as they die. She clarified that it is unlikely that the trees on those slopes would be a hazard for the new structures.

Commissioner Eggenberger stated that he was not implying that they could be a hazard to the structure, but rather a potential hazard of spreading ash borer. He stated that to him, it would make more sense, before the development even begins, to just go in and remove those ash trees.

Planning Director Darling stated that the Commission could consider this as an added condition.

Vice-Chair Riedel stated that there will be large areas that are undisturbed, so to go in to specifically cut out ash trees may not be the best way to move forward.

Paul Cameron, Chamberlain Capital, stated that the idea behind this development is a need that he and his wife personally have. He stated that they are coming out of a big house, their children are in college so they don't need that much space. He stated that they want to live in a space that is very controlled and have their own garages with some extra space for things such as motorcycles. He stated that the fully built out spaces are about 3,500 square feet but they include spaces like sunrooms and screened in porch spaces. He stated that the spaces are intended to



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be single level living with extra space either up or downstairs for when company comes over. He stated that they are envisioning this as a turnkey type of property where people can go south for the winter without having to worry about anything because the association is intended to be full maintenance. He explained that they had originally planned for 9 units but after discussing the future expansion of Highway 7, they reduced the number of units down to 7. He noted that all of the gutters will be helmeted and the water will come down the house and back into the street underground and following the stormwater all the way down to the catch basins and then into the pond. He stated that the one exception may be on the backside because they aren't sure they can get the gutter angle correct.

Vice-Chair Riedel asked if Mr. Cameron was in agreement with the recommendations suggested by staff and gave examples of HOA rules.

Mr. Cameron stated that they were in agreement and assured the Commission that they were of the mindset that it should be a really clean development. He noted that they are not in favor of parking on the street overnight or having a third vehicle parked on the driveway because it doesn't fit in the garage. He stated that they will probably have to have exceptions for situations like a college kid home for the summer, but suggested that they may have a permit process in that situation.

Vice-Chair Riedel noted that there is no parking allowed on Radisson Road. He stated that he suspects there will be concerns raised about that, the amount of traffic, and stressed that there simply cannot ever be overflow traffic on Radisson Road.

Mr. Cameron stated that he understood and explained their hopes for parking situations such as a party or even and noted that he expects this situation to arise only rarely.

Commissioner Huskins asked if his understanding was correct that this was a one phase process and they would build when they get a contract. He asked what they expect the timeframe would be from first sale to seventh sale.

Mr. Cameron stated that the customer for this would be someone who already lives in the area and would like to downsize without having to leave the area. He stated that they believe their primary residents will be empty nesters who will be downsizing and will have equity in their homes so they do not think they will need to be sensitive to the talk about recession and higher interest rates. He noted that their intent is to only build the model home if it is needed, depending on the timing. He stated that the expectation is that they will build next spring and be ready to move forward with all 7 units. He noted that when they had originally put together their plan, they had expected to be further along in the process by now. He noted that he is not concerned about any of the conditions and expectations raised by staff because they all appear to be very logical but reiterated that many of them may not end up being relevant because they may not even have a model and will just move right into building the actual products.

Vice-Chair Riedel opened the Public Hearing at 7:56 P.M. noting the procedures used in a Public Hearing.

Paul Cossette, 5570 Shore Road, stated that he feels the City has done a fine job assessing what will need to be done with the assumption that a PUD is approved. He stated that he believes their issue is that they do not believe a PUD should be approved because the things being done under the guise of a PUD do not necessarily fit with the zoning that is there or the neighborhood development the way it is now. He stated that the impact of the variances being discussed do impact the people in the neighborhood and the atmosphere that is there. He stated that if it

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remained under the existing zoning he did not feel they would have those issues. He stated that their first issue is with the significant amount of trees that will be removed because it is essentially two-thirds of the trees in the area and to scrape most of the remaining area to turn it into a parking lot. He stated that those trees provide a tremendous amount of noise protection and are visually very important and the replacement trees are very small. He explained that his next issue was related to the capacity of the lift station that is in place because this will add a significant amount of people onto the lift station. He stated that his basement is the lowest thing in the entire area, so when the lift station doesn't work, which has happened, his basement floods with raw sewage, which obviously causes him concern. He stated that he is also concerned about the stormwater run-off and noted that the way it is set up with the pond is very good for standard rain and standard run-off, but the applicant admits in their information that once it is over a 1 inch rain the water will flow down the street and into Como and into the pond across the street, which happens to be in front of his house. He expressed concern about the sizing of the watermain and asked that if this is approved and moves forward under the PUD that they are sized so the neighborhood could connect up to City water, which he thinks the majority would like to do if it were an option. He stated that he felt the variances being asked for were significant and noted that the closer proximity of the buildings mean that it will be a much more dense neighborhood which is not allowed under the current zoning and, in his opinion, is not appropriate for the neighborhood. He stated that he questioned how the neighbor in the nearby house will be effected by the large retaining wall that is planned.

Scott Smith, 6313 Loch Moor Drive, Minneapolis, stated that he was an attorney representing Donna Watts and Bill Hitler who are the fee owners of Lot #11. He stated that he would like to discuss this lot in relation to the project and noted that he heard Planning Director Darling's comment relative to the easement issue but noted that he would vociferously disagree with the notion that the impacts of this project, if approved, upon Lot #11 and the easement holders, are beyond the purview of the Commission. He stated that he feels the Commission is charged with considering the impacts in a variety of circumstances that this project, as proposed, may have on things like vegetation, trees, tax base, parking, and traffic. He stated that the impact that this project may have on the Lot #11 easement holders rights, are something that they ask the Commission to consider and deal with. He stated that his clients are opposed to this proposal and urge the Commission to recommend denial. He stated that he assumed that the Commission was generally familiar with the fact that there are easements on most of the Radisson Inn Addition properties that allow them to use Lot #11 for certain purposes. He stated that the problem is that this project is being marketed that it has homes with access to Christmas Lake, however the only such access is through Lot #11 because these properties are not on Christmas Lake. He stated that thinks that Lot #11 becomes an important part of the puzzle for the Commission to consider even though there have only been two references to Lot #11 in the materials submitted to them. He noted there was really nothing said that addresses how the developer will address the impact of multi-family housing with seven families on two lots and how it will burden both the owners of Lot #11 and the others who are entitled to use it through existing easements. He stated that the lack of discussion in the proposal on this issue feels problematic. He noted that he sees the bigger problem as shoehorning seven families into two lots that were created in 1939 which is not allowed under these facts by Minnesota law. He stated that the 'black letter law' in Minnesota is that an easement shall not be enlarged by legal construction beyond the objects originally contemplated by the parties. He stated that it raises the question of what the intent was when the easement was created in 1939 regarding the number of people who would be entitled to access Lot #11. He stated that he thinks that the original intent was never for multi-family dwellings or multiple families living on single lots to have full access rights. He stated that this was easement was originally created, the properties being discussed were Lots #24 and #23 and referenced page 14 of the packet material submitted by the applicant of Registered Land Survey N. 730 which is referenced as Lot #23 and explained that Lot #24 runs to the north. He explained that he believes

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the original intent of the grantor of this easement was that there would be two lots and two dwellings which would be the burden on Lot #11.

Commissioner Eggenberger asked if there was any evidence to show that they thought those lots would never be divided.

Mr. Smith stated that is a fair point, but he knows of no evidence that indicates that the lots could not be divided, however they do know that Lot #23 was essentially divided into 8 tracts of land. He explained that he still goes back to the original intent of the grantor from 1939 because according to Minnesota law you cannot impose the additional burden of having those families on that lot beyond what was intended at the time of the creation of the easement.

Vice-Chair Riedel stated that the City does not grant private easements, adjudicate disputes over easements, or enforce easements which is a matter for the courts. He stated that some of the discussion happening here is directed at the wrong audience and the disputes over the easement are not relevant to the discussion of the zoning criteria that is before the Commission. He stated that he would not discourage discussion or comments but wanted to make it clear that the discussion could not be done to debate the validity or impact of the easements.

Commissioner Huskins stated that Mr. Smith has used the term 'burden' which he is interpreting as meaning the number of people that are entering and leaving through Lot #11. He asked how many homeowners had this deeded easement today.

Mr. Smith stated that he believes the number is in the vicinity of 20.

A man from the audience stated that the number is 13.

A different man stated that this number was not correct.

Mr. Smith suggested that he get the exact number and submit it to the City within a day or two. He stated that the question raised by Commissioner Huskins is good because this is potentially a precedent setting decision because there may be other properties in the Radisson Inn Addition that have the same easement rights and other developers may want to come and build multi-family units as well. He stated that he would disagree with Vice-Chair Riedel that this discussion is beyond the purview of the Planning Commission because they are charged with considering the potential impacts of the changing in zoning on the existing community. He reiterated that he did not think Minnesota law allows the developer to pyramid 7 new easement holders out of an estate on two lots that was clearly never intended for this purpose by the grantor in 1939.

Vice-Chair Riedel noted that he agreed with Mr. Smith's first point, but not his second point. He explained that he would agree that, very broadly, it is within the Commission's purview to consider this issue, but he disagreed that it is for the Commission to consider the legality of the subdivision because that is a matter to be argued before the courts. He stated that he would agree that it is within their purview to consider the impact of the subdivision, which includes the easement.

Mr. Smith stated that about five years ago there was a petition that was put forward relative to the use of the dock at Lot #11 to expand the number of boats that would be allowed to tie up there by easement holders. He stated that this was a legal issue and noted that the Council got an opinion from the city attorney, but they ultimately rejected the application because it was prohibited by Lake Minnetonka ordinances.

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Vice-Chair Riedel noted that he feels there is a critical difference in this situation because in the City's zoning code there is language that pertains to the use of the docks and there is nothing in the City code that pertains to easements and easements rights because that is a State issue.

Commissioner Eggenberger asked what 'additional burden' he and his clients were concerned about.

Mr. Smith explained that it would be things like added traffic, waste, potential for damage, and leaving water toys around. He stated that the traffic alone makes the property less marketable. He stated that adding 7 new families was not a burden that his clients contemplated when they acquired Lot #11 in 2015.

Michael Cohen, 20640 Radisson Road, stated that his boundary touches the boundary of Maple Shores. He stated that he has been a steward of taking care of Lake Como for the last 35 years. He stated that he would like to know exactly the percentage of acre, per unit, that is being allowed on this PUD because he owns 3 acres right next door. He stated that according to the comment from Mr. Smith, the City will set the precedent which means he could do the same thing as is being proposed, but noted that the neighborhood was never designed for 14 twin homes. He stated that the City cannot simply decide to approve these actions for one person and not for another. He noted that Mr. Cossette mentioned the lift station and noted that the low point of the hill has a lift station which does not have a gen set so when the power goes out the lift station fails because there is not generator. He stated that if 7 new homes are added, he thinks they need to consider the cost of a generator to lift the sanitary waste from those additional homes. He explained that he has good feelings about the new neighbors and thinks they are wonderful people but asked the Commission to realize that if they are allowed to develop, he can also develop. He stated that if they determine that they can add more access to Lot #11, so can he. He stated that it is unfortunate, but there has been fraud in this transaction. He stated that there is a template for the 13 families that won, at an enormous cost, a 10-foot easement and 121 feet of usage with a dock. He stated that when Mr. Chamberlain bought the property, the verbiage was in his packet, which is total fraud because he was not allowed that. He stated that three months after it was bought, it was switched back so he feels Mr. Chamberlain was duped on this transaction. He stated that he feels it makes a huge difference on the price he can sell these for, the quality they can be built with if this property, which is lake adjacent, can get to the lake versus not being able to get to the lake. He stated that he believes this is the oldest easement in the State as well as the most litigated easement. He stated that he would suggest that before anything goes forward that the legal team from the fee holder and the builder get an adjudication from the courts so they know exactly what they can sell.

Paula Callies, 20466 Radisson Road, stated that her home is across the street from the development. She stated that she agreed that this was the wrong venue for a discussion around Lot #11 and agreed with the suggestion by Mr. Cohen that there should be some other legal remedy. She stated that she feels the arguments made by Mr. Smith were very cogent but reiterated that she feels this is the wrong venue. She stated that she appreciated the questioning by Commissioner Eggenberger and explained that she doesn't really care if there are 7 more people who can walk down to the lake but noted that there is a limit on how many boats can be there, nor can there be another dock. She stated that this is a long-standing issue and explained that when her property was subdivided, they received the benefit of that easement so there may be other properties that can also be subdivided. She stated that this proposal would be a change for them personally and explained that it has been a nuisance property, so they are looking forward to having it cleaned up and improved compared to what is currently there. She stated that she could also say that she wishes that it would be one single family home in this location, but doubts that would be a realistic expectation. She stated that she would be in favor of a quality

development and feels that Mr. Cameron has been responsive in listening to the neighborhood thus far, and has reduced the density, which she feels is positive. She noted that she did have some concerns about the sight lines. She explained that she felt the conditions recommended by staff appear to be reasonable and the applicant has expressed willingness to comply with them which is also positive.

Commissioner Huskins asked if Ms. Callies was advocating that the matter relating to Lot #11 be adjudicated prior to approval by the City.

Ms. Callies stated that she did not think the City had any authority to require that. She stated that it would be great if it could be resolved but noted that it has been going on for a long time. She noted that there is different easement language for different properties.

Commissioner Huskins stated that his understanding is that this is not something that they could make as a condition of approval and would become part of the applicants' decision-making process as to whether or not it is a risk that they wish to take to build the development.

Vice-Chair Riedel asked if there were any residents present who wanted to speak about issues other than Lot #11 such as screening and traffic.

Mr. Cohen stated that if the assumption is made that all 7 homes are sold it would bring an additional 14 cars. He stated that there is an extremely narrow curve on Radisson Road near Al Peterson's house that is only wide enough for one car to pass through at a time. He stated that by adding 14 cars and not having this be a through-way is a concern. He stated that he believes they can live with it as long as the people realize that there is an easier and safer way out. He expressed concern about the heavy equipment and construction traffic and stated that he didn't feel they should ever go through that narrow portion.

Vice-Chair Riedel stated that currently there is a lot of green space and that will change with development. He stated that Highway 7 is very noisy and asked how residents felt about this change in screening.

Mr. Cohen stated that the noise of Highway 7 is based on the road surface which has improved over the years greatly. He stated that because of the large drop in elevation he thinks the noise will go over this property. He noted that on his property when the trees lose their leaves he can see Highway 7. He stated that Mr. Chamberlain did a great job with their tree planning and feels that he has completely respected his view which he appreciates.

David Downes, 20465 Radisson Road, asked about the comments shared about the lift station and asked if he was correct that this lift station was about to be replaced.

City Engineer Budde stated that he was not aware of that plan.

Mr. Downes stated that he understands that trees are coming down, but houses will be going up. He explained that when they built their home, noise from Highway 7 was a major concern but it has really been a non-issue so he did not think there would be a very significant change with these plans.

Mr. Cossette stated that he thinks there is a lot of concern about the trees coming down and the potential noise it may create for certain residents. He suggested that there be an independent sound analysis of what this will cause with the removal of the trees. He stated that he thinks that the homes will block some of the noise, but it may also push noise over.



Mr. Cohen asked about the holding pond in the back of the property. He stated that his understanding is that the drain for the holding pond will be into Lake Como and asked what permits would be necessary in order to allow this overflow.

Vice-Chair Riedel stated that the holding pond is part of the stormwater management plan submitted by the applicant to capture the additional water from the new impervious surface. He stated that it was designed to capture and infiltrate water but the overflow during significant rain events would drain into Lake Como.

City Engineer Budde explained that the applicant would need a permit from the Minnehaha Creek Watershed District and if they work within the ordinary high water level of Lake Como they will also need a permit from the DNR.

Planning Director Darling suggested that the Commission may want to take a brief break.

Vice-Chair Riedel recessed the meeting at 8:48 p.m. and reconvened at 8:51 p.m.

There being no additional public comment, Vice-Chair Riedel closed the public hearing at 8:51 p.m.

Mr. Chamberlain stated that he appreciates the feedback they have gotten and noted that he had spoken with some individuals and tried to resolve many of these issues already. He stated that their stormwater design meets the requirements by the Minnehaha Creek Watershed District and has gone through all the appropriate processes. He stated that regarding the trees, they are required to give an arborist tree survey on the property and were not required to do the 60 feet from the blacktop of Highway 7 to the property boundary. He stated that they are planning to take the property down even further than it already is, so whatever noise is coming across those trees and continuing out will continue because he cannot put a barrier at the highway level. He stated that they tried to keep a ring of trees around the entire development and create a sort of enclave inside. He stated that he feels this type of housing is truly needed in the area. He understands that change can be hard but feels this is needed and noted that they are not planning to build something that is ugly. He stated that he is hoping that this will be kind of a timeless, Frank Lloyd Wright type style. He stated that they are doing cheap, low-end construction.

Vice-Chair Riedel stated that the tree removal is one of the most significant aspects of this proposal. He stated that as one of the residents stated, if this were just an R-1A parcel with 6 acres, with the wetland buffers there may be able to be one or two homes, which means they most likely would have removed far fewer trees. He stated that in exchange for cutting down a lot of trees, they are accepting restrictions as part of the PUD. He stated that he feels that staff has done a good job of emphasizing the need for screening and strategic planting of trees. He stated that he feels that the right to develop at a higher density should have a commensurate higher burden to provide screening to preserve the character of the neighborhood, which currently has a lot of green space.

Mr. Chamberlain stated that he totally agreed and assured the Commission that they were on board with that idea. He stated that he didn't think many people understood that there are 5 lots, with one that could probably be subdivided again, but they do not conform so there are processes in the City that allow them to deal with non-conforming lots. He stated that would be 6 lots and he is asking for 7, but to cluster them together as guided in the Comprehensive Plan and meld it together into one package that makes sense.

Vice-Chair Riedel stated that there are 5 lots of record.

Someone from the audience asked to make a comment.

Vice-Chair Riedel reopened the public hearing at 8:59 p.m.

Gregory Hofstede, 20480 Radisson Road, asked about the retaining wall because he feels there are some elevation issues in the way the drawing is currently shown.

There being no additional public comment, Vice-chair Riedel closed the public hearing at 9:00 p.m.

Mr. Chamberlain explained that it almost looks like there was a road that was carved out in the middle of the property. He stated that it is high in the middle and then goes down on both sides so in order to get a building pad, they have to flatten that area which means the actual elevations will drop. He stated that as they blend the hill coming down onto the sides, the ends of the retaining walls will just be 1 foot and will be blended on the sides.

Vice-Chair Riedel asked about the building materials planned for the retaining wall.

Mr. Chamberlain stated that the retaining wall will be engineered and will not be boulder wall.

Vice-Chair Riedel asked if in there were any plans for screening at the base of the wall to kind of hide the wall.

Mr. Chamberlain stated that he cannot because it is in the wetland buffer.

Vice-Chair Riedel noted that once the soil has been disturbed to build a retaining wall, he believes they would be permitted to plant shrubs right in front of it.

Mr. Chamberlain stated that he believes that would be determined by Minnehaha Creek Watershed District, so they could ask if they could put shrubs in.

Vice-Chair Riedel stated that he understanding is that you are not allowed to cut things down in a buffer zone but you are allowed to plant in a wetland buffer zone.

Commissioner Eggenberger noted that many times the City will see tracts of land that the neighbors don't want anything to be built there. He stated that he would agree with the comments made earlier that the Lot #11 issue is not the Commission's issue. He stated that he is perhaps a bit more concerned about the lift station and watermain issues and suggested that it may be a good idea to look more closely at those issues. He stated that overall he thinks this is a reasonable plan and noted that he disagreed with the notion that this project would be precedent setting if this is allowed. He stated that he plans to recommend approval with the conditions as recommended by staff.

Vice-Chair Riedel suggested that the Commission could add a condition related to the lift station.

Commissioner Huskins stated that he agreed with Commissioner Eggenberger's concerns about the lift station. He stated that, in general, he is favorable towards the proposal. He stated that he also agreed that the issue related to Lot #11 was not the Commissions issue but will be for the applicant.

Commissioner Holker stated that she was also in favor of recommending approval of this proposal and noted that she appreciated the way it has been tucked in and that it is a smaller density development.

Commissioner Huskins suggested that in addition to a condition about studying the lift station situation he thinks there could also be the opportunity to take a look at the trees and the sight lines.

Vice-Chair Riedel stated that the issue of Lot #11 is very complex and reiterated his statement that the City does not adjudicate, enforce, or pass judgement on easements. He stated that the issue of the subdivision and the easement that goes with it, is broadly relevant here however there is really nothing for the Commission to discuss. He stated that the final point made by Mr. Chamberlain was a strong point that they own 6 acres in R-1A that has 5 lots that are all substandard, but if you own property in this district, you are generally allowed to build on it. He stated that he believes that variances would be needed in every direction which would not be desirable. He stated that a PUD that proposes 7 homes is a compromise but agrees with Commissioner Holker that this seems very well laid out in the way they are tucked into the area. He stated that it appears that staff and the applicant have worked hard to minimize the impact and noted that he also intends to recommend approval. He stated that there has been discussion of the lift station and questioned whether that should be included as a condition or if it could just be a directive to staff.

City Engineer Budde stated that the City is planning to rehab that lift station this year which means replacing a lot of its 'guts' and making sure that it will function long term. He explained that the rehab will not change the capacity of the lift station because it already has adequate capacity for this development. He stated that he would agree that it is vulnerable with power outages which is something he will discuss with Public Works because this could be a good time to do something about that as part of the rehab process. He stated that he will follow up and provide a summary that explains more specifics of the lift station and how this development would change it to make sure everyone understands it clearly.

Commissioner Huskins asked if they could also get some information about the retaining wall and what types of screening would be possible.

City Engineer Budde stated that they can get feedback on that.

Planning Director Darling stated that regarding the wetland buffers, the two jurisdictions, the City and the Minnehaha Creek Watershed District have a different sized buffers and are both applying the required buffers to this development. She stated that the City's buffer is 35 feet for the wetland buffer itself and in that area they would not allow any construction and tree removal would be limited to just noxious weeds and diseased trees. She explained that the Minnehaha Creek Watershed District requires 40 feet for the wetland buffer but they do allow some flexible averaging. She noted that the DNR has asked that the entirety of the Minnehaha Creek Watershed District be included in the conservation easement. She explained that typically once there is a conservation easement you do not want any additional landscaping and simply preserve the natural habitat that is there, but there are times when there may be a lot of deadfall or diseased trees that the area needs to be re-vegetated to prevent erosion by using some type of native plantings. She stated that additional trees or shrubs could be added at the top end of the wetland buffer but would not want to get so close with the root systems that the retaining wall may be destabilized.

Commissioner Huskins stated that earlier in the meeting Commissioner Eggenberger had made a statement about his concern regarding the ash trees and asked if the applicant had any feedback on that issue.

Planning Director Darling stated that after the meeting she could go through on the 'saved' trees and determine how many of those would be ash trees.

Commissioner Eggenberger asked who was responsible for removing the ash trees if they are diseased.

Planning Director Darling stated that if there is documented ash borer on private property, they would have to issue orders for their removal. She explained that if they were in the public right-of-way, then the City would be responsible. She stated that they know the emerald ash borer is marching this way, and is present in the surrounding communities, however, there has only been one documented case, to date, in the City.

Vice-Chair Riedel reminded attendees that the Planning Commission was just an advisory body and that the final decision would rest with the City Council.

Planning Director Darling agreed and noted that there are a few more steps in the review and approval process if this moves forward. She stated that the Parks Commission will also review the development for its impact to the park system in the City on August 16, 2022. She stated that on August 22, 2022 the City Council will hold a second public hearing on this application. She stated that if the Council approves the plans, the next step would be to submit a Final PUD and Final Plat which would take all of the conditions and incorporate them into the plans and resubmit with final details required.

**Eggenberger moved, Huskins seconded, recommending approval of the request for rezoning from R-1A to Planned Unit Development; PUD Concept and Development Plan, and Preliminary Plat for 'Maple Shores' for property located at 20430 Radisson Road and four adjacent unaddressed parcels, subject to the staff recommendations. Roll call vote: all in favor, motion passed 4/0.**

Commissioner Eggenberger asked staff to look into the lift station issue prior to the City Council meeting.

Vice-Chair Riedel asked staff to also take a look into the ash borer issue and the ratio of tree replacement that may be necessary.

## **5. NEW BUSINESS**

### **A. Liaisons for City Council Meetings – August through December**

August – Commissioner Riedel  
September – Commissioner Eggenberger  
October – Commissioner Holker  
November – Commissioner Riedel (tentative)  
December – Commissioner Huskins

**6. REPORTS**

- **Council Meeting Report**

Council Liaison Gorham reported on matters considered and actions taken during the Council's recent meetings.

- **Draft Next Meeting Agenda**

Planning Technician Carlson noted that there are a few applications coming up for the next meeting: an addition to a non-conforming house; a CUP for a privacy fence; and a Preliminary Plat for an outlot that will be converted into a single-family lot.

**7. ADJOURNMENT**

**Huskins moved, Holker seconded, adjourning the Planning Commission Meeting of August 2, 2022, at 9:34 P.M. Roll Call Vote: Ayes – all. Motion passed 4/0.**





## City of Shorewood Council Meeting Item

**#7B**

MEETING TYPE  
Regular Meeting

<b>Title / Subject:</b>	<b>Rezoning, PUD Concept/Development Stage Plan, Preliminary Plat for Maple Shores</b>
<b>Applicant:</b>	Chamberlain Capital, LLC.
<b>Location:</b>	20430 Radisson Road and four adjacent unaddressed parcels, all on the south side of Highway 7
<b>Meeting Date:</b>	August 22, 2022
<b>Prepared by:</b>	Marie Darling, Planning Director
<b>Review Deadline:</b>	September 16, 2022
<b>Attachments:</b>	Engineers' Memo dated August 17, 2022 Planning Staff Memorandum Ordinance approving a Rezoning Resolution approving a PUD Concept/Development Stage Plan Resolution approving a Preliminary Plat

**Background:** See attached memorandum for detailed background on this item as well as the report for item 5A on this agenda.

The applicant proposes to subdivide the subject properties into 7 lots for new single and two-family homes and one open space outlot. This proposal includes the following requests:

- A rezoning from R-1A to Planned Unit Development (PUD)
- A PUD concept and development plan (the 1<sup>st</sup> and 2<sup>nd</sup> steps of the three-step process)
- A preliminary plat (the 1<sup>st</sup> of 2 steps in the subdivision process)

At their August 2, 2022 meeting, the Planning Commission voted unanimously to recommend approval of the item, subject to the conditions listed in the staff report.

They also requested that the Council consider the option of whether or not to require all the ash trees to be removed with development. Staff addressed this concern with the public testimony provided. This would result in about 25 additional trees removed.

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**Mission Statement:** *The City of Shorewood is committed to providing residents quality public services, a healthy environment, a variety of attractive amenities, a sustainable tax base, and sound financial management through effective, efficient, and visionary leadership.*

At their August 16, 2022 meeting, the Parks Commission considered the park impact of the project and recommended fees in lieu of land dedication and private ownership of the open space outlot.

**Public Testimony:** Notice of the application was published in the official newspaper at least 10 days prior to both public hearings (August 2, 2022 at the Planning Commission and August 22, 2022 at the City Council) and mailed notice was sent to all property owners within 750 feet of the subject property. The applicant held a neighborhood meeting prior to submission.

**Financial or Budget Considerations:** The application fees cover the cost of processing the request. Developments are required to pay fees for utility connections and park dedication.

**Recommendation / Action Requested:** Staff and the Planning Commission recommend approval of the request for a Rezoning to PUD, a PUD concept and development stage plan and a preliminary plat for Maple Shores on property located at 20430 Radisson Road and the four adjacent vacant parcels, subject to the findings and conditions in the attached ordinance/resolutions.

Motion requires a 3/5 majority to adopt.

Should the City Council determine another course of action is more appropriate, staff recommend referring the item back to staff to draft the appropriate findings-of-fact.

**Next Steps and Timelines:** If the City Council approves the request, the applicant would need to submit a PUD final stage plan and final plat application as well begin acquiring other jurisdictions approvals.



## MEMORANDUM

**Date:** August 17, 2022  
**To:** Marie Darling, Planning Director  
**From:** Matt Bauman, PE, Andrew Budde, PE  
**Subject:** 20430 Radisson Road/Maple Shores Revised Preliminary Plat  
City of Shorewood  
Project No.: 0C1.123603

The following documents were submitted for review of compliance with the City of Shorewood's Local Surface Water Management Plan and Engineering Standards:

- Certificate of Survey dated 12/19/2021
- Civil Plans revised dated 6/29/2022
- Stormwater Drainage Report revised dated 6/29/2022
- Landscape Plan revised dated 6/30/2022
- Response letter to Bolton & Menk 5/26/2022 comments

This review only included the documents listed above, primarily dealing with grading, modelling, and stormwater management.

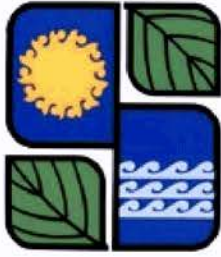
### Notes:

1. Public infrastructure shall be constructed in accordance with City Standard Details and Specifications.
2. The property must meet the City of Shorewood Surface Water Management Plan Regulations (Section 5.3)
3. Full detailed review of drainage report not completed at this time, but will be analyzed in more detail once soil borings obtained. Current stormwater management plan appears to meet City standards.
4. List NWL Lake Como on Grading and Utility Sheets.
  - a. Noted that DNR and Watershed do not have this information currently.
5. The watermain casing on the south end terminates under the roadway. Have the casing terminate closer to the MnDOT ROW so that if the line needs to be replaced in the future there is some green space to work in instead of tearing up the street.
6. Use a wet tap on the north end to minimize any shutdowns of the 12" main.
7. The hydrant stub at Radisson Road and the new entrance should extend the 8" main south of the street and then can reduce to a 6" main and valve at the hydrant. This helps ensure if the watermain is extended on Radisson to the south we don't need to dig up the entrance.
8. Consider moving STMH 7 closer to the toe of the slope and near pipe station 1+50 so that it can capture water from the slope and reduce erosion concerns.
9. STMH 6 should have a slight berm on the down slope side to help ensure it captures water into the pipe instead of bypassing and causing erosion.

10. The trees by the watermain connection on the north side of TH 7 may have root impacts. If, ash we should include them for removal.
11. Retaining wall is 18 feet tall and at this point not sure how deep the reinforcement would be until its designed. That reinforcement may be very close to the building's footings and may not be able to be replaced without demoing (or significant shoring) of the buildings.
12. Confirm if the WMO will allow additional trees be planted in the wetland buffer in front of the retaining wall to help provide screening?

Prior comments noted to be addressed with Final Plat:

1. Provide soil boring data once completed and updated stormwater drainage report as required.
2. Provide groundwater data and verify that the low floor elevations are:
  - a. 4.0 feet above groundwater elevations in the area.
  - b. 2.0 feet above known historic high groundwater elevations.
  - c. 1.0 feet above the 100-year high water elevation.
3. Verify that there is at least 3.0 feet of separation from the bottom of the infiltration basin to the groundwater elevation.
4. Owners of private stormwater facilities shall enter into an agreement with the City describing responsibility for the long-term operation and maintenance of the stormwater facilities and shall be executed and recorded with the final plat. An operations and maintenance plan for the proposed stormwater system should be included with future submittals.
5. Retaining walls over 4' high shall be designed by a registered professional engineer.
6. Ensure adequate fall protection for the retaining walls.
7. Irrigation mains are not allowed in City Right of Way without an encroachment agreement and subject to the approval of the City Engineer.
8. Developer shall obtain all permits before approval of final plat. Specific permits to consider early in the process include:
  - a. A stormwater management and erosion and sediment control permit will be required with Minnehaha Creek Watershed District.
  - b. A permit will be required with MnDOT for Utility Crossing in the right of way.



# CITY OF SHOREWOOD

5755 Country Club Road • Shorewood, Minnesota 55331 • 952-960-7900  
www.ci.shorewood.mn.us • cityhall@ci.shorewood.mn.us

## MEMORANDUM

**TO:** Planning Commission, Mayor and City Council

**FROM:** Marie Darling, Planning Director

**MEETING DATE:** August 2, 2022

**RE:** Rezoning, PUD Concept and Development Plan, and Preliminary Plat for “Maple Shores”

**APPLICANT:** Chamberlain Capital, LLC.

**LOCATION:** 20430 Radisson Road and four adjacent unaddressed parcels, all on the south side of Highway 7

**REVIEW DEADLINE:** September 16, 2022

**COMPREHENSIVE PLAN:** Low Density Residential (2-3 units per acre)

**ZONING:** R-1A

**FILE NO.:** 22.01

**REQUEST**

The applicant proposes to subdivide the subject properties into 7 lots for new single and two-family homes and one openspace outlot. The request includes the following approvals:

- A rezoning from R-1A to Planned Unit Development (PUD)
- A PUD concept and development plan (the 1<sup>st</sup> and 2<sup>nd</sup> steps of the three-step process)
- A preliminary plat (the 1<sup>st</sup> of 2 steps in the subdivision process)



Notice of the application was published in the official newspaper at least 10 days prior to the meeting and mailed notice was sent to all property owners within 750 feet of the subject property. A second public hearing will be held at the City Council meeting on August 22, 2022. The applicant held a neighborhood meeting prior to submission. The Parks Commission will also be reviewing the application for park impacts.



## BACKGROUND

Property Information: The lots were created as part of two separate subdivisions. 20430 Radisson Road was part of the Radisson Inn Addition (recorded in 1939) and the other lots were part of Registered Land Survey No. 730 (recorded in 1957).

The property at 20430 Radisson Road has an existing single-family home that has stood vacant for several years. The other four properties are vacant. The subject property contains about six acres, of which about 3.5 acres are outside the lake and wetland. Como Lake and its associated wetland lies to the south and west. The site is within the shoreland overlay district for both Como and Christmas Lakes. The property is not within a 100-year floodplain. The site contains mature trees and is subject to the City's tree preservation regulations and policy. A bluff exists on the north side of the site between Highway 7 and Lake Como; no development is proposed in this area.

The use of the surrounding properties is summarized below:

	Use	Comprehensive Plan	Zoning District
North (across Highway 7)	Two-Family Dwellings	Low to Medium Density Residential	R-2A and PUD
East	Right-of-Way		
South (across Radisson Rd)	Single-Family Homes	Minimum Density Residential	R-1A
South and West	Single Family Homes	Low Density Residential	R-1A

Application Discretion: Reviewing requests to rezone and the creation of planned unit developments are legislative roles for the Planning Commission and City Council. These types of requests have rules that apply broadly and have the most discretionary review. Reviewing applications for subdivisions are quasi-judicial roles for the Planning Commission and City Council. These types of applications have rules that already exist, and the review is to determine if an application meets the rules.

## APPLICANT'S PROPOSAL

The applicant is proposing to subdivide the property to create seven dwellings, one is a single-family home and six are separate halves of three twin-homes. All site construction would be in one phase, with building permits issued as the structures are sold. The applicant's narrative is attached and indicates that they would like to develop the property with shared maintenance and a homeowner's association.

The applicant has provided elevation drawings and concept floor plans for the homes showing they would be between 3,400-3,900 square feet. The majority of the living area would be on the main level. The lots that back up to the lake would have additional bedrooms and gathering spaces in a walk-out basement and the lots that back up to the storm water pond would be slab on grade homes with some additional bedrooms and gathering spaces on an upper level. The garages are two stalls wide with extra space that could be used for a tandem parking stall or extra storage space. The anticipated market price for each of the homes is about \$950,000.

The applicant proposes smaller individually owned lots for each dwelling with most of the land within common space. This common area would be primarily used for the shore area, wetland, wetland buffers, storm water pond and open spaces.

Each home would be accessed along a shared private street and each unit would be addressed from Radisson Road.



The applicant is specifically requesting flexibility to allow:

1. The ability to construct single and two-family homes where the R-1A zoning district would restrict development to single-family homes.
2. A private street serving all seven homes where the subdivision regulations allow for a maximum of three homes to be served by a private street.
3. Reduced setbacks to cluster the homesites along the private street and to be closer to Radisson Road. The garages are proposed 22-25 feet from the private street instead of 65 feet as required in the R-1A district and a 35-foot setback from the property line abutting the Radisson Road where the R-1A zoning district requires 50 feet.
4. The ability to remove (export) 5,840 cubic yards of material from the site where a conditional use permit would otherwise be required (same review standards, regardless).
5. The ability to construct a model home prior to installing utilities and paving the private street.

## ANALYSIS

### Rezoning:

The applicant is proposing to rezone the property to Planned Unit Development (PUD). A PUD is a custom zoning district that would allow innovations in design, higher standards of site and building design, preservation and enhancement of desirable site characteristics, and allow for variations in setbacks, lot area and yards within the project.

Rezoning requests are reviewed with the following standards:

#### ○ *Consistency with the City's Comprehensive Plan:*

Density: the applicant is proposing to develop the property with about two units per acre, using the net acres (total area less the land within the lake and wetland). This area is classified as Low Density Residential (1-2 units per acre) and the proposed density at two units per acre is consistent.

Objectives and Policies of the Comprehensive Plan: Shorewood's Comprehensive Plan includes several land use objectives and policies regarding land use patterns and the following would support the applicant's proposal:

- A creative approach to the use of land and related residential development is to be encouraged
- Housing styles and development techniques that conserve land shall be encouraged
- Innovation in subdivision design and housing development shall be considered through the use of devices such as cluster and planned unit development concepts
- Maintain the present variety of housing options and provide sufficient housing types, sizes and values to meet the needs of varying segments of the population.
- Integration of housing types or styles within a development shall be allowed when applicable provided the total number of units conforms to the prescribed density for the total development.



- ***The proposed use is compatible with present and future land uses in the area***  
Two-family dwellings are not located on any of the directly abutting properties. However, the development meets the density indicated on the Comprehensive Plan land use map and the development is located at the entrance to the neighborhood. It will act as a transition between the noise and activity of Highway 7 with the lower density homes to the south. This area of Shorewood has a wide variety of home and lot sizes due to the historic nature of the area. As a result, the development would not be notably out of character with the area.
- ***The proposed use would not tend to depreciate the area in which it is proposed***  
Property values in Shorewood are highly resilient to impact from new development. The applicant proposes to use a homeowner association to control the negative impacts of residential uses, such as outdoor storage of personal items, and visible storage of recreational vehicles. The property had become a dump site in recent years and the previous property owner had to clean it up several times. Redevelopment of the site would improve property values by reducing the nuisances common with a vacant property, like dumping and uncut grass.
- **The proposed use can be accommodated with existing public services and would not overburden the city's service capacity**  
Access to the Units (Streets): The developer proposes to access each of the homes using a new private street which would be designed to fire lane standards (26 feet wide, with an approved turnaround at the end. The private street would have one entrance to Radisson Road. Although narrow, Radisson Road would be able to accommodate the additional trips per day for each dwelling, estimated at 9.43 for the single-family home and 7.2 for each of the two-family homes (total of about 53 anticipated trips per day, half in/half out).

The applicant has studied the site distances at the intersection of the new private street and Radisson Road to make sure there is adequate visibility looking northeast along Radisson Road. Neighbors in the area have mentioned to staff that this is a fun hill for area children for biking and playing because of the grades and the low traffic volume. The applicant has proposed some additional tree removal in the public right-of-way adjacent to their development to make sure that bikers and pedestrians are seen before vehicles enter Radisson Road. They are proposing new trees and shrubs within their property to maintain the site visibility at the intersection.

Utilities. The applicant is required to provide municipal water and sewer to all the homes in the subdivision and to extend those mains to provide for future extensions along Radisson Road.

*Water:* The applicant would extend a watermain from the north side of Highway 7 to the site and extend it through the site for future extensions. The watermain would be stubbed near the private drive for future southerly extension of the watermain and to the north end of the subdivision on Radisson Road for a future extension to the water tower area and the ability to provide a future looped main.

*Sanitary Sewer:* Sewer is provided in Radisson Road. The mains and area lift station are adequately sized to accommodate the new homes.

#### **PUD Concept and Development Plan/Preliminary Plat:**

A PUD concept plan provides the highest level of policy review over a development and the development stage provides the detail of a development. The purpose of the concept level review is to analyze the development core issues and provide the developer with higher level comments so that they can continue to



refine their plan to implement the City's goals, policies and objectives while a development stage plan depicts and outlines the proposed implementation of the concept stage. The zoning ordinance regulations allow for the combination of the concept and development stages when a development is proposed in one phase, as with this development.

Relationship to the Comprehensive Plan/Zoning Ordinance: If the rezoning is not approved, the PUD concept and development stage plans may not be approved. Section 1201.25 subd. 4. directs that the PUD shall be consistent with the Shorewood Comprehensive Plan and its consistency was discussed above. If neither the rezoning nor the PUD are approved, the plat must also be denied.

Proposed Lot Area, Widths, and Dimensions:

As previously stated, the applicant's proposal would be for small unit lots with the majority of the land owned in common. The breakdown of land per unit is as follows:

ADDRESS	Area per Dwelling	Lot Width	Lot Depth
Minimum in R-1A	40,000 sq. ft.	120 ft.	150 ft.
Proposed	21,887 sq. ft.	±300 ft.	Varies, 240 ft. near the back of the proposed units

Outlot: The applicant proposes common area within an outlot that would be owned communally. The outlot would include the shoreland, wetland and wetland buffers, storm water treatment features, and open space. The ordinance requires conservation easements over wetlands and wetland buffers and the conservation easement areas would also be protected by a drainage and utility easement in the outlot.

Proposed Setbacks: (All measured from property lines unless noted otherwise)

ADDRESS	Front (Radisson Rd.)	Side	Highway 7	Private Street	From the OHWL
Minimum in R-1A	50 ft.	10 ft.	50 ft.	65 ft.	75 ft.
Proposed	35 ft.	20 ft. between structures	35 ft.	Min. 20 to curb	85 ft.

The applicant has proposed reduced setbacks to Radisson Road to provide more distance between the new homes and Highway 7. The right-of-way for Radisson Road is wider than typical at 70 feet and the distance between the property line and the street is about 20 feet. The result is that the reduced setback will not be apparent to most passersby.

Although the setback to the private street is narrower than the ordinance requires, it is not out of character for two-family or townhouse developments. The homes in the Barrington, Seasons and Tingewood developments are similarly situated to the private streets. The distance is adequate to park a car in front of the garage without blocking other homeowner's access. Due to the reduction in this setback, staff would recommend a condition that each homeowner maintain two spaces within the garages for parking of passenger vehicles (and include this requirement in the HOA documents) and prohibiting the storage of recreational vehicles in the development. The applicant has provided some additional guest parking which is important as no parking is permitted on Radisson Road.

Wetland buffers/Conservation Area: The zoning ordinance requires a 35-foot wetland buffer and a 15-foot structure setback. The MCWD also requires a buffer, but their requirement is 40-feet for this specific type



of wetland, they do allow for some flexible averaging. The city requires a conservation easement over the 35-foot wetland buffer and require permanent buffer monuments. Staff recommend a condition requiring the applicant to identify where the required buffer monuments would be placed consistent with Section 1102.06.

Shoreland Regulations: Section 1201.26 Subd. 9 of the zoning regulations lists additional requirements for PUDs in the shoreland district. Staff finds the development has meet the requirements due to the amount of land within the shoreland overlay district that would be preserved as open/common space and within conservation easements. The DNR reviewed the proposed development as well and requires a conservation easement over at least 50 percent of the project area. The reviewer indicated that providing the easement over the wetland and entire 40-foot buffer required by the MCWD would satisfy this requirement. As a result, staff recommend requiring a condition to this effect.

Grading/Export of Fill. The applicant is proposing to lower and level the middle section of the site to provide a private street with about two percent grade and flat areas for building pads as well as provide a storm water pond. The applicant would export about 5,800 cubic yards of material from the site. Although Section 1201.03 Subd. 8 of the zoning regulations require a conditional use permit to export more than 400 cubic yards of material to the site, with a PUD application, review would be part of the overall development application.

Staff (including the City Engineer and the Building Official) recommend the following conditions for exporting in the amount of fill proposed:

- The applicant shall submit a soils/geotechnical report from a licensed professional engineer prior to issuance of any permits that indicates the soils are adequate to support the construction of the structures (homes, streets, private street, etc.)
- The applicant shall restore all disturbed portions of the property with slopes no steeper than 3:1.
- The applicant shall install a double row of silt fence to protect the wetlands and must show the double fencing on the plans.
- The applicant shall restore ground cover within seven days after grading is completed.
- The applicant shall submit a construction management plan to control the negative impacts of the site including the general maintenance like street sweeping as well as dust control.
- The truck route shall be determined with the final plat application, although the route proposed (from Old Market Road to Radisson Road and back the same way) is the logical route to and from the site.

Storm Water Run-Off: The site generally drains to Lake Como. The applicant has proposed a storm water pond in the northeast corner of the property. Storm sewer pipes would direct front yard, driveway, and private street storm water run-off to the pond for the required treatment, rate and volume control before release to Lake Como. The applicant's preliminary design is conceptually consistent with the requirements, but they would need to provide final design and full specifications for the design with later phases of the development. The engineer's memo includes several comments for them to incorporate into their final design. The Minnehaha Creek Watershed District will also be reviewing the storm water run-off plan and will likely have comments on the design to incorporate.

The City and the MCWD both require the HOA to maintain the ponds and would require the applicant to execute a maintenance agreement on the HOA's behalf that be recorded against the property. Staff recommends a condition to this effect.



Impervious Surface Coverage: The applicant indicates that they would have 22 percent impervious surface coverage where a maximum of 25 percent is allowed. The applicant's plans also assign a specific amount of impervious surface coverage to each lot permanently so that the amount of impervious surface coverage does not exceed the design capacity of the pond.

Tree Preservation/Landscaping: The site has 204 significant trees on the site, the majority of which are ash. The applicant proposes to remove 163 healthy trees for their development. Based on the site acreage, the applicant must plant 28 replacement trees at the minimum size required by the City's policy and the applicant has proposed 35.

Based on the extent of tree removal and the amount of common areas, staff recommends additional trees to be planted on the site. Planting more trees along the property boundary with Highway 7 would provide an enhanced visual buffer from the activity of Highway 7 as they grow.

The inventory also indicates there may be emerald ash borer on the property. Staff recommends a condition that the applicant get the questionable trees assessed by a certified arborist and document the disease prior to completing any tree removal or disposing of any of the waste wood.

Model Home: The applicant proposes to construct their model home prior to installation of utilities and the storm water system. Because that would mean that multiple contractors are on the site at the same time and traffic to the home on the unpaved private street and significant grading would still be occurring, staff do not recommend approving this concept. Staff would be willing to support the issuance of a model home permit after mass grading has been completed, the public utilities are installed, and the gravel base of the private street is complete. To resolve parking concerns and to protect the unpaved street against damage, staff recommend the applicant provide a second access into the development, which accesses a parking lot for all the contractors and material storage area with their final plat/plat application. Staff also recommends that the parking area for contractors and the material storage area be used until the permit is issued for the last structure and the alternative drive be used until the private drive is paved.

Staff also recommend conditions be applied to use of the model home, as follows:

- a. The home may be used as a model/sales office until permits are issued for the first 4 structures, at that point the model home must be converted back to a home and the parking area removed.
- b. An off-street parking area with gravel or asphalt surface shall be constructed with a pathway leading to the model home, with one handicapped accessible spot.
- c. A handicapped accessible port-a-potty be provided adjacent to the model home unless handicapped accessible facilities are provided within the unit.
- d. Any lighting for the home shall be limited by the lighting regulations and shall be turned off one hour after the real estate office closes or 8 p.m. whichever occurs first.
- e. Temporary signage for the model is limited to 30 square feet in area, which may be allocated to a maximum of two signs.
- f. No flags (except for one US flag) or pennants shall be installed on the model home property.

Construction Management Plan: Prior to grading or any construction on the site or recording the plat, staff recommends the applicant submit a construction management plan, which must identify on-site contractor parking site, where construction materials will be stored, how deliveries of material and equipment will be accomplished, dust control, street sweeping, hours of operation (consistent with the City's permitted construction hours), the approved truck route and reference the erosion control plan. Due to the width of the street, contractor parking cannot occur on the private drive without blocking emergency access.



Easements: City Code requires drainage and utility easements to protect public utilities, wetlands and wetland buffers and ensure that the city can maintain the improvements in the future. These easements should be shown on the final plat. The applicant is currently proposing to include a drainage and utility easement over the entire common area, which satisfies the requirements. As mentioned previously, conservation easements are required over the wetlands and wetland buffers.

## **RECOMMENDATION:**

Staff finds the applicant has shown the request for rezoning is consistent with the intent of comprehensive plan. The staff also recommends approval of the PUD concept and development plan and the preliminary plat. The recommendations are subject to the applicant meeting the following conditions:

- The PUD is limited to one- and two-story, single-family and two-family homes as shown on the plans. The homes must be separated by minimum of 20 feet, except for overhangs. No homes or other private improvements may be closer than 35 feet to a the front property line (along Radisson Road), 50 feet to the north property line (along Highway 7) and 20 feet between private street curb and the garage doors. No dwelling unit may extend beyond the unit lot lines into the common area and the HOA documents should be drafted to include the restriction.
- Prior to submission of a final plan/plat application and prior to removal of any trees or waste wood from the site, the applicant shall have the questionable ash trees evaluated by a certified arborist and document the presence of any disease.
- With the final plat application, the applicant shall submit all information required for the PUD final plan/final plat in the zoning and subdivision regulations, as well as the following, consistent with City Code, the engineering guidelines and specifications:
  - a. Submit the homeowner association documents, which must include disclosures on the maximum impervious surface coverage per lot and language addressing maintenance of the storm water features, conservation areas, proposed signage and all other common elements as well as restrict the garage area to be reserved for parking two passenger vehicles, prohibit accessory buildings, recreational vehicles and trailers, and outdoor storage of personal items, etc.
  - b. Submit the legal descriptions and exhibits for the conservation easement and the maintenance agreement. The legal descriptions must include the entirety of the parcel within the lake, wetland and the farther extent of either the city's or MCWD's wetland buffer.
  - c. Submit the construction management plan including the final haul route for the material to be exported, the location of the contractor parking, construction material storage, how deliveries would be accomplished, dust control, street sweeping, hours of operation (consistent with Chapter 500 of City Code), and reference the erosion control plan. The applicant shall also indicate a second access that will be used for contractor parking and deliveries until the street is paved. The off-street parking area must be available until the permit for the last structure is issued. The city reserves the right to prohibit construction parking on the private drive to ensure adequate access of emergency vehicles.
  - d. Submit the assignment of impervious surface coverage for each lot not to exceed 25 percent for the total development or the design of the storm water management plan for the subdivision.
  - e. Revise the plans as indicated in the engineer's memo dated July 11, 2022 and as follows:
    - 1. Revise the tree preservation plan to show the location of tree preservation fencing. To be considered saved, no activity is permitted within the drip line of tree.
    - 2. Revise the landscaping plan to 1) add additional trees in the common areas where they wouldn't obstruct the storm water; 2) provide a plant schedule with the size of all trees at planting



consistent with the tree preservation policy; 3) ground cover through the development and the public right-of-way; and 4) any proposed plantings that would be used to reestablish the disturbed portions of wetland buffers, if applicable.

3. Revise the grading plan to indicate the location of wetland buffer monuments at each lot line and as the buffer changes direction.
- Prior to the release of the final plat for recording, the applicant shall submit the following:
  - a. Executed conservation easements, executed development and maintenance agreements, financial guarantees as required by the development agreement, and the final draft of the HOA documents.
  - b. Payment of fees for local sanitary sewer access, watermain connection, and park dedication in the amounts required at the time of final plat approval.
- Prior to grading or construction, the applicant shall submit:
  - a. Applicable permits required by other jurisdictions.
  - b. Install silt and tree preservation fencing and request inspections.
- Prior to the issuance of any building permits:
  - a. The applicant shall submit a soils/geotechnical report from a licensed professional engineer permits that indicates the soils present on the site and brought in are adequate to support the construction of the buildings and other improvements.
  - b. The applicant shall submit recorded copies of all documents, such as the plat, development agreement, maintenance agreement, separate easements, HOA documents, etc.
- The applicant shall restore all disturbed portions of the property with slopes no steeper than 3:1.
- The applicant shall restore ground cover within seven days after grading is completed.
- The permit for the model home shall not be issued until the water, sewer and storm sewer mains are installed and the curbs and gravel base of the street is complete and is subject to review of the Excelsior Fire District Fire Marshall. One home may be used as a model/sales office until permits are issued for all 4 structures. At that point the model home must be converted back to a home and the parking area removed. Use of the model home is further restricted as follows:
  - a. An off-street parking area with gravel or asphalt surface shall be constructed with a pathway leading to the model home, with one handicapped accessible parking spot identified.
  - c. A handicapped accessible port-a-potty shall be provided adjacent to the model home unless handicapped accessible facilities are provided within the unit.
  - d. Any lighting for the home shall be limited by the lighting regulations in the zoning regulations and shall be turned off one hour after the real estate office closes or 8 p.m. whichever occurs first.
  - e. Temporary signage for the model is limited to a combined total of 30 square feet in area in no more than two signs.
  - f. No flags (except for the US flag) or pennants shall be installed on the property.

The Planning Commission may elect to alter, remove or add to the above recommendations (should they recommend approval of the application).

If the application is approved, the applicant would need to apply for the following:

- a PUD final stage plan
- a final plat

#### **ATTACHMENTS:**

Location map

Engineer's memo

DNR review letter

Applicant's narrative and plans

S:\Planning\Planning Files\Applications\2022 Cases\Maple Shores 20430 Radisson Road\PC memo.docx

# Location Map







Ecological and Water Resources  
1200 Warner Road  
St. Paul, MN 55106

July 13, 2022

Marie Darling  
Planning Director  
City of Shorewood  
5755 Country Club Road  
Shorewood, MN 55331

Dear Ms. Darling,

DNR has reviewed the revised materials regarding the Maple Shores Planned Unit Development (PUD), received July 1, 2022. This site is located within the shoreland district of Lake Como (27-145P) classified as Recreational Development. The purpose of this letter is to comment on the application for the PUD referenced above. The city's zoning code provides that preliminary plans for a PUD within a Shoreland District shall be approved by the DNR prior to city approval (Section 1201.26 S, subd. 9).

The Preliminary Plat and PUD proposes construction of 7 dwelling units comprised of three two-unit townhouses and one detached unit and associated site work at Radisson Road near Shore Road.

Minnesota's shoreland management rules provide a comprehensive set of standards to preserve and enhance the quality of surface waters, conserve the economic and natural environmental values of shorelands, and provide for the wise use of water and related land resources. We reviewed the Preliminary Plat and PUD and determined it is substantially compliant with the state's rules for residential PUDs in shoreland.

The application and plans adequately addresses the following items:

- Setbacks. Shoreland setbacks are properly shown.
- Open space. At least 50 percent of the total project area must be preserved as open space.
  - A drainage and utility easement is shown covering 87 percent of the total project area.
  - A conservation easement is shown covering 48 percent of the total project area. This covers all land below the 35-foot wetland setback (2.97 acres). Calculations provided by the engineer indicate expanding the conservation easement area to include the Watershed District's 40-foot wetland buffer will increase the preserved open space above 50 percent. Include this expanded conservation easement area on final plat and plans.
- Impervious surface. Impervious surface of lots does not exceed 25 percent of the lot area. The plan reflects 22 percent impervious surface for the lots.

- Density. The developer conducted a density evaluation of suitable area and demonstrated the project does not exceed the allowable number of dwelling units (seven) in the shoreland district.

Prior to final approval by the City, please ensure that deed restrictions, covenants, permanent easements, public dedication and acceptance, or other equally effective and permanent means are in place to ensure long-term preservation and maintenance of the open space as required by Minn. Rules 6120.3800, Subpart 5(C).

We appreciate the opportunity to review this application and preliminary plat. For future reference, the city can amend its shoreland ordinance to include the PUD provisions within the state shoreland model ordinance. Once amended, the DNR will not need to approve other PUDs in shoreland areas.

Please do not hesitate to contact me directly at (651) 259-5822 or [wes.saunders-pearce@state.mn.us](mailto:wes.saunders-pearce@state.mn.us) if you would like to discuss this matter further.

Sincerely,

A handwritten signature in black ink, appearing to read 'Wes Saunders-Pearce', with a long horizontal flourish extending to the right.

Wes Saunders-Pearce  
North Metro Area Hydrologist

CC: Dan Petrik, DNR Shoreland and River Program Manager

*Equal Opportunity Employer*

February 22, 2022  
revised July 15, 2022

Marie Darling, Planning Director  
City of Shorewood  
Shorewood City Hall  
5755 Country Club Road  
Shorewood, MN 55331

Dear Ms Darling

Attached is a planned unit development application for 20430 Radisson Road and certain adjacent parcels for your review. The subject property is owned by Chamberlain Capital LLC. I am the manager of this entity.

If the PUD is approved Chamberlain Fine Custom Homes, a Mn licensed general contractor (Lic# BC661410), will construct the units. [ChamberlainFineHomes.com](http://ChamberlainFineHomes.com) is its website. Chamberlain Capital LLC and Chamberlain Fine Custom Homes has experience in the development of subdivisions and is currently finishing a 15-acre subdivision owned by Chamberlain Capital LLC called Crystal Bay Estates in Orono. Finally, as you know if the PUD is approved, my wife and I will be the first residences of this development and are excited to become new Shoreview residence in 2023.

The following people participated in the PUD application development and are available to answer your questions as are Liza and me.

Paul Cameron  
952-649-7653  
[Paul@Chamberlaincap.com](mailto:Paul@Chamberlaincap.com)

Travis Van Neste – Surveyor  
952-686-3055  
[travis@vannestesurveying.com](mailto:travis@vannestesurveying.com)

Sarah Notch – Landscape Architect  
Designing Nature  
763-477-9909  
[snotch@designingnatureinc.com](mailto:snotch@designingnatureinc.com)

Christine Charles - Architect  
Design Group C  
952-250-9980  
[ccharles@designgroupc.com](mailto:ccharles@designgroupc.com)

Liza Cameron  
952-649-7653  
[Liza@Cameronres.com](mailto:Liza@Cameronres.com)

Lee Elfering – Civil Engineer  
763-780-0450  
[lelfering@elferingeng.com](mailto:lelfering@elferingeng.com)

Thomas Whalen – Cert Arborist MN 4217a  
Tree Top Service, Inc  
763-972-3988  
[paul@treetopclearing.com](mailto:paul@treetopclearing.com)

Respectfully,





# Maple Shores PUD Development Application

## BACKGROUND

In November 2021 Chamberlain Capital LLC ( "Chamberlain") acquired 5.95 acres of land on the east side of Lake Como and south of Highway 7. The property is comprised of five parcels with legal descriptions described in EXHIBIT A. The only structure on the parcels is a 1920's era home that is vacant and uninhabitable.





## PROPERTY BACKGROUND

The current plat, the Registered Land Survey No. 730 , was registered in 1957. See Exhibit B. It divided the land into 11 tracts. 6 tracts (A, B, C, D, E, and F) were reserved for home development and 5 smaller tracts (G, H, I, J, and K) were reserved for a drivable and pedestrian access for the 5 tracts from/to Radisson Road through easement documents #10216700 and #1025701. See Exhibit C. However, if the city extended the service road along Highway 7 to provide drivable access to the 6 tracts then the 5 tracts would revert to walking-only ingress and egress via Radisson Road to Christmas lake Lot 11 on which the easement assured the 6 tracts maintained deeded access. During the neighborhood meeting Chamberlain was informed of past litigation regarding access to Lot 11. How this past ligation affects Chamberlain's access rights is currently under legal review.

There is currently one wetland ( Lake Como) partially on the property. Minnehaha Creek Water District and Shorewood buffer and tree preservation requirements apply to development on these parcels. The property is not in a 100-year floodplain. Lake Como does not receive water from Lake Minnetonka. Water District reports show that Lake Como flows east to the smaller basin and only under high-water level conditions would it flow into Christmas Lake. Lake Como receives water from its small surrounding drainage area through runoff. In addition, most lakes/basins receive some water from groundwater sources.

## NEIGHBORHOOD BACKGROUND

The north end of Christmas Lake, running along the south side of Radisson Rd, is best remembered from its start as a resort area. An old home built on the very north side of the lake in the late 1800s for Charles Morris, a civil engineer for the Manitoba Railroad, started the development of the area. Charles Morris owned 1,000 acres on Christmas Lake and 2,000 acres on nearby Lake Minnetonka's St Alban Bay. After he died in 1906, his children added rooms to the original house, built 15 little cottages on the property and began to run what was called the Glen Morris Inn.

The Radisson Hotel Company purchased the property in the early 1920s to expand into the lakes area. The proprietors of the Radisson Hotel further remodeled and expanded the main building. They eventually sold the Inn in 1934. Just before opening for the summer of 1936, the main house caught fire and was destroyed. All of the cottages were saved. Today, only a four remain.

The area around the subject property have been developed with single-family homes – ranging in assessed values from the \$200,000 into the millions. Over time the smaller homes were and continue to be remodeled or torn down to be replaced with high-end homes or combined with adjacent properties.

## DEVELOPMENT PROPOSAL

Chamberlain's proposed development called Maple Shores is focused on "single-level" style living with an HOA responsible for exterior maintenance. Single-level is most-often defined as smaller square foot units with living, bathing, sleeping, kitchen, and laundry facilities for two persons on a single level. Maples Shores low-density housing consisting of 9 units on 3.72 dry acres or .41 units per acre. The neighborhood will comprise of four two-unit townhouses (totaling 8 units) and one detached unit. There will be an abundance of common area and a homeowner's association (HOA) to control building exteriors, the private drive, parking, grounds maintenance, and storm water management. Access to the development will be via a single curb-cut private drive off Radisson Rd replacing the existing curb-cut that meets fire services access requirements.

Units 1-5 are designed as walk-outs due to existing contours along Lake Como and Units 6-9 are designed as slab-on-grade (with frost footings). All units have between 3,400-3,900 finished SqFt. The main level has approximately 2,400 SqFt, the remaining Sqft is on the upper level of units 6-9 and lower level on Units 1-5. The additional SqFt on the upper or lower levels are designed to primarily support over-night guest accommodations.

With the changing demographics of the community, single-level living housing options are needed and desired. According to the MLS, in 2021, a total of 158 homes were sold in the municipality of Shorewood. Below is an overview of the homes sold.

Number of Homes Sold	Average Sale Price per Home	Average Days on Market	Average Finished SQFT	Units 2,400-3,200 SQFT	Units with One-level Living
158	\$1,276,532	43.5	5500	74	33

Units with One-Level Living	Average Sale Price per Home	Average Days on Market	Average Finished SQFT	Average Age of Units	Units part of Full-service Association
33	\$1,064,763	16	3,864	20 years	2

Of the thirty-three units with single level living, only eight units were 2,400-3,200 SqFt. Of the eight comparably sized units, five were single family homes, two were part of "full service" associations, and two were new construction. Senior-focused homes availability is a community need.

Most of the neighboring properties are traditional single-family (factoring only those on the south side of Hwy 7 and within 750 feet of the subject properties), the average lot size was 1.38 acres – with 14 of the 50 being .26 acres or smaller. Hence, the neighborhood offers both quite large as well as very small (old Radisson Inn) lots. The homes range in assessed value (\$200k to \$2.6m) and are of varying sizes. The newer homes often being larger homes on smaller lots. But only 4 of the 50 homes are part of an HOA which provides the exterior services. Downsizing empty-nesters are looking for high-feature homes without the ongoing duties of exterior upkeep while still maintaining the connection to their neighborhood. Our proposed townhouses provide a step-down style, single-level living, with high-feature interiors, and no-exterior maintenance – all being consistent with the desires of senior buyers.



## SUMMARY OF RECENT NEIGHBORHOOD MEETING

On February 15<sup>th</sup> Chamberlain hosted an in-person/zoom meeting with the surrounding neighborhood. Paul Cameron from Chamberlain presented some details on the proposed development including current topography, tree inventory, proposed site plan, and potential interior floor layouts. Attendance included 6 people - In-person, 14 people on the zoom call for the entire duration (80 mins), 22 people on the zoom call less than half the duration of the meeting.

Chamberlain gained a better understanding of the neighborhood concerns with regard to the proposed Maple Shores development. The most pertinent concern was access and use of Lot 11. Other concerns included timelines for construction, tree removal, noise impact on the neighboring properties, sewer capacity, impact on traffic patterns, storm water management, and access to city water. Many of the concerns expressed by the neighbors were either still under development (e.g., Trees & noise) or are already being addressed in the normal course of plan development (e.g., storm water management).

## DEVELOPMENT'S RELEVANCE TO THE NEIGHBORHOOD AND BROADER COMMUNITY

The intent of the proposal is to meet, if not exceed, the purpose, goals and provisions of the Shorewood PUD Ordinance and Comprehensive Plan, as well as their land use goals. We intent to accomplish this by

1. Preserving the onsite wetlands and lake contours, topography, and abundance of trees and greenery by clustering the homes around a center private road and turn-around.
2. Utilizing the clustering of homes to minimize the affected area of land, capitalize on the natural resources already in place for the enjoyment of the homeowners, install a smaller network of utilities, minimize paved street area within the development, and lower the unit costs as well as public utility investment for sewer, water, and other utilities needed to develop the vacant land.
3. Creating a housing development which syncs with the goals and objectives of the Shorewood Comprehensive Plan as well as the Metropolitan Council's desire for smart density planning, specifically in the following areas:
  - a) Offering single-level living with some being slab-on-grade - highly desirable for the aging population;
  - b) Designing interior layouts that can be modified to be ADA compliant for those seniors wanting or needing specialized housing;
  - c) Offering units right sized to provide the desired accommodations without utilizing an excessive amount of space;
  - d) Building to a standard that not just meets, but exceeds the expectations of the neighborhood;
  - e) Clustering the buildings around a private road to maximize natural common space;
  - f) Working with a team of trained, thoughtful professionals to study, reflect, and design homes that are consistent with the look of the area;
  - g) Preserving the natural Lake Como shoreline, buffering its ecosystem from being impacted by the development, and designing to enhance the enjoyment of those fortunate enough to reside on it;

- h) Minimizing the impact on the natural topography by building a retaining wall along Lake Como to protect the natural shoreline, and building a retaining pond on the east side of the property to properly channel and retain some of the storm water within the development;
- i) Discreetly increasing the density of housing in a predominantly single-family residential neighborhood with a deep history without disrupting the close-knit look and feel of the lakeside area;
- j) Landscaping to maintain the natural look of the area, replacing with like trees when possible, maximizing the replacement of lost trees, utilizing the benefit of landscaping to manage noise from the highway, and creatively shaping the topography to manage run-off without losing the character of the land;
- k) Structuring a Homeowner's Association (HOA) to assure appropriateness and timeliness of HOA support services and road maintenance needed to keep the development looking tailored and consistent with the look and expectations of the neighborhood;
- l) Requesting reasonable variations from the provisions of Comprehensive Plan that are justifiable and thoughtful.

#### COMMUNITY BENEFITS

- 1. No additional curb cut entrances on Radisson;
- 2. Exterior facades designed by the developer will have a similar look and feel and will be maintained and regulated by the HOA;
- 3. Storage of boats, trailers, RVs and other equipment will be strictly prohibited by the HOA to assure continuity in appearance within the development;
- 4. Common exterior building and roof maintenance, lawn maintenance, snow removal, and entrance monuments will be regulated and maintained by the HOA;
- 5. Exterior accessory buildings will be prohibited by the HOA;
- 6. Slab-on-grade construction often means lower costs to home buyers and more opportunity to utilize eco-friendly infrastructures;
- 7. As all homes in the subdivision will be served by municipal sewer and water (required by the subdivision regulations), the current water system will be extended from the north side of HWY 7 to the PUD using an 8-inch main. Chamberlain will work with the city should it desire to increase the main to a larger diameter for future use;
- 8. Landscape buffering along Hwy 7 and Radisson Road will be utilized to maximize the natural topography of the development and create visual barriers currently appreciated by the adjacent neighbors;
- 9. Designing a clustered developments will promote the goals and objectives of the Shorewood Comprehensive Plan as well as provide a unique housing opportunity for non-Shorewood seniors looking to move or local residents wanting to downsize without having to leave Shorewood;



10. The water management system will capture nearly 100% of the first 1" of water (the most polluted) running off the impervious surfaces from a storm event and efficiently retain the water within the development. Water will first move to the stormwater pond, then on to Lake Como, if needed. The carefully designed stormwater pond will be the frontline of a stormwater filtration area while still offering an aesthetically pleasing landscape.

#### FINANCIAL BENEFITS TO BROADER SHOREWOOD COMMUNITY

1. With the conversion of vacant land to occupied housing, the annual tax base associated with the five lots will grow from \$5,366/year to roughly \$87,111/year, assuming the average sale price of 7 units is \$950,000. With continued increases in valuations of near lake-side housing in the western suburbs, the long-term positive tax contribution to the city is significant.
2. The city will gain revenue from the permitting fees associated with new construction;
3. The city will gain revenue from the Park Dedication Fees and other development-specific fees;
4. The road for the development will be privately funded and maintained by the HOA so there will not be additional expenses to the city road system;
5. The city will have the option to upgrade the water system in the neighborhood(s) south of Hwy 7 should they desire.

### PLANNED UNIT DEVELOPMENT (PUD)

We are proposing a Low Density Planned Unit Development (PUD) (.41 units per acre) and new plat. Below is a chart of the current zoning of the land and how it will change with the proposed PUD.

	Lot Area in SqFt
Min in R1-A (current)	40,000
Min in R1-C (others in the area south of Hwy 7)	20,000
Maple Shores above OHWL on Lake Como	162,221
Maple Shores Total Structures = Building pad x 7	29,752
Maple Shores Structure Coverage / above OHWL	18.34%

	Front	Side	Rear	Hwy 7 Side	Radisson Rd Side	Wetland Buffer
Min in R1-A	50 ft	10 ft	50 ft	50 ft	50 ft	75 ft
Min in R1-C	35 ft	> 10 ft	40 ft	35 ft	35 ft	75 ft
Maple Shores	20 ft	15-20 ft	>100 ft	79.4 & 50.5	37.3 ft	75 ft

1. Maple Shores Structure coverage above the OHWL is 18.34%.
2. Maple Shores proposed Hwy 7 side setback is 79.4 feet off unit 4 on the west side and 50.5 feet off unit 5 on the east side.
3. Maple Shores proposed Radisson Rd side setback is 37.3 feet. This setback is based on a singular point on Unit 7

- Maple Shores proposed Unit 1 setback is 23.6 ft which is greater than the 10 ft R1-A min requires from the neighboring property. This will provide additional green buffering between the development and the single family home adjacent to it.

## DEVELOPMENT DETAILS

Maple Shores townhomes are clustered around a private driveway ending with a turn-around which meets city fire requirements. The road will be a private drive of Radisson Road and will have house numbers assigned according to the numbering system of Radisson Road. The private drive is 27 feet wide and allows parking on one side. Each home has a two-car garage door with tandem parking of an addition vehicle. A 20-foot driveway supports guest parking for two vehicles.

Chamberlain proposes a clustered townhome style neighborhood. The cluster concept provides the opportunity to leave 87.2% of the dry acreage open and free of structures. This low-density approach discreetly increases the housing density while still being in harmony with homes with large open areas on their properties. The starting price point of the new units will be at a moderate level of \$950,000 as compared to property values of other recently built homes in the neighborhood.

### Allocation of Land Use in SqFt

Space Above OHWL	Residential	Bldg Type	Common Space Above OHWL	Streets	Driveway Parking Area	# Off Street Parking/Loading Spaces	Impervious Surface Coverage Above OHWL
162,221	33,182	SFH/TwnH	129,040	13,173	5,504	2 per unit	49,909 / 30.7%

## FEATURES AND OPTIONS OF THE PROPOSED HOUSING UNITS

Chamberlain's proposal is to build 7 new housing units – all single-level living consisting of 3 - 1 ½ story slab-on-grade units and 4 - 1 story walk-outs units on Lake Como. Each unit will be 3,400-3,900 finished SqFt and will have a 3-car tandem garage sized at approximately 798 SqFt. Each unit has options for one, two or all three of the following; a small front terrace, sun porch, or screened-in porch to capture natural light and maximize outdoor enjoyment.

The front façade will be comprised of hardy board or LP Smart Siding and stone with asphalt shingles.

Unit #	Main Level Fin SqFt	Upper Level or Lower Level Fin SqFt	Total Fin SqFt	Bedrooms	Bathrooms	ADA Compliant Plan Available
Units 1-4	2,508	LL - 1,391	3,899	3	4	Main Level Only
Units 5-7	2,404	UL - 976	3,380	3	3	Main Level Only

Additional options available to buyers include:

- An ADA compliant design on the main floor including 36" doorways, ADA accessible bathrooms, and an elevator to access the upper or lower floors. Additional modifications can be made as needed;
- Two-car garages, instead of tandem garages, with extra storage in the front area;
- Swapping the sunroom and/or screened in porch to allow for different lighting scenarios into the main living area;



4. Closing up the sunroom area for a second bedroom instead of utilizing the flex room upfront;
5. Converting the office/Flex room on the main floor to a second bedroom;
6. Adding storage to the attic space for the 1 ½ story units or the lower-level area of the walk-out as seniors downsizing often have a great need for extra storage space;
7. Adding a terrace off front of home outside the front door.

## LANDSCAPING PLAN

A tree survey was completed and included in this application. Below is a summary of the attached detail. See the Exhibit E to see which trees will be removed and their locations, current condition.

### Summary of Tree Inventory

Total Tree Count	278	
# Tree Species	31	
# Non-significant Trees	65	Box Elder, Cottonwood, Willow

Species	Tree Count	Species	Tree Count
American Elm	8	Norway Maple	4
Apple	2	Norway Spruce	1
Ash	68	Ohio Buckeye	3
Basswood	2	Paper Birch	2
Black Locust	37	Poplar	10
Black Walnut	4	Red Oak	3
Blue Spruce	1	Red Pine	9
Box Elder	37	Silver Maple	1
Common Poplar	1	Slippery Elm	6
Cottonwood	26	Spruce	7
Elm	7	Sugar Maple	12
European Mountain Ash	1	White Cedar	2
Ginkgo	1	White Pine	1
Hackberry	5	White Poplar	1
Honey Locust	7	Willow	2
Mulberry	7		

There will be 163 healthy trees removed and 9 removed for condition. Of the 278 trees originally on the property, 106 will remain and an additional 35 will be planted.

### Maple Shores Tree Replacement Plan

The tree replacement ratio requires a minimum of 8 trees per acre be replaced if a greater amount is removed (Site Size (dry land): 3.72 acres x 8 trees = 28 trees)

Minimum Number of trees to be replaced: 28.

Number of Trees proposed to be replaced: 35.

See Landscaping plan - Exhibit H for details

### Tree Replacement Plan

Type of Tree	Size at Initial Planting	Quantity	Mature Height
Concolor Fir	6' BB	4	30-50'
Korean Northern Glow Clump	2" BB	1	20'
Fall Fiesta Sugar Maple	3" BB	4	50-75'
Green Mountain Sugar Maple	3" BB	5	50-75'
Korean Arctic Jade Japanese Maple	#15	2	15-20'
Whitespire Birch Clump	12' BB	3	40-45'
Prairiefire Crabapple	2.5" BB	3	15-20'
White Spruce	6' BB	2	40-60'
White Pine	6' BB	6	46-60'
Swamp White Oak	3" BB	5	50-60'
<b>Total Trees</b>		35	

Additional bushes and perennial plantings will be added, per the Landscaping Plan, and will be maintained by the Homeowners Association.

### FUNCTION OF THE HOMEOWNERS ASSOCIATION

A Homeowners association (HOA) will be incorporated by the developer prior to final city approval. Membership in the HOA will be mandatory, and each homeowner will be expected to conform to the bylaws per city Statute 1201.25 (e). Participation in the governance of the HOA will be encouraged by establishing a rotating leadership structure. HOA documents, as well as property signage, will include language specifically designed to protect the shores of Lake Como and to maintain an appropriate buffers from the development. In addition, language will be included specifically around the maintenance of the stormwater pond and the water management system to assure it is always in working order.

The HOA will be responsible for providing liability insurance, paying applicable local taxes, and maintaining all common space, including the exterior of the buildings, to assure uniformity and conformity. Bylaws will specify that accessory buildings, equipment, and vehicles shall not be permitted in the development including but not limited to 1) storage or parking of recreational vehicles or equipment outside the garage; 2) utilizing the garage space for purposes other than the storage of passenger vehicles; and 3) commercial offices, greenhouses, storage sheds, and conservatories will not be permitted; 4) overnight parking will be limited on the street; 5) Parking of resident owned vehicles will not be permitted to be parked outside their respective garages overnight.

One garbage hauler, one landscaping company, and one snow-removal company will be permitted to service the development and the HOA will assume all responsibility for contracting and managing service providers. Exterior maintenance will be budgeted, planned, and executed through the management of the HOA, including shingle selection, color palettes, landscape changes, entrance monument upgrades, and development signage.

Property owners will pay a pro rata share of the costs of the association by means of an assessment levied by the Association. Non-payment of assessments could result in a lien on the property, as required by MN Statutes, and will be adjusted according to the changed needs of the Association. As referenced in the Shorewood Statute 1201.25 (d) the declaration will "provide that in the event the association or corporation fails to maintain properties in accordance with the applicable rules and regulations of the city or fails to pay taxes or assessments on properties as they become due and in the event the city incurs any expenses in enforcing its rules and regulations, which the expenses are not immediately reimbursed by the association or corporation, then the city shall have the right to assess each property its pro rata share of the expenses. The assessments, together with interest thereon and costs of collection, shall be a lien on each property against which each assessment is made".



## GRADING PLAN

See Exhibit E for the details of the grading plan. The goals of the grading plan are as follows:

1. To optimally utilize the onsite fill resulting from the leveling the high points to fill low points, particularly on the storm water pond side of the development. At completion 5840 cyds is expected to be exported off site;
2. To ensure proper drainage and storm water management utilizing natural low areas;
3. To comply with regulatory restrictions and requirements;
4. To establish approved height and depth of cuts, fills, and swales;
5. To protect the wetland areas by from stormwater runoff, potential pollutants, and erosion; and
6. To capitalize on the natural aesthetics of the property and minimize the environmental impact of the grading.

The specific purpose of grading the land will be to:

1. Create high and low levels for water drainage;
2. Create the storm water pond;
3. Establish the building pad and needed road elevations to direct water run-off from the roads to the proposed grates;
4. Build up and stabilize the ground to allow for a straight retaining wall to be built outside wetland buffer line.

## STORM WATER PREVENTION PLAN

Rain coming off the house roofs will run from the gutters to down spouts to a pipe under the frost line to an under-the-street storm water catch system that flows to the stormwater pond. Driveways and the street will flow down to street gutter grates near Radisson Road and by pipe to the stormwater pond. As the first 1" is the most polluted water, it will be captured and percolate in the pond. Water events of greater than 1" will also be directed to the stormwater pond. When capacity is reached the water will flow via an underground pipe to Lake Como. During a 100-year event the stormwater pond will be forced to flow overland along Unit 7 to Maple Court and then out to Radisson Road at entrance of the development. For more information see Exhibit E.

## UTILITY PLAN

For details on the Utility Plan, including sanitary sewer and water main, see Exhibit E.

## CONSTRUCTION MANAGEMENT

Work will be performed on-site during designated Shorewood construction hours. Contractor parking will be on-site. Fill and construction materials will be stored on-site. Deliveries will be delivered on-site via Maple Court. Street sweeping will be conducted as necessary during construction hours.

The approved truck route will be from Hwy 7 to Marketplace Road, right on State Hwy 7 Service Road, right on Radisson Road to Maple Court. Return truck route will be the reverse of this route. NO RIGHT-HAND TURN signs will be posted for commercial vehicles exiting the development during construction.

## STAGING PLAN

- Stage 1 – Demolition of existing structure & tree removal and grubbing
- Stage 2 – Contour rough grading including retaining wall construction, building pad and Maple Court
- Stage 3 – Install all utilities and storm water system including pad stubs for water and sewer. A common trench will be dug for gas, electric, CenturyLink, and cable services.
- Stage 4 – Base and pave Maple Court, less the final overlay. Install common landscaping areas not on building pads or front yards or other areas at risk of damage from construction. Install permanent entry monument.
- Stage 5 – Construct foundations as purchase agreements are signed. If only one unit is purchased of a townhome building, Chamberlain will construct the exterior of both units. The interior of the unsold unit will not be finished until it is sold. Landscaping will be completed on the fronts, sides and backs of each unit as construction progresses.
- Stage 6 – Final overlay will be placed after completion of all units.

Paul & Liza Cameron will purchase a lot and start to build an on-slab unit when Stage 2 is complete. The second unit of their townhome will serve as the model home for the development, if needed. Additional homes will be built as they are reserved. If all units are reserved prior to the completion of Stage 4, no model home will be built. Access to the property will be directly off Radisson Road. We may use the driveway at 20430 Radisson Rd until the curb can be modified for the private road.

## **Exhibit A – Legal Description**

**Lot 24 “Radisson Inn Addition” Hennepin County, Minnesota**

**Torrens Property  
Certificate of Title No. 1478979**

**Tracts A, C, K & I, Registered Land Survey No. 730, Hennepin County, Minnesota.**

**Torrens Property.  
Certificate of Title No. 1478988**

**Tracts B, D, H and J, Registered Land Survey No. 730, Hennepin County,  
Minnesota.**

**Torrens Property.  
Certificate of Title No. 1478989**

**PID(s)**

36-117-23-22-0024, 36-117-23-22-0029, 36-117-23-22-0030, 36-117-23-22-0031, 36-117-23-22-0032

**New Certs**

1535197, 1535198, 1535199

Re-issued New Certs 5/17/22

1541585, 1541586, 1541587



# Exhibit B – Registered Land Survey 730

DUPLICATE 548564  
DUPLICATE 548564

**REGISTERED LAND SURVEY NO. 730**  
HENNEPIN COUNTY, MINNESOTA

Bearings Shown Are Assumed  
+ Denotes Iron Monument

**EGAN, FIELD & NOWAK**  
SURVEYORS  
NOVEMBER 1957

I hereby certify that in accordance with the provisions of Chapter 508, Minnesota Statutes of 1949, as amended, I have surveyed the following described tract of land in the County of Hennepin and State of Minnesota, to-wit:

Lot 23, "RADISSON INN ADDITION".

That the survey shown hereon is a correct delineation of said survey.

Dated this 13<sup>th</sup> day of DECEMBER 1957.

548564  
**OFFICE OF REGISTRAR OF TITLES**  
HENNEPIN COUNTY MINNESOTA

I Herby Certify That the within Registered Land Survey No. 730  
Files of Registrar of Titles, County of Hennepin, was Filed in this office this 30 day of DEC. A.D. 1957 at 9 o'clock P.M.  
**DONALD C. BENNYHOFF**  
Registrar of Titles

By F. O. See Deputy.

548564  
**OFFICE OF REGISTRAR OF TITLES**  
HENNEPIN COUNTY MINNESOTA

I Herby Certify That I have carefully compared the within copy of  
Registered Land Survey No. 730 Files of Registrar of Titles,  
County of Hennepin, with the original which was Filed in this office this  
30 day of DEC. A.D. 1957 at 9 o'clock P.M.  
and find the same to be a true and correct copy thereof.

**DONALD C. BENNYHOFF**  
Registrar of Titles

By F. O. See Deputy.

730



# Exhibit C – Ingress and Egress Easements

Quit Claim Deed  
Individual to Individual

Form No. 27-M

Miller-Davis Co., Minneapolis  
Minnesota Uniform Conveyancing Blanks (1931)

1026700

This Indenture, Made this 28th day of March, 1972  
between William R. Martin and Madlynne A. Martin, husband and wife,

of the County of Hennepin and State of Minnesota  
parties of the first part, and Jane L. Martin, a single woman,  
of the County of Hennepin and State of Minnesota  
part. y. of the second part,

Witnesseth, That the said parties of the first part, in consideration of the sum of  
One (\$1.00) Dollar and other valuable consideration ~~XXXXXXX~~  
to them in hand paid by the said part. y. of the second part, the receipt whereof is hereby  
acknowledged, do hereby Grant, Bargain, Quitclaim, and Convey unto the said part. y. of the  
second part, her heirs and assigns, Forever, all the tract or parcel of land lying and  
being in the County of Hennepin and State of Minnesota, described as follows, to-wit:

Tracts A, C, K & I, Registered Land Survey No. 730, Files of Registrar of  
Titles, County of Hennepin.

Together with an easement over Lot 11, existing in favor of all the lot  
owners in Radisson Inn Addition for the purpose of ingress and egress to  
the bathing beach adjoining the said lot, as shown in Doc. No. 152261,  
Files of Registrar of Titles, (Now as to above and other land).

Together with an easement over Tracts J & H, Registered Land Survey No.  
730, for the purpose of walkway and driveway to Tracts A, C, K & I,  
Registered Land Survey No. 730, Files of Registrar of Titles, to be used  
in common with grantee, her heirs and assigns. In the event the service  
road south of Highway No. 7 is extended to permit direct driveway ingress  
thereon to Tracts A, C, K & I, Registered Land Survey No. 730, then said  
easement shall become one of walkway only to permit access to Christmas  
Lake.

Reserving to the grantors, their heirs and assigns, an easement over  
Tracts K & I, for the purpose of walkway and driveway to Tracts B, D, J  
& H, Registered Land Survey No. 730, Files of Registrar of Titles, to  
be used in common with the grantee, her heirs and assigns. In the  
event that the service road south of Highway No. 7 is extended to permit  
direct driveway ingress thereon to Tracts B, D, J & H, Registered Land  
Survey No. 730, then said easement shall become one of walkway only to  
permit access to Christmas Lake.

Reserving to the grantors, their heirs and assigns, an easement over the  
Northeasterly 35 feet of Tract G for the purpose of walkway and drive-  
way to Tracts B, D, J & H, Registered Land Survey No. 730, Files of  
Registrar of Titles, to be used in common with the grantee, her heirs  
and assigns. In the event that the service road south of Highway No.  
7 is extended to permit ingress to Tracts B, D, J & H, Registered Land  
Survey No. 730, then said easement shall become one of walkway only to  
permit access to Christmas Lake.

State Deed Tax Due \$ 2.20

To Have and to Hold the Same, Together with all the hereditaments and appurtenances  
thereunto belonging or in anywise appertaining, to the said part. y. of the second part, her  
heirs and assigns, Forever.

In Testimony Whereof, The said parties of the first part ha. VA. herunto set their  
hands.. the day and year first above written.

In Presence of

Frederick O. Nelson  
William R. Martin

William R. Martin  
William R. Martin

Madlynne A. Martin  
Madlynne A. Martin



# Exhibit C – Ingress and Egress Easements – Continued

**State of Minnesota**  
County of Hennepin  
On this 28th day of March, 1972, before me,  
a Notary Public within and for said County, personally appeared  
William W. Martin and Madlyne A. Martin, husband and wife,  
aka, Madeline Martin  
to me known to be the persons described in, and who executed the foregoing instrument,  
and acknowledged that they executed  
the same as their free act and deed.

THIS INSTRUMENT WAS DRAFTED BY  
Jerald O. Nelson, Attorney  
133 Grain Exchange Building  
Minneapolis, Minnesota 55413  
My commission expires April 30, 1975

Jerald O. Nelson  
Notary Public, Hennepin County, Minn.  
My Commission Expires April 30, 1975

NOTE: This state has enacted "Tax Star" law for use when the instrument is recorded by an attorney at law.

Tax statements for the real property described in this instrument  
should be sent to Jane L. Martin, 4141 Parklawn Ave  
Apartment 110  
Edina, Minnesota

CC- HQ 44458 '1026700  
1026700-1987-04-23-0001  
AAA ✓  
1026700

OFFICE OF REGISTER OF DEEDS  
STATE OF MINNESOTA  
COUNTY OF HENNEPIN  
I hereby certify that the above instrument was duly recorded in Book 8, Day of APR, A.D. 1972 at 11:15 o'clock A.M.  
By J. L. Little  
REGISTER OF DEEDS  
COUNTY OF HENNEPIN

No delinquent taxes and transfer ordered DEPT. OF REVENUE HENNEPIN COUNTY, MINN.  
Olaf M. Anderson  
APR 3 - 1972  
REGISTER  
This instrument is being recorded for the purpose of being a lien on the property.

**QUIT CLAIM DEED**  
Individual or Individuals  
TO  
Office of Register of Deeds  
State of Minnesota.  
I hereby certify that the within deed was filed in this office for record on the day of March, A.D. 1972 and was duly recorded in Book 8 of Deeds, page 11.  
Register of Deeds  
By J. L. Little Deputy  
Taxes for the year 1972 on the land described within, paid this day of March, 1972.  
County Treasurer  
By Olaf M. Anderson Deputy  
Taxes paid and Transfer entered this day of March, 1972.  
County Auditor  
By Olaf M. Anderson Deputy

Recording Fee \$10.00



# Exhibit C – Ingress and Egress Easements - Continued

Gift Clerk Book,  
In Witness Whereof to Solemn Tenants.

1026701

Form No. 29-M

Blaine Davis Co., Minneapolis, Minn.  
Minnesota Uniform Conveyancing Blanks (2001)

W 74456  
This Indenture, Made this 28th day of March, 1972,  
Between Jane L. Martin, a single woman,

of the County of Hennepin and State of Minnesota, part V  
of the first part, and William R. Martin and Madlynne A. Martin, husband and  
wife  
of the County of Hennepin and State of Minnesota, parties of the second part,

Witnesseth, That the said part V of the first part, in consideration of the sum of One (\$1.00) Dollar and other valuable consideration

to her in hand paid by the said parties of the second part, the receipt whereof is hereby acknowledged, do as hereby Grant, Bargain, Quitclaim, and Convey unto the said parties of the second part as joint tenants and not as tenants in common, their assigns, the survivor of said parties, and the heirs and assigns of the survivor, Forever, all the tract or parcel of land lying and being in the County of Hennepin and State of Minnesota, described as follows, to-wit:

Tracts B, D, J & H, Registered Land Survey No. 730, Files of Registrar of Titles, County of Hennepin.

Together with an easement over Lot 11, existing in favor of all the lot owners in Radisson Inn Addition for the purpose of ingress and egress to the bathing beach adjoining the said lot, as shown in Doc. No. 152261, Files of Registrar of Titles, (Now as to above and other land).

Together with an easement over Tracts I & K, Registered Land Survey No. 730, for the purpose of walkway and driveway to Tracts B, D, J & H, Registered Land Survey No. 730, Files of Registrar of Titles, to be used in common with grantees, their heirs and assigns. In the event the service road south of Highway No. 7 is extended to permit direct driveway ingress thereon to Tracts B, D, J & H, Registered Land Survey No. 730, then said easement shall become one of walkway only to permit access to Christmas Lake.

Reserving to the grantor, her heirs and assigns, an easement over Tracts H & J, for the purpose of walkway and driveway to Tracts A, C, K & I, Registered Land Survey No. 730, Files of Registrar of Titles, to be used in common with the grantees, and their heirs and assigns. In the event that the service road south of Highway No. 7 is extended to permit direct driveway ingress thereon to Tracts A, C, K & I, Registered Land Survey No. 730, then said easement shall become one of walkway only to permit access to Christmas Lake.

Reserving to the grantor, her heirs and assigns, an easement over the Northeasterly 35 feet of Tract G, for the purpose of walkway and driveway to Tracts A, C, K & I, Registered Land Survey No. 730, Files of Registrar of Titles, to be used in common with the grantees, and their heirs and assigns. In the event that the service road south of Highway No. 7 is extended to permit ingress to Tracts A, C, K & I, Registered Land Survey No. 730, then said easement shall become one of walkway only to permit access to Christmas Lake.

State Deed Tax Due \$ 2.40

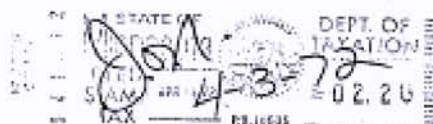
To Have and to Hold the Same, Together with all the hereditaments and appurtenances thereunto belonging or in anywise appertaining to the said parties of the second part, their assigns, the survivor of said parties, and the heirs and assigns of the survivor, Forever, the said parties of the second part taking as joint tenants and not as tenants in common.

In Testimony Whereof, The said part V of the first part has hereunto set her hand the day and year first above written.

In Presence of

Janice Zagala  
James P. Colwell

Jane L. Martin  
Jane L. Martin



# Exhibit C – Ingress and Egress Easements - Continued

**State of Minnesota,** } ss.  
County of Hennepin

On this 28<sup>th</sup> day of March, 1972, before me, a  
Notary Public within and for said County, personally appeared

Jane L. Martin, a single woman,

to me known to be the person described in, and who executed the foregoing instrument,  
(See Note) and acknowledged that s/he executed  
the same as her free act and deed.  
(See Note)

THIS INSTRUMENT WAS DRAFTED BY  
Jerrold O. Nelson, Attorney  
113 Grain Exchange Building  
Minneapolis, Minnesota 55415

James H. Colwell  
Notary Public, Hennepin County, Minn.  
My Commission Expires Jan. 8, 1974.  
My commission expires 19

NOTE: The Mark X's marked "See Note" are for use when the instrument is executed by an attorney in fact.

Tax statements for the real property described in this instrument should  
be sent to William R. Martin and Madlynne A. Martin, 4135 Raleigh,  
St. Louis Park, Minnesota.

OFFICE OF REGISTER & CLERK  
STATE OF MINNESOTA  
I hereby certify that the within instrument  
was filed in this office on  
3 day of APR A.D. 1972  
11:30 o'clock  
By Bob L. Loefer  
Bob L. Loefer  
REGISTER OF TILES  
DEPUTY REGISTER OF TILES

No delinquent taxes  
and transfer entered  
DEPT. OF FINANCE  
HENNEPIN COUNTY, MINN.  
Olaf K. Olson  
APR 3 - 1972  
CLERK

Dec. No. 444859-1026701  
1497  
452082

**QUIT CLAIM DEED**  
Individual or Joint Tenants

TO

Office of Register of Deeds,  
State of Minnesota,

County of \_\_\_\_\_  
I hereby certify that this within Deed  
was filed in this office for record on the  
10 day of \_\_\_\_\_ A.D. 1972  
and was duly recorded in Book \_\_\_\_\_  
of Deeds, page \_\_\_\_\_

By \_\_\_\_\_, Deputy  
Register of Deeds

Taxes paid and Transfer entered this  
10 day of \_\_\_\_\_

County Auditor  
Deputy \_\_\_\_\_

Tax statements for the real property  
described in this instrument should be  
sent to:

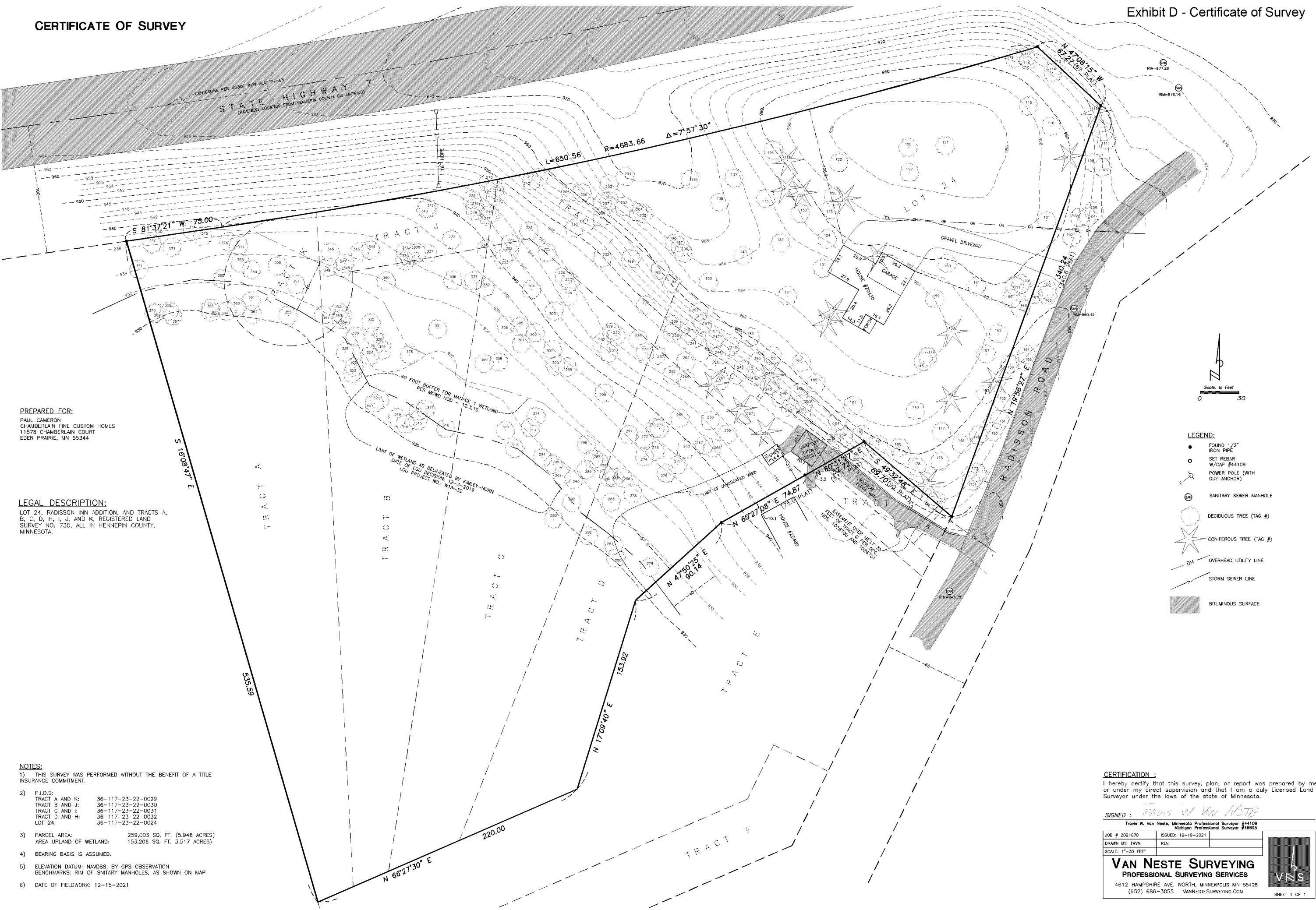
Name \_\_\_\_\_  
Address \_\_\_\_\_

Recording fee \$1.00



CERTIFICATE OF SURVEY

Exhibit D - Certificate of Survey



PREPARED FOR:  
PAUL CAMERON  
CHAMBERLAIN FINE CUSTOM HOMES  
11578 CHAMBERLAIN COURT  
EDEN PRAIRIE, MN 55344

LEGAL DESCRIPTION:  
LOT 24, RADISSON INN ADDITION, AND TRACTS A, B, C, D, H, I, J, AND K, REGISTERED LAND SURVEY NO. 730, ALL IN HENNEPIN COUNTY, MINNESOTA.

- NOTES:
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE INSURANCE COMMITMENT.
  - P.L.D.S:  
TRACT A AND K: 36-117-23-22-0029  
TRACT B AND J: 36-117-23-22-0030  
TRACT C AND I: 36-117-23-22-0031  
TRACT D AND H: 36-117-23-22-0032  
LOT 24: 36-117-23-22-0024
  - PARCEL AREA: 259,003 SQ. FT. (5.946 ACRES)  
AREA UPLAND OF WETLAND: 153,206 SQ. FT. 3.517 ACRES)
  - BEARING BASIS IS ASSUMED.
  - ELEVATION DATUM: NAVD88, BY GPS OBSERVATION  
BENCHMARKS: RIM OF SANITARY MANHOLES, AS SHOWN ON MAP
  - DATE OF FIELDWORK: 12-15-2021

CERTIFICATION:  
I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the state of Minnesota.

SIGNED: Travis W. Van NESTE  
Travis W. Van NESTE, Minnesota Professional Surveyor #44109  
Michigan Professional Surveyor #46855

JOB # 2021070	ISSUED: 12-15-2021
DRAWN BY: TAWN	REV:
SCALE: 1"=30 FEET	

**VAN NESTE SURVEYING**  
PROFESSIONAL SURVEYING SERVICES  
4612 HAMPSHIRE AVE. NORTH, MINNEAPOLIS MN 55428  
(952) 686-3055 VANNESTESURVEYING.COM



# MAPLE SHORES

20430 RADISSON ROAD  
SHOREWOOD, MN 55449

CONSTRUCTION PLAN FOR: SITE GRADING, STREET CONSTRUCTION, SANITARY SEWER, WATERMAIN, STORM  
SEWER, AND OTHER RELATED WORK.



ELEVATION & ASSOCIATES  
10002 PLANNERS CT NE  
SHARON, MN 55449  
PH: 763-700-0450

NO.	DATE	BY	REVISION DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT  
WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND  
THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER  
THE LAWS OF THE STATE OF MINNESOTA.  
SIGNATURE: *Lee Elevation* DATE: 06/29/22  
PRINTED NAME: LEE ELEVATION LIC. NO.: 41613

MAPLE SHORES  
20430 RADISSON ROAD, SHOREWOOD, MN 55449  
TITLE SHEET

DESIGNED BY: KJE  
APPROVED BY: KJE  
DRAWN BY: LWE  
JOB NUMBER: 900068E  
CAD DATE: 02/21/22  
CAD FILE: \TH2.DWG

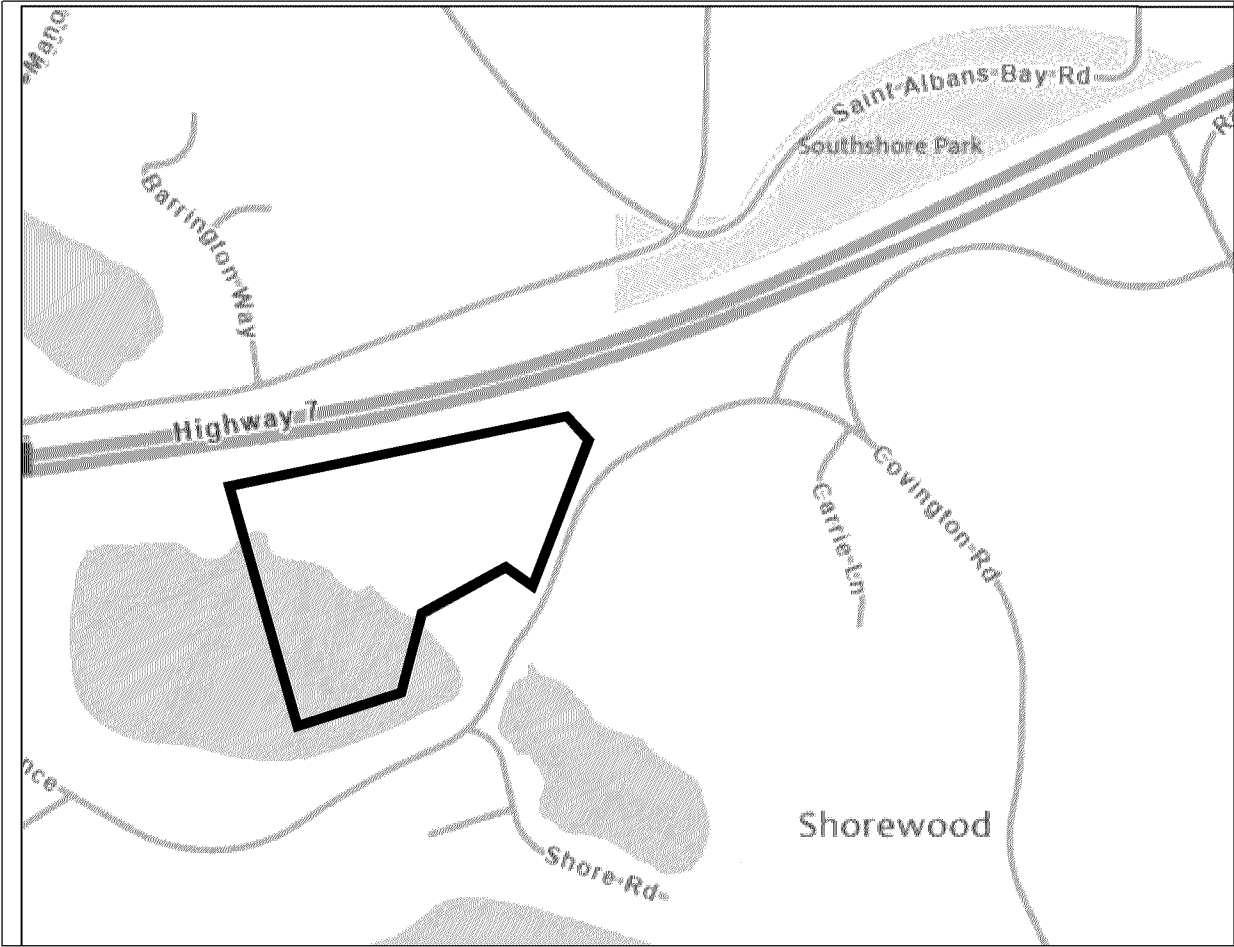
SHEET  
C1.0

## PLAN SYMBOLS

EXISTING RIGHT OF WAY LINE ————  
PROPOSED SETBACK ———— PSB

## UTILITIES SYMBOLS

UTILITY POLE  
GUY OR ANCHOR  
STREET LIGHT  
TELEPHONE PEDESTAL  
GAS MAIN  
EXISTING WATER MAIN  
ELECTRIC BOX  
TELEPHONE CABLE  
ELECTRIC CABLE  
EXISTING STORM SEWER  
EXISTING STORM MANHOLE  
EXISTING SANITARY SEWER  
EXISTING SANITARY MANHOLE  
GATE VALVE  
PROPOSED GATE VALVE  
EXISTING HYDRANT  
CABLE TELEVISION BURIED  
FIBER OPTIC CABLE  
MAILBOX  
TRAFFIC SIGNAL LINE  
TRAFFIC SIGNAL HAND HOLE  
EXISTING CATCH BASIN  
PROPOSED WATERMAIN  
PROPOSED HYDRANT  
PROPOSED STORM MANHOLE  
PROPOSED CATCH BASIN  
BITUMINOUS  
CONCRETE  
PAVERS  
GUTTER OUT CURB



## INDEX

SHEET NO. C1.0 TITLE SHEET  
SHEET NO. C2.0 EXISTING AND REMOVAL PLAN  
SHEET NO. C3.0 SITE PLAN  
SHEET NO. C4.0 GRADING AND EROSION CONTROL  
SHEET NO. C5.0 HIGHWAY 7 WATERMAIN CROSSING  
SHEET NO. C6.0 STREET AND UTILITIES  
SHEET NO. C7.0 STORM CROSSING  
SHEET NO. C8.0 RADISSON ROAD WATERMAIN  
SHEET NO. C9.0 DETAILS  
SHEET NO. C10.0–C11.0 STORMWATER POLLUTION PREVENTION PLAN  
SHEET NO. T1.0–T2.0 TREE PLAN

THIS PLAN CONTAINS 13 SHEETS

## GOVERNING SPECIFICATIONS

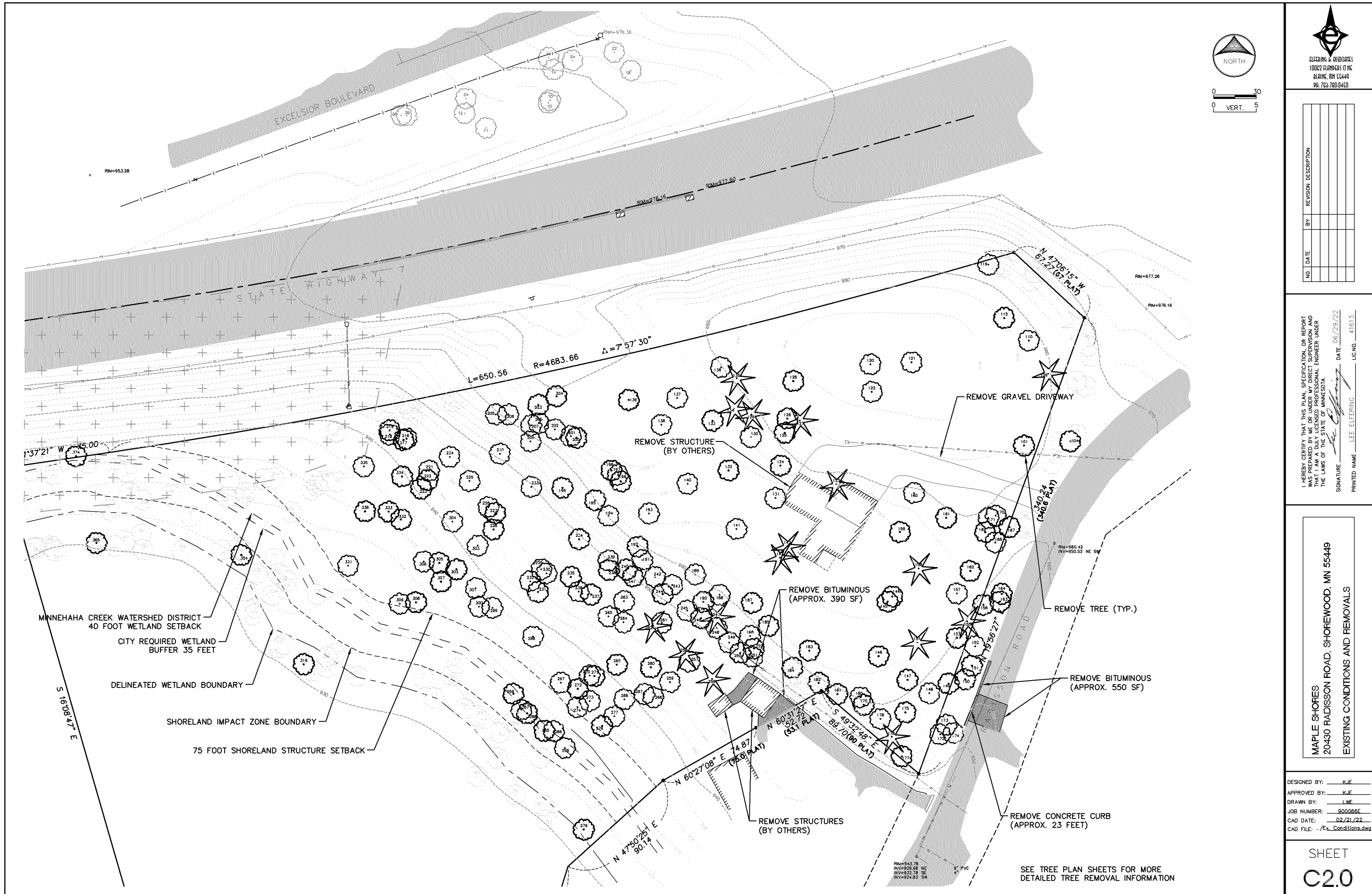
THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION  
"STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN.

ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND ORDINANCES WILL BE  
COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT  
ALL TRAFFIC CONTROL DEVICES AND SIGNING SHALL CONFORM TO THE MMUTCD,  
INCLUDING "FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS"  
ALL TRAFFIC CONTROL DEVICES SHALL HAVE RETROREFLECTIVE  
SHEETING.

NOTE: EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN HAS  
BEEN PROVIDED BY THE UTILITY OWNER. THE CONTRACTOR  
SHALL FIELD VERIFY EXACT LOCATIONS PRIOR TO COMMENCING  
CONSTRUCTION AS REQUIRED BY STATE LAW. NOTIFY Gopher  
STATE ONE CALL, 1-800-252-1166 OR 651-454-0002

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY  
QUALITY LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED  
ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED  
"STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF  
EXISTING SUBSURFACE UTILITY DATA."

PROJECT LOCATION



0 30  
0 VERT. 5



CLEARING & ASSOCIATES  
10002 PLUMBERS CT NE  
SHOREWOOD, MN 55449  
PH: 763-780-0450

NO.	DATE	BY	REVISION DESCRIPTION

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SIGNATURE: *Lee Elfering* DATE: 06/29/22  
PRINTED NAME: LEE ELFERING LIC. NO.: 41613

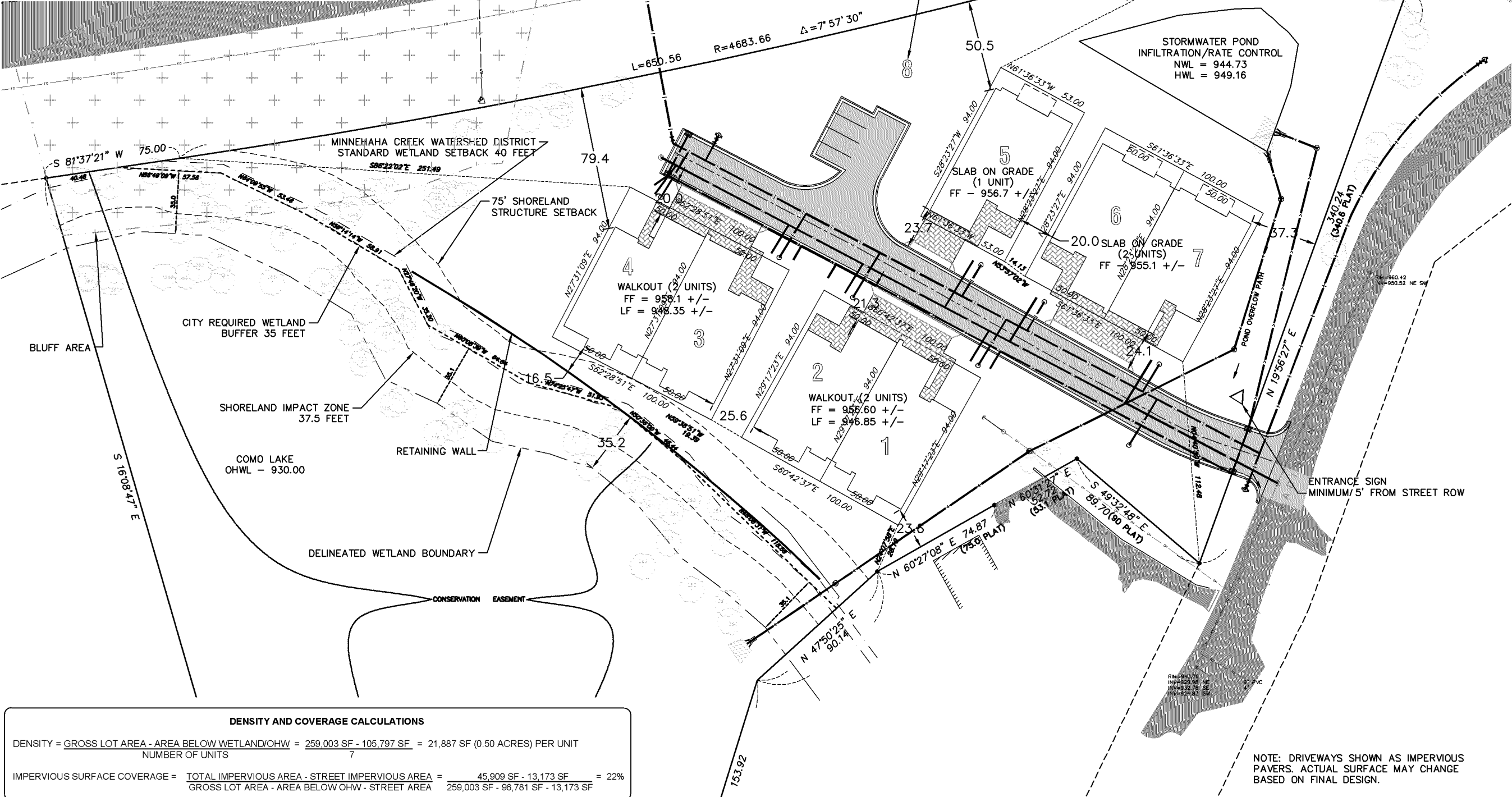
MAPLE SHORES  
20430 RADISSON ROAD, SHOREWOOD, MN 55449  
EXISTING CONDITIONS AND REMOVALS

DESIGNED BY: KJE  
APPROVED BY: KJE  
DRAWN BY: LWE  
JOB NUMBER: 900066E  
CAD DATE: 02/21/22  
CAD FILE: --/Ex\_Conditions.dwg

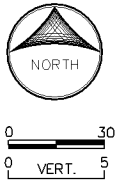
SHEET  
C2.0

SEE TREE PLAN SHEETS FOR MORE  
DETAILED TREE REMOVAL INFORMATION

AREA & IMPERVIOUS SURFACE SUMMARY		
	AREA	IMPERVIOUS SURFACE AREA
LOT 1	4,700 SF	4,178 SF
LOT 2	4,700 SF	4,235 SF
LOT 3	4,700 SF	4,248 SF
LOT 4	4,700 SF	4,134 SF
LOT 5	4,982 SF	4,528 SF
LOT 6	4,700 SF	4,270 SF
LOT 7	4,700 SF	4,159 SF
LOT 8 (COMMON LOT)	225,821 SF	16,157 SF
DEVELOPMENT TOTAL	259,003 SF	45,909 SF
AREA BELOW COMO OHW	96,781 SF	-
AREA BELOW WETLAND BOUNDARY	105,797 SF	-
PRIVATE STREET ONLY	13,173 SF	13,173 SF
NET COMMON LOT (EXCLUDES WETLAND, OHWL, STREET)	106,851 SF	-



MAPLE SHORES 20430 RADISSON ROAD SHOREWOOD, MN		
	EXISTING	REQUESTED / PROPOSED
Zoning	R-1A	PUD - Planned Unit Development
Use	1 Single Family Home	3 Twin Homes (6 Units), 1 Single Home
Property Area	5.95 acres	5.95 acres
Impervious Surface	6,283 sf	45,909 sf



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SIGNATURE: *Lee Eleering* DATE: 06/29/22  
PRINTED NAME: LEE ELEERING L.C. NO.: 41613

MAPLE SHORES  
20430 RADISSON ROAD, SHOREWOOD, MN 55449  
SITE PLAN

DESIGNED BY: KJE  
APPROVED BY: KJE  
DRAWN BY: LWE  
JOB NUMBER: 900066E  
CAD DATE: 12/10/21  
CAD FILE: /Site Plan.dwg

**DENSITY AND COVERAGE CALCULATIONS**

DENSITY =  $\frac{\text{GROSS LOT AREA} - \text{AREA BELOW WETLAND/OHW}}{\text{NUMBER OF UNITS}}$  =  $\frac{259,003 \text{ SF} - 105,797 \text{ SF}}{7}$  = 21,887 SF (0.50 ACRES) PER UNIT

IMPERVIOUS SURFACE COVERAGE =  $\frac{\text{TOTAL IMPERVIOUS AREA} - \text{STREET IMPERVIOUS AREA}}{\text{GROSS LOT AREA} - \text{AREA BELOW OHW} - \text{STREET AREA}}$  =  $\frac{45,909 \text{ SF} - 13,173 \text{ SF}}{259,003 \text{ SF} - 96,781 \text{ SF} - 13,173 \text{ SF}}$  = 22%

NOTE: DRIVEWAYS SHOWN AS IMPERVIOUS PAVERS. ACTUAL SURFACE MAY CHANGE BASED ON FINAL DESIGN.



- EROSION CONTROL NOTES:
1. MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. THE CONTRACTOR IS RESPONSIBLE FOR ALL STORM WATER AND EROSION INSPECTIONS. THE CONTRACTOR MUST, AT A MINIMUM, INSPECT, MAINTAIN AND REPAIR ALL DISTURBED SURFACES AND ALL EROSION AND SEDIMENT CONTROL FACILITIES AND SOIL STABILIZATION MEASURES EVERY DAY WORK IS PERFORMED ON THE SITE AND AT LEAST WEEKLY UNTIL LAND DISTURBING ACTIVITY HAS CEASED. THEREAFTER, THE CONTRACTOR MUST PERFORM THESE RESPONSIBILITIES AT LEAST WEEKLY UNTIL VEGETATIVE COVER IS ESTABLISHED.
  2. INSTALL PERIMETER EROSION CONTROL AT LOCATIONS SHOWN ON THE PLAN AND AS DIRECTED BY THE ENGINEER OR CITY PRIOR TO COMMENCEMENT OF ANY LAND DISTURBING ACTIVITIES.
  3. BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 2-INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 6-INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ACCESS AS SHOWN IN THE DETAIL.
  4. THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS AND STORM SEWER SYSTEMS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS AND MAY BE ORDERED BY THE ENGINEER OR CITY AT ANY TIME. SWEEPING SHALL BE DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.
  5. LOCATE SOIL OR DIRT STOCKPILES NOT LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN 7 DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER APPROVED MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT BARRIERS AROUND THE PILES.
  6. THE CONTRACTOR IS RESPONSIBLE FOR ALL STORM WATER INSPECTIONS. THIS INCLUDES BOTH WEEKLY INSPECTIONS AND INSPECTIONS DONE AFTER A 0.5" RAIN EVENT. A COPY OF THE INSPECTION REPORT MUST BE E-MAILED TO THE OWNER ON A WEEKLY BASIS.
  7. TEMPORARILY OR PERMANENTLY STABILIZE ALL CONSTRUCTION AREAS WHICH HAVE UNDERGONE FINAL GRADING, AND ALL AREAS IN WHICH GRADING ACTIVITIES ARE NOT ACTIVELY UNDERWAY AGAINST EROSION DUE TO RAIN, WIND, AND RUNNING WATER WITHIN 7-DAYS.
  8. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROL DEVICES AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION WITH PERMANENT VEGETATION ESTABLISHMENT. FINAL STABILIZATION FOR PURPOSES OF THIS REMOVAL IS 70% ESTABLISHED COVER OVER DISTURBED AREA.
  9. TWO ROWS OF SILT FENCE MUST BE INSTALLED ALONG THE WETLAND SIDE OF THE SITE DISTURBANCE.

BLUFF AREA  
CITY WETLAND  
BUFFER 35 FEET

INSTALL SECOND SILT FENCE ROW  
ALONG WETLAND SIDE OF IMPACTS  
(APPROX. 315 LF)

STANDARD MCWD WETLAND  
SETBACK 40 FEET

COMO LAKE  
OHWL - 930.00

DELINEATED WETLAND BOUNDARY

SHORELAND IMPACT ZONE BOUNDARY

75' SHORELAND  
STRUCTURE SETBACK

INSTALL BIOLOG AROUND  
PERIMETER OF WATERMAIN  
EXCAVATION. (APPROX. 160 LF)

INSTALL SILT FENCE  
AROUND BOTTOM OF  
BASIN AFTER CONSTRUCTION  
(APPROX. 335 LF)

STORMWATER POND  
INFILTRATION/RATE CONTROL  
NWL - 944.73  
100 YR HWL - 949.16

SLAB ON GRADE  
(1 UNITS)  
FF - 956.7 +/-

SLAB ON GRADE  
(2 UNITS)  
FF - 955.1 +/-

WALKOUT (2 UNITS)  
FF = 958.1 +/-  
LF = 948.35 +/-

WALKOUT (2 UNITS)  
FF = 956.60 +/-  
LF = 946.85 +/-

INSTALL SILT FENCE  
AROUND PERIMETER  
OF SITE IMPACTS  
(APPROX. 935 LF)

ENTRANCE SIGN

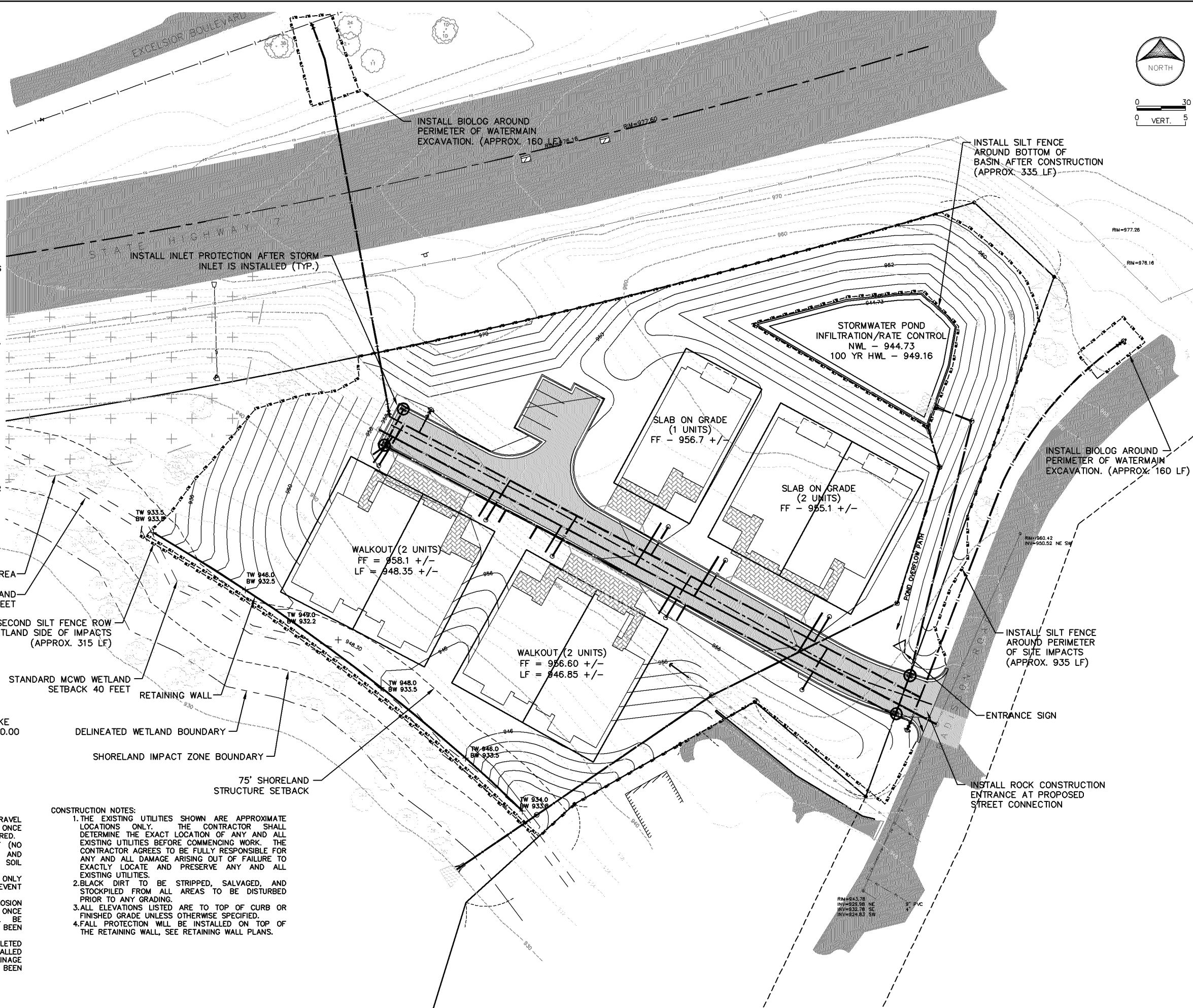
INSTALL ROCK CONSTRUCTION  
ENTRANCE AT PROPOSED  
STREET CONNECTION

#### FILTRATION BASIN NOTES:

1. NO EXCAVATION/GRADING EQUIPMENT SHALL TRAVEL WITHIN ANY OF THE INFILTRATION BASIN AREAS ONCE THE INITIAL GRADING OF THE BASIN HAS OCCURRED.
2. EXCAVATOR SHALL USE A TOOTHED BUCKET (NO SMOOTH EDGE BUCKET) WHEN EXCAVATING AND GRADING INFILTRATION BASIN TO REDUCE SOIL SMEARING.
3. EXCAVATION OF INFILTRATION BASIN SHALL ONLY OCCUR IN DRY SOIL CONDITIONS TO PREVENT UNNECESSARY COMPACTION IMPACTS.
4. THE CONTRACTOR MUST PROVIDE EROSION PROTECTION OF THE INFILTRATION BASIN ONCE INSTALLED. EROSION PROTECTION SHALL BE MAINTAINED UNTIL SITE VEGETATION HAS BEEN ESTABLISHED.
5. ONCE THE INFILTRATION BASIN HAS BEEN COMPLETED A SINGLE ROW OF SILT FENCE SHALL BE INSTALLED AROUND THE BASIN BOTTOM UNTIL ALL DRAINAGE AREAS TO THE INFILTRATION BASIN HAVE BEEN FULLY ESTABLISHED.

#### CONSTRUCTION NOTES:

1. THE EXISTING UTILITIES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE ARISING OUT OF FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.
2. BLACK DIRT TO BE STRIPPED, SALVAGED, AND STOCKPILED FROM ALL AREAS TO BE DISTURBED PRIOR TO ANY GRADING.
3. ALL ELEVATIONS LISTED ARE TO TOP OF CURB OR FINISHED GRADE UNLESS OTHERWISE SPECIFIED.
4. FALL PROTECTION WILL BE INSTALLED ON TOP OF THE RETAINING WALL, SEE RETAINING WALL PLANS.



0 30  
0 VERT. 5



NO.	DATE	BY	REVISION DESCRIPTION

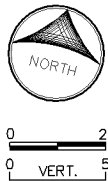
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SIGNATURE *Lee Eleeing* DATE 06/29/22  
PRINTED NAME LEE ELEEING LIC. NO. 41613

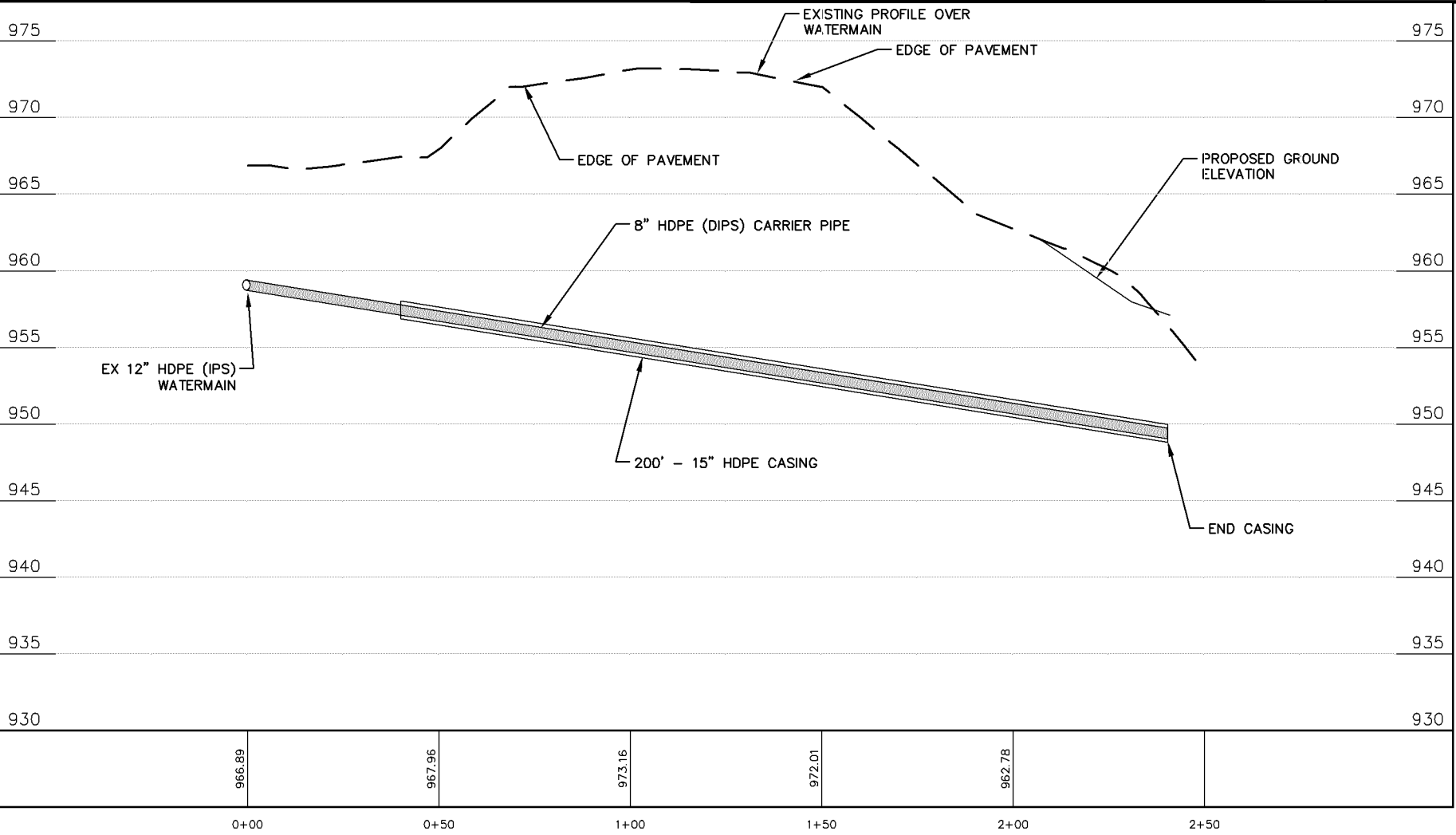
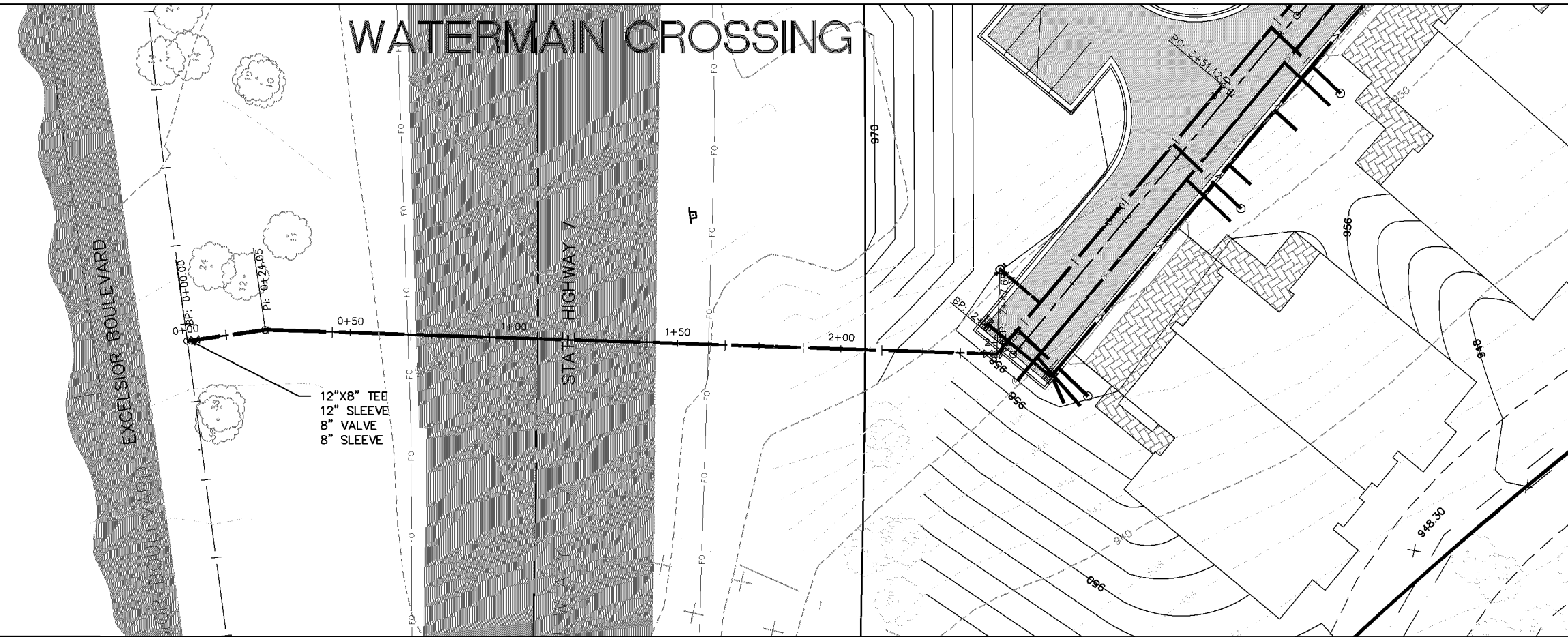
MAPLE SHORES  
20430 RADISSON ROAD, SHOREWOOD, MN 55449  
GRADING AND EROSION CONTROL

DESIGNED BY: KJE  
APPROVED BY: KJE  
DRAWN BY: LWE  
JOB NUMBER: 900066E  
CAD DATE: 12/10/21  
CAD FILE: ../Grading Plan.dwg

SHEET  
C4.0



NOTES:  
1. ALL WATERMAIN AND SANITARY SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY STANDARD DETAILS AND SPECIFICATIONS.

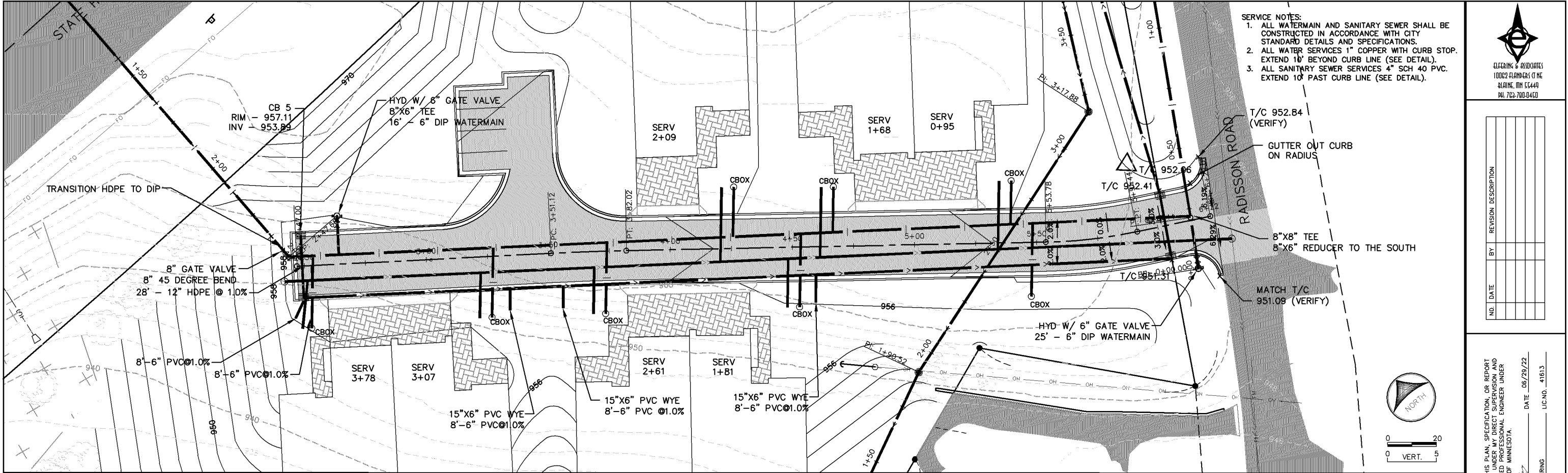


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SIGNATURE *Lee W. Ellerre* DATE 08/29/22  
PRINTED NAME LEE W. ELLERRE LIC. NO. 41613

MAPLE SHORES  
20430 RADISSON ROAD, SHOREWOOD, MN 55449  
HIGHWAY 7 WATERMAIN CROSSING

DESIGNED BY: KJE  
APPROVED BY: KJE  
DRAWN BY: LWE  
JOB NUMBER: 900066E  
CAD DATE: 12/10/21  
CAD FILE: Proposed\_Profiles.dwg



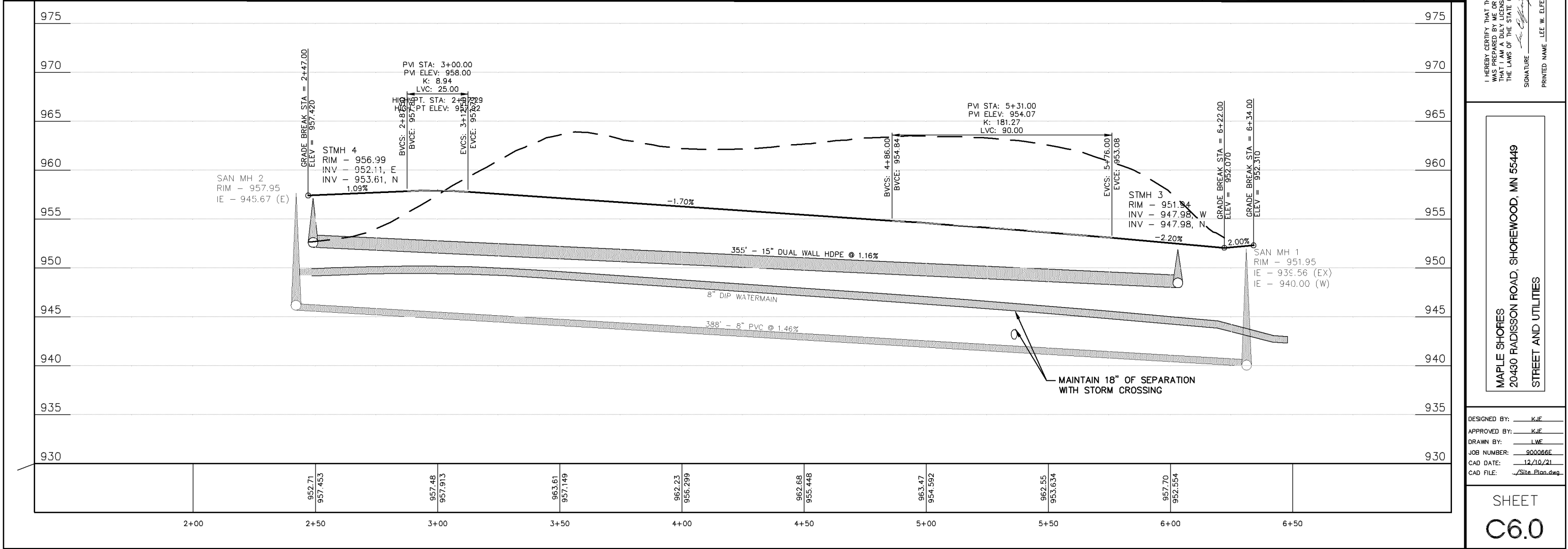
- SERVICE NOTES:
1. ALL WATERMAIN AND SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARD DETAILS AND SPECIFICATIONS.
  2. ALL WATER SERVICES 1" COPPER WITH CURB STOP. EXTEND 10' BEYOND CURB LINE (SEE DETAIL).
  3. ALL SANITARY SEWER SERVICES 4" SCH 40 PVC. EXTEND 10' PAST CURB LINE (SEE DETAIL).



REVISION DESCRIPTION	
NO.	DATE

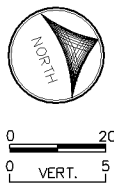
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SIGNATURE: *Lee W. Elfering* DATE: 08/29/22  
PRINTED NAME: LEE W. ELFERING LIC. NO. 41613

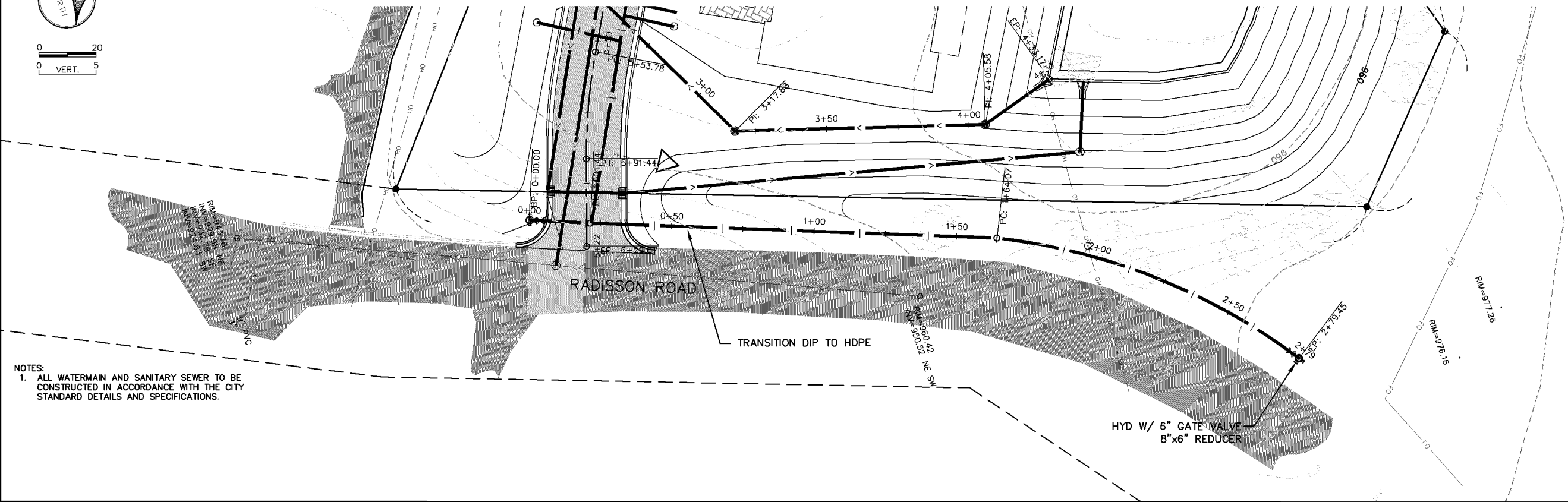


MAPLE SHORES  
20430 RADISSON ROAD, SHOREWOOD, MN 55449  
STREET AND UTILITIES

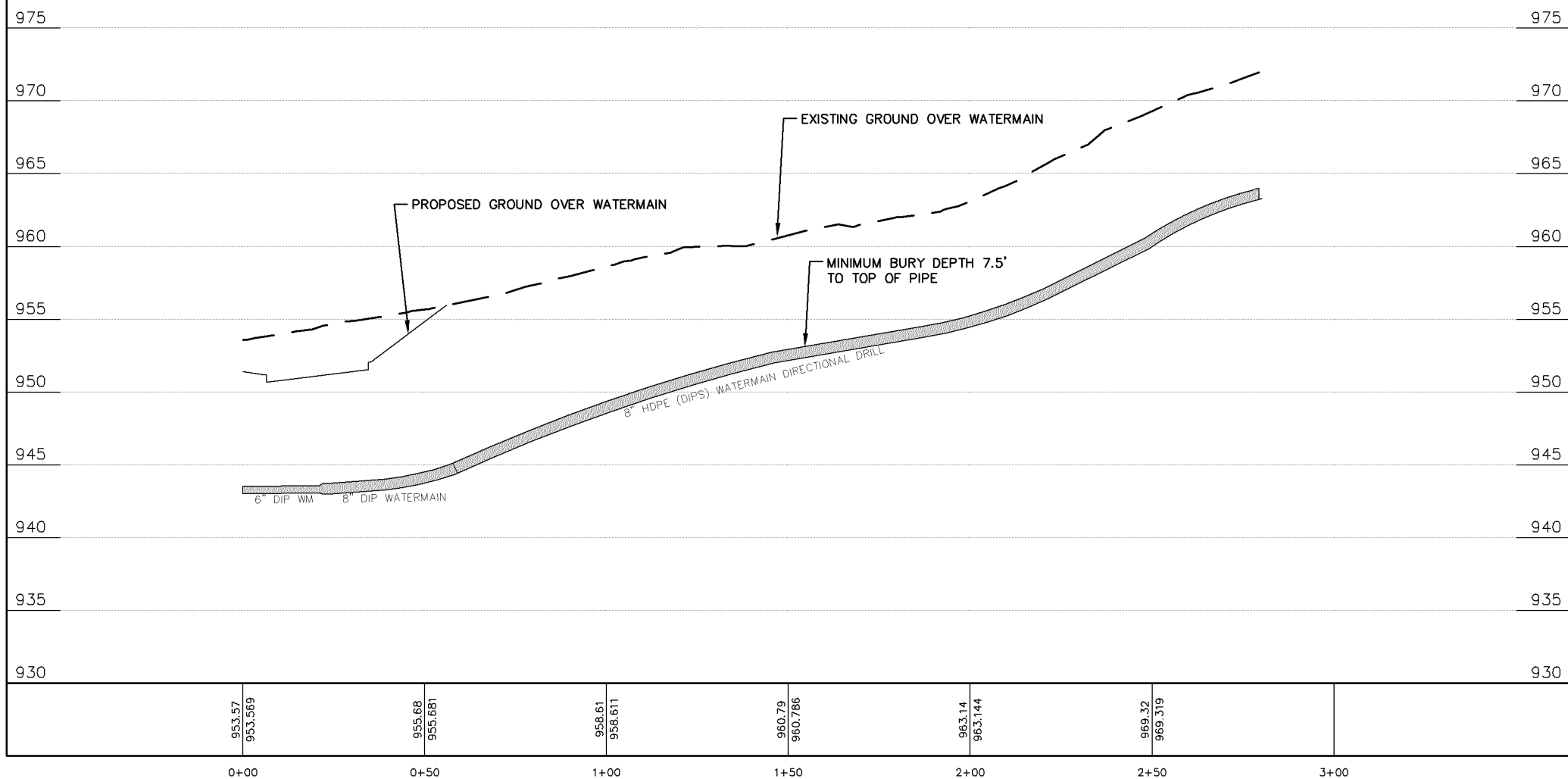
DESIGNED BY: KJE  
APPROVED BY: KJE  
DRAWN BY: LWE  
JOB NUMBER: 900066E  
CAD DATE: 12/10/21  
CAD FILE: Site Plan.dwg



# RADISSON ROAD WATERMAIN



NOTES:  
1. ALL WATERMAIN AND SANITARY SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY STANDARD DETAILS AND SPECIFICATIONS.



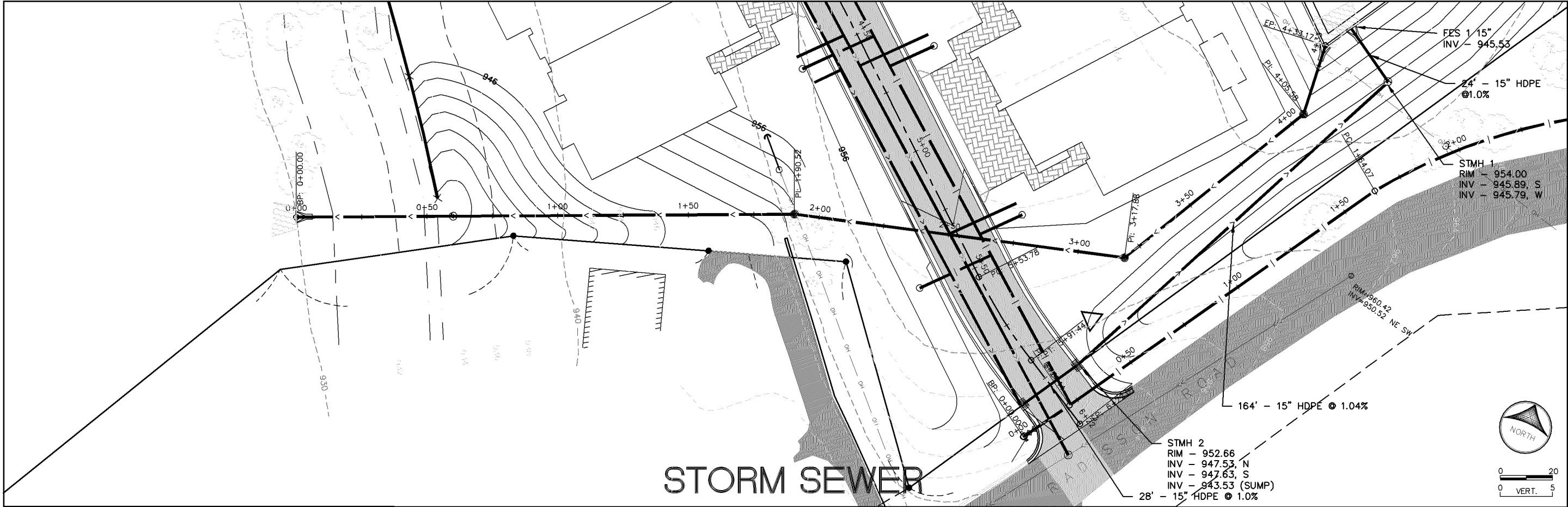
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SIGNATURE Lee W. Ellering DATE 06/29/22  
PRINTED NAME LEE W. ELLERING LIC. NO. 41613

MAPLE SHORES  
20430 RADISSON ROAD, SHOREWOOD, MN 55449  
RADISSON ROAD WATERMAIN

DESIGNED BY: KJE  
APPROVED BY: KJE  
DRAWN BY: LWE  
JOB NUMBER: 900066E  
CAD DATE: 12/10/21  
CAD FILE: Proposed Profiles.dwg





**ELEERING & ASSOCIATES**  
10062 PLUMBERS CT NE  
SHOREWOOD, MN 55449  
TEL: 763-780-0450

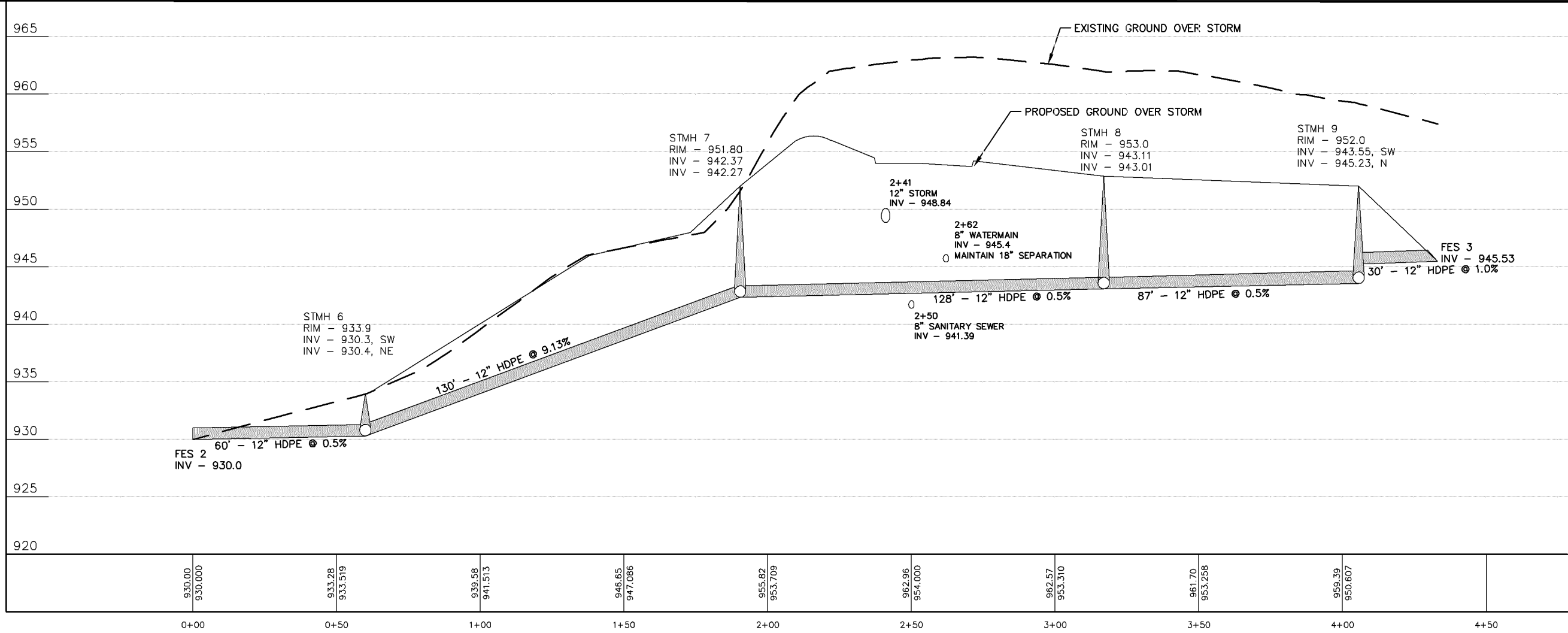
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SIGNATURE: *Lee W. Eleering* DATE: 08/29/22  
PRINTED NAME: LEE W. ELEERING LIC. NO.: 41613

MAPLE SHORES  
20430 RADISSON ROAD, SHOREWOOD, MN 55449  
STORM CROSSING

DESIGNED BY: KJE  
APPROVED BY: KJE  
DRAWN BY: LWE  
JOB NUMBER: 900066E  
CAD DATE: 12/10/21  
CAD FILE: Proposed\_Profile.dwg





Storm Water Pollution Prevention Plan  
20430 Radisson Road

Maple Shores

Project Site Address:  
20430 Radisson Road, Shorewood  
In Hennepin County, Minnesota

Section 36, Township 117, Range 23

Project Owner: Chamberlain Homes  
PIN: 36-117-23-22-0024

Introduction

The purpose of this project is to redevelop the existing 5.95 acre site into a 5 building (9 unit) residential development. The site is located between Radisson Road and Minnesota Hwy 7 in the City of Shorewood. The east portion of the parcel includes Lake Como and is undevelopable under the current standards.

The north east portion of the existing site drains to a low area on the site which is not a wetland. The south west portion of the site drains west to Como Lake. The proposed improvements will utilize Como Lake for the discharge of stormwater from the site after treatment and rate control from a newly constructed basin.

Project Area:

Total Project Size (Approx. Disturbed Area) – 5.95 acres  
Existing Area of Impervious Surface – 6,283 sq. ft.  
Post Construction Area of Impervious Surface – 45,909 sq. ft.  
Total New Impervious Surface Area Created – 39,626 sq. ft.

Stormwater Design Specifications

Drainage Area – 4.35 acres modeled which includes offsite drainage area

	Existing Discharge Rate	Proposed Discharge Rate
1–Year	0.75 cfs	0.27 cfs
10–Year	2.58 cfs	2.52 cfs
100–Year	6.55 cfs	6.36 cfs

North Pond/Infiltration Basin – NWL – 944.73  
100–Year HWL – 949.16

Planned Construction Start Date – Summer 2022  
Planned Construction Completion Date – Summer 2023

Special Environmental Considerations:

Was an environmental review required for this project or any part of a common plan of development or sale that includes all or any portion of this project?	NO
Does any portion of the site have the potential to affect threatened or endangered species or their critical habitat?	NO
Does any portion of this site discharge to a Calcareous fen and the letter of approval from the DNR is located in the Project Manual?	NO
Will any portion of the site potentially affect properties listed on the National Register of Historic Places or known or discovered archeological site?	NO
Have any Karst features been identified in the project vicinity?	NO
Is compliance with temporary or permanent storm water management design requirements infeasible for this project?	NO
Has the MN DNR promulgated "work in water restrictions" for any Public Water this site discharges to during fish spawning?	NO

General Stormwater Discharge Requirements:

All requirements listed in Part III of the Permit for the design of the permanent stormwater management systems and discharge have been included in the preparation of this SWPPP. These include but are not limited to:

- The expected amount, frequency, intensity, and duration of precipitation.
- The nature of stormwater runoff and run-on at the site.
- Peak flow rates and stormwater volumes to minimize erosion at outlets and downstream channel and stream bank erosion.
- The range of soil particle sizes expected to be present on the site.

Responsible Parties

- Owner – Chamberlain Homes
- SWPPP Designer – Elfering & Associates. Contact: Lee Elfering; Phone 763-780-0450

Training – University of Minnesota – Design of Construction SWPPP (May 31 2025)

- Contractor – To be determined
- Site Manager – To be determined
- Responsible Party for Long Term O&M – Development Association

Copies of a current Erosion and Stormwater Management card issued by the University of Minnesota shall be attached to the SWPPP as documentation of training.

II. SWPPP Coordination and Duties

The Contractor shall establish a chain of responsibility for their operations and their subcontractors' operations to ensure that the Storm Water Pollution Prevention Plan is implemented over the life of the contract. The Contractor shall furnish a certified Erosion Control Supervisor. This supervisor shall be identified by name at the preconstruction conference and a contact number provided. Issues that arise during construction that impact the permit will be addressed, and if necessary, the supervisor will notify the proper regulatory official.

It will be the responsibility of the Erosion Control Supervisor to implement the SWPPP during construction and maintain a quality control program. In addition, the Erosion Control Supervisor will:

- Oversee maintenance practices identified as BMP's.
- Conduct or provide for inspection and monitoring activities.
- Identify other potential pollutant services and add them to the plan.
- Ensure that any changes in construction plans are addressed in the SWPPP.

The City will have their inspector monitor and inspect the activities as well, which in no way relieves the Contractor from performing these duties.

SWPPP Amendments:

Permittee must amend the SWPPP as necessary to include additional requirements to correct problems identified or address the following situations:

- There is a change in design, construction, operation, maintenance, weather or seasonal conditions.
- Inspections or investigations by site owner or operations, USEPA or MPCA officials determine the SWPPP is not minimizing discharge of pollutants to surface waters or underground waters or discharges are causing water quality standards exceedances.
- The SWPPP is not achieving the objectives of minimizing pollutants in stormwater discharges associated with construction activity, or the SWPPP is not consistent with the terms and conditions of the permit.
- The MPCA determines that the project's stormwater discharges may cause, have reasonable potential to cause, or continue to non-attainment of any applicable water quality standard, or the SWPPP does not incorporate the applicable requirements of the permit.

III. Project Description

A. Existing Conditions/ Site Location

The existing site is located between Radisson Road and Minnesota Highway 7 in the City of Shorewood. The current property contains a single family residence and driveway. The west portion of the property includes Como Lake. The site includes grades as high as 970 and as low as 930.

B. Construction Type

The project includes the redevelopment of the site to a 9 unit single family residential development. A stormwater infiltration/rate control pond will be constructed to provide for stormwater rate control, abstraction, and treatment. Access to the site will be from an extension of a road from Radisson Road.

All sediment and erosion control measures consist of installation of silt fence, a rock construction entrance, inlet controls, and other methods, if necessary, to prevent the migration of sediment and material. Restoration shall be completed by hydroseeding the disturbed vegetated areas upon completion of the grading operations.

Erosion Control Plan Sheet

– Sheet C4.0

C. Dewatering and Basin Draining:

Dewatering is not anticipated but if necessary turbid or sediment laden waters related to dewatering or basin draining shall be discharged to a temporary sedimentation basin on the project site. The site will be determined by the Contractor and approved by the Engineer prior to the start of dewatering operations. The area shall be excavated as a temporary measure to allow for collection of sediment laden water prior to discharge during construction of the project. The temporary basin may discharge to surface waters if the basin water has been visually checked to ensure adequate treatment has been obtained and that the nuisance conditions will not result from the discharge. Discharge points shall be adequately protected from erosion and proper velocity dissipation provided. The temporary basin shall be restored by the Contractor (incidental).

All water from dewatering or basin-draining activities must be discharged in a manner that does not cause nuisance conditions, erosion, or inundation of down stream waters. Discharge shall be clear, sediment free water on to a grassed area if discharged downstream or pumped and used on site in a manner that does not cause erosion.

D. Sediment Control Practices

Silt fence and/or biologs shall be placed at the downstream side of the disturbance area of the project. A rock construction entrance will be installed the new drive location off the existing bituminous. Inlet protection devices shall be installed in newly installed inlets during construction.

IV. Identification of Potential Storm Water Contaminants

The purpose of this section is to identify pollutants that could impact storm water during construction operations. The possible pollutants that could be present in the storm water are listed in the following table.

Material	Physical Description	Storm Water Pollutant(s)	Location to be Used	Process for Containment
Concrete	White Solid	Limestone, sand	Curb & Gutter Structure Rings	Designated wash areas or complete removal from site
Hydraulic Oil/ Fluids	Brown oily petroleum	Mineral oil	Random leaks	Oil absorbing diapers, trained personnel
Gasoline	Colorless	Petroleum Hydrocarbon benzene	Machinery used in construction	Oil absorbing diapers, trained personnel
Antifreeze	Clear/ green/ yellow	Ethylene glycol, propylene glycol	Machinery used in construction	Trained personnel
Wastewater from Construction	Equipment washing	Water, soil, oil and grease	Not allowed within project limits	
Cleaning Solvents	Colorless, blue, or yellow-green liquid	Perchloroethylene, methylene chloride, trichloroethylene, petroleum distillates	No cleaning equipment in project limits. Trained applicators for concrete cleaning and prep work	Tarps
Permanent Fertilizer	Liquid or solid grains	Nitrogen, phosphorous, potassium, chlorides	Newly seeded areas	Organic base, slow release forms only
Erosion	Solid Particles	Soil, sediment	Project limits	Rapid stabilization measures

V. Potential Areas for Storm Water Contamination

The following potential areas were identified as possible storm water contamination areas:

- Areas of pavement disturbance
- Areas of utility installation

VI. Storm Water Management Controls

The controls will provide soil stabilization for disturbed areas and structural controls to divert runoff and remove sediment. Care will be taken to provide restoration as soon as grading operations cease.

A. Temporary Erosion Control

The estimated quantities for the erosion prevention and sediment control items are as follows:

ITEM	QUANTITY
Rock Construction Entrance	1 – Each
Silt Fence (Pre-grading)	1250 – Linear Feet
Bioroll (Pre-grading)	320 – Linear Feet
Silt Fence (Post-grading)	335 – Linear Feet
Inlet Protection	4

Vegetation in areas not needed for construction shall be preserved. The allowable amount of time a site can remain without stabilization when not being worked on is 7 days. In the case where construction activity temporarily ceases for the amount of time listed above, stockpiles and disturbed portions of the site will be stabilized with temporary seed and mulch. The temporary seed shall be Mn/DOT Mixture 21-113 for seeding between May 1 and August 1 and Mn/DOT Mixture 100 after August 1. The Contractor will prepare each area for permanent restoration as soon as construction in that area is completed.

VII. Best Management Practices

A. Site Wide Control Measures

To prevent soil from being transported off site, for both the undisturbed and disturbed areas of the site, the following BMPs will be implemented onsite:

- Construction sequencing will allow areas to be undisturbed until necessary for construction.
- The smallest vegetated area possible will be disturbed during construction.
- After construction in an area is completed, the Contractor shall immediately restore that area to its existing condition.
- Topsoil stockpiles will be stabilized with temporary seed and mulch no later than 3 days from the last construction activities that formed the stockpiles. The Rapid Stabilization Method 3 will be used to stabilize the topsoil. The Rapid Stabilization method includes quick temporary seed and quick release fertilizer. If necessary, this work shall be incidental to the project.
- A weekly written erosion control schedule will be required. It will discuss, among other items listed in the Construction Specifications, how related work to offsite drainage will be incorporated into the weekly erosion plan schedule, how the SWPPP is functioning and any necessary changes that need to be discussed. A fine of \$1000 per day will be enforced if the Contractor fails to perform as outlined in the SWPPP and/or Specification.
- Remove all soils and sediments tracked or otherwise deposited onto public streets outside of the project area. If tracking occurs the City may order sweeping to be completed at no cost with a pick-up broom sweep.
- All measures contained in this document shall be completed by the contractor at no cost unless specific bid items are included.



ELFERING & ASSOCIATES  
10002 RADISSON CT NE  
SHOREWOOD, MN 55449  
PH: 763-780-0450

NO.	DATE	BY	REVISION DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *Lee Elfering* DATE: 06/29/22  
PRINTED NAME: LEE ELFERING LIC. NO.: 41613

MAPLE SHORES  
20430 RADISSON ROAD, SHOREWOOD, MN 55331  
STORM WATER POLLUTION PREVENTION PLAN

DESIGNED BY: KJE  
APPROVED BY: LWF  
DRAWN BY: KJT  
JOB NUMBER: 900063E  
CAD DATE: 02/21/22  
CAD FILE: /SWPPP.DWG

SHEET

C10.0

B. Construction Practices to Minimize Storm Water Contamination

The Contractor's Erosion Control Supervisor will instruct all personnel by regarding the correct procedure for waste disposal. Good housekeeping and spill control practices will be followed during construction to minimize storm water contamination from petroleum products, fertilizer, and concrete.

- All nonhazardous waste materials will be collected and stored in a secure dumpster or another approved containment method at the end of each day.
- All trash and construction debris from the site will be deposited in the dumpster.
- No construction materials will be buried onsite.
- A licensed sanitary waste management contractor will collect all sanitary waste from any portable units at a rate necessary to maintain designated function.
- Partially used fertilizer bags will be transferred to a sealable bin to prevent spills.
- All vehicles left onsite will be monitored for leaks to reduce the chance of contamination.
- Petroleum products will be stored in tightly sealed, properly labeled containers. An effort will be made to store only enough product required to complete the job.
- Products will be kept in their original containers with the original manufacturer's label. Manufacturers' recommendations for proper use and disposal will be followed.
- Materials and equipment necessary for spill cleanup will be kept in the temporary material storage trailer onsite.
- All spills will be cleaned up immediately upon discovery. Spills large enough to reach the storm conveyance system will be reported to the MPCA State Duty Officer at 1-800-422-0798.
- The Contractor shall comply with applicable State and local waste disposal, sanitary sewer, or septic system regulations. In the event of a conflict with other government laws, rules and regulations, the more restrictive laws, rules or regulations shall govern.

VIII. Coordination of BMPs with Construction Activities

Structural BMPs shall be in place prior to construction. The following is a sequence of the major activities on the project:

1. Silt Fence shall be installed before any grading begins.
2. Utility installation
3. Complete grading
4. Construct street
5. Stabilize disturbed areas as soon as possible according to the SWPPP.
6. Permanent erosion control measures shall be installed (hydroseeding) by the Contractor.
7. Remove temporary erosion control materials once construction has ceased.

Construction is anticipated to begin in Summer 2022. Final completion is set for Summer 2023.

IX. Maintenance/Inspection Procedures

C. Inspections

The following inspection and maintenance practices will be used to maintain erosion and sediment controls:

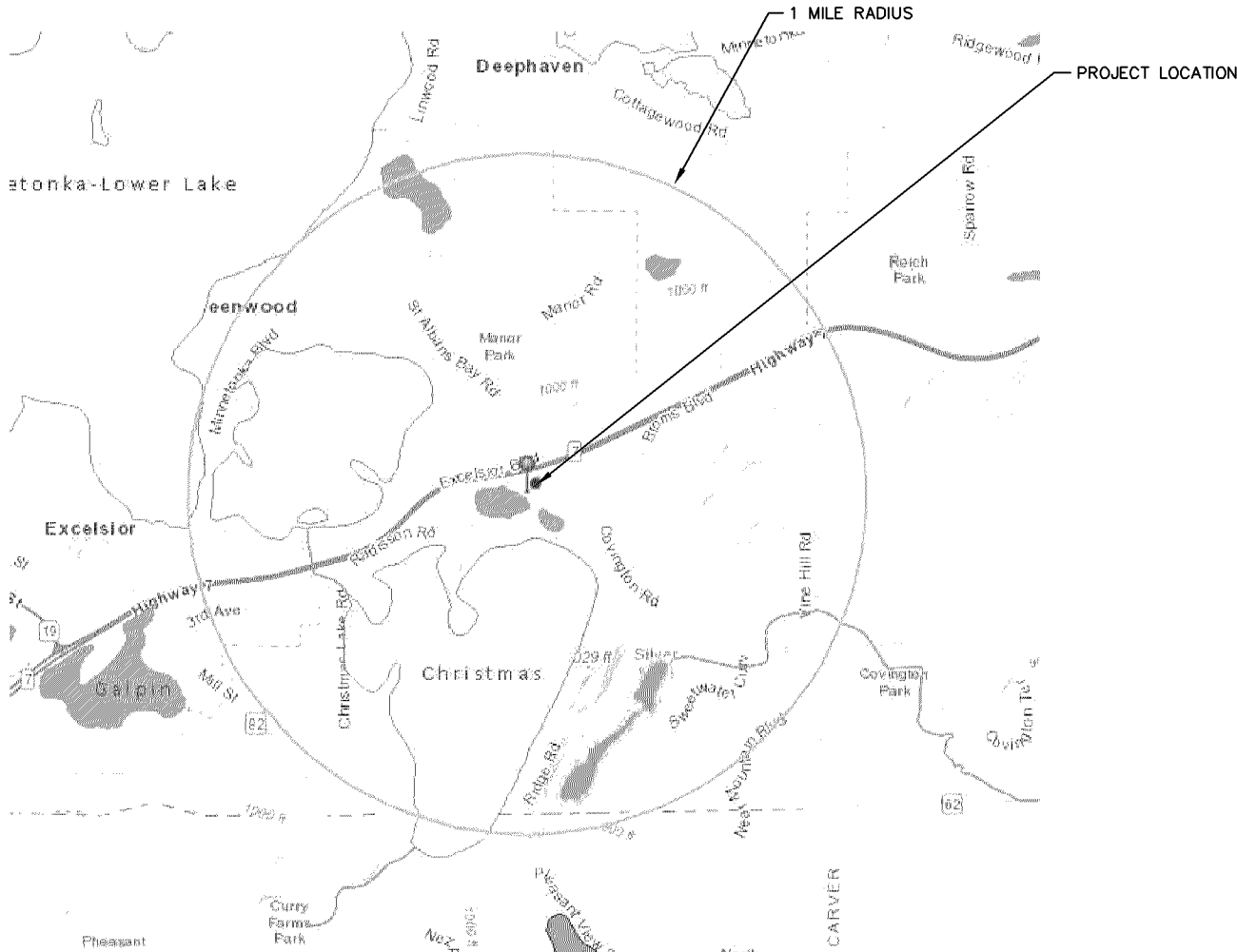
- All erosion control measures shall be inspected at least once per week and within 24 hours of all storm events greater than 0.5 inches. All measures will be maintained in good working order.
- Built up sediment shall be removed from silt fence within 24 hours when it has reached 1/3rd the height of the fence.
- Temporary and permanent seeding and/or planting will be inspected for bare spots and washouts.
- The outlets of all culverts are intact and functioning as designed.
- A maintenance inspection report will be completed by the Contractor and submitted to the Owners representative for each inspection.
- If construction activities or design modifications are made to the site plan that could impact storm water, this SWPPP will be amended appropriately. The amended SWPPP will have a description of the new activities that contribute to the increased pollutant loading and the planned source control activities.

X. Soil Types

Information will be provided in the geotechnical report for the project.

Receiving waters, including surface water, wetlands, and Public Waters are identified within one mile of the project location.

Name of Water Body	Type	Appendix A Special Water	Impaired Water within 1 Mile	USEPA Approved TMDL
Como Lake	Lake	No	No	N/A



NO.	DATE	BY	REVISION DESCRIPTION

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MAPLE SHORES  
20430 RADISSON ROAD, SHOREWOOD, MN 55331  
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DESIGNED BY: KJE  
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JOB NUMBER: 900063E  
CAD DATE: 02/22/22  
CAD FILE: /SWPPP.DWG



Tag No.	Diameter (inches)	Species	Condition	Notes	Remove
101	28	Sugar Maple	P	Large open cracks	x
102		Box Elder			
103	30	Black Locust	G		
104	30	Black Locust	P	Rotten base	x (Condition)
105	10	American Elm	G		
106	20	Ash	G		x
107	12	Apple	G		
108	18	Basswood	G		
109	15	Spruce	P	over 1/2 dead	x
110	22	Sugar Maple	P	Rotten base/large crack	x
111	16	Sugar Maple	G		
112	12	Hackberry	G		
113	8	Red Pine	G		
114		Box Elder			
115	23	Sugar Maple	G		x
116	14	Ash	G		
117	9	American Elm	P	leaning	
118	11	Sugar Maple	G		
119	14	Ash	G		x
120	22	Black Walnut	G		x
121	24	Norway Spruce	G		x
122	16	Paper Birch	P	Insects;birch bore	x
123	30	White Cedar	G		x
124	23	White Poplar	G	leaning	x
125	14	Ash	G		x
126	10	Ash	G		x
127	30	White Cedar	G		x
128	36	Sugar Maple	G	crack in stem	x
129	18	Red Pine	G		x
130	30	Ohio Buckeye	G	3 multi-stem	x
131	12	Ash	G		x
132	26	Sugar Maple	P	leaning and hollow trunk	x
133	26	Ohio Buckeye	G	multi-stem	x
134	14	Blue Spruce	P	1/2 dead	x
135	12	Red Pine	P	1/2 dead	x
136	21	Sugar Maple	G		x
137	18	Ohio Buckeye	G		x
138	42	Norway Maple	G	crack in base	x
139	45	Black Locust	G	3 multi-stem	x
140	24	Mulberry	G	large broken hanging limb	x
141	72	Black Locust	H	very rotten base	x
142	11	Spruce	P	90% dead	x
143	14	Spruce	P	1/2 dead	x
144	15	Mulberry	G		x
145	18	Mulberry	P	large crack	x
146	25	Paper Birch	G		x
147	28	Norway Maple	H	hollow rotten trunk	x
148	16	Black Locust	G		x
149	20	Black Locust	G		x
150	18	Black Locust	G		x
151	24	Black Locust	G		x
152	19	Slippery Elm	G		x
153	12	Mulberry	G		x
154	18	Spruce	P	1/2 dead	x
155	15	Red Pine	P	1/2 dead	x
156	16	Black Locust	G		x (Site Triangle)
157	16	Norway Maple	P	Rotten trunk	x
158	14	Spruce	P	1/2 dead	x
159	20	Ash			x
160	30	Honey Locust	H	Very rotten truck	x
161	15	Ginko	G		x
162	24	Black Walnut	G		x
163	18	Honey Locust	G		x (Site Triangle)
164	14	Red Oak	G		x (Site Triangle)
165	12	Mulberry	P	Leaning over road	
166	11	Ash	P	Leaning over road	
167	11	Ash	G		x
168	12	Hackberry	G		x
169	21	Red Pine	G		x
170	10	Ash	G		x

Tag No.	Diameter (inches)	Species	Condition	Notes	Remove
171	12	European Mountain Ash	G		x
172	14	Black Walnut	G		x
173	4	Black Locust	G		x
174	17	Black Locust	G		x
175	16	Spruce	P	over 1/2 dead	x
176	6	White Pine	G		x
177	12	Mulberry	P	leaning; 1/2 dead	x (Condition)
178	15	Black Locust	G		x
179	12	Black Locust	G		x
180	17	Black Locust	G		x
181	12	Hackberry	G		x
182	23	Black Locust	G		x
183	10	Mulberry	G		x
184	33	Black Locust	G		x
185	27	Ash	P	over 1/2 dead	x
186	13	Honey Locust	G		x
187	25	Black Walnut	G		x
188	13	Black Locust	P	over 1/2 dead	x
189	26	Silver Maple	G		x
190	14	Black Locust	G		x
191		Box Elder			x
192	18	Black Locust	G		x
193	26	Norway Maple	P	rotten hollow base	x
194	9	Hackberry	G		x
195	30	Slippery Elm	G		x
196	15	Black Locust	G		x
197	15	Black Locust	G		x
198	30	Black Locust	G		x
199	12	Slippery Elm	G		x
200	15	Elm	DEAD		x
201	12	Apple	DEAD	Fire blight	x
202	25	Honey Locust	G		x
203	16	Sugar Maple	G		x
204	14	Spruce	P	1/2 dead	x
205		Box Elder			x
206	14	Honey Locust	G		x
207	20	Honey Locust	G		x
208	14	Honey Locust	P	Leaning	x
209	14	Elm	G		x
210	15	Sugar Maple	G		x
211	24	Cottonwood			
212	20	Cottonwood			
213	12	Ash	G		
214	17	Basswood	G		
215	18	Red Oak	G		
216	12	Ash	G		x
217	11	Ash	G		x
218	15	Ash	G		x
219	10	Ash	G		x
220	10	Ash	G		
221	13	Poplar	G		x
222	19	Poplar	G		x
223	12	Poplar	G		x
224	12	Poplar	G		x
225	12	Common Poplar	G		x
226	18	Poplar	G		x
227	19	Poplar	G		x
228	23	Poplar	G		x
229	15	Black Locust	G		x
230	17	Black Locust	G		x
231	16	Ash	G		x
232		Box Elder			x
233	9	Ash	G		x
234	10	Ash	G		x
235	10	Ash	G		x
236	17	Black Locust	G		x
237	11	Black Locust	G		x
238	27	Black Locust	G		x
239	15	American Elm	G		x
240	14	Elm	G		x
241	15	Black Locust	G		x
242	13	Black Locust	G		x
243	40	Black Locust	G		x

Tag No.	Diameter (inches)	Species	Condition	Notes	Remove
244	15	American Elm	G		x
245	16	American Elm	G		x
246	10	Black Locust	G		x
247	12	Red Pine	P	over 1/2 dead	x
248	18	American Elm	G		x
249	11	Slippery Elm	G		x
250	24	Slippery Elm	G		x
251	21	Slippery Elm	G		x
252	18	American Elm	G		x
253	42	Black Locust	G		
254	14	Black Locust	G		
255	27	Black Locust	G		
256	22	Red Pine	G		x
257	14	Sugar Maple	G		x
258	10	Red Pine	P	1/2 dead	x
259	12	Ash	G		x
260	13	Ash	G		x
261	18	Black Locust	G		x
262	16	Red Pine	G		x
263	12	Black Locust	G		x
264	15	Ash	G		x
265	25	Hackberry	G		x
266	18	Ash	G		x
267	15	Ash	G		x
268	21	Ash	G		x
269	13	Ash	G		x
270	10	Ash	G		x
271	16	Ash	G?	Might EAB	x
272	11	Ash	G		x
273	26	Ash	P	large crack	x
274	30	Elm	H	dead	x
275	40	Black Locust	G		x
276		Box Elder			x
277	12	Ash	G		x
278		Box Elder			x
279	18	Ash	P	hollow rotten trunk	x (Condition)
280		Box Elder			
281		Box Elder			
282	24	Ash	G		
283	16	Ash	G		
284	14	Ash	G?	EAB?	
285	13	Ash	G		x
286	11	Ash	G		x
287	11	Ash	G		x
288		Box Elder			x
289	12	Ash	G		
290	10	Ash	G		
291	10	Ash	G		
292		Box Elder			
293	12	Ash	G		
294	52	Cottonwood	G		
295	10	Ash	G		
296	11	Ash	G		x
297	12	Ash	G		x
298	18	Ash	G		x
299		Box Elder			x
300	30	Poplar	P	Rotton top	x
301		Box Elder			x
302		Box Elder			x
303		Box Elder			x
304	42	Poplar	G		x
305		Box Elder			x
306	15	Ash	G		x
307	17	Ash	G		x
308	25	Poplar	P	dead tip	x
309		Box Elder			x
310	15	Willow	P	Leaning	
311		Box Elder			
312	14	Ash	G		
313		Box Elder			
314	14	Ash	G		
315	10	Ash	G		
316	18	Cottonwood			
317	23	Cottonwood			

Tag No.	Diameter (inches)	Species	Condition	Notes	Remove
318	25	Cottonwood			
319		Willow	P	broken top	x (Condition)
320	21	Cottonwood			
321	30	Cottonwood			
322	11	Elm	G		
323	20	Cottonwood			
324	36	Cottonwood			
325	23	Cottonwood			
326	18	Cottonwood			
327	12	Cottonwood			
328	11	Cottonwood			
329	20	Cottonwood			
330	28	Cottonwood			
331	8	Ash			x
332	18	Ash	G		x
333		Box Elder			x
334	12	Red Oak	G		x
335		Box Elder			x
336		Box Elder			x
337	10	Ash	P	Leaning	
338		Box Elder			
339		Box Elder			
340		Box Elder			
341		Box Elder			
342		Box Elder			
343		Box Elder			
344		Box Elder			
345	13	American Elm	G		
346		Box Elder			
347	35	Cottonwood	Leans toward	HUGE	
348	60	Cottonwood	Hwy 7	HUGE	
349		Box Elder			
350		Box Elder			
351	22	Cottonwood			
352	20	Cottonwood			
353	28	Cottonwood			
354	10	Elm	Dead		x (Condition)
355	12	Ash	G		
356	40	Cottonwood			
357	50	Cottonwood			
358	13	Ash	G		
359	12	Ash	G		
360	15	Ash	G		
361	26	Cottonwood			
362	62	Cottonwood			
363		Box Elder			
364	30	Cottonwood			
365	10	Ash	DEAD		x (Condition)
366	13	Ash	P	leaning	
367	9	Ash	G		
368	12	Ash	P	leaning	
369	11	Elm			
370	13	Ash	G		
371	16	Ash	G		
372		Box Elder			
373		Box Elder			
374	16	Sugar Maple	P	rotton trunk	x (Condition)
375		Box Elder			
376	14	Ash	G		
377	13	Ash	G		
378		Box Elder			



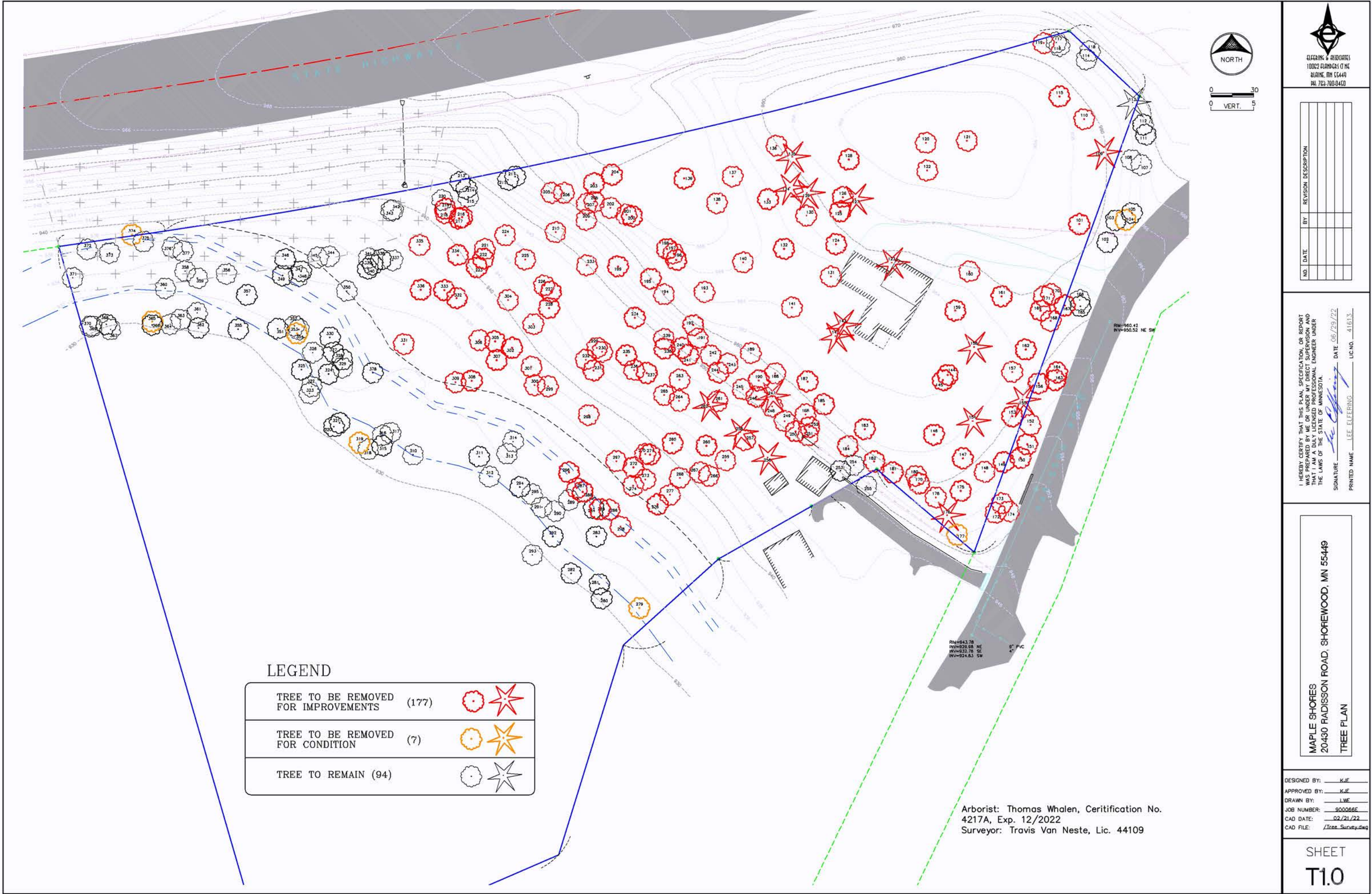
NO.	DATE	BY	REVISION	DESCRIPTION

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SIGNATURE Lee Elfering DATE 06/29/22  
 PRINTED NAME LEE ELFERING LIC. NO. 41613

**MAPLE SHORES**  
**20430 RADISSON ROAD, SHOREWOOD, MN 55449**  
**TREE PLAN**

DESIGNED BY: KJE  
 APPROVED BY: KJE  
 DRAWN BY: LWE  
 JOB NUMBER: 900066E  
 CAD DATE: 02/21/22  
 CAD FILE: Tree Survey.dwg



ELEERING & ASSOCIATES  
10002 PLUMBERS CT NE  
SHOREWOOD, MN 55449  
PH: 763-780-0440

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SIGNATURE: *Lee Eleering* DATE: 06/29/22  
PRINTED NAME: LEE ELEERING LIC. NO.: 41613



Bed A  
Autumn Joy Sedum  
Gold Strike Lady's Mantle  
Golden Tiara Hosta  
Blueberry Muffin  
Minuteman Hosta  
Delft Lace Astilbe  
Technito Globe Arborvitae

Bed B  
Minuteman Hosta  
Korean Feather Reed Grass  
Plum Pudding Coral Bells  
Immortality Iris  
Gold Strike Lady's Mantle  
Annabelle Hydrangea

Bed C  
Plum Pudding Coral Bells  
Rozanne Geranium  
Hadespen Blue Hosta  
Annabelle Hydrangea  
Tauton Yew

Bed D  
Purrsian Blue Nepeta  
Minuteman Hosta  
Golden Tiara Hosta  
Blueberry Muffin Hosta  
Plum Pudding Coral Bells  
Autumn Joy Sedum  
Batik Iris  
Annabelle Hydrangea  
Lilac Lights Azalea

Bed E  
Iraqis Beauty Chokeberry  
Techny Arborvitae

Bed F  
Rainbow's End Hosta  
Praying Hands Hosta  
Bleeding Heart  
Liberty Hosta  
Maui Buttercup Hosta  
Blueberry Muffin Hosta  
Guacamole Hosta  
Patriot Hosta  
Dancing Queen Hosta  
Hadespen Blue Hosta  
Northern Exposure Amber Coral Bell  
Curly Fires Hosta

Bed G  
Solanna Sunset Burst Tickseed  
Kismet Yellow Coneflower  
Ruby Stella Daylily  
Dancing Queen Hosta  
Curly Fries Hosta  
Bleeding Heart  
Praying Hands Hosta  
Patriot Hosta  
Liberty Hosta  
Blueberry Muffin Hosta  
Rainbow's End Hosta  
Northern Exposure Amber Coral Bells  
Maui Buttercup Hosta

Bed H  
Kismet Yellow Coneflower  
Autumn Joy Sedum  
Apricot Sparkle Daylily  
Millenium Allium  
Biokovo Geranium  
Immortality Iris  
Plum Pudding Coral Bells  
Dwarf Norway Spruce  
Blooming Dwarf Dark Purple Lilac

Bed I  
Kismet Yellow Coneflower  
Plum Pudding Coral Bells  
Batik Iris  
Korean Feather Reed Grass  
Festiva Maxima Peony  
Millenium Allium  
Annabelle Hydrangea

Bed J  
Autumn Joy Sedum  
Festiva Maxima Peony  
Apricot Sparkle Daylily  
Immortality Iris  
Kismet Yellow Coneflower  
Purrsian Blue Nepeta  
Technito Globe Arborvitae

<h1>MAPLE SHORES</h1>		
LANDSCAPE PLAN		
client scale 1" = 30'	date 6/30/2022	revision R3
drawn by SARAH NOTCH	checked by	drawing # #22310-3

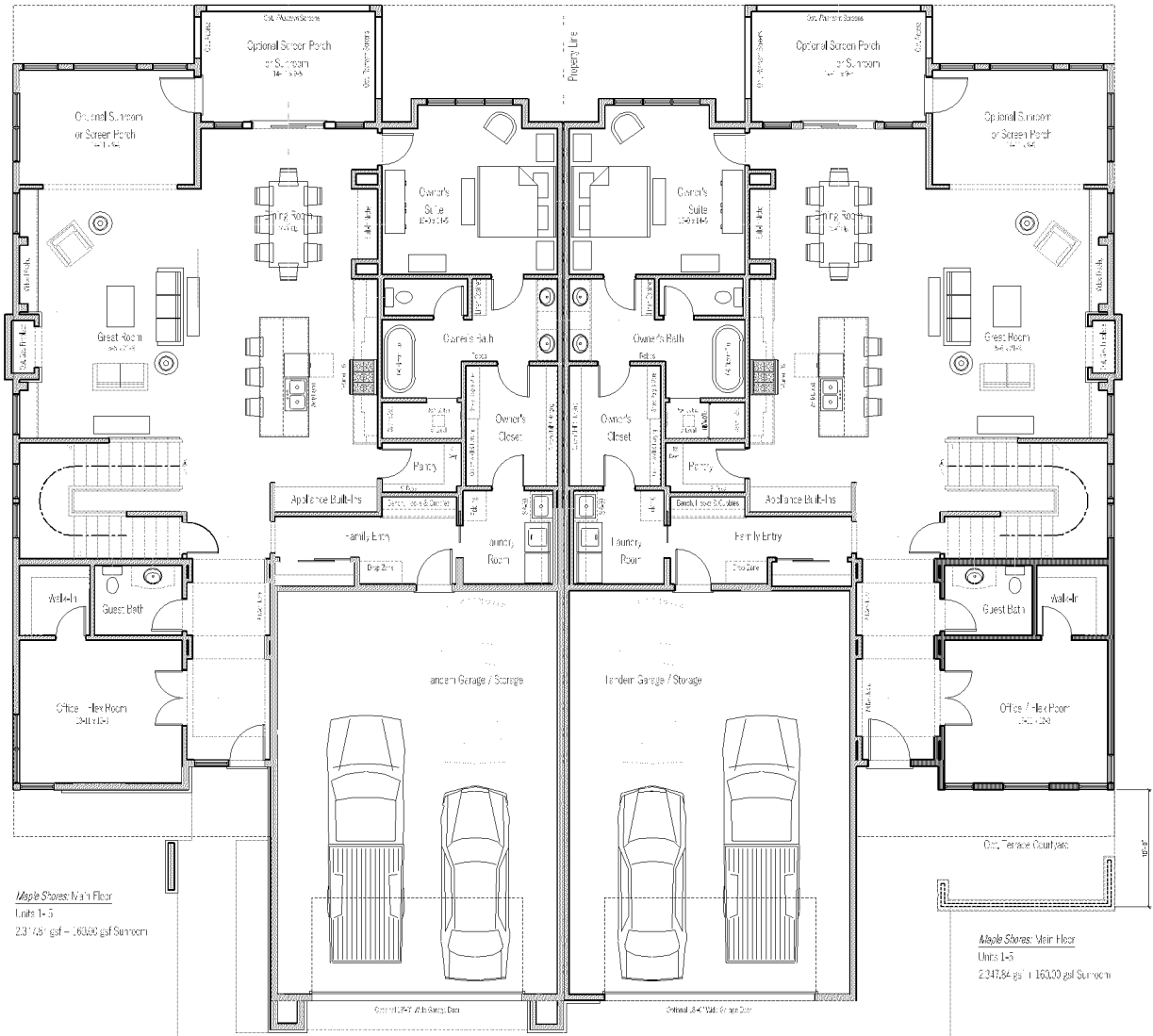
Notes:  
## Double Shredded Hardwood Mulch be installed in front of each home.  
## 2-4" River Rock Install on both sides and back of house in landscape bed.  
## Double Shredded Hardwood Mulch be installed in landscape bed around sign and landscape beds along front entrance street.  
## All new trees planted in turf grass area will have double shredded hardwood mulch installed around.

# DESIGNING Nature

LANDSCAPING SERVICES  
3312 RED FOX DRIVE HAMPEL, MN 55340

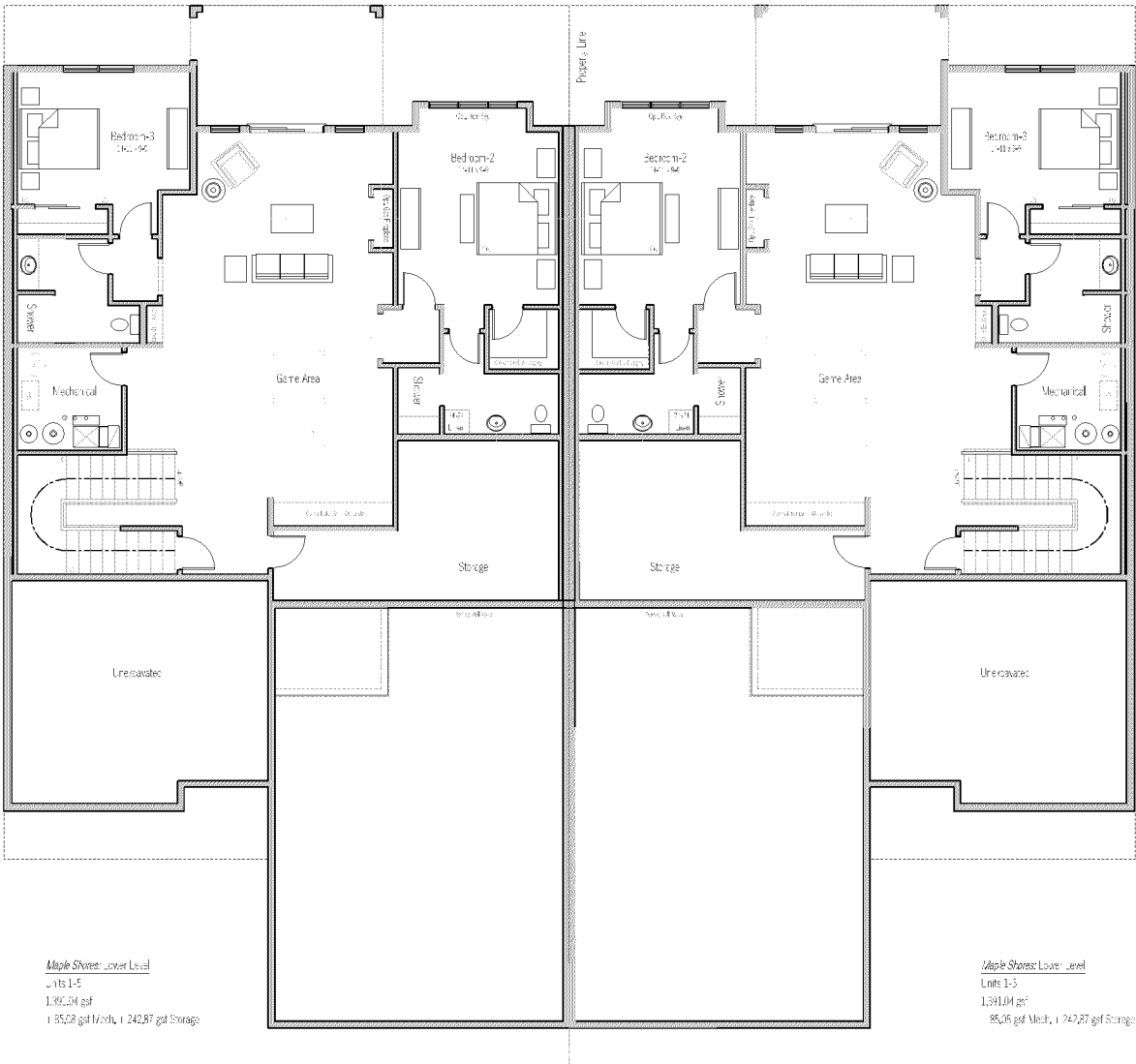
Maple Shores

Lake Como Side



Building 1 Unit 1 Main Level  
Building 2 Unit 3 Main Level

Building 1 Unit 2 Main Level  
Building 2 Unit 4 Main Level



Building 1 Unit 1 Lower Level  
Building 2 Unit 3 Lower Level

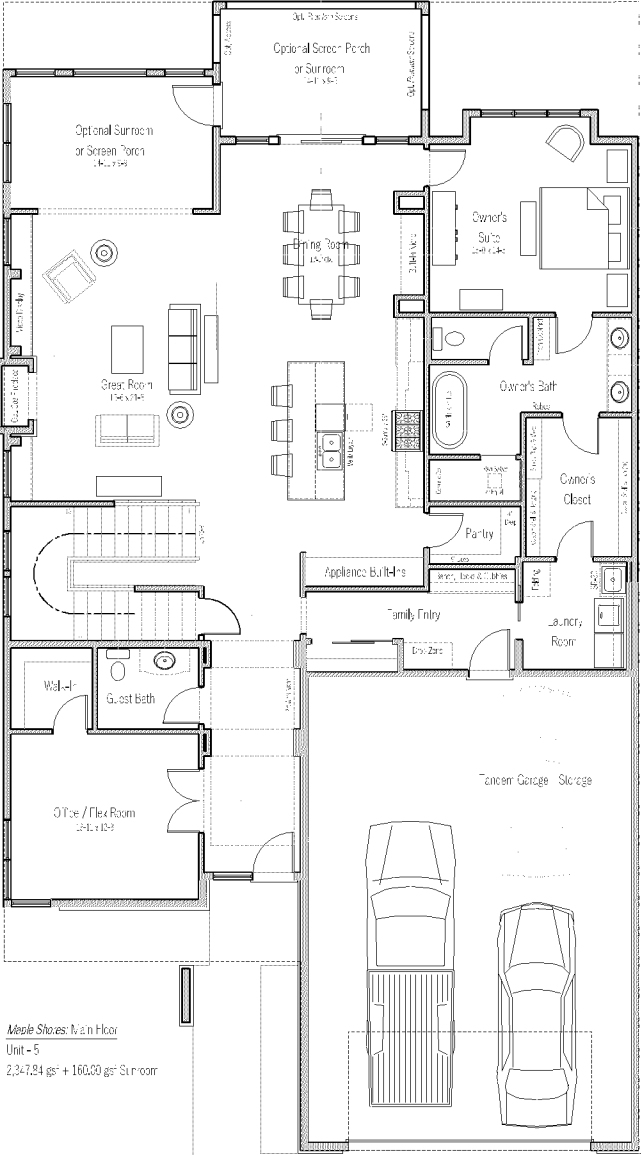
Building 1 Unit 2 Lower Level  
Building 2 Unit 4 Lower Level



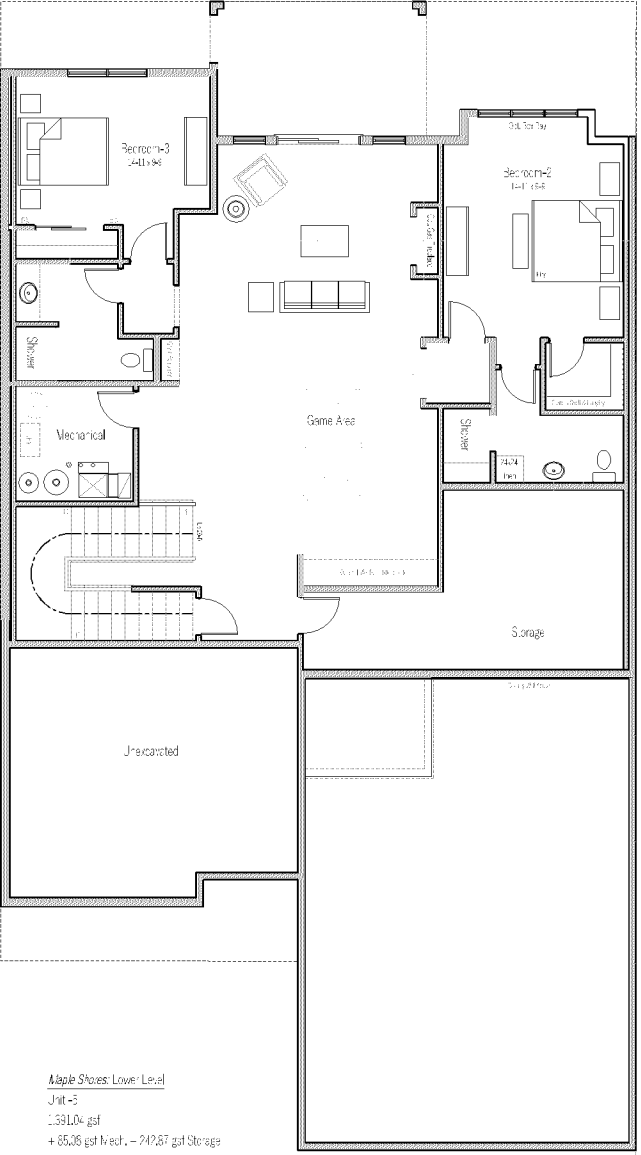


Maple Shores

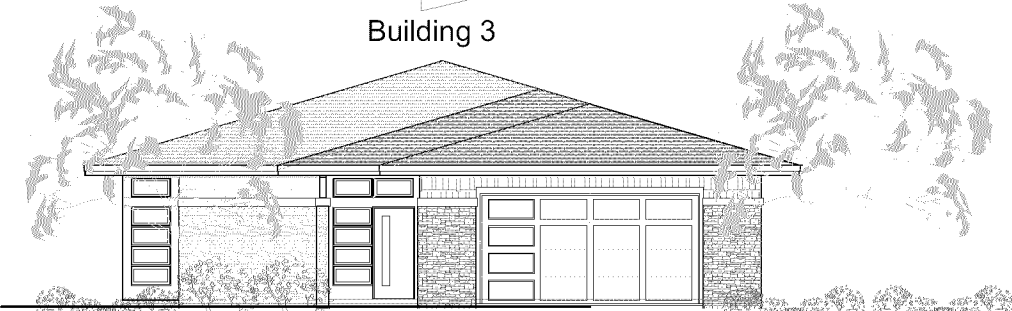
Lake Como Side



Building 3 Unit 5 Main Level

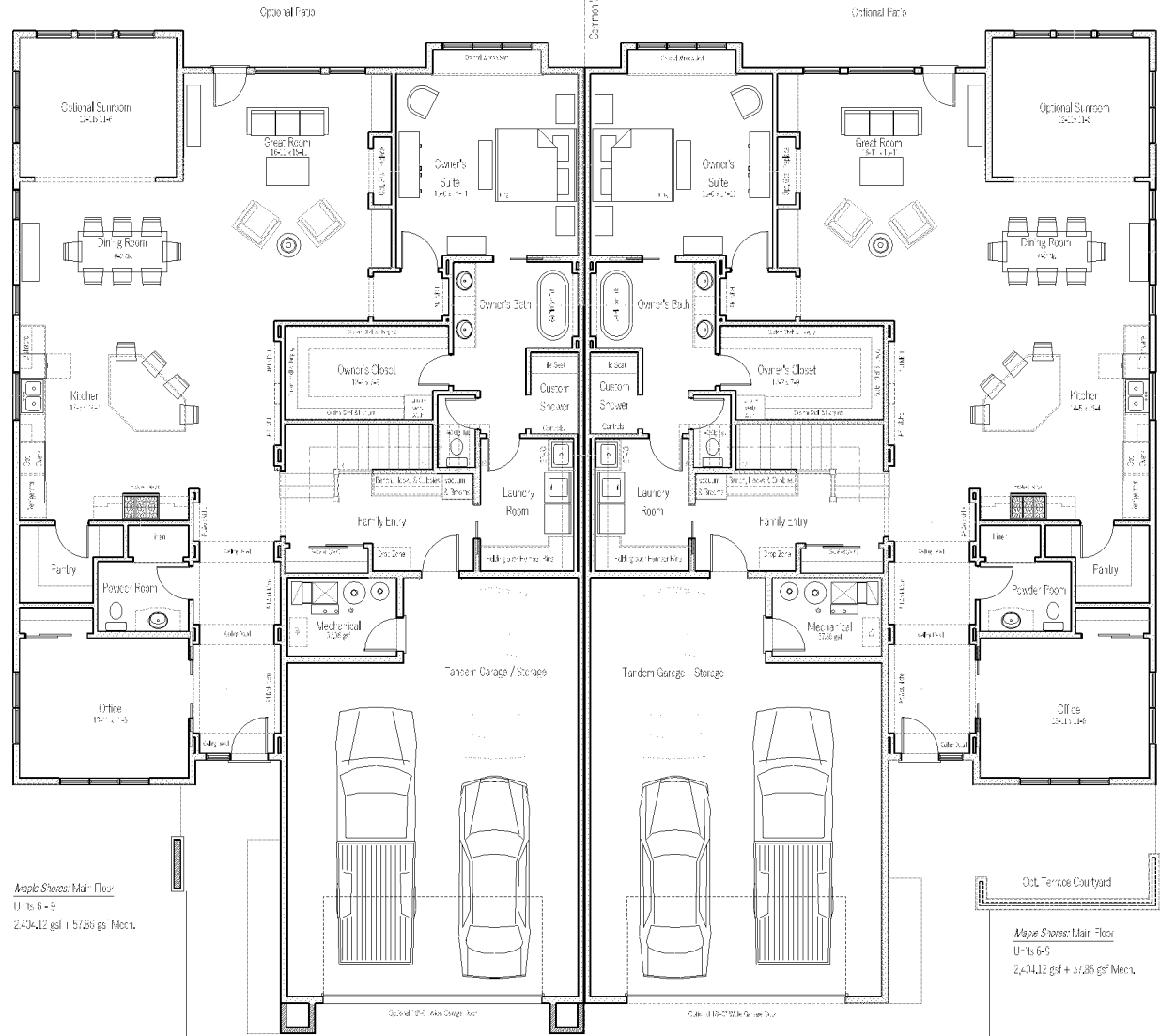


Building 3 Unit 5 Main Level



Maple Shores

Storm Pond Side



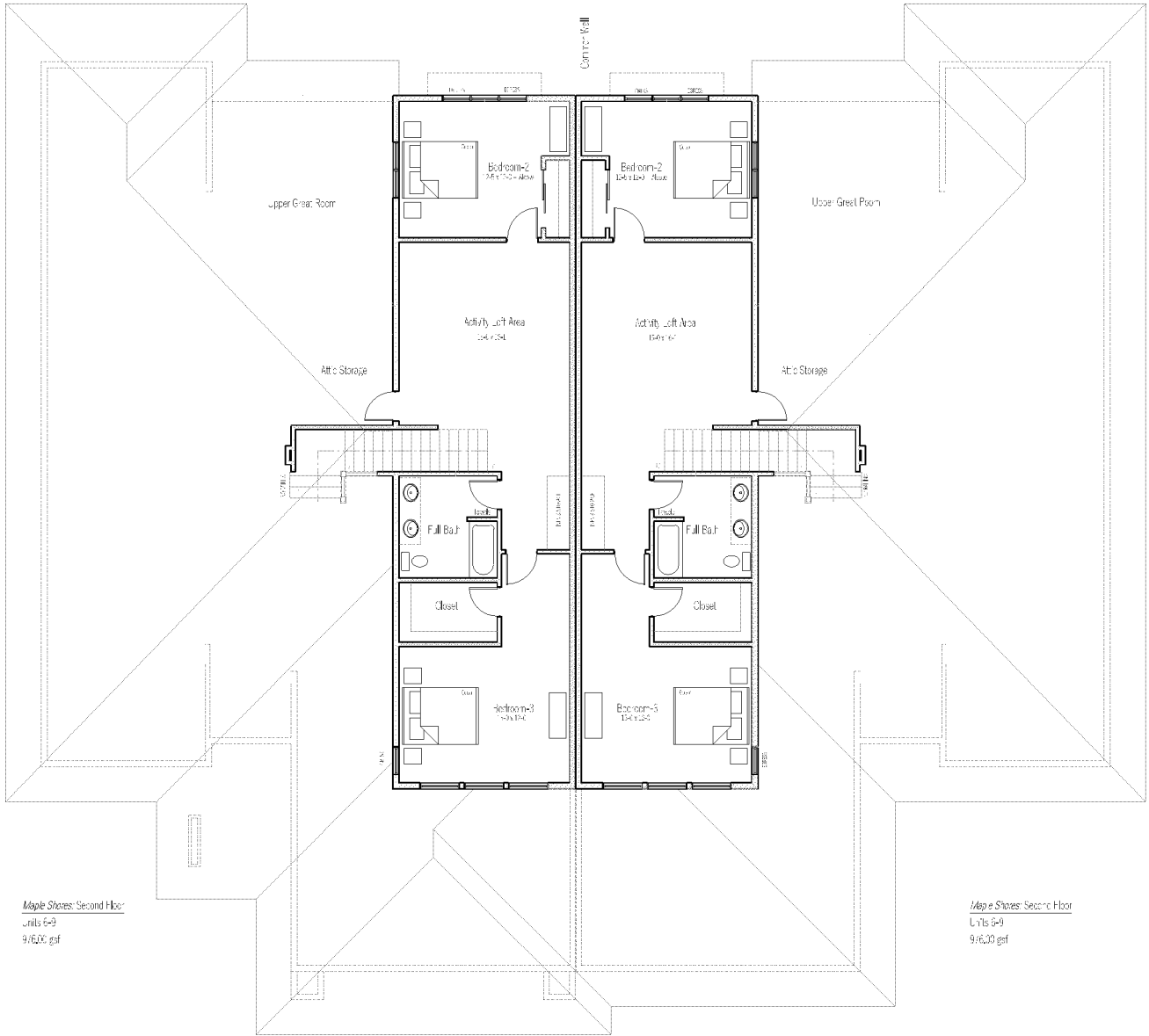
Maple Shores Main Floor  
Units 6-7  
2,434.12 sq ft + 157.86 sq ft Mech.

Maple Shores Main Floor  
Units 6-7  
2,434.12 sq ft + 157.86 sq ft Mech.

Building 4 Unit 6 Main Level  
Building 5 Unit 8 Main Level

Building 4 Unit 7 Main Level  
Building 5 Unit 9 Main Level

Building 4



Maple Shores Second Floor  
Units 6-7  
916.00 sq ft

Maple Shores Second Floor  
Units 6-7  
916.00 sq ft

Building 4 Unit 6 Upper Level  
Building 5 Unit 8 Upper Level

Building 4 Unit 7 Upper Level  
Building 5 Unit 9 Upper Level

Building 5



**CITY OF SHOREWOOD  
COUNTY OF HENNEPIN  
STATE OF MINNESOTA**

**ORDINANCE NO. 591**

**AN ORDINANCE AMENDING SECTION 1201.09 SUBD. 2.  
OF THE SHOREWOOD ZONING CODE – THE SHOREWOOD ZONING MAP  
(MAPLE SHORES PUD)**

Section 1. Section 1201.09 Subd. 2. of the Shorewood City Code is hereby amended to include the property described as follows into the PUD (Planned Unit Development) zoning district:

Lot 24, Radisson Inn Addition, and Tracts A, B, C, D, H, I, J, and K, Registered Land Survey No 730, all in Hennepin County, Minnesota;

Section 2. Failure of the Developer, its successors and assigns to comply with the conditions of approval for the PUD to be called “Maple Shores PUD”, may result in the re-zoning of the property back to R-1A, Single-Family Residential.

Section 3. That the Zoning Administrator is hereby authorized to revise the Zoning Map of the City of Shorewood to include the property in the PUD., Planned Unit Development zoning district.

Section 4. That this Ordinance shall be in full force and effect upon publishing in the Official Newspaper of the City of Shorewood.

**ADOPTED BY THE CITY COUNCIL OF THE CITY OF SHOREWOOD** this 22<sup>nd</sup> day of August, 2022.

\_\_\_\_\_  
**Jennifer Labadie, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Sandie Thone, City Clerk**

## **RESOLUTION 22-078**

### **CITY OF SHOREWOOD COUNTY OF HENNEPIN STATE OF MINNESOTA**

#### **A RESOLUTION APPROVING A PUD CONCEPT AND DEVELOPMENT STAGE PLAN FOR MAPLE SHORES PUD TO BE LOCATED ON PROPERTY AT 20430 RADISSON ROAD AND FOUR ADJACENT VACANT PROPERTIES**

**WHEREAS**, Chamberlain Capital, LLC (the “Applicant”), has submitted a request for a PUD Concept and Development Stage Plan for a development to be called “Maple Shores PUD” (the “Request”) for the property legally described as:

Lot 24, Radisson Inn Addition, and Tracts A, B, C, D, H, I, J, and K, Registered Land Survey No 730, all in Hennepin County, Minnesota; and

**WHEREAS**, the Request has been submitted in the manner required for the development of land under the Shorewood City Code and under Chapter 462 of Minnesota Statutes, and all proceedings have been duly consistent thereunder; and,

**WHEREAS**, said Request is consistent with the regulations and requirements of the laws of the State of Minnesota and the City Code of the City of Shorewood for the approval of such a request.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Shorewood that the Request for the development of seven single and two-family homes to be called “Maple Shores PUD”, is hereby approved, subject to the following conditions:

1. The PUD Concept and Development Stage Plan is approved contingent on the approval of Ordinance 591 approving a rezoning.
2. The PUD Concept and Development Stage Plan is approved to allow seven, one and two-story, single and two-family homes as permitted uses according to the plans and materials received March 22 and 23, May 19, June 15 and 30, 2022.
3. The permitted accessory uses within the development shall be as allowed in the R-1D zoning district, except that the following are prohibited: the storage or parking of recreational vehicles or equipment outside the attached garage; detached accessory buildings, including but not limited to tool sheds, greenhouses, conservatories, and the like; and no garage space may be rented to other persons.
4. The development standards shall consist of the following:
  - a. Minimum setbacks from the property lines shall be as follows:
    - 1) From the Radisson Road right-of-way: 35 feet
    - 2) From the Highway 7 right-of-way: 50 feet
    - 3) From the curb of the private street to the garage doors: 20 feet
    - 4) From the interior side property lines: 10 feet
    - 5) From the wetland buffers: 15 feet
    - 6) No dwelling unit may extend beyond the unit lot lines into the common area and the HOA documents shall be drafted to reflect the restriction.
  - b. Height: No dwelling shall exceed 35 feet or as shown on the plans submitted May 19, 2022.
  - c. The HOA documents shall include a requirement that a minimum of two spaces in the garage shall be reserved for parking of personal vehicles.



5. Model home: One model home with a sales office shall be permitted subject to the following:
  - a. The model home/sales office is allowed until permits are issued for all four structures. At that point, it must be converted back to a home and the parking area removed.
  - b. An off-street parking area with a gravel or asphalt surface shall be constructed with a pathway leading to the model home, with one handicapped accessible space.
  - c. Any lighting for the model home shall be limited by the lighting regulations in Chapter 1201.03 Subd. 2. v. and shall be turned off one hour after the real estate office closes or 8 p.m., whichever is earlier.
  - d. Temporary signage for the model is limited to a combined total of 30 square feet in no more than two signs.
  - e. A handicapped accessible port-a-potty shall be provided adjacent to the model home unless handicapped accessible facilities are provided within the unit.
  - f. No flags (except the US flag) pennants, banners or streamers shall be installed on the property.
  - g. The model home permit shall not be issued until the utility work is complete and the curbs and aggregate base of the street is constructed.
6. The Applicant's proposal to export 5,840 cubic yards of fill is approved subject to the following:
  - a. The Applicant shall submit a geotechnical report from a licensed professional engineer prior to issuance of any permits that indicates that the soils present on the site and as brought in are adequate to support the construction of the homes and other structures.
  - b. The Applicant shall restore all disturbed portions of the property with slopes no steeper than 3:1.
  - c. The Applicant shall install a double row of silt fence to protect the wetlands and must show the double fencing on the plans.
  - d. The Applicant shall restore ground cover within seven days after grading is completed.
  - e. The Applicant shall submit a construction management plan.
  - f. The truck route shall be from Old Market Road via Radisson Road to the site, with no truck traffic westbound on Radisson Road.
7. A subdivision sign shall be permitted with this development subject to the limitations in 1201.03 Subd. 11 e. (1) (a) and shall be at least five feet from public rights-of-way.
8. The required lot areas and widths for each residential property shall be as shown and approved on the final plat.
9. The approval for the PUD Development Stage Plan shall expire in six months from the date of approval if the Applicant has not submitted a complete application for PUD Final Plan, except that the Applicant may request an extension to the approval subject to the requirements of Section 1201.25 Subd. 6. c. (5).

**ADOPTED BY THE CITY COUNCIL OF THE CITY OF SHOREWOOD Minnesota** on August 22, 2022.

\_\_\_\_\_  
**Jennifer Labadie, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Sandie Thone, City Clerk**

**RESOLUTION 22-079**

**CITY OF SHOREWOOD  
COUNTY OF HENNEPIN  
STATE OF MINNESOTA**

**A RESOLUTION APPROVING A PRELIMINARY PLAT  
FOR MAPLE SHORES FOR PROPERTY LOCATED AT 20430 RADISSON  
AND FOUR ADJACENT VACANT PROPERTIES**

**WHEREAS**, Chamberlain Capital, LLC. (the “Applicant”), has submitted a request for a preliminary plat under the Shorewood City Code and under Chapter 462 of Minnesota Statutes ; and

**WHEREAS**, the property is legally described as:

Lot 24, Radisson Inn Addition, and Tracts A, B, C, D, H, I, J, and K, Registered Land Survey No 730, all in Hennepin County, Minnesota; and

**WHEREAS**, the request for the preliminary plat has been submitted in the manner required for the platting of land and the review of variances under the Shorewood City Code and under Chapter 462 of Minnesota Statutes, and all proceedings have been duly consistent thereunder; and,

**WHEREAS**, said preliminary plat is consistent with the Shorewood Comprehensive Plan and the regulations and requirements of the laws of the State of Minnesota and the City Code of the City of Shorewood, subject to the conditions listed herein.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Shorewood that the preliminary plat to be called “Maple Shores” is hereby approved, subject to the following conditions:

1. The preliminary plat is approved contingent on the approval of Ordinance 591 approving a rezoning and Resolution 22-078 approving a PUD Concept and Development Stage Plan for Maple Shores.
2. The preliminary plat for seven lots for single and two-family homes and an outlot is approved according to the plans and materials received March 22 and 23, May 19, June 15 and 30, 2022.
3. With the final plat application, the Applicant shall submit all information required for the PUD final plan/final plat in the zoning and subdivision regulations, as well as the following, consistent with City Code, and the engineering guidelines/specifications:
  - a. The homeowner association (HOA) documents, which must include disclosures on the maximum impervious surface coverage per lot and language addressing maintenance of the wetland buffers and signage, stormwater features, subdivision monument signage and all other common elements, as well as prohibitions on accessory buildings, storage of recreation vehicles or equipment outside the home and the requirement that two parking spaces in the garage must be reserved for passenger vehicles.
  - b. The legal descriptions for the conservation easements (at the distance required by the DNR) and the maintenance agreement. The legal descriptions must include the entirety of the parcel within the lake, wetland and the farther extent of either the city’s or MCWD’s wetland buffer.
  - c. An evaluation completed by a certified arborist of the questionable ash trees noted on the inventory with documentation of any ash borer disease.

- d. The construction management plan including, but not limited to: the haul route for the material to be exported, contractor parking, how deliveries will be made without blocking public streets, where storage of materials will occur on site, hours of construction, reference the erosion control plan and how often streets will be swept. The off-street parking area must be available until the permit for the last structure is issued. The city reserves the right to prohibit construction parking on the private drive to ensure adequate access of emergency vehicles.
  - e. The assignment of impervious surface coverage for each lot not to exceed 25 percent for the total development or the design of the storm water management plan for the subdivision, whichever is less.
  - f. Revised plans consistent with the Engineer's Memo dated August 17, 2022; the DNR's memo dated July 17, 2022; the Excelsior Fire Marshalls comments dated July 13, 2022; and as follows:
    - 1) Revise the tree preservation plan to show the location of tree preservation fencing and indicate removal of trees 165 and 166 located in the right-of-way. To be considered saved, no activity is permitted within the drip line of tree.
    - 2) Revise the landscaping plan to: 1) add additional trees in the common areas where they wouldn't obstruct the storm water and would obscure off-site visibility of the retaining wall; 2) provide a plant schedule with the size of all trees at planting consistent with the tree preservation policy; 3) indicate the ground cover proposed throughout the development and the disturbed portions of the public right-of-way; and 4) any proposed plantings that would be used to reestablish the disturbed portions of wetland buffers, if applicable.
    - 3) Revise the grading plan to identify: a) the location of wetland buffer monuments at each lot line and as the buffer changes direction and b) which buffer monuments would be used, the City's or the watershed's.
4. Prior to release of the subdivision for recording, the Applicant shall submit the following:
    - a. Executed conservation easements, executed development and maintenance agreements, financial guarantees as required by the development agreement, and the final draft of the HOA documents.
    - b. Payment of fees for local sanitary sewer access, watermain connection, and park dedication in the amounts required at the time of final plat approval.
    - c. Any required permits from other agencies.
  5. Prior to issuance of any building permits, the Applicant shall submit or complete the following:
    - a. The applicant shall submit a soils/geotechnical report from a licensed professional engineer permits that indicates the soils present on the site and brought in are adequate to support the construction of the buildings and other improvements.
    - b. The applicant shall submit recorded copies of all documents, such as the plat, development agreement, maintenance agreement, separate easements, HOA documents, etc.
  6. The preliminary plat shall expire in 180 days if the Applicant has not submitted a complete application for final plat. The Applicant may request an extension to the approval subject to the requirements of Section 1202.03 Subd. 2. f. (3).



**ADOPTED BY THE CITY COUNCIL OF THE CITY OF SHOREWOOD** this 22nd day of August, 2022.

\_\_\_\_\_  
**Jennifer Labadie, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Sandie Thone, City Clerk**



## City of Shorewood Council Meeting Item

**#7C**

MEETING TYPE  
Regular Meeting

**Title / Subject:** Joint Review of Cooperative Housing Project  
**Applicant:** Lifestyle Communities  
**Location:** 24250 and 24320 Smithtown Road

**Meeting Date:** August 22, 2022  
**Prepared by:** Marie Darling, Planning Director  
**Reviewed by:** Interim City Administrator Shukle and City Attorney Jared Shepherd  
Tonka Bay City Administrator Dan Tolsma

**Attachments:** May 3, 2022 Planning Memorandum  
Applicants' Narrative

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### Background:

See May 3, 2022 Planning Memorandum for detailed background on the policy issues related to this potential development.

### Request for Direction:

The property owner seeks to move forward on this proposed development. Because the site straddles the city boundary with Tonka Bay, both cities would need to be involved. Staff is requesting direction from Council to determine how much involvement by each city they prefer.

Working with the Tonka Bay staff, staff have flushed out three options for an initial course of action for each of the Councils to consider. Two would require a joint powers agreement:

**Option 1 (Boundary Alteration):** Move the city boundary and consolidate the two parcels in one of the two cities with a Joint Powers Agreement to determine how the two cities will share the costs and benefits of the project and which city would have zoning and permitting authority in perpetuity.

Advantages: No issues with a property line/city boundary running through the building. Zoning and permitting would be reviewed through only one city.

Disadvantages: Comprehensive Plan amendments for both cities for both land use and the alteration of the boundaries. Additional process through the state to alter the municipal boundary. If the city that reviews the proposal denies the application, what happens to the parcel? Do the cities adjust the line back to the original location?

Example: The Waters development on land that was originally in Shorewood and Excelsior.

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**Mission Statement:** *The City of Shorewood is committed to providing residents quality public services, a healthy environment, a variety of attractive amenities, a sustainable tax base, and sound financial management through effective, efficient, and visionary leadership.*

**Option 2 (Delegated Authority):** Keep the city boundary as is, with a Joint Powers Agreement determining which city has zoning and permitting authority over the project and with a determination on how the two cities would share the costs and benefits of the project.

Advantages: Zoning and permitting would be reviewed through one city. Comprehensive Plan Amendments for both cities for the land use changes only.

Disadvantages: Foreseeable issues with dual jurisdiction would need to be resolved through joint powers agreement and title restrictions to prevent sale of either parcel without the other. The city that accepts delegation also accepts responsibility for the decision and by implication the potential liability.

Example: This has not been tried in Shorewood previously and staff would be working with examples in other communities (Golden Valley/St. Louis Park) to see how they accomplished this agreement with their JPA.

**Option 3 (Separate Decision-making):** Keep the city boundary as is, with each City retaining jurisdiction for zoning and permitting over its own parcel. Costs and benefits would not be shared and each city would serve utilities for their respective parcel. Although this is listed as an option in theory, staff would not recommend this option as it would not provide a functional procedure long-term.

Advantages: No upfront negotiations between the cities.

Disadvantages: Two separate review processes through the two cities with each having its own separate conditions could be overwhelming and create a process where the developer could not succeed. This would also result in Perpetual negotiations between the property owners and the two cities. The site would be a challenge for code enforcement in the future as the codes are different, and some issues would clearly apply to both properties.

#### **Recommendation / Action Requested:**

Staff recommend either option 1 or 2 and request Council direction.

Providing direction requires a simple majority.

#### **Next Steps and Timelines:**

When the City Council provides direction, staff would notify Tonka Bay staff and the applicant of their decision.



CITY OF  
**SHOREWOOD**

5755 COUNTRY CLUB ROAD, SHOREWOOD, MINNESOTA 55331-8927 • 952.960.7900  
[www.ci.shorewood.mn.us](http://www.ci.shorewood.mn.us) • [cityhall@ci.shorewood.mn.us](mailto:cityhall@ci.shorewood.mn.us)

## MEMORANDUM

**TO:** Planning Commission, Mayor and City Council

**FROM:** Marie Darling, Planning Director

**MEETING DATE:** May 3, 2022

**REQUEST:** Pre-Application Sketch Plan Review

**APPLICANT:** Lifestyle Communities

**LOCATION:** 24250 Smithtown Road (Shorewood) and 24320 Smithtown Road (Tonka Bay)

**LAND USE CLASSIFICATION:** Medium Density Residential (Shorewood Parcel Only)

**ZONING:** R-2A (Single/Two-Family) (Shorewood Parcel Only)

**FILE NUMBER:** 22.03

**REQUEST:**

A pre-application sketch is a process to allow the Planning Commission and the City Council to comment informally (non-binding) on a development prior to the submission of an application for subdivision or comprehensive plan amendment. It allows the applicant the ability to make decisions regarding potential applications without incurring the costs of a full submission.



The applicant proposes to construct a cooperatively owned, multiple-family building on this 2.58-acre parcel. The proposal is complex and would involve policy decisions by both the City Councils for Shorewood and Tonka Bay. The City of Tonka Bay will have a separate introductory meeting and it is likely that joint meetings between the two councils would be necessary to formulate solutions to policy issues if the development progresses to applications.

There is no public notice required by the zoning or subdivision regulations for a sketch review. However, staff did include notice of the application under “Active Applications” on the website with the likely dates the proposal would be discussed at both Planning Commission and City Council.



Context:

The parcels that make up the subject site straddle the boundary between Shorewood and Tonka Bay.

The Shorewood parcel is developed with a single-family home and the Tonka Bay parcel is developed with a retail chocolate shop. A shopping center occupies the adjacent parcel to the west within Tonka Bay. In Shorewood, the property to the north is the Shorewood public works facility. The public safety building (housing SLMPD and EFD) lies to the east (within Shorewood). To the south across Smithtown Road is a variety of commercial uses within Shorewood.

The Shorewood property has numerous mature trees and about 18 feet of elevation change. The lowest point of grade is near the southeast corner of the site and the center is the highest point. There are no known wetlands or floodplain on the property and the site is not within a shoreland management overlay district.

**PROPOSAL:**

The proposal is for a multiple-family building that is laid out in a “Y” shape with the shortest wing of the building closest to Smithtown Road (three stories) and the northerly two legs would be taller (four stories). The total number of dwellings proposed is 56 units, with a variety of one- and two-bedroom dwellings. The applicant would provide interior underbuilding parking and surface parking.

Below is a quick summary of some of the “big-picture” issues with the proposal, discretionary and policy issues outlined in bold.

**Use (Discretionary Issue):** The Comprehensive Plan indicates that the City plans to provide sufficient housing types, sizes and values to meet the needs of varying segments of the population. It also recommends that the City encourage housing types that are designed to appeal to senior citizens to allow existing residents to downsize and remain in the City of Shorewood. The City Council can determine whether or not this type of project is the type they are looking for to fill that niche.

**Density:** The cooperative is currently proposed to have 56 dwellings, which is about 22 units per acre. The Shorewood property is guided for a maximum of eight units per acre, which would allow for a maximum of 20 units on the property. **Discretionary Issue:** The applicant would need to apply for a Comprehensive Plan Amendment to allow for the additional density.

**Property line/City Boundary:** As shown, the building would not only straddle a property line, but that property line is the boundary between Shorewood and Tonka Bay. Constructing a building over property lines increases the complexity of construction by eliminating connections and openings between building wings. Consequently, the properties should be consolidated or combined together by plat, and the two cities would need to decide in which city the development would be located.

**Discretionary Issue:** Moving city boundaries requires a comprehensive plan amendment. **Policy Issues for the City Councils:** A decision would need to be made regarding which city would gain the full parcel. Agreements would need to be put in place to determine costs and revenue sharing, utility services, permits and inspection jurisdictions, and etc.

**Rezoning:** The closest zoning district that matches this type of use is the R-3B district. That district would require a maximum of 3,500 square feet per dwelling, which would mean the applicant would need about 4.5 acres for this use. Additionally, the maximum height in the R-3B district is 40 feet, which the applicant is unlikely to meet with a four-story building and underground parking access.



**Discretionary Issue:** The applicant would likely need a Planned Unit Development in order to propose the density that they would like to provide.

**Utilities:** Tonka Bay and Shorewood both have water mains in the vicinity of the building. Shorewood's main is on the south side of Smithtown and could be extended north to serve the development. Shorewood's water pressure is higher, which may be necessary for a building of this size.

There is a Metropolitan Council sewer main on the south side of County Road 19. The applicant could install an 8-inch public sewer main from their property to the private drive and across the street to connect to the Met Council sewer main. **Policy Issues for the City Councils:** The City Councils would need to decide which city would serve the new development.

**Traffic:** The applicant has provided some traffic information that shows that the dwellings that they build and the residents they attract are low traffic generators, about 3.24 trips per dwelling (about 182 trips per day for a 56-unit building). The table to the right includes other residential uses for comparison. All numbers shown in the table are from the most recent Institute for Traffic Engineers (ITE) Trip Generation Manual.

Use	Daily Trips per Dwelling
Senior Multiple-Family (proposed)	3.24
Senior Single-Family Houses	4.31
Low-Rise Apartments	6.74
Townhouses	7.2
Single-Family Houses	9.43

**Discretionary Issue:** While the senior cooperative would likely produce fewer trips than other types of residential uses, staff recommend the applicant provide a traffic study with any comprehensive plan amendment application to verify the impact on the area's intersections.

**Access:** At present, the developer is showing two access points, the westerly access is from the Tonka Bay shopping center's private drive and the easterly accesses the Shorewood public works' building driveway. The applicant would need to provide documentation that they have easement, covenants, or by other agreement have rights to the westerly access. The easterly access, being a private driveway, would require a shared access agreement and/or covenant for maintenance. **Policy Issue:** The Shorewood City Council would need to approve an agreement and/or covenants to share costs to maintain the driveway.

**Parking:** The applicant proposes 111 parking spaces for vehicles (garage and surface parking), where the zoning regulations would require 112. The applicant would likely be able to redesign their parking layout to add the one additional parking space that would be required. The applicant also shows that they would have areas for bicycle storage, which would be very appropriate for this location which is close to the Lake Minnetonka LRT Regional Trail.

**Stormwater:** Due to the size of the project, the applicant would be required to provide treatment of storm water run-off as well as volume and rate control. Full details on the storm water plan are required to be provided with any formal application and the applicant's proposal must be consistent with City and Minnehaha Creek Watershed District regulations. Providing stormwater features could impact the site plan if the applicant uses ponds, infiltration basins, etc.

## FUTURE STEPS:

Should the applicant come forward with an application, they would need the following approvals:

- A comprehensive plan amendment to adjust the boundary between the two cities and to allow greater density.

- A rezoning to PUD to allow a multiple-family dwelling based on the R-3B district.
- A PUD application with potential flexibility for lot area, height, import/export of material (if needed), etc. with a development agreement.
- A plat (if needed).

Some of the above applications may be submitted together.

#### **ATTACHMENTS**

Location Map

Applicant's Narrative



Location Map  
24250 and 24320 Smithtown Road





## Memorandum

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To: Tonka Bay City Council/Shorewood City Council

From: Jacob W. Steen, Larkin Hoffman

Date: August 9, 2022

Re: Lifestyle Communities: Artesa Tonkawood

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Lifestyle Communities, LLC (“Lifestyle”) is proposing to develop the contiguous properties at 24320 and 24250 Smithtown Road (collectively, the “Property”) as an active adult cooperative with 56 owner-occupied units (“Project”). The combined Property is approximately 2.58 acres and straddles the municipal boundaries of the City of Tonka Bay (1.12 ac) and the City of Shorewood (1.46 ac).

In order to eliminate conflicts between redundant city processes, Lifestyle is requesting that the cities proceed under a joint powers agreement (JPA) under which they jointly exercise their collective powers governing development of the Property. The JPA will require both city councils to approve a JPA agreement that outlines responsibilities for the administration of the Project. Due to the City of Shorewood’s administrative and staff capacity, we recommend that the City of Shorewood administer the joint zoning powers under the agreement, as follows:

### Joint Administration of the Powers (City of Shorewood):

- Land use review, preparation of a staff report, and public hearings
- Building permit and construction code review
- Building and fire inspections
- Collecting and distributing fees
- Traffic and public works review

This will allow each city to retain its own zoning and taxing authority, while eliminating redundancies and reduce the burden on staff. Each city would still separately administer the following powers:

### Separate Administration (Both Cities):

- Rezoning and land use approvals (requires both cities to act)
- Public Works – Utilities review (if applicable)
- Taxation and assessments (based on a pro-rata formula)
- Review of cross easements over municipal boundary



## City of Shorewood Council Meeting Item

**Title/Subject:** Primary Election and Candidate Filing Update  
**Meeting Date:** Monday, August 22, 2022  
**Prepared by:** Sandie Thone, City Clerk/HR Director  
**Reviewed by:** Brenda Pricco, Deputy City Clerk

10(A)1

MEETING TYPE  
Regular Meeting

**August 9, 2022 Primary Election Update:** The Primary Election was held on August 9, 2022 at three precincts in the City of Shorewood. The City of Shorewood currently has the following four precincts but the precinct located in Cathcart Park, Carver County, has no residents.

- Precinct 1: Minnewashta Church at 26710 West 62<sup>nd</sup> Street
- Precinct 2: Shorewood Community and Event Center at 5735 Country Club Road
- Precinct 3: Excelsior Covenant Church at 19955 Excelsior Blvd
- Precinct 4: (Cathcart Park - Carver County)

**Voters registered at 7:00 a.m. the day of the Primary were as follows:**

Precinct 1: 1929 Registered Voters  
Precinct 2: 2735 Registered Voters  
Precinct 3: 1290 Registered Voters  
Total: 5954 Registered Voters 7:00 a.m. Election Day (5707 in 2020 Primary)

**Voters Voting on Election Day in Shorewood**

Precinct 1: 332 Voters  
Precinct 2: 449 Voters  
Precinct 3: 241 Voters  
Total: 1022 Voters voted on Election Day (897 Voters 2020 Primary)

**Voters Voting by Absentee Ballot (Mail-In and In-Person)**

Total: 155 Voters voted Absentee (922 Voters in 2020 Primary)

**Total Voter Turnout Election Day, In-Person and Absentee**

Total: 1177 Voters in the Primary (1819 Voters in 2020 Primary)

**Candidates Filing for City Council:** Four candidates filed for two (2) City Council seats that will be on the ballot in November. The following candidates are running for city office for a Four-Year Term (January 2023 through December 2026) (in alphabetical order):

City Council (2):  
Nat Gorham  
Dustin Maddy  
Guy Sanschagrin  
Sarah St. Louis

**Election Judges and Election Staff:** We had 42 Election Judges from the community working the Primary Election, including many new judges! We are so grateful to the residents in the community who came forward to serve in this year's Primary. The new judges provided excellent support and rounded out some great teams in each of Shorewood's three newly formed precincts as a result of redistricting earlier this year. A big shout out for their dedication and hard work!

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**Mission Statement:** *The City of Shorewood is committed to providing residents quality public services, a healthy environment, a variety of attractive amenities, a sustainable tax base, and sound financial management through effective, efficient, and visionary leadership.*

***Behind the Scenes and Front and Center!*** Undertaking elections is no small feat and there are many people working tirelessly behind the scenes and out front to thank. Shorewood Election Judges, Shorewood Elections Staff, Public Works employees delivering voting equipment and setting up the day before and picking up the day after. Special Thanks to the following for all of your hard work, positive attitude, and commitment to this year's Primary Election:

<b>CITY ELECTIONS STAFF</b>	<b>PUBLIC WORKS STAFF</b>
Brenda Pricco Nelja Criswell Miechelle Norman Julie Moore	Chris Heitz Tim Kosek Rob Hanson Bruce Stark Matt VanLith

<b>ELECTION JUDGES PRECINCT 1</b>	<b>PRECINCT 2</b>	<b>PRECINCT 3</b>
Jane Stein Tena Brandhorst Dianne Aslesen Catherine Demars Court Queen Martha Snyder Michael Kovalesky Pamela McDonald Janice Zumsteg Carol Paulsen Karen Burmeister Joanne Schmid Patricia Wolff Laura Doten	Laurie Sacchet Anne Straka-Leland Annie Paul Karen Boynton Ralph Ballard Elizabeth Grover Kathleen Ostrom Dave Roy Brandi Hoffman Michael McDonald Lucy DeHaan Maureen Sheehan-Fischer Robert Page Julie Zumsteg Marilyn Gagne	Ken Huskins Roxanne Martin Colleen Fischer Phyllis Skinner Elaine Love Gordon Levack Bill Erickson James Berdahl Charles Niles Anne Rivers-Ditsch Kathleen Miller-Liu Patricia Kovalesky David Suggs

**Action Requested:** No action – Informational Purposes Only

**Connection to Vision/Mission:** Consistency in providing residents quality public services, a healthy environment, a variety of attractive amenities, a sustainable tax base, and sound financial management through effective, efficient, and visionary leadership.



## City of Shorewood Council Meeting Item

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**10A.2**

MEETING TYPE  
Regular Meeting

**Title / Subject:**           **Fall Paper Shred Event Scheduled**  
**Meeting Date:**           August 22, 2022  
**Prepared by:**           Julie Moore, Communications and Recycling Coordinator  
**Reviewed by:**           Sandie Thone, HR Director and City Clerk

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Each year, the city offers two free paper shredding events in the city hall parking lot. The spring event was very popular in 2022, with close to 10,000 pounds of paper shredded and recycled. The fall paper shredding event is scheduled for 9 a.m. to 12 p.m., Saturday, October 22. This day was chosen because no football games are scheduled for Badger Park, which is necessary due to the traffic and parking needs.

The event will be promoted through the city newsletter, website, social media, and Constant Contact emails. City staff has already received several calls inquiring about this popular event.

Council members and commissioners are invited to attend and assist with unloading cars for the event.

**Action Requested:** No action is required at this time.

**Connection to Vision/Mission:** Consistency in providing residents quality public services, a healthy environment, a variety of attractive amenities, a sustainable tax base, and sound financial management through effective, efficient, and visionary leadership.

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