

A G E N D A

CALL TO ORDER

ROLL CALL / (LIAISON) SCHEDULE

MADDY () _____
EGGENBERGER () _____
HOLKER () _____
RIEDEL (NOV) _____
HUSKINS (DEC) _____
COUNCIL LIAISON SIAKEL (JAN-JUNE) _____
COUNCIL LIAISON GORHAM (JULY-DEC) _____

1. APPROVAL OF AGENDA

2. APPROVAL OF MINUTES

- ♦ October 4, 2022

3. MATTERS FROM THE FLOOR

(This portion of the meeting allows members of the public the opportunity to bring up items that are not on the agenda. Each speaker has a maximum of three minutes to present their topic. Multiple speakers may not bring up the same points. No decisions would be made on the topic at the meeting except that the item may be referred to staff for more information or the City Council.)

4. PUBLIC HEARINGS

A) Conditional Use Permit for a collocation of AT&T antennas on existing tower

Applicant: SMJ International, LLC

Location: 24283 Smithtown Road

B) Comprehensive Plan Amendment and Zoning Map Amendment (Concurrent Detachment/Annexation with Chanhassen)

Applicant: Carl Zinn

Location: 6200 Cardinal Drive (3411723440052)

5. OTHER BUSINESS

- ##### A) Liaisons for Council meetings on January 23 and February 27 (Dates are tentative until 2023 City Council calendar is adopted)

6. REPORTS

A) Council Meeting Report

B) Draft Next Meeting Agenda

7. ADJOURNMENT

CITY OF SHOREWOOD
PLANNING COMMISSION MEETING
TUESDAY, OCTOBER 4, 2022

COUNCIL CHAMBERS
5755 COUNTRY CLUB ROAD
7:00 P.M.

DRAFT MINUTES

CALL TO ORDER

Chair Maddy called the meeting to order at 7:00 P.M.

ROLL CALL

Present: Chair Maddy; Commissioners Eggenberger, Riedel, Huskins and Holker; Planning Technician Carlson; and, Council Liaison Gorham

Absent: None

1. APPROVAL OF AGENDA

Riedel moved, Huskins seconded, approving the agenda for October 4, 2022, as presented. Motion passed 5/0.

2. APPROVAL OF MINUTES

- September 20, 2022

Eggenberger moved, Holker seconded, approving the Planning Commission Meeting Minutes of September 20, 2022, as presented. Motion passed 5/0.

3. MATTERS FROM THE FLOOR

There were no comments.

4. PUBLIC HEARINGS - NONE

Chair Maddy explained the Planning Commission is comprised of residents of the City of Shorewood who are serving as volunteers on the Commission. The Commissioners are appointed by the City Council. The Commission's role is to help the City Council in determining zoning and planning issues. One of the Commission's responsibilities is to hold public hearings and to help develop the factual record for an application and to make a non-binding recommendation to the City Council. The recommendation is advisory only.

A. PUBLIC HEARING – CONDITIONAL USE PERMIT FOR COLLOCATION OF ANTENNAS ON EXISTING TOWER

Applicant: SMJ International, LLC

Location: 24283 Smithtown Road

Request for continuance to November 1, 2022

Planning Technician Carlson stated that this application is from T-Mobile and explained that Planning Director Darling had asked the Commission to continue the public hearing to November 1, 2022 because some revisions to the application were necessary. He clarified that the staff presentation will take place at the November 1, 2022 meeting.

Chair Maddy opened the Public Hearing at 7:04 P.M. Being there was no public comment, he closed the Public Hearing at 7:04 P.M.

Riedel moved, Huskins seconded, to Continue the Public Hearing for the Conditional Use Permit for Collocation of Antennas on Existing Tower for SMJ International, LLC located at 24283 Smithtown Road to the November 1, 2022 Planning Commission meeting. Motion passed 5/0.

5. NEW BUSINESS

A. Variance for Grading in the Shore Impact Zone

Applicant: Karen Kinzie

Location: 27190 Edgewood

Planning Technician Carlson gave an overview of the variance application to allow for grading in the shore impact zone. He gave an overview of what a shore impact zone is and explained that for this property, it is 25 feet from the ordinary high-water level of the lake. He noted that the existing home was built by the previous property owner in 1986 and shortly after it was built, City staff started receiving complaints that they were filling the shore impact area and within the floodplain and were creating berms and raising grades on the site. He explained that by the time City staff discovered the violations, the grading was extensive and the City Council, in 1987, approved a variance to allow for the fill to remain on the property. He stated that the current applicant is proposing to grade within 20 feet or closer to the original high-water line and are proposing to regrade and remove the berms that would allow for water to flow away from the home in a more natural way. He stated that this situation is unique because the berms were constructed by the previous property owner. Staff has requested that the applicant revise their plans to be consistent with their narrative and also for revised plans based on elevations that show all topographical changes, placement, and type of erosion control as well as dimensions between the locations of the proposed activity and the shore impact zone, the original high-water line, and the floodplain. He noted that the applicant has submitted a revision, however it was too close to the meeting, so a full staff review of the information was not possible. He noted that this full staff review would be done prior to the City Council meeting. Staff recommends approval subject to the conditions listed in the staff report.

Commissioner Riedel stated that from the applicant's narrative, correcting drainage sounds reasonable but creation of a more level lawn did not necessarily sound reasonable. He stated that the drainage problems were not really discussed in the narrative nor were they very apparent from looking at the topographical maps. He asked if staff or the City Engineer had weighed in on the drainage problems.

Planning Technician Carlson reviewed the aerial photos and explained that drainage issues that have been reported by the applicant.

Commissioner Riedel stated that in 1986 it appears as though there was a code infringement, an after the fact complaint, and then an after the fact variance granted. He stated that he understands that it was a previous owner and asked if staff had any other information on that situation.

Planning Technician Carlson explained that Planning Director Darling handled much of the research on this application but can find this information prior to the Council meeting.

Commissioner Holker stated that she is trying to figure out if the proposed changes get it back to what would be considered within Code. She asked if this plan had been done initially, in 1986, if there would have been a need for a variance.

Commissioner Huskins stated that he believed that it would, at least for the setback, because it is only 20 feet rather than the 25 feet that it should be.

Commissioner Holker asked if this proposal would improve the situation near the lake, even if it was not within Code.

Planning Technician Carlson stated that he would say because an artificial obstruction was created in 1986, that the recent proposal would improve the situation.

Commissioner Riedel stated that he did not think that was at all the situation in this case and comes down to you were not allowed to do grading in 1986 without a permit and you are not allowed to do grading in 2022 without a permit. He stated that it is the activity and not the fact that something is in or out of Code.

Commissioner Holker stated that makes perfect sense to her, but with the staff recommendation to allow this variance request, she would like to have an understanding of whether things would be in better shape after the work is done.

Planning Technician Carlson stated that the recent proposal would improve the drainage.

Commissioner Huskins stated that staff's recommendation stated that this represents the minimum required to alleviate the issue but it sounds like it may be more work than what is actually necessary. He stated that his question would be what if the only thing that was done was removal of the berms.

Planning Technician Carlson stated that once the staff examines the revised survey, in the narrative they will be able to see the contour lines more accurately.

Chair Maddy stated that he thinks the Commission can generally conclude, with the recent proposal, that the slope towards the lake will be reduced which will slow down the run-off.

Commissioner Huskins stated that he does not know that to be true.

Planning Technician Carlson stated that, in his opinion, the run-off would be slowed down with the proposed regrading.

Kevin Kinzie, 27190 Edgewood Road, stated that if the berms had not been created by the previous owner, he would not be here before the Commission. He explained that the only thing they are trying to accomplish is to get natural drainage and noted that their neighbors have said the same thing. He stated that they are just trying to get water to drain away from the house. He reviewed photos of the area and explained where the drainage problems have been located and reiterated that he was just trying to go back to what nature had in place prior to the work by the previous owners.

Chair Maddy asked that the photos just reviewed by Mr. Kinzie be added to the record because they show, much more clearly, the situation related to the application.

Mr. Kinzie explained that if this work is not allowed by the City it will not be the end of the world, but they are just trying to find a solution that works better for them as well as the City.

Commissioner Riedel confirmed with Mr. Kinzie that the fill would be removed from the property.

Commissioner Huskins asked if he had read the information correctly that Mr. Kinzie was planning to do some grading near his home on the east and south side.

Mr. Kinzie explained that they had been approved for a building permit to do external work on the home. He stated that there will not be grading, but they will be re-sodding that area.

Commissioner Eggenberger asked if Mr. Kinzie had looked at all of the recommendations from staff.

Mr. Kinzie stated that he has seen all of them and believes his landscaper has also seen them and was fine with them all.

Commissioner Riedel asked if Mr. Kinzie was planning to complete this work before frost.

Mr. Kinzie explained that it would depend on the City but is hopeful that they will be able to lay sod this year.

Chair Maddy asked if there was anyone present who would like to speak to this application. There being no comment, Chair closed the public input portion of the meeting at 7:25 p.m.

Commissioner Riedel stated that he has been reassured by the statements made by the applicant and feels this request seems imminently reasonable. He stated that from a Planning Commission perspective, he does not like the sequence of events of there being a wrong, a variance being granted, and then another variance granted to correct the wrong.

Commissioner Eggenberger stated that he does not see anything wrong with recommending approval of this request, subject to the staff recommendations. He stated that there are no neighbors present that are in opposition to this request and staff is also recommending approval.

Commissioner Huskins stated that he agrees but is concerned that the Commission does not know what the City Council will ultimately see since the recently submitted information was not received in time for full review. He stated that he cannot give a strong 'yes' unless there is a statement within the conditions that says that there will be information that the Council sees that the Commission had not.

Commissioner Riedel clarified that he was referring to the proper engineering and grading plans.

Commissioner Holker stated that based on what the Commission has seen thus far, she would approve what is being presented.

Chair Maddy suggested that they could add some language to the motion that as long as there are not any large differences from what has been presented.

Commissioner Huskins asked if the Planning Commission could request that it come back to them if it should turn out that there is something more.

Chair Maddy noted that the Council can choose to send it back to the Commission.

Commissioner Eggenberger noted that the Council has the ultimate decision either way and they will have the updated information by their meeting.

Eggenberger moved, Riedel seconded, to recommend approval of the variance request to grade in the shore impact zone for property located at 27190 Edgewood Road, assuming that there will be no material differences in what was presented to the Commission, and subject to the conditions as listed in the staff report. Motion passed 5/0.

6. OTHER BUSINESS

7. REPORTS

- **Council Meeting Report**

Council Liaison Gorham reported on matters considered and actions taken during the Council's recent meetings.

- **Draft Next Meeting Agenda**

Planning Technician Carlson gave an overview of the draft meeting agenda to revisit the CUP for collocation of antennas on the existing tower at 24283 Smithtown Road. He noted that the City has received a lot of incomplete applications, so he was not sure how many would be completed by the next meeting.

Council Liaison Gorham asked if the Commission had set their work plan goals for 2023 yet.

Chair Maddy stated that they had not and noted that it usually happens over the winter months.

The Commission briefly discussed some items to include in their work plan for 2023, including: code clean up; signage; and fencing.

Chair Maddy suggested that if the Commission thinks of other items to include on the work plan to let Planning Director Darling know.

Commissioner Riedel noted that he is thinking of retiring when his term ends and explained that he will let Planning Director Darling know so she is aware of the possibility that he may be leaving. He gave a suggestion for a change in how the Planning Commissioners give their update to the City Council that he felt would be a bit more efficient.

Council Liaison Gorham stated that he will bring this idea up to the Council and City staff.

8. ADJOURNMENT

Riedel moved, Huskins seconded, adjourning the Planning Commission Meeting of October 4, 2022, at 7:45 P.M. Motion passed 5/0.



CITY OF SHOREWOOD

5755 Country Club Road • Shorewood, Minnesota 55331 • 952-960-7900
www.ci.shorewood.mn.us • cityhall@ci.shorewood.mn.us

MEMORANDUM

TO: Planning Commission, Mayor and City Council

FROM: Marie Darling, Planning Director

MEETING DATE: November 15, 2022

APPLICANT: SMJ International LLC (on behalf of AT&T)

REQUEST: **C.U.P. for Collocation of Telecommunication Antennas**

LOCATION: 24283 Smithtown Road

REVIEW DEADLINE: February 15, 2022

LAND USE CLASSIFICATION: Commercial

ZONING: C-1

FILE NO.: 22.12

REQUEST

The applicant, on behalf of AT&T, proposes to add six telecommunication antennas, radio receiving units (RRUs), and various other equipment with a new triangular array on the existing tower. They would also add new accessory ground equipment on a metal equipment platform within the existing fenced area at the base of the tower. This application will require separate reinforcements to the tower as shown on the plans.



Notice of this application was published in the City's official newspaper and mailed to all property owners within 500 feet of the property at least 10 days prior to the public hearing.

BACKGROUND

Context: The property is currently developed with a car dealership. The existing tower is located behind the dealership and accessory building. It is designed as a monopole at 155 feet tall. It was originally built in 1983 as a tower for telephone switching equipment. Since 1988, it has been used for cell antennas. Antennas have been installed and replaced several times since then.

The properties to the south are all owned by the City of Shorewood as part of the Badger Park/City Hall/CEC complex and zoned R-1C. The properties to the east and west of the subject site are zoned C-1

and developed with a gas station and a building under renovation for an office use. The properties to the north are within the City of Tonka Bay and developed with retail center and a chocolate shop.

ANALYSIS

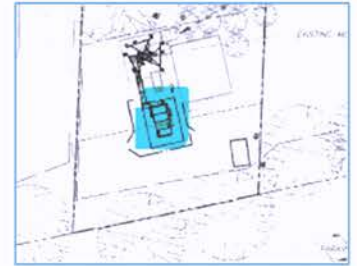
The Request

The applicant would install a new triangular platform and array at about 115 feet above grade (about center-point of the new antennas). The cables connecting the antennas and RRU's to the ground equipment would be placed inside the tower running between the tower equipment to an ice bridge, then extend to the equipment cabinet. Additional supports would need to be added to the tower to sustain the weight of the tower.



View of equipment area looking east

As shown on the attached plans and to the right, the ground equipment would be placed in an expansion of the existing fenced area. The ground equipment and an accessory generator would be placed on a 15-foot by 20-foot equipment platform south of another provider's equipment and west of the existing accessory building. The applicant proposes an ice bridge to protect the cables between the tower and the accessory ground equipment.



All CUP applications for antennas are reviewed according to the standards listed in section 1201.04 Subd. 1. of the zoning regulations, which include the standard criteria for conditional use permits:

- Consistent with the City's Comprehensive Plan
- Compatible with present and future land uses in the area
- Will not tend to or actually depreciate the area in which it is proposed
- Proposed use can be accommodated with existing public services and will not overburden the City's service capacity
- Conform to applicable regulations in 1201.03 Subd. 21 (Telecommunications towers and facilities) and other sections of the zoning regulations as may be applicable

Findings

Comprehensive Plan/Zoning Ordinance: Staff finds that the application is consistent with the intent of the Comprehensive Plan and Zoning Ordinance to encourage additional antennas on existing structures rather than to have additional freestanding towers constructed.

Ensure that facilities are compatible with surrounding land uses: The applicant has proposed an industrial look for the equipment including the long galvanized ice bridges. The property is zoned commercial and the area around the tower redeveloping and improving, including the park property to the south. Although there is some minimal landscaping around the property, the view into the area is open throughout the year, but especially from fall through mid-spring.

The industrial nature of the proposed equipment could impact the redevelopment of the surrounding properties. To reduce the impact of the increasing amount of ground equipment in the area, staff recommend eliminating the ice bridges proposed to protect the cabling. Instead, staff recommend the

cabling be connected to the ground equipment underground with a doghouse covering over the connection point on the tower.

All the ground equipment should be painted or factory coated dark brown to blend into the accessory building directly adjacent to the applicant's equipment.

Staff is also concerned about the motion lights proposed on the ground equipment. They serve no purpose other than to attract attention to this area of the property. Staff recommends their removal from the project.

The tower is currently home to an osprey nest. Staff recommends a condition to any approval of the request which only allows the equipment to be added to the tower outside of nesting season.

Finish: The antennas and other attachments, added supports, and accoutrement on the tower should be painted to match the tower to reduce notice of the tower.

Screening: All the ground equipment should be painted or factory coated dark brown to blend into the accessory building on the site and any landscaping. The site includes a few mature deciduous trees between the city property and the tower area, but much of the cover is absent throughout the fall, winter and spring months. In addition, one of the trees has fallen and needs to be removed. Consequently, staff has added a condition that three coniferous trees at least six feet at planting be added to the area between the equipment enclosure and the rear property line.

Public Services: None needed.

RECOMMENDATION

Staff recommends approval of the conditional use permit subject to the following conditions:

1. The applicant must apply for and acquire, all necessary building permits prior to beginning any construction on the site and provide third-party inspectors.
2. The applicant shall install the new antennas and tower equipment outside of the nesting season.
3. Dead trees in the area between the rear property line and the equipment must be removed and 3 new coniferous trees at a minimum of six feet in height be added to the required rear yard area to reduce visibility of the area.
4. No lights shall be added to the tower unless required by the FAA and no lights shall be installed on the ground equipment.
5. Prior to approval of any permit, the applicant shall submit revised plans to indicate:
 - a. Three new coniferous trees added to the rear of the property.
 - b. The ground equipment lights removed from the plan.
 - c. The cables shall be installed underground and any doghouse added to the pole shall be painted or factory coated to match the tower.
 - d. Antennas and all equipment shall be factory coated or painted a similar color to the existing tower.
 - e. The ground equipment and ice bridge shall be factory coated or painted to match the dark brown accessory building.
6. All disturbance of the site shall be restored to preconstruction condition by the June 15, 2023.

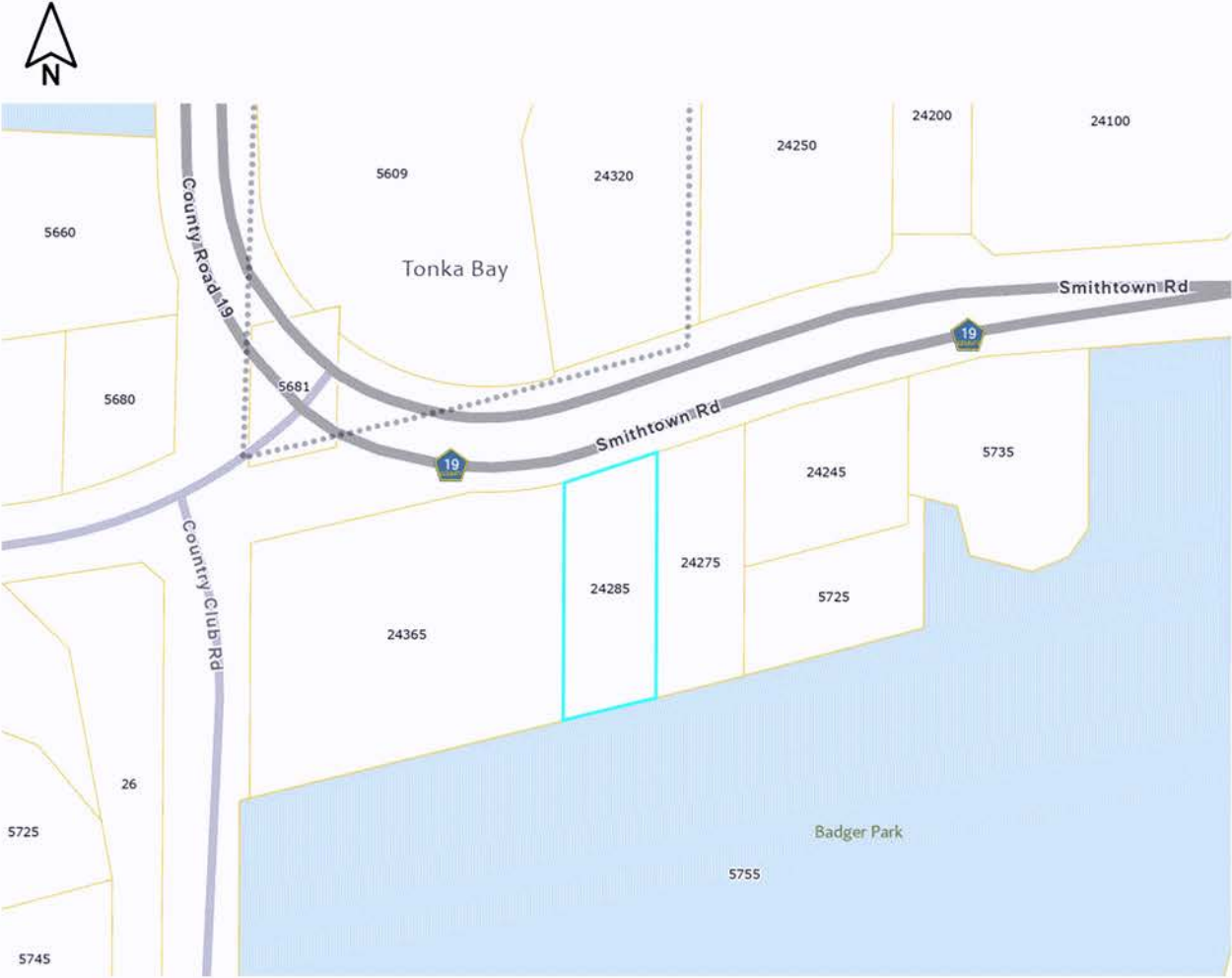
ATTACHMENTS:

Location Map

Applicant's Narrative and Plans

24285 Smithtown Road Location Map

(Tower is addressed as 24283 Smithtown Road)



City of Shorewood
Planning Department
5755 Country Club Road
Shorewood, MN 55331

August 25, 2022

RE: AT&T Antenna Upgrade at 24285 Smithtown Road [81418]

Dear Madam or Sir,

This is in reference to the AT&T proposed antenna upgrade at 24285 Smithtown Road.

The proposed project includes expanding the fenced compound to accommodate a new shelter, in which they will install equipment cabinets and a generator. They will also be installing new equipment and mounts on the existing tower.

This upgrade is in conformity with the Shorewood Zoning Ordinance, particularly the following:

Subd. 21. Telecommunications towers and facilities.

a. Purpose. The general purpose of this subdivision is to regulate the placement, construction and modification of telecommunications towers and facilities in order to protect the health, safety and welfare of the public, while complying with the provisions of the Federal Telecommunications Act of 1934, as amended by the Telecommunications Act of 1996. **The specific purposes of this subdivision are: Applicant acknowledges and will maintain site in compliance with all local, state and federal laws.**

(1) To regulate the location of telecommunications towers and facilities; **the proposed installation is an expansion of an existing facility. A new facility is not being proposed.**

(2) To protect residential areas and land uses from potential adverse impacts of telecommunications towers and facilities; **the proposed installation will have minimal impact on the existing area.**

(3) To minimize any adverse impacts of telecommunications towers and facilities through design, siting, landscaping and innovative camouflaging techniques; **the new installation will be aesthetically match the existing facility.**

(4) To promote and encourage shared use and co-location of telecommunications towers and antenna support structures; **AT&T's proposal is a co-location on an existing tower.**

(5) To avoid damage to adjacent properties caused by telecommunications towers and facilities by ensuring that those structures are soundly and carefully designed, constructed, modified, maintained and promptly removed when no longer used or when determined to be structurally unsound; **As part of this upgrade, structural reinforcements will be conducted to adequately ensure the structural integrity of the tower.**

(6) To ensure that telecommunications towers and facilities are compatible with surrounding land uses. **This is an existing facility. The manner and use of the facility will remain the same/unchanged.**

Please do not hesitate to contact me at 616-916-3062 with any questions or concerns.

Aaron Adelman
49030 Pontiac Trail, Suite 100
Wixom, MI 48393
Fax: **1-888-745-4719**
Email: **aadelman@smj-llc.com**

Respectfully,

Aaron Adelman

Aaron Adelman
SMJ International, LLC

PROJECT SUMMARY	SURVEYOR'S NOTES
FIELD SURVEY DATE: 02/19/2019 SITE ADDRESS: 24283 SMITHTOWN RD, EXCELSIOR, MN 55331-8874 PARCEL INFORMATION OWNER: FISH & SON PROPERTIES LLC OWNER ADDRESS 70 FLORENCE DR, DONKA BAY, MN 55331 APN: 3311723140005 INSTRUMENT NO.: T05450322 TOTAL AREAS PARENT PARCEL: 18,664± SQ. FT. OR 0.43± ACRES ATC LEASE AREA: 7,007± SQ. FT. OR 0.16± ACRES ACCESS EASEMENT - AS PROVIDED: 1,689± SQ. FT. OR 0.04± ACRES ACCESS EASEMENT - AS SURVEYED: 2,534± SQ. FT. OR 0.06± ACRES GEOGRAPHIC COORDINATES OF TOWER LATITUDE: 44°54'00.988" N LONGITUDE: 93°35'16.562" W VERTICAL DATUM: NAVD 1988 HORIZONTAL DATUM: NAD83 GROUND ELEVATION: 978.9 COORDINATES ARE BASED ON MINNESOTA STATE PLANE COORDINATES, SOUTH ZONE, HENNEPIN COUNTY PROJECTION. BEARINGS ARE BASED ON MINNESOTA STATE PLANE COORDINATES, SOUTH ZONE, HENNEPIN COUNTY PROJECTION. FLOODPLAIN PER THE FEMA FLOODPLAIN MAP, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X. COMMUNITY PANEL NO.: 27053C0314F DATED: 11/04/2016 BOUNDARY NOTE THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PARENT TRACT. ANY PARENT TRACT PROPERTY LINES SHOWN HEREON ARE FROM SUPPLIED INFORMATION AND ARE NOT FIELD VERIFIED. ENCROACHMENT STATEMENT AT THE TIME OF THE SURVEY THERE WERE VISIBLE ENCROACHMENTS AS FOLLOWS: A. THE FENCE ALONG THE WESTERLY ENCROACHES BEYOND THE PARENT PARCEL. B. THE ACCESS EASEMENT AS PROVIDED GOES THROUGH A CURB ISLAND WHICH WOULD BE REMEDIED BY THE AS-SURVEYED ACCESS EASEMENT SHOWN HEREON.	1. THERE IS ACCESS TO THE SUBJECT PROPERTY VIA AN ACCESS EASEMENT - AS SURVEYED TO SMITHTOWN ROAD, A PUBLIC RIGHT OF WAY. 2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THE SURVEY ARE FROM VISIBLE SURFACE EVIDENCE ONLY. 3. AT THE TIME OF THIS SURVEY THERE WAS NO OBSERVABLE SURFACE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS. 4. AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THE SUBJECT PROPERTY BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL. 5. AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF ANY RECENT CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION. 6. AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF ANY RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. 7. THIS SURVEY WAS PREPARED TO SHOW THE INTERESTS OF AMERICAN TOWER CORPORATION AND IMPROVEMENTS PROXIMAL TO SAID INTERESTS. IT DOES NOT CONSTITUTE AN AS-BUILT SURVEY OF THE ENTIRE PARENT PARCEL. 8. ALL BEARING AND DISTANCE CALLS ARE MEASURED UNLESS OTHERWISE NOTED. 9. UNLESS OTHERWISE SPECIFIED, UTILITY POLES DID NOT IDENTIFY OWNERSHIP. 10. AT THE TIME OF THIS SURVEY THERE WAS SIGNIFICANT SNOW COVER. THERE MAY BE IMPROVEMENTS THAT EXIST BUT ARE NOT SHOWN ON SURVEY DUE TO THE SNOW COVER.
ZONING INFORMATION	
	ZONING INFORMATION NOT PROVIDED AT TIME OF SURVEY.

LEGAL DESCRIPTION

PARENT PARCEL - AS PROVIDED (per Coral Report)
That part of Lot 27, Auditor's Subdivision Number One Hundred Thirty-three (133), Hennepin County, Minnesota, described as beginning at the Southeast corner of Block 1, SENN ADDITION, thence along the Easterly extension of the Southerly line of said Block 1 a distance of 85 feet, thence Northerly parallel with the East line of said Block 1 to the Northerly line of said Lot 27, thence Westerly along said Northerly line to the East line of said Block 1, thence Southerly along said East line to the point of beginning. Contains 18,664±/- SQ. FT. or 0.43±/- Acres.

ATC LEASE AREA - AS PROVIDED & AS SURVEYED (Per Memorandum of Amendment No. 2 to Option-Lease Agreement Inst. No. 3597900)
The southerly 85.00 feet of the following described property (said 85.00 feet being measured along the east and west lines of the following described property): That part of Lot 27, Auditor's Subdivision Number One Hundred Thirty-three (133), Hennepin County, Minnesota, described as beginning at the Southeast corner of Block 1, Senn Addition, thence along the Easterly extension of the Southerly line of said Block 1 a distance of 85 feet, thence Northerly parallel with the East line of said Block 1 to the Northerly line of said Lot 27, thence Southerly along said Northerly line to the East line of said Block 1, thence Southerly along said East line to the point of beginning. Contains 7,007±/- SQ. FT. or 0.16±/- Acres.

ACCESS EASEMENT - AS PROVIDED (Per Memorandum of Amendment No. 2 to Option-Lease Agreement Inst. No. 3597900)
The westerly 12.00 feet of that part of Lot 27, Auditor's Subdivision Number One Hundred Thirty-three (133), Hennepin County, Minnesota, described as beginning at the Southeast corner of Block 1, Senn Addition, thence along the Easterly extension of the Southerly line of said Block 1 a distance of 85 feet, thence Northerly parallel with the East line of said Block 1 to the Northerly line of said Lot 27, thence Westerly along said Northerly line to the East line of said Block 1, thence Southerly along said East line to the point of beginning. Contains 1,689±/- SQ. FT. or 0.04±/- Acres.

ACCESS EASEMENT - AS SURVEYED
A 12.00 foot wide access easement over, under and across that part of Lot 27, Auditor's Subdivision Number One Hundred Thirty-three (133), Hennepin County, Minnesota, described as follows: Commencing at the Southeast corner of Block 1, SENN ADDITION, thence North 76 degrees 00 minutes 11 seconds East, assumed bearing, along the easterly extension of the Southerly line of said Block 1, a distance of 85.00 feet, thence North 00 degrees 07 minutes 11 seconds East, parallel with the East line of said Block 1, a distance of 202.12 feet, to the point of beginning of the easement to be described; thence continue North 00 degrees 07 minutes 11 seconds East, along said parallel line, 25.13 feet, to the southerly line of HENNEPIN COUNTY STATE AID HIGHWAY NO. 19, PLAT 57, thence South 74 degrees 55 minutes 27 seconds West, along last described southerly line, 12.43 feet, thence South 00 degrees 07 minutes 11 seconds West, parallel with said East line of Block 1, a distance of 113.13 feet, thence South 72 degrees 15 minutes 17 seconds West, 74.00 feet, to said East line of Block 1, thence South 00 degrees 07 minutes 11 seconds West, along said East line, 123.89 feet, to a point 85.00 feet northerly of said Southeast corner of Block 1, as measured along said East line, thence North 76 degrees 00 minutes 11 seconds East, parallel with said easterly extension of the Southerly line of Block 1, a distance of 12.37 feet, to a line drawn 12.00 feet easterly of, as measured at a right angle to and parallel with, said East line of Block 1, thence North 00 degrees 07 minutes 11 seconds East, along last described parallel line, 112.13 feet, thence North 72 degrees 15 minutes 17 seconds East, 74.00 feet, to the point of beginning. Contains 2,534±/- SQ. FT. or 0.06±/- Acres.

NOTES CORRESPONDING TO TITLE REPORT

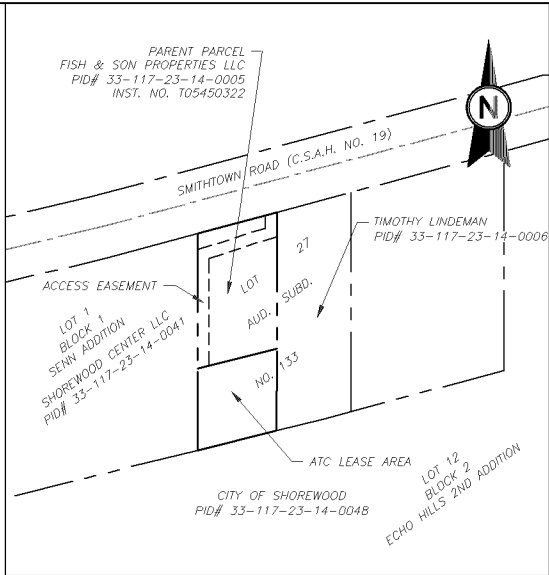
THE CORAL REPORT ISSUED BY LINCOLN ABSTRACT & SETTLEMENT SERVICES AS FILE NUMBER 19104669MN AND A SEARCHED FROM DATE OF 8/1/1979 TO 2/12/2019 CONTAINS THE FOLLOWING EXCEPTION ITEMS:

- Mortgages:**
Type: Mortgage
Mortgage: Bridgewater Bank
Mortgagor: Fish & Son Properties, LLC
Amount: \$150,000.00
Dated: September 19, 2018 Recorded/Filed: September 25, 2018
Document#: T05563359 (APPLIES TO PARENT PARCEL - AS PROVIDED)
Affected by:
1. Assignment of Rents recorded September 25, 2018 as Instrument Number T05563360 (APPLIES TO PARENT PARCEL - AS PROVIDED)
- Liens/Judgments:**
None Found of Record
- Lease/Easements:**
1. Option-Lease Agreement between Richard A. Moore and Chicago Title Insurance Co. dated January 15, 1982 and recorded December 21, 1982 as Instrument 4768906 (APPLIES TO PART OF PARENT PARCEL, REVISED BY INSTRUMENT NO. 3597900, NOT SHOWN ON SURVEY)
2. Option-Lease Amendment between Richard A. Moore and Colleen Moore and Chicago Title Insurance Co. dated October 11, 1983 and recorded November 8, 1983 as Instrument 4843529 (NO DESCRIPTION FOR LEASE AREA PROVIDED, PARKING EASEMENT AS SHOWN ON SURVEY)
3. Assignment and Assumption of Lease between Chicago Title Insurance Company and Minneapolis SMSA Limited Partnership dated September 28, 1984 and recorded April 18, 1985 as Instrument 4985882 (APPLIES TO PART OF PARENT PARCEL, REVISED BY INSTRUMENT NO. 3597900, NOT SHOWN ON SURVEY)
4. Ninety-Nine Year Lease between James J. Heiland and Jane C. Heiland and Richard A. Moore and Colleen Moore dated December 10, 1986 and recorded June 2, 1987 as Instrument 5274985 (APPLIES TO PART OF PARENT PARCEL, REVISED BY INSTRUMENT NO. 3597900, NOT SHOWN ON SURVEY, PARKING EASEMENT PER INSTRUMENT NO. 4843529 AS SHOWN ON SURVEY)
5. Memorandum of Amendment No. 2 to Option-Lease Agreement between Colleen Moore, Jeffrey C. Williams and Verizon Wireless (VAV) d/b/a Verizon Wireless dated August 30, 2002 and recorded September 5, 2002 in Book at Page as Instrument 3597900 (APPLIES TO ATC LEASE AREA AND ACCESS EASEMENT AS PROVIDED)
6. Memorandum of Amendment No. 3 between Fish & Son Properties, LLC and Verizon Wireless (VAV) LLC d/b/a Verizon Wireless dated November 14, 2008 and recorded February 4, 2009 as Instrument T4612476 (APPLIES TO PARENT PARCEL - AS PROVIDED)
7. There are no other leases or easements found of record.

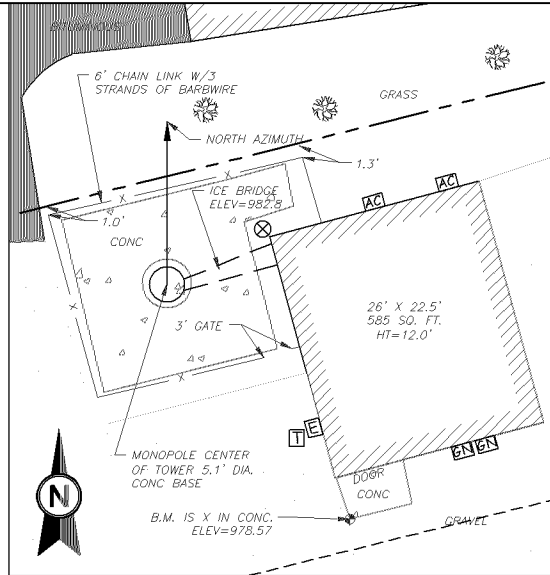
- Other:**
1. Matters set forth on Plat entitled Plat of Auditor's Subdivision Number 133 recorded December 8, 1924 in Book 82 at Page 120 (UNDERLYING PLAT)
2. Matters set forth on Plat entitled Echo Hills 2nd Addition recorded March 28, 1955 in Book 134 at Page 17 (ADJACENT PLAT)
3. Matters set forth on Plat entitled Plat of Hennepin County State Aid Highway recorded September 28, 1955 in Book 2243 at Page 688434 (RIGHT OF WAY PLAT FOR C.S.A.H. NO. 19)
4. Matters set forth on Plat entitled Senn Addition recorded October 2, 1990 as Instrument 9605 (ADJACENT PLAT)
5. Application to Register Title recorded May 31, 1994 as Instrument 6292964 (NO ITEMS TO PLOT)
6. Affidavit of Identity and Survivorship recorded January 6, 1995 as Instrument 6384494 (NO ITEMS TO PLOT)
7. Application to Register Title recorded April 18, 1995 as Instrument 2802560 (PARENT PARCEL AS PROVIDED)
8. Final Certificate of Condemnation recorded August 29, 2008 as Instrument 4525167 (HIGHWAY, DRAINAGE & UTILITY EASEMENT AS SHOWN ON SURVEY)



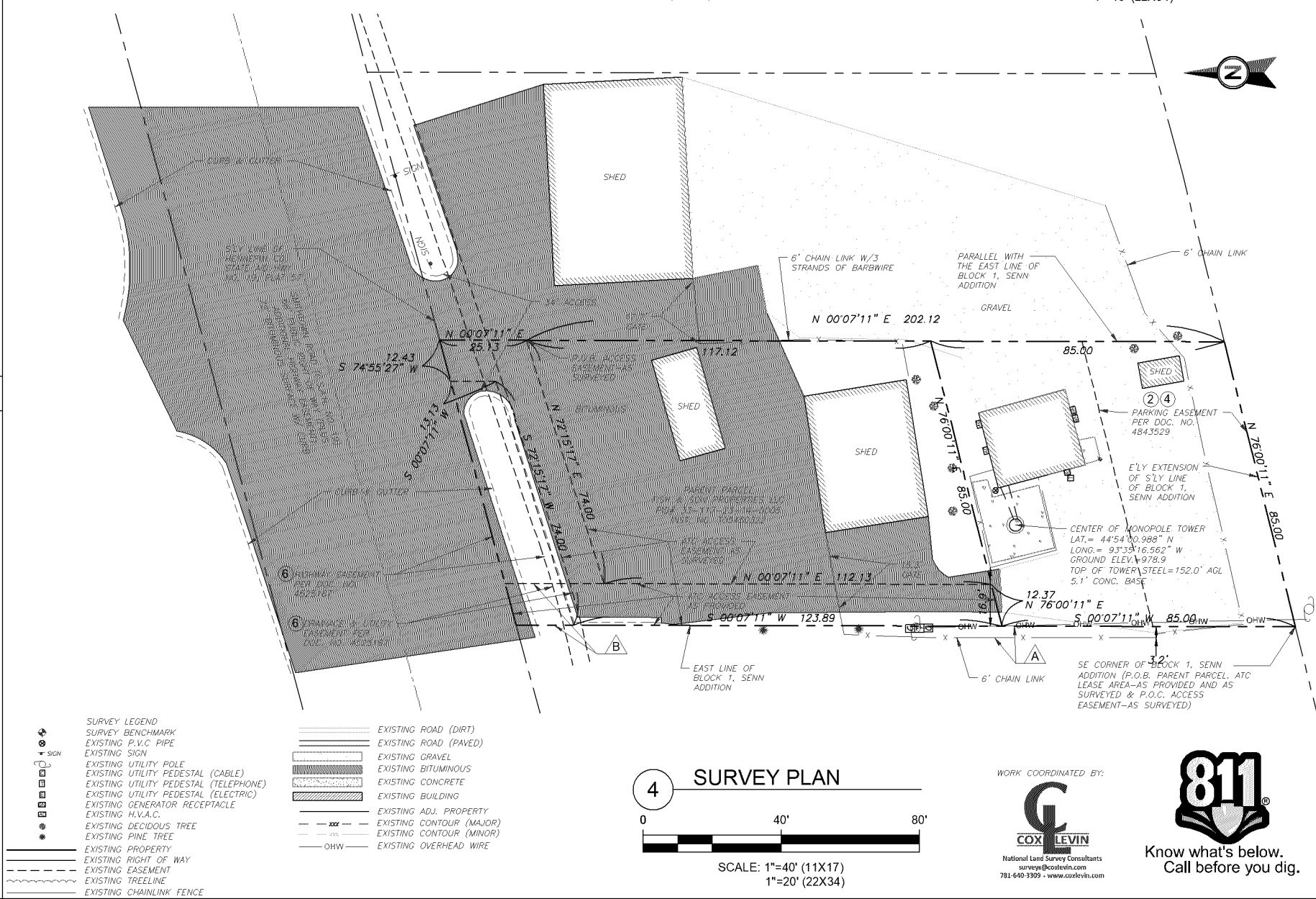
1 VICINITY MAP
NTS



2 PARENT PARCEL
PART OF LOT 27 OF AUD. SUBD. NO. 133
0 1000' 2000'
SCALE: 1"=1000' (11X17)
1"=500' (22X34)



3 COMPOUND DETAIL
0 20' 40'
SCALE: 1"=20' (11X17)
1"=10' (22X34)



PROJECT SUMMARY

FIELD SURVEY DATE: 02/19/2019

SITE ADDRESS: 24283 SMITHTOWN RD, EXCELSIOR, MN 55331-8874

PARCEL INFORMATION

OWNER: FISH & SON PROPERTIES LLC

OWNER ADDRESS 70 FLORENCE DR, TONKA BAY, MN 55331

APN: 3311723140005

INSTRUMENT NO.: T05450322

TOTAL AREAS:

PARENT PARCEL: 18,664± SQ. FT. OR 0.43± ACRES

ATC LEASE AREA: 7,007± SQ. FT. OR 0.16± ACRES

ACCESS EASEMENT - AS PROVIDED: 1,689± SQ. FT. OR 0.04± ACRES

ACCESS EASEMENT - AS SURVEYED: 2,534± SQ. FT. OR 0.06± ACRES

GEOGRAPHIC COORDINATES OF TOWER:

LATITUDE: 44°54'00.988" N LONGITUDE: 93°35'16.562" W

VERTICAL DATUM: NAVD 1988 HORIZONTAL DATUM: NAD83

GROUND ELEVATION: 978.9

COORDINATES ARE BASED ON MINNESOTA STATE PLANE COORDINATES, SOUTH ZONE, HENNEPIN COUNTY PROJECTION. BEARINGS ARE BASED ON MINNESOTA STATE PLANE COORDINATES, SOUTH ZONE, HENNEPIN COUNTY PROJECTION.

FLOODPLAIN

PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X.

COMMUNITY PANEL NO.: 27053C0314F DATED: 11/04/2016

BOUNDARY NOTE

THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PARENT TRACT. ANY PARENT TRACT PROPERTY LINES SHOWN HEREON ARE FROM SUPPLIED INFORMATION AND ARE NOT FIELD VERIFIED.

ENCROACHMENT STATEMENT

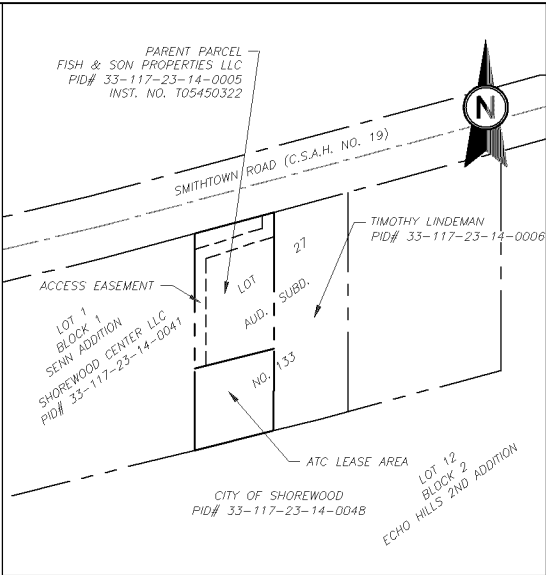
AT THE TIME OF THE SURVEY THERE WERE VISIBLE ENCROACHMENTS AS FOLLOWS:

A. THE FENCE ALONG THE WESTERLY ENCROACHES BEYOND THE PARENT PARCEL

B. THE ACCESS EASEMENT AS PROVIDED GOES THROUGH A CURB ISLAND WHICH WOULD BE REMEDIED BY THE AS-SURVEYED ACCESS EASEMENT SHOWN HEREON.



1 VICINITY MAP NTS



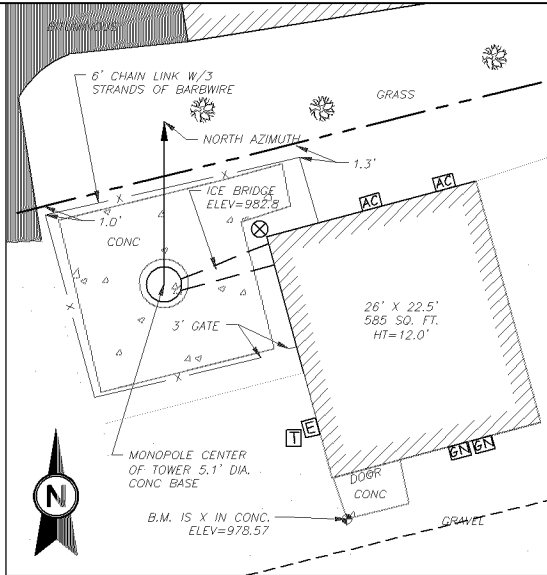
2 PARENT PARCEL

PART OF LOT 27 OF AUD. SUBD. NO. 133

0 1000' 2000'

SCALE: 1"=1000' (11X17)

1"=500' (22X34)

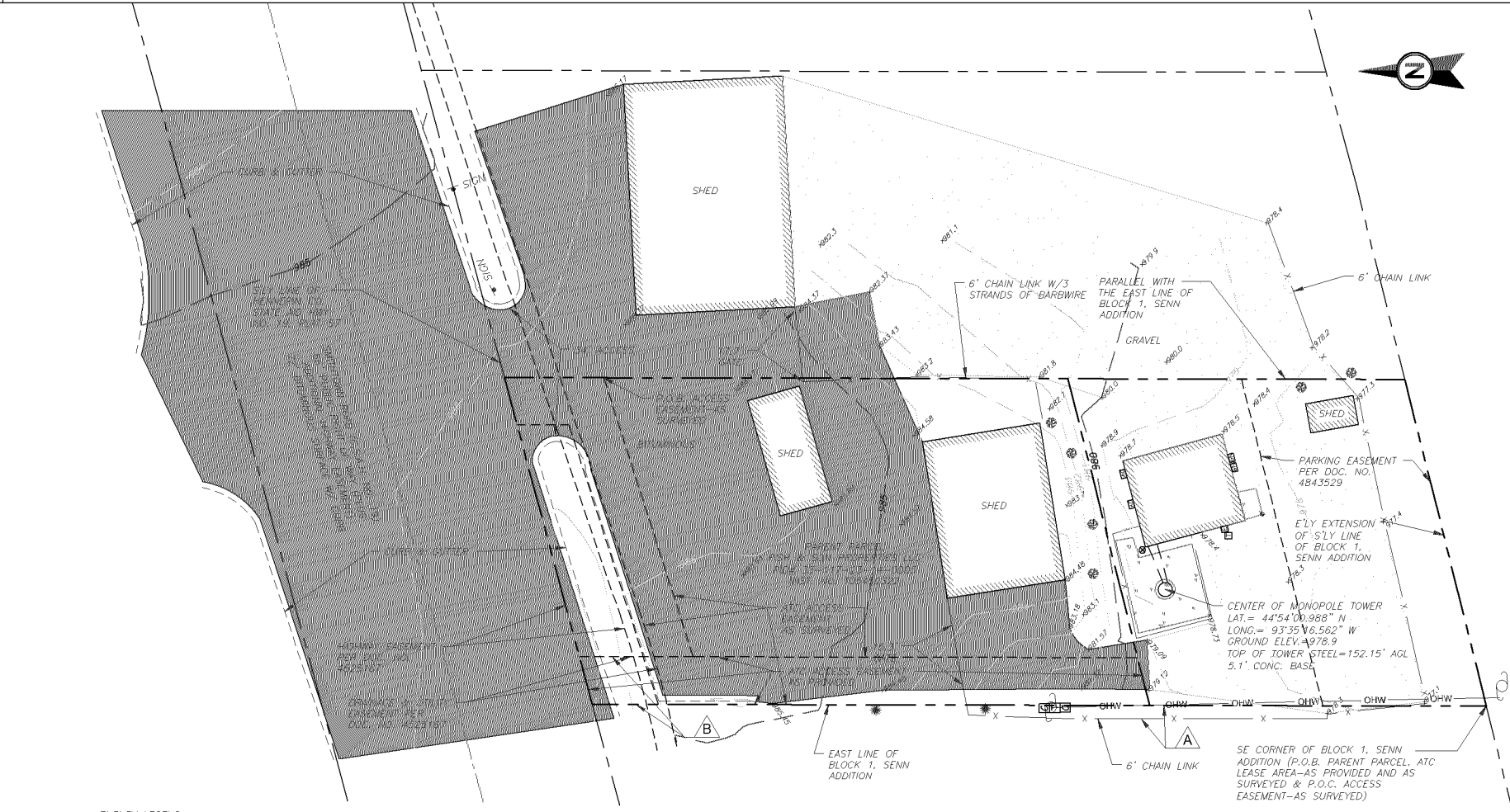


3 COMPOUND DETAIL

0 20' 40'

SCALE: 1"=20' (11X17)

1"=10' (22X34)



- SURVEY LEGEND
- SURVEY BENCHMARK
- EXISTING P.V.C PIPE
- EXISTING SIGN
- EXISTING UTILITY POLE
- EXISTING UTILITY PEDESTAL (CABLE)
- EXISTING UTILITY PEDESTAL (TELEPHONE)
- EXISTING UTILITY PEDESTAL (ELECTRIC)
- EXISTING GENERATOR RECEPTACLE
- EXISTING H.V.A.C.
- EXISTING DECIDUOUS TREE
- EXISTING PINE TREE
- EXISTING PROPERTY
- EXISTING RIGHT OF WAY
- EXISTING EASEMENT
- EXISTING TREELINE
- EXISTING CHAINLINK FENCE
- EXISTING ROAD (DIRT)
- EXISTING ROAD (PAVED)
- EXISTING GRAVEL
- EXISTING BITUMINOUS
- EXISTING CONCRETE
- EXISTING BUILDING
- EXISTING ADJ. PROPERTY
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- EXISTING OVERHEAD WIRE

4 SURVEY PLAN

0 40' 80'

SCALE: 1"=40' (11X17)

1"=20' (22X34)

WORK COORDINATED BY:

COX LEVIN

National Land Survey Consultants

survey@colexin.com

781-640-3309 • www.colexin.com

811

Know what's below.
Call before you dig.

AMERICAN TOWER®

ATC TOWER SERVICES, INC.

3500 REGENCY PARKWAY

SUITE 100

CARY, NC 27518

PHONE: (919) 468-0112

FAX: (919) 466-5415

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
0	PRELIM	BCO	02/20/19
1	REVISIONS	DMS	03/15/19
2	FINAL	BCO	05/14/19

ATC SITE NUMBER:

81418

ATC SITE NAME:

SHOREWOOD MN

SITE ADDRESS:

24283 SMITHTOWN RD.

EXCELSIOR, MN 55331

SURVEY CERTIFICATE:

THIS IS TO CERTIFY THAT O'MALLEY & KRON LAND SURVEYORS, INC. AT THE REQUEST AND FOR EXCLUSIVE USE OF AMERICAN TOWER CORP., HAS PERFORMED THIS AS-BUILT SURVEY OF THE LEASE AREA, FROM THE RECORD SOURCES AND ACTUAL FIELD SURVEY ON 2/19/2019 IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS. ALL LINEAR AND ANGULAR VALUES SHOWN ARE BASED UPON DEED OR RECORD INFORMATION UNLESS OTHERWISE NOTED.

(SIGNED) BENJAMIN C. O'MALLEY

MINNESOTA REGISTRATION 42300

SURVEY LOGO:

O'MALLEY & KRON LAND SURVEYORS, INC.

1004 2ND STREET SE

WILLMAR, MN 56201

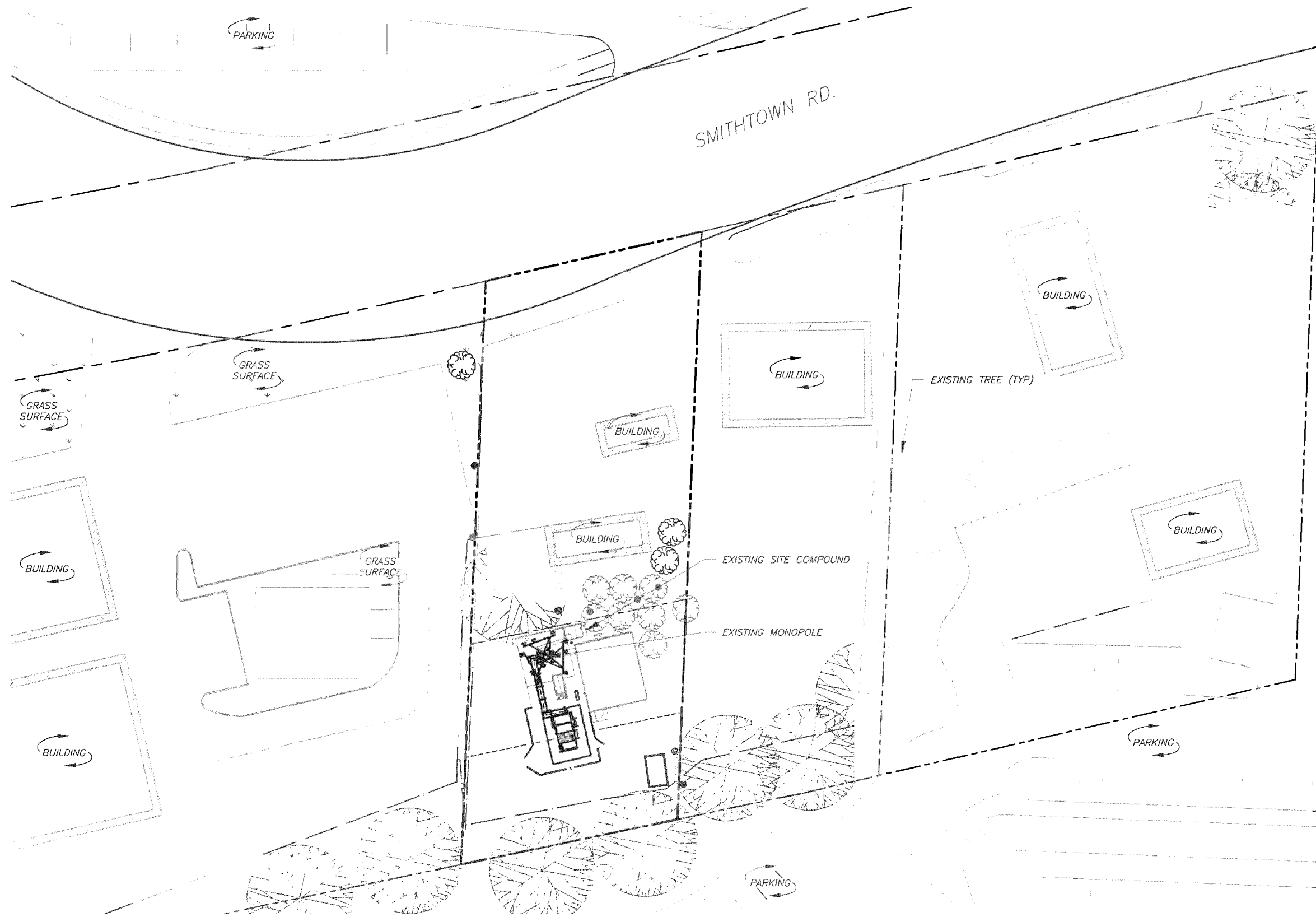
PH. 320-235-4012

WWW.OMALLEY-KRON.COM

DRAWN BY:	B.C.O.
APPROVED BY:	B.C.O.
DATE DRAWN:	2/20/2019
ATC JOB NO:	81418

EXISTING CONDITIONS AND TOPOGRAPHIC PLAN

SHEET NUMBER:	REVISION:
V-102	2

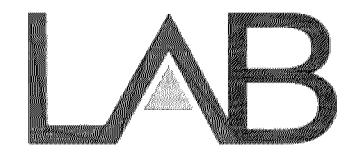


1 OVERALL SITE PLAN

0 40' 80'

SCALE: 1"=40' (11X17)
1"=20' (22X34)

N



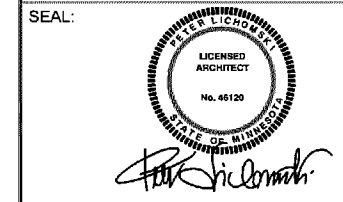
REV.	DESCRIPTION	BY	DATE
A	PRELIM	RC	01/08/22
B	REVISED CD	RC	06/03/22
0	FINAL CD	RC	06/09/22

ATC SITE NUMBER:
81418

ATC SITE NAME:
SHOREWOOD MN

AT&T MOBILITY SITE NAME:
MINNETONKA CC

SITE ADDRESS:
24283 SMITHTOWN RD.
EXCELSIOR, MN 55331-8874



DRAWN BY:	RC
APPROVED BY:	PL
DATE DRAWN:	01/07/22
ATC JOB NO:	13668518_G2
CUSTOMER ID:	MNL03358
FA NUMBER:	15482621

OVERALL SITE PLAN

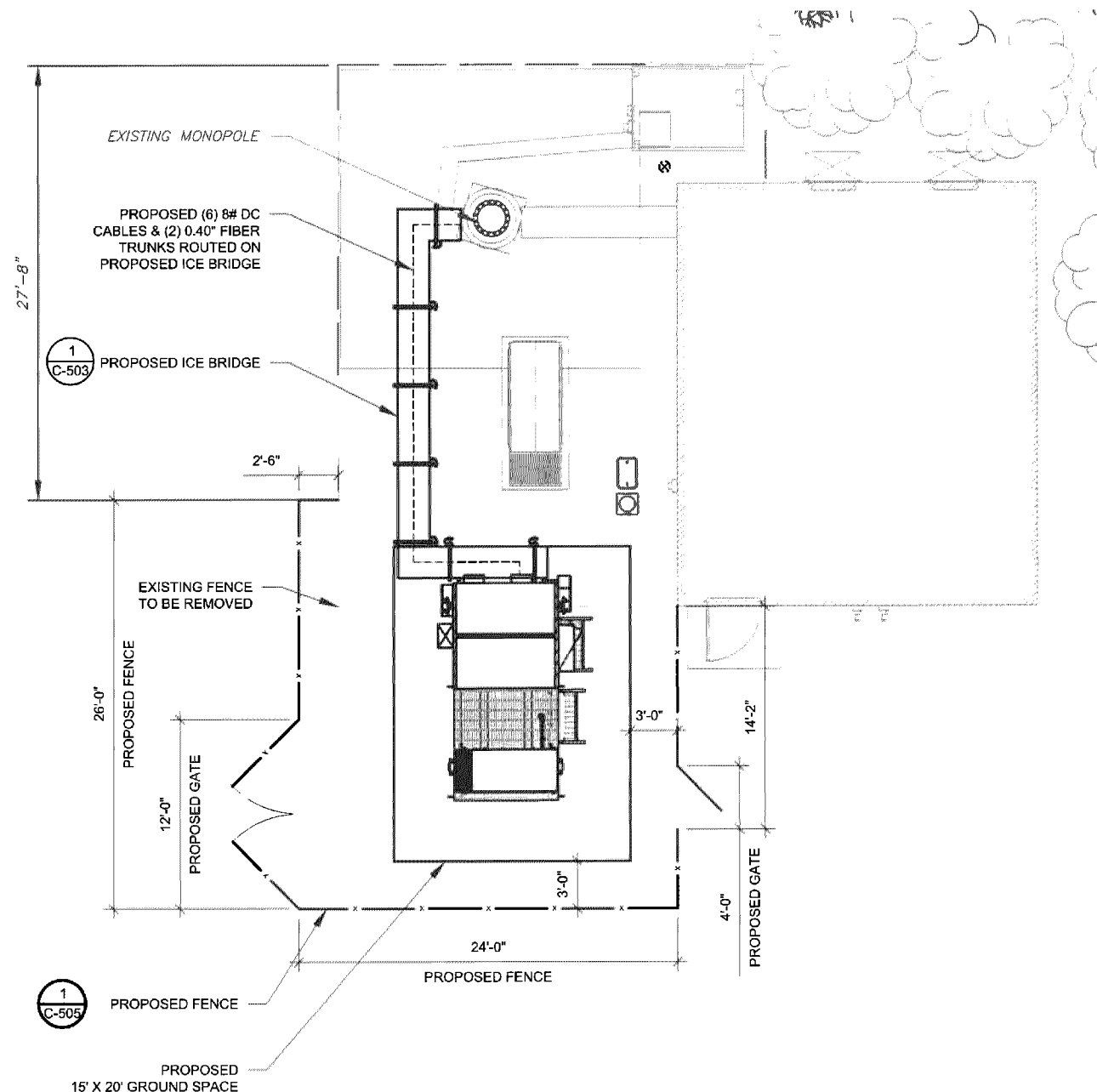
SHEET NUMBER:	REVISION:
C-001	0

SITE PLAN NOTES:

- THIS SITE PLAN REPRESENTS THE BEST PRESENT KNOWLEDGE AVAILABLE TO THE ENGINEER AT THE TIME OF THIS DESIGN. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO CONSTRUCTION AND VERIFY ALL EXISTING CONDITIONS RELATED TO THE SCOPE OF WORK FOR THIS PROJECT.
- ICE BRIDGE, CABLE LADDER, COAX PORT, AND COAX CABLE ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL CONFIRM THE EXACT LOCATION OF ALL PROPOSED AND EXISTING EQUIPMENT AND STRUCTURES DEPICTED ON THIS PLAN. BEFORE UTILIZING EXISTING CABLE SUPPORTS, COAX PORTS, INSTALLING NEW PORTS OR ANY OTHER EQUIPMENT, CONTRACTOR SHALL VERIFY ALL ASPECTS OF THE COMPONENTS MEET THE ATC SPECIFICATIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE AT&T MOBILITY REPRESENTATIVE AND LOCAL UTILITY COMPANY FOR THE INSTALLATION OF CONDUITS, CONDUCTORS, BREAKERS, DISCONNECTS, OR ANY OTHER EQUIPMENT REQUIRED FOR ELECTRICAL SERVICE. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITION OF THE STATE AND NATIONAL CODES, ORDINANCES AND REGULATIONS APPLICABLE TO THIS PROJECT.

LEGEND

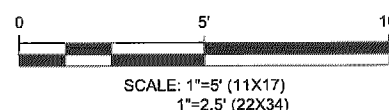
⊗	GROUNDING TEST WELL
ATS	AUTOMATIC TRANSFER SWITCH
B	BOLLARD
CSC	CELL SITE CABINET
D	DISCONNECT
E	ELECTRICAL
F	FIBER
GEN	GENERATOR
G	GENERATOR RECEPTACAL
HH, V	HAND HOLE, VAULT
IB	ICE BRIDGE
K	KENTROX BOX
LC	LIGHTING CONTROL
M	METER
PB	PULL BOX
PP	POWER POLE
T	TELCO
TRN	TRANSFORMER
— — —	CHAINLINK FENCE



PROPOSED CABLE LENGTH:

- ESTIMATED LENGTH OF PROPOSED CABLE IS 157'. ESTIMATED LENGTH OF CABLE WAS PROVIDED BY CUSTOMER OR CALCULATED BY ADDING THE RAD CENTER AND THE DISTANCE FROM THE EQUIPMENT LOCATION TO THE TOWER (ALONG THE ICE BRIDGE) AND A SAFETY FACTOR MEASUREMENT OF 15% (OF THE TWO PREVIOUS VALUES). CDS DEFER TO GREATEST CABLE LENGTH.
- ROUTE PROPOSED CABLES ALONG SAME PATH AS EXISTING CABLES AND IN ACCORDANCE WITH STRUCTURAL ANALYSIS. IF ADEQUATE SPACE EXISTS, ROUTE CABLES THROUGH ENTRY PORT HOLE, UP INSIDE OF MONOPOLE, AND THROUGH EXIT PORT HOLE. IF ROUTING OUTSIDE THE MONOPOLE, ATTACH CABLES USING STAND-OFF ADAPTERS MOUNTED TO TOWER USING STAINLESS STEEL BANDING. ADEQUATELY SECURE CABLES USING EITHER APPROPRIATELY SIZED STAINLESS STEEL SNAP-INS OR MOUNTING HARDWARE AND BRACKETS AS SPECIFIED BY CABLE MANUFACTURER.

1 DETAILED SITE PLAN



030

REV.	DESCRIPTION	BY	DATE
A	PRELIM	RC	01/08/22
B	REVISED CD	RC	06/03/22
C	FINAL CD	RC	06/09/22

ATC SITE NUMBER:

81418

ATC SITE NAME:

SHOREWOOD MN

AT&T MOBILITY SITE NAME:

MINNETONKA CC

SITE ADDRESS:

24283 SMITHTOWN RD.
EXCELSIOR, MN 55331-8874

SEAL:



DRAWN BY:	RC
APPROVED BY:	PL
DATE DRAWN:	01/07/22
ATC JOB NO:	13668518_G2
CUSTOMER ID:	MNL03358
FA NUMBER:	15482621

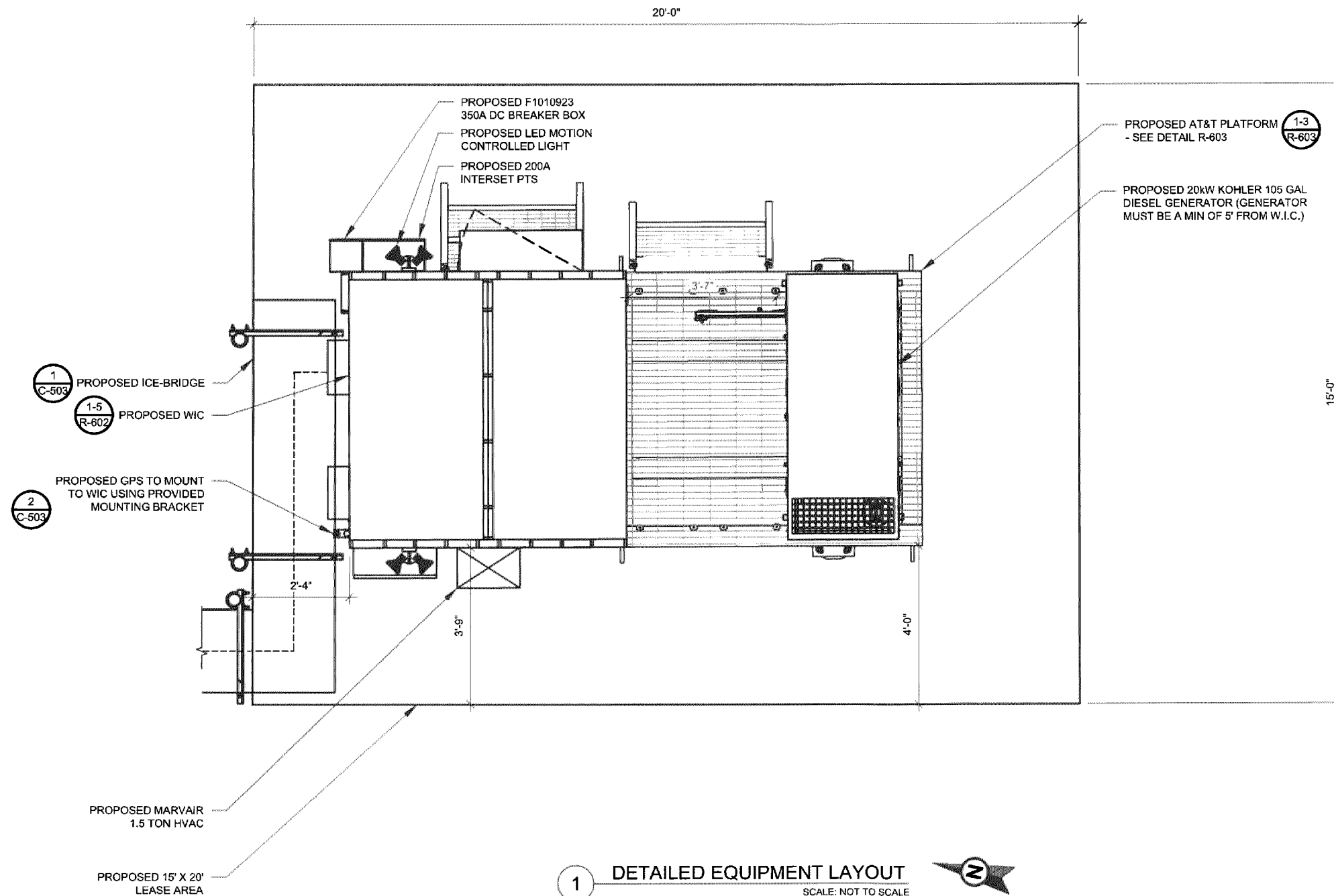
DETAILED SITE PLAN

SHEET NUMBER:

C-101

REVISION:

0



NE: (248 /

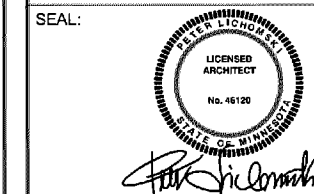
REV.	DESCRIPTION	BY	DATE
A	PRELIM	RC	01/08/22
B	REVISED CD	RC	06/03/22
0	FINAL CD	RC	06/09/22

ATC SITE NUMBER:
81418

ATC SITE NAME:
SHOREWOOD MN

AT&T MOBILITY SITE NAME:
MINNETONKA CC

SITE ADDRESS:
24283 SMITHTOWN RD.
EXCELSIOR, MN 55331-8874



DRAWN BY:	RC
APPROVED BY:	PL
DATE DRAWN:	01/07/22
ATC JOB NO:	13668518_G2
CUSTOMER ID:	MNL03358
FA NUMBER:	15482621

DETAILED EQUIPMENT LAYOUT

SHEET NUMBER:	REVISION:
C-102	0

PER MOUNT ANALYSIS COMPLETED BY ATC, DATED 05/17/22, THE PROPOSED MOUNT CAN ADEQUATELY SUPPORT THE PROPOSED LOADING.

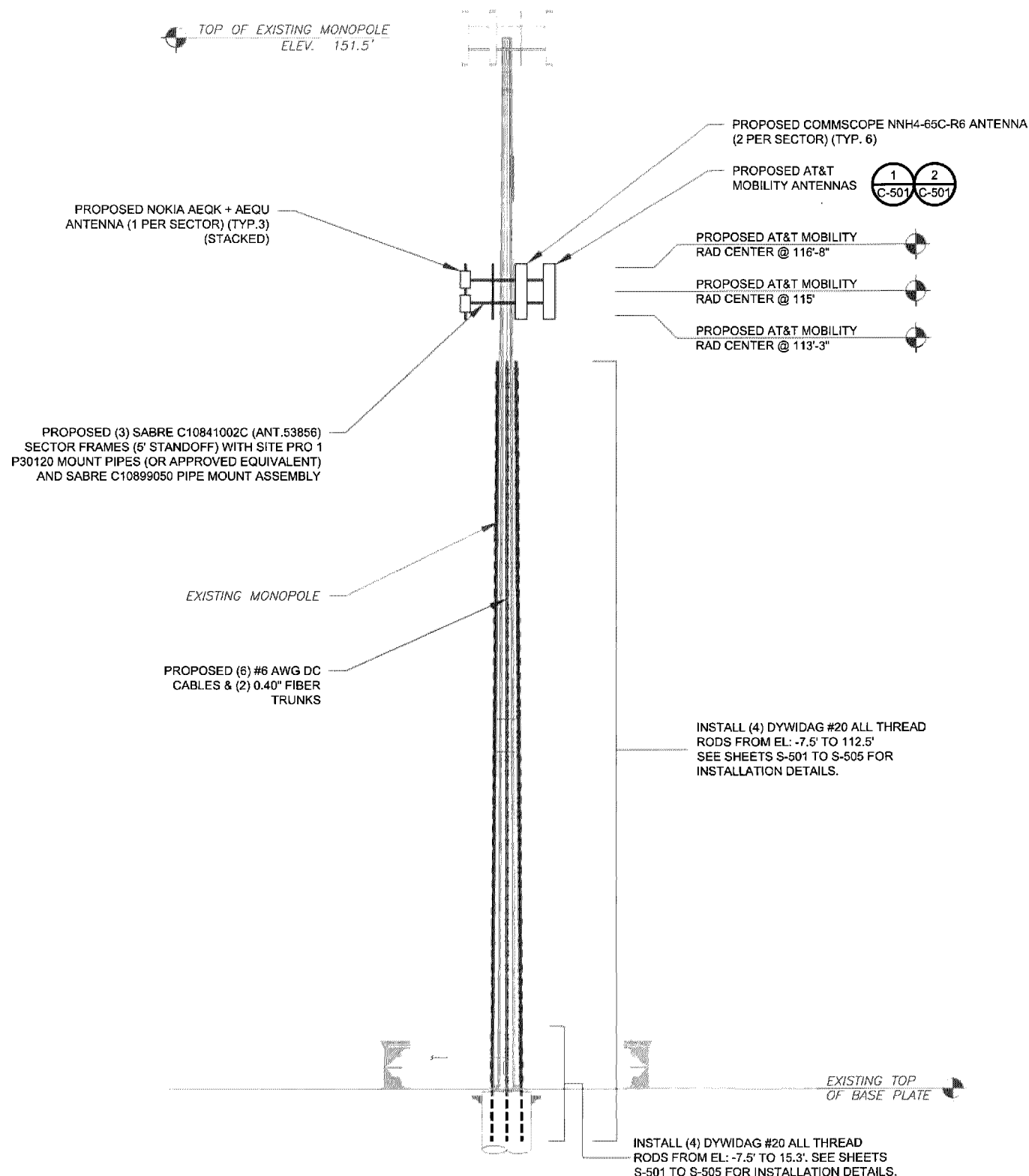
NOTES:
THIS DRAWING IS FOR EXHIBIT AND LAYOUT PURPOSES ONLY.

PLEASE REFER TO STRUCTURAL DOCUMENTS (PREPARED BY OTHERS) FOR PROJECT STRUCTURAL CALCULATION AND RESULTS.

NO WORK IS TO BE DONE WITHOUT AN APPROVED STRUCTURAL ANALYSIS PROVIDED BY OTHERS.

SPECIAL NOTES:

- GC TO VERIFY ALL HEIGHTS AND AZIMUTHS IN FIELD PRIOR TO CONSTRUCTION. GC SHALL NOTIFY P.M. AND ARCHITECT/ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- STRUCTURAL/ DESIGN & ANALYSIS SHALL BE PERFORMED & APPROVED BY TOWER OWNER AND MANUFACTURER (STRUCTURAL ANALYSIS BY OTHERS)
- STRUCTURAL ANALYSIS PERFORMED BY OTHERS. CONTRACTOR TO THOROUGHLY REVIEW THE TOWER STRUCTURAL ANALYSIS FOR INFORMATION PERTAINING TO TOWER UPGRADES, MOUNTING TYPES, ANTENNA HEIGHTS, AND CABLE ROUTING. ANY OTHER DISCREPANCIES BETWEEN THE DRAWINGS, STRUCTURAL ANALYSIS, AND TOWER PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER PRIOR TO BIDDING AND INSTALLATION.



1 TOWER ELEVATION
SCALE: N.T.S.

TOWER NOTE:

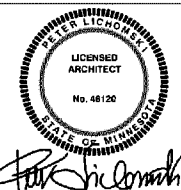
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM WITH THE AMERICAN TOWER CONSTRUCTION MANAGER THAT THEY HAVE THE MOST RECENT VERSION OF THE STRUCTURAL ANALYSIS BEFORE COMMENCING WORK. EXISTING AND PROPOSED TOWER APPURTENANCES, MOUNTS, AND ANTENNAS ARE SHOWN BASED ON THE STRUCTURAL ANALYSIS. ROUTE PROPOSED CABLES ALONG SAME PATH AS EXISTING CABLES AND IN ACCORDANCE WITH STRUCTURAL ANALYSIS. IF ADEQUATE SPACE EXISTS, ROUTE CABLES THROUGH ENTRY PORT HOLE, UP INSIDE OF MONOPOLE, AND THROUGH EXIT PORT HOLE. IF ROUTING OUTSIDE THE MONOPOLE, ATTACH CABLES USING STAND-OFF ADAPTERS MOUNTED TO TOWER USING STAINLESS STEEL BANDING. ADEQUATELY SECURE CABLES USING EITHER APPROPRIATELY SIZED STAINLESS STEEL SNAP-INS OR MOUNTING HARDWARE AND BRACKETS AS SPECIFIED BY CABLE MANUFACTURER.
- TOWER ELEVATIONS ARE MEASURED FROM TOP OF BASE PLATE TO MATCH STRUCTURAL ANALYSIS. ELEVATIONS DO NOT REFLECT TRUE ABOVE GROUND LEVEL (A.G.L.)



REV.	DESCRIPTION	BY	DATE
A	PRELIM	RC	01/08/22
B	REVISED CD	RC	06/03/22
D	FINAL CD	RC	06/09/22

ATC SITE NUMBER:
81418
ATC SITE NAME:
SHOREWOOD MN
AT&T MOBILITY SITE NAME:
MINNETONKA CC
SITE ADDRESS:
24283 SMITHTOWN RD.
EXCELSIOR, MN 55331-8874

SEAL:



DRAWN BY:	RC
APPROVED BY:	PL
DATE DRAWN:	01/07/22
ATC JOB NO:	13668518_G2
CUSTOMER ID:	MNL03358
FA NUMBER:	15482621

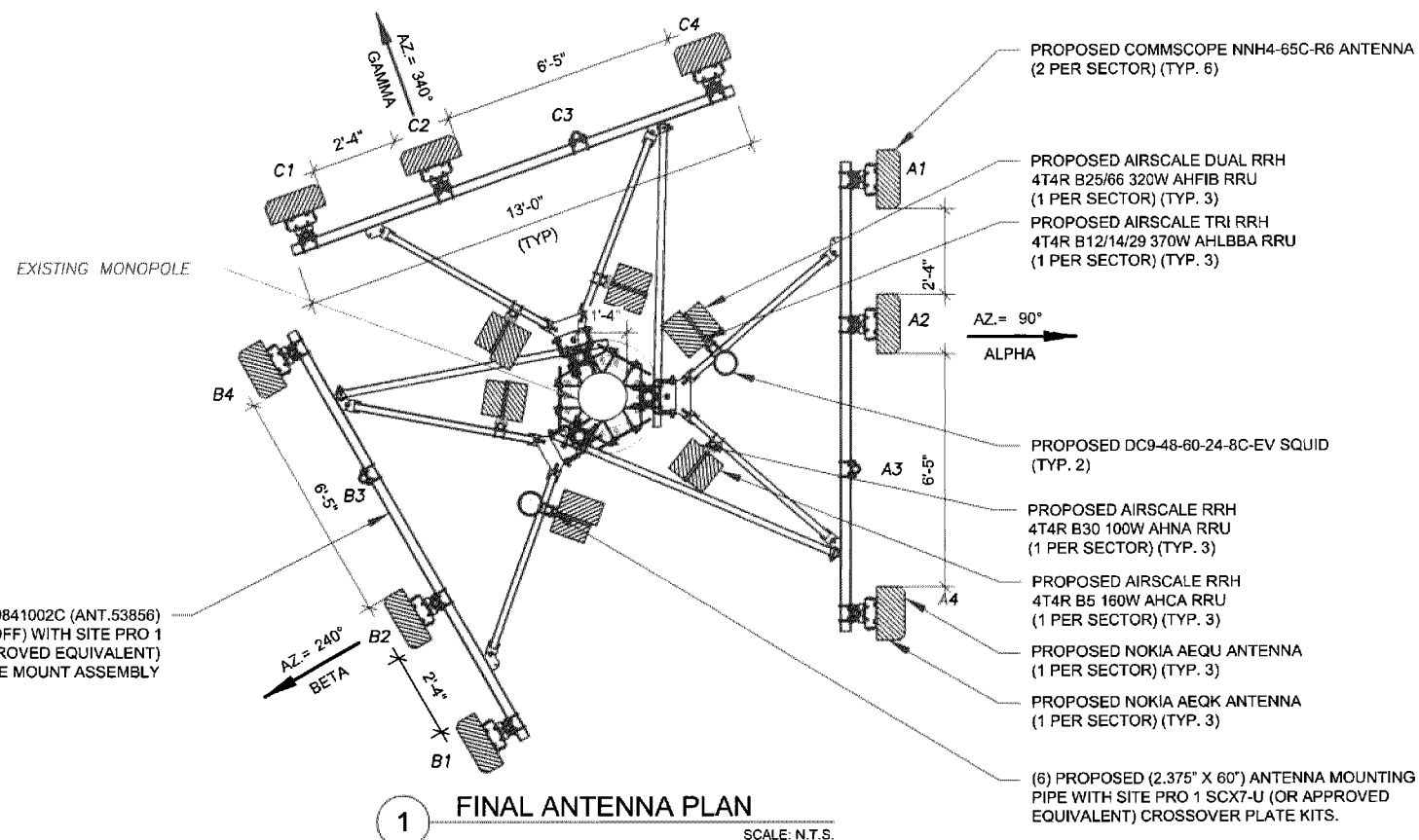
TOWER ELEVATION

SHEET NUMBER:	REVISION:
C-201	0

PER MOUNT ANALYSIS COMPLETED BY ATC,
DATED 05/17/22, THE PROPOSED MOUNT CAN
ADEQUATELY SUPPORT THE PROPOSED LOADING

1 1
R-604 R-605

PROPOSED (3) SABRE C10841002C (ANT.53856)
SECTOR FRAMES (5' STANDOFF) WITH SITE PRO 1
P30120 MOUNT PIPES (OR APPROVED EQUIVALENT)
AND SABRE C10899050 PIPE MOUNT ASSEMBLY



FINAL ANTENNA SCHEDULE								
LOCATION		ANTENNA SUMMARY				NON ANTENNA SUMMARY		
SECTOR	RAD	AZ	POS	ANTENNA	BAND	MECH/ELEC D-TILT	STATUS	ADDITIONAL TOWER MOUNTED EQUIPMENT
ALPHA	115°	90°	A1	COMMSCOPE NNH4-65C-R6	LTE 700, LTE PCS, LTE AWS, 5G AWS	0	ADD	4T4R B12/14/29 370W AHLBBA, 4T4R B25/66 320W AHFIB
			A2	COMMSCOPE NNH4-65C-R6	LTE 850, 5G 850, LTE, LTE WCS	0	ADD	4T4R B30 100W AHNA, 4T4R B5 160W AHCA
			A3					
			A4	NOKIA AEQU	5G DOD	0	ADD	
BETA	115°	240°	B1	COMMSCOPE NNH4-65C-R6	LTE 700, LTE PCS, LTE AWS, 5G AWS	0	ADD	4T4R B12/14/29 370W AHLBBA, 4T4R B25/66 320W AHFIB
			B2	COMMSCOPE NNH4-65C-R6	LTE 850, 5G 850, LTE, LTE WCS	0	ADD	4T4R B30 100W AHNA, 4T4R B5 160W AHCA
			B3					
			B4	NOKIA AEQU	5G DOD	0	ADD	
GAMMA	115°	340°	C1	COMMSCOPE NNH4-65C-R6	LTE 700, LTE PCS, LTE AWS, 5G AWS	0	ADD	4T4R B12/14/29 370W AHLBBA, 4T4R B25/66 320W AHFIB
			C2	COMMSCOPE NNH4-65C-R6	LTE 850, 5G 850, LTE, LTE WCS	0	ADD	4T4R B30 100W AHNA, 4T4R B5 160W AHCA
			C3					
			C4	NOKIA AEQU	5G DOD	0	ADD	

1. CONFIRM WITH AT&T MOBILITY REP FOR APPLICABLE UPDATES/REVISIONS AND MOST RECENT RFDS FOR NSN CONFIGURATION (CONFIG). GC
TO CAP ALL UNUSED PORTS.
2. CONFIRM SPACING OF PROPOSED EQUIP DOES NOT CAUSE TOWER CONFLICTS NOR IMPEDE TOWER CLIMBING PEGS.

CABLE LENGTHS FOR JUMPERS
FIBER DISTRIBUTION/OVP TO RRU: 15'
RRU TO COMBINER: 10'
COMBINER TO ANTENNA: 10'

2 ANTENNA SCHEDULE

PROPOSED FIBER DISTRIBUTION/OVP BOX		PROPOSED CABLING SUMMARY		
MODEL NUMBER	STATUS	COAX	HYBRID	STATUS
(2) DC9-48-60-24-8C-EV	ADD	-	(2) FIBER TRUNKS & (6) DC CABLES	ADD



LAB

93

REV.	DESCRIPTION	BY	DATE
A	PRELIM	RC	01/08/22
B	REVISED CD	RC	06/03/22
C	FINAL CD	RC	06/09/22

ATC SITE NUMBER:
81418
ATC SITE NAME:
SHOREWOOD MN
AT&T MOBILITY SITE NAME:
MINNETONKA CC
SITE ADDRESS:
24283 SMITHTOWN RD.
EXCELSIOR, MN 55331-8874

SEAL:

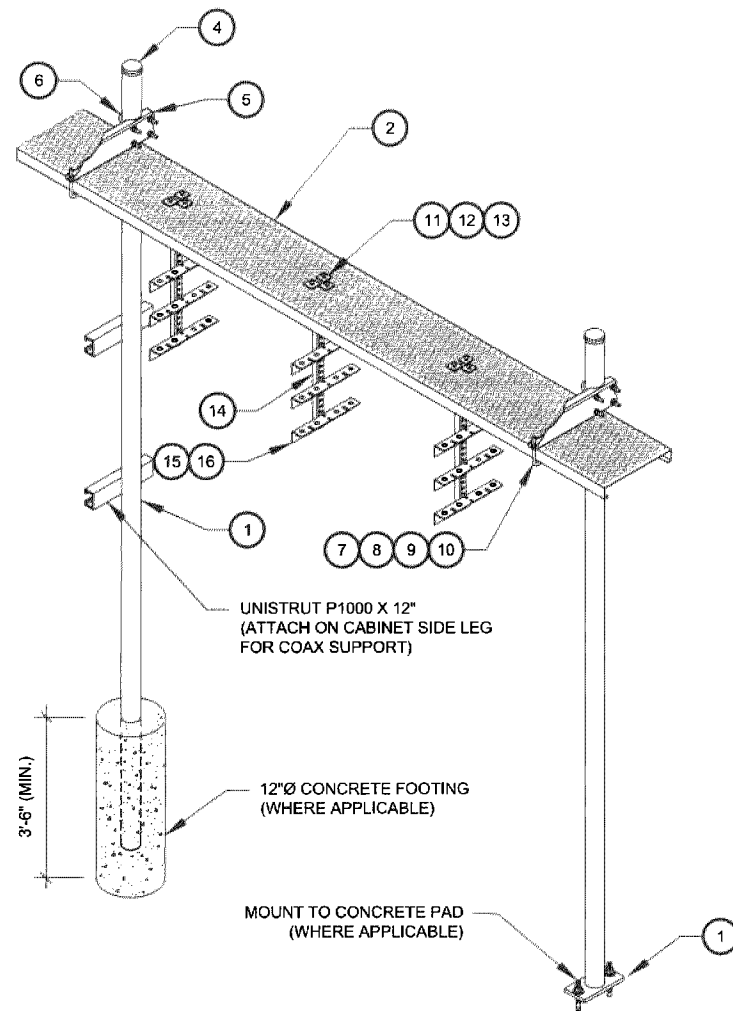


DRAWN BY:	RC
APPROVED BY:	PL
DATE DRAWN:	01/07/22
ATC JOB NO:	13668518_G2
CUSTOMER ID:	MNL03358
FA NUMBER:	15482621

ANTENNA INFORMATION & SCHEDULE

SHEET NUMBER: C-401	REVISION: 0
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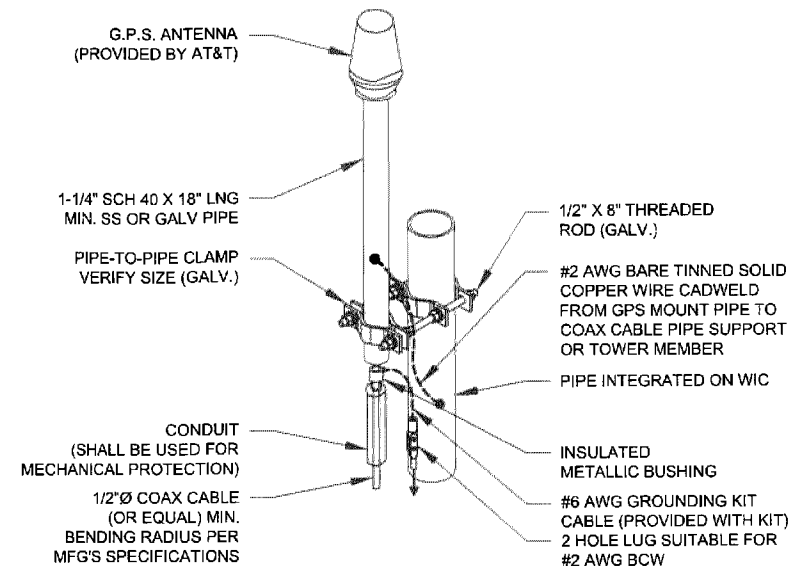
1. INSTALL ICE BRIDGE TO ALLOW 7 FEET CLEARANCE ABOVE GRADE TO LOWEST APPURTENANCE.



ITEM	PART NUMBER	DESCRIPTION	ITEM	PART NUMBER	DESCRIPTION
1	MF126.01 MF-130	10'-4" COLUMN & BASE SHOE* 13'-4" PIPE COLUMN	9	GWL-04	1/2" GALV LOCK WASHER
2	WB-CY210	SAFETY GRATING 24" X 10'	10	GN-04	1/2" GALV HEX NUT
3	WBK110BHK	HARDWARE KIT (ITEMS 4-16)	11	GB-03205	3/8" X 2" GALV BOLT KIT
4	PC-034	PIPE CAP 3-1/2"	12	MT-387	SQUARE WASHER, 1-1/2" X 1-1/2" W/ 7/16" HOLE
5	WBLB243.08	24" WAVEGUIDE BRIDGE SUPPORT BRACKET	13	GWF-03	3/8" GALV FLAT WASHER
6	GUB-4356	1/2" X 3-5/8" X 6" GALV U-BOLT	14	WBT243.01	VERTICAL TRAPEZE SECTION
7	WB-JB-6	1/2" J-BOLT	15	GB-03105	3/8" X 1" GALV BOLT KIT
8	GWF-04	1/2" GALV FLAT WASHER	16	WBT243.02	HORIZONTAL TRAPEZE SECTION

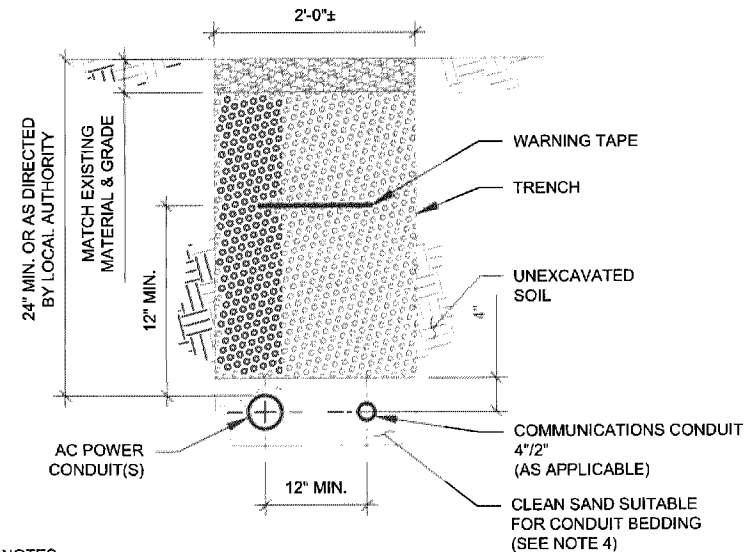
1 WAVEGUIDE BRIDGE KIT

SCALE: NOT TO SCALE



1. GPS SHALL BE PLACED WITH CLEAR SIGHT LINE TO THE SOUTHERN SKY.
2. CONTRACTOR TO SUPPLY COAX FOR GPS UNIT.
3. GPS TO MOUNT TO WIC USING PROVIDED MOUNTING BRACKET (COAX TO ROUTE THROUGH ROXTEC ON WIC)

2 GPS ANTENNA ATTACHMENT DETAIL



1. IF FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL, EXCAVATED MATERIAL MAY BE USED FOR BACKFILL. IF NOT, PROVIDE CLEAN, COMPACTIBLE MATERIAL
2. COMPACT IN 8" LIFTS. REMOVE ANY LARGE ROCKS PRIOR TO BACKFILLING. CONTRACTOR TO VERIFY LOCATION OF EXISTING U/G UTILITIES PRIOR TO DIGGING.
3. IF CURRENT AS-BUILT DRAWINGS ARE NOT AVAILABLE CONTRACTOR SHALL HAND DIG U/G TRENCHING.
4. USE COMMUNICATIONS ONLY TRENCH FOR COMMUNICATIONS CONDUIT UNLESS TRAVELING UNDER PATH OF VEHICLE TRAVEL, THEN CONDUIT MUST BE 24" MIN. BELOW GRADE.
5. CONFIRM SPACING AND DEPTH WITH NEC OR LOCAL CODE REQUIREMENTS

3 POWER/TELCO CONDUIT TRENCH DETAILS



REV.	DESCRIPTION	BY	DATE
<u>A</u>	PRELIM	RC	01/08/22
<u>B</u>	REVISED CD	RC	06/03/22
<u>U</u>	FINAL CD	RC	06/09/22
<u> </u>			

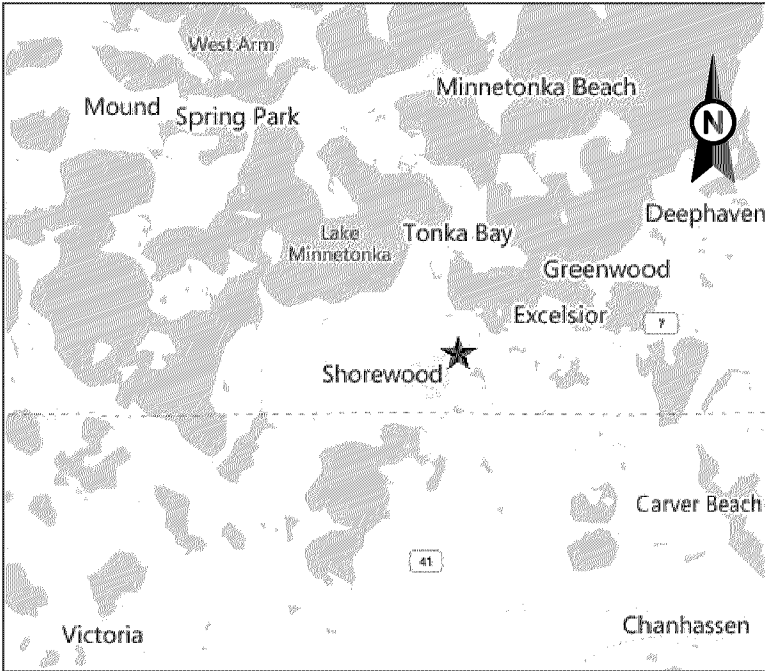
ATC SITE NUMBER:
81418
ATC SITE NAME:
SHOREWOOD MN
AT&T MOBILITY SITE NAME:
MINNETONKA CC
SITE ADDRESS:
24283 SMITHTOWN RD.
EXCELSIOR, MN 55331-8874



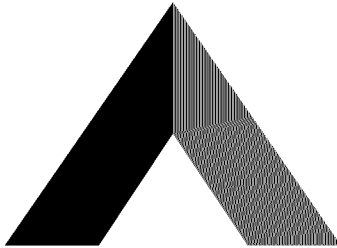
DRAWN BY:	RC
APPROVED BY:	PL
DATE DRAWN:	01/07/22
ATC JOB NO:	13668518_G2
CUSTOMER ID:	MNL03358
FA NUMBER:	15482621

CONSTRUCTION DETAILS

SHEET NUMBER: C-503	REVISION: 0
-------------------------------	-----------------------



VICINITY MAP



AMERICAN TOWER®

SITE NAME: SHOREWOOD MN
SITE NUMBER: 81418
ATC PROJECT NUMBER: 13668518_C6_06
SITE ADDRESS: 24283 SMITHTOWN RD.
EXCELSIOR, MN 55331



LOCATION MAP

151.5 FT MONOPOLE MODIFICATIONS

PROJECT TEAM	PROJECT DESCRIPTION	SHEET	SHEET TITLE	REV.
<p>TOWER OWNER</p> <p>AMERICAN TOWER</p> <p>10 PRESIDENTAL WAY</p> <p>WOBURN, MA 01801</p> <p>ENGINEERED BY</p> <p>ATC TOWER SERVICES</p> <p>3500 REGENCY PARKWAY, SUITE 100</p> <p>CARY, NC 27518</p> <p>CARRIER INFORMATION</p> <p>CARRIER: AT&T MOBILITY</p> <p>CARRIER SITE NAME: MINNETONKA CC</p> <p>CARRIER SITE NUMBER: MN3358</p>	THE PROJECT DEPICTED IN THESE PLANS ARE BASED ON THE RECOMMENDATIONS OUTLINED IN THE STRUCTURAL ANALYSIS COMPLETED UNDER ENGINEERING PROJECT NUMBER 13668518_C3_03 DATED 01/05/22. SATISFACTORY COMPLETION OF THE WORK INDICATED IN THESE PLANS WILL RESULT IN THE STRUCTURE MEETING THE REQUIREMENTS OF THE SPECIFICATIONS UNDER WHICH THE STRUCTURAL WAS COMPLETED.	G-002	IBC GENERAL NOTES	0
		G-003	SPECIAL INSPECTION CHECKLIST	0
		G-004	BILL OF MATERIALS	0
		C-101	DETAILED SITE PLAN	0
		S-201	MODIFICATION PROFILE	0
	<p>PROJECT NOTE</p> <p>THE PROJECT DEPICTED IN THESE PLANS QUALIFIES AS AN ELIGIBLE FACILITIES REQUEST ENTITLED TO EXPEDITED REVIEW UNDER 47 U.S.C. § 1455(A) AS A MODIFICATION OF AN EXISTING WIRELESS TOWER THAT INVOLVES THE COLLOCATION, REMOVAL, AND/OR REPLACEMENT OF TRANSMISSION EQUIPMENT THAT IS NOT A SUBSTANTIAL CHANGE UNDER CFR § 1.6100 (B)(7).</p>	S-501	FOUNDATION INSTALLATION DETAILS	0
		S-502	REINFORCEMENT INSTALLATION DETAILS	0
		S-503	REINFORCEMENT INSTALLATION DETAILS (CONT'D)	0
		S-504	REINFORCEMENT INSTALLATION DETAILS (CONT'D)	0
		S-505	#20 STEP BOLT BRACKET INSTALLATION DETAILS	0
<p>811</p> <p>Know what's below.</p> <p>Call before you dig.</p>	<p>COMPLIANCE CODE</p> <p>ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNMENT AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.</p> <p>1. ANSI/TIA/EIA: STRUCTURAL STANDARDS (222-H EDITION)</p> <p>2. INTERNATIONAL BUILDING CODE (2018 IBC)</p> <p>3. MINNESOTA STATE BUILDING CODE (2020)</p>			
	<p>PROJECT LOCATION</p> <p>GEOGRAPHIC COORDINATES</p> <p>LATITUDE: 44.90029091</p> <p>LONGITUDE: -93.58795333</p>			



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CARY, NC 27518
PHONE: (919) 468-0112

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REV.	DESCRIPTION	BY	DATE
0	FIRST ISSUE	CGM	04/06/22

ATC SITE NUMBER:
81418

ATC SITE NAME:
SHOREWOOD MN
MINNESOTA

SITE ADDRESS:
24283 SMITHTOWN RD.
EXCELSIOR, MN 55331

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: 

NAME: ESHA MODI

LICENSE NUMBER: 55210

DATE:

Authorized by "EOR"
18 Apr 2022 10:19:53

DRAWN BY:	CGM
APPROVED BY:	IPD
DATE DRAWN:	04/06/22
ATC JOB NO:	13668518_C6_06

COVER	
SHEET NUMBER: G-001	REVISION: 0

⊗

AV, A/V

ATS

AIR VENT

B

AUTOMATIC TRANSFER SWITCH

C

BOLLARD

CS

CABINET

CSC

COAX SHROUD

D

CELL SITE CABINET

D

DISCONNECT

E

ELECTRICAL

F

FIBER

GEN

GENERATOR

G

GENERATOR RECEPTACLE

HH, V

HAND HOLE, VAULT

HFC

HYDROGEN FUEL CELL

HSM

HYDROGEN STORAGE MATERIAL

IB

ICE BRIDGE

K

KENTROX BOX

LC

LIGHTING CONTROL

LPG

LIQUID PROPANE GAS

M

METER

OHW

OVERHEAD WIRE

P

POWER

PB

PULL BOX

PP

POWER POLE

T

TELCO

TRN

TRANSFORMER

PROPERTY LINE

ADJACENT PROPERTY LINE

LEASE AREA

EASEMENT

WOOD FENCE

WIRE FENCE

METAL FENCE

GUARD RAIL

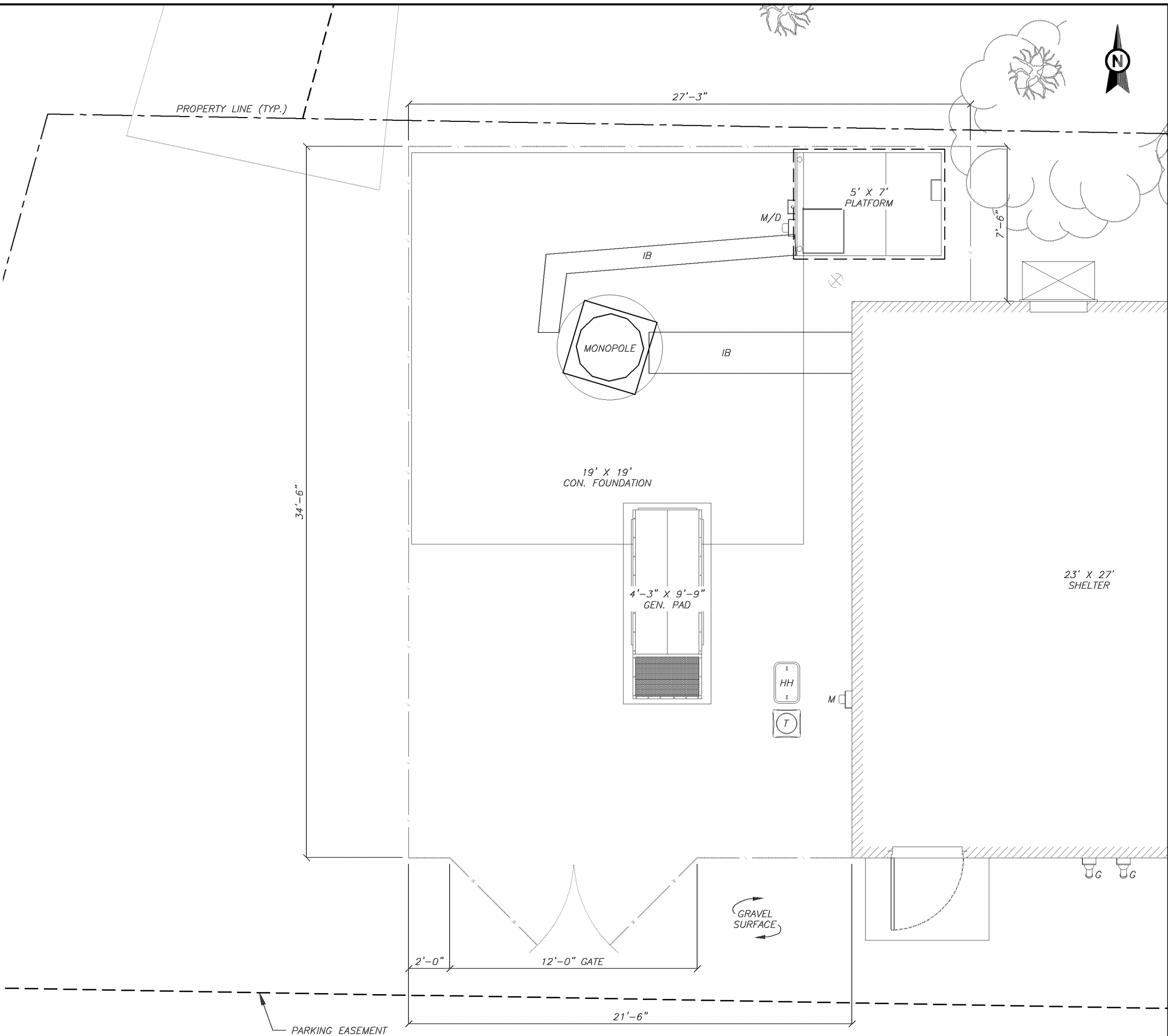
CHAINLINK FENCE

ROAD (DIRT)

ROAD (STONE)


ROAD (PAVED)

LEGEND



0 5' 10'

SCALE: 1"=5' (11X17)
1"=2.5' (22X34)



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SUITE 100
CARY, NC 27518
PHONE: (919) 468-0112

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SHOREWOOD MN
MINNESOTA

SITE ADDRESS:
24283 SMITHTOWN RD.
EXCELSIOR, MN 55331

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SIGNATURE: 
NAME: ESHA MODI
LICENSE NUMBER: 55210
DATE:

Authorized by "EOR"
18 Apr 2022 10:19:54 

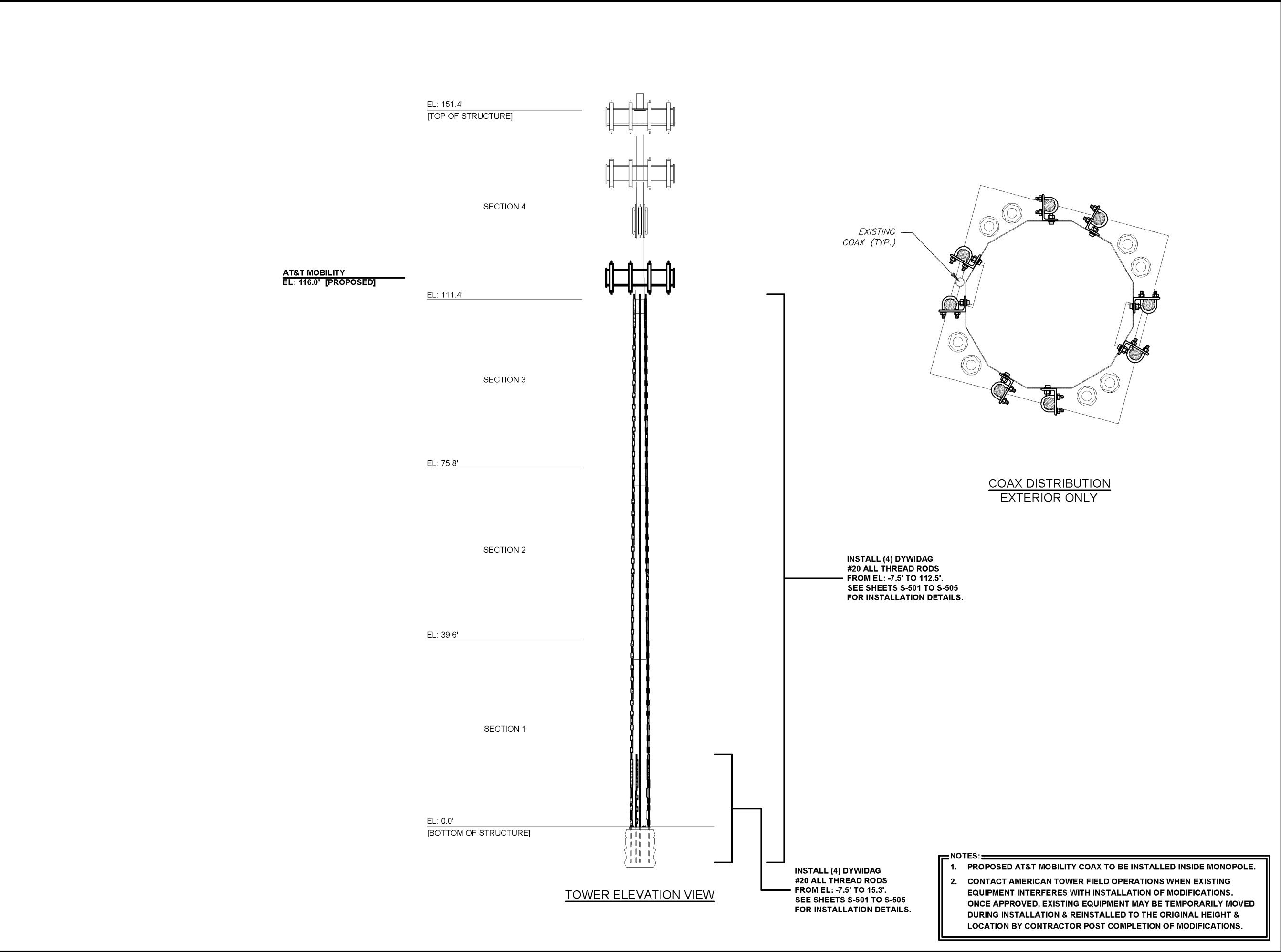
DRAWN BY:	CGM
APPROVED BY:	IPD
DATE DRAWN:	04/06/22
ATC JOB NO:	13668518_C6_06

DETAILED SITE PLAN

SHEET NUMBER:
C-101

REVISION:
0

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SIGNATURE:

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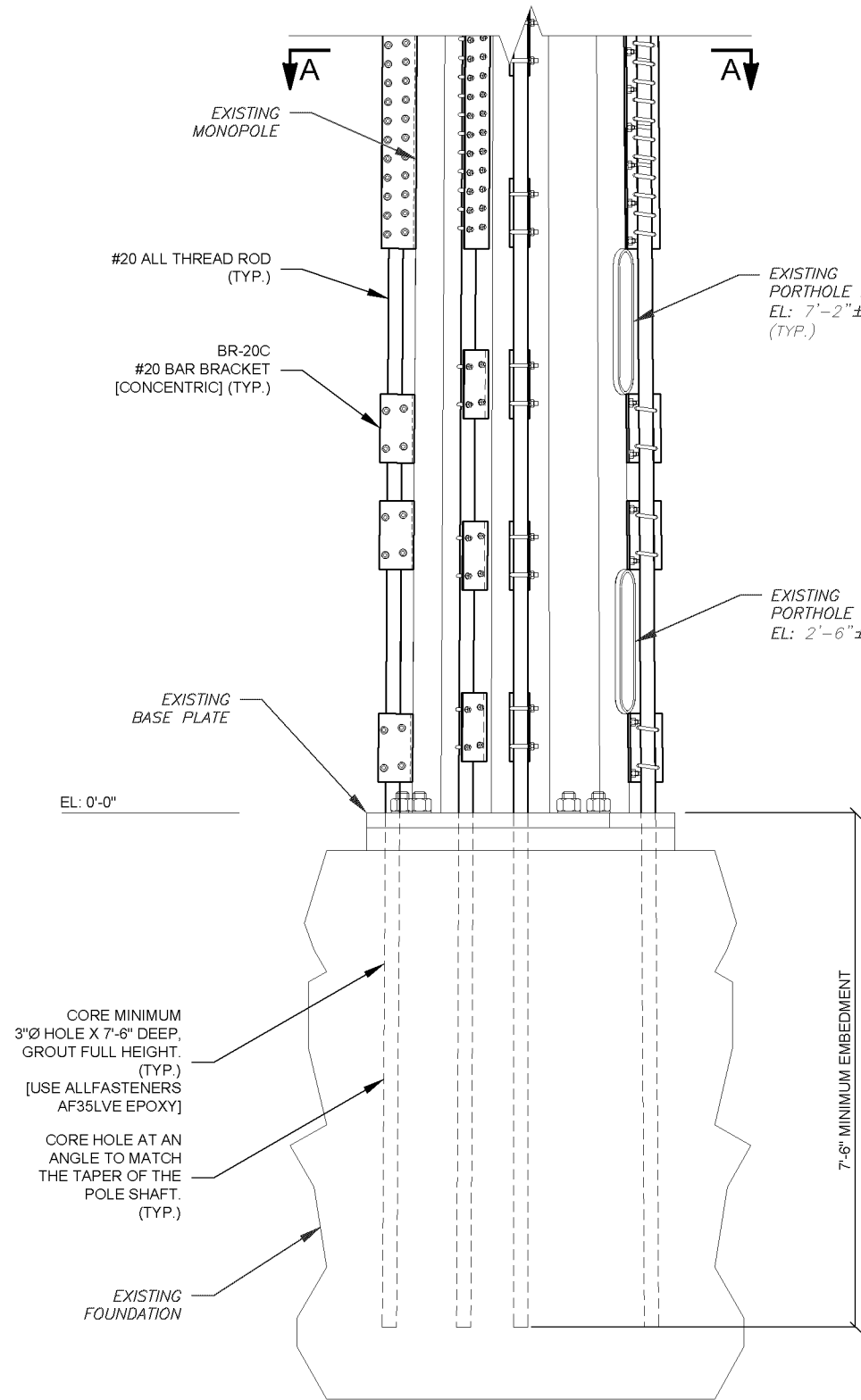
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Authorized by "EOR"
18 Apr 2022 10:19:55

DRAWN BY:	CGM
APPROVED BY:	IPD
DATE DRAWN:	04/06/22
ATC JOB NO:	13668518_C6_06

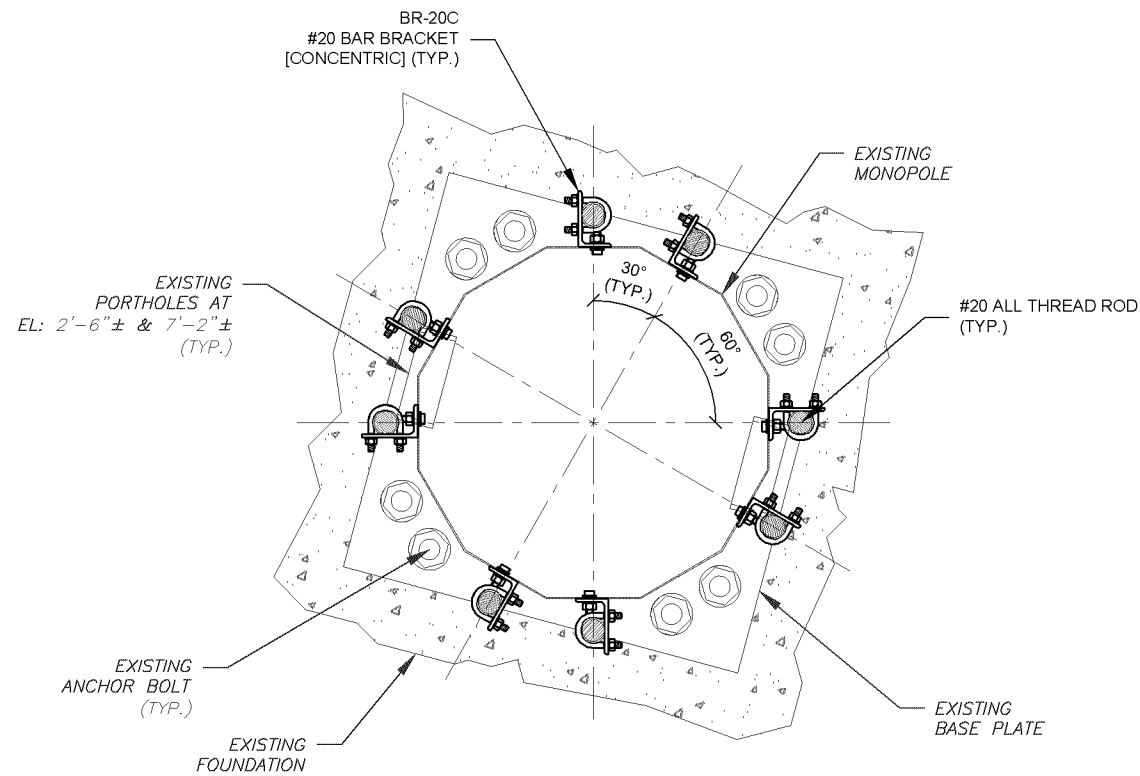
MODIFICATION PROFILE

SHEET NUMBER: S-201	REVISION: 0
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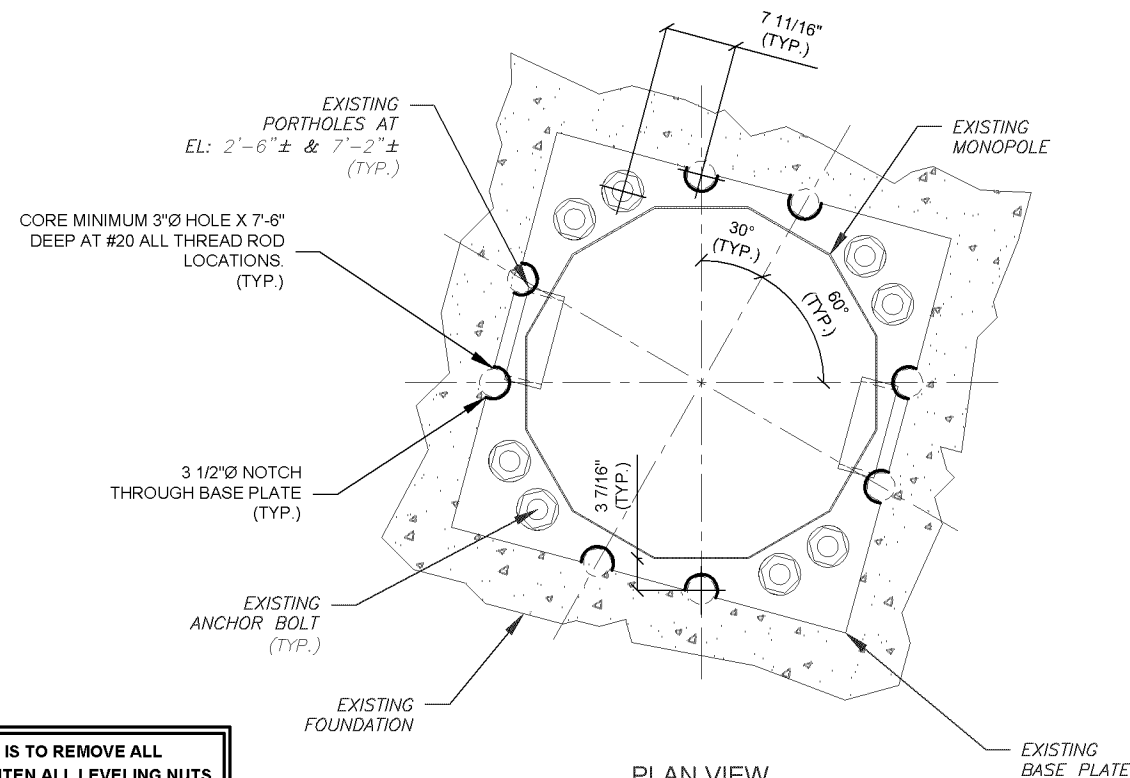


ELEVATION VIEW
FOUNDATION DETAIL

- NOTES:**
- UNLESS SPECIFIED OTHERWISE, CONTRACTOR IS TO REMOVE ALL GROUT BELOW BASE PLATE AND VERIFY / TIGHTEN ALL LEVELING NUTS.
 - CONTRACTOR TO CONTACT ENGINEER OF RECORD IF EXISTING REBAR IS ENCOUNTERED DURING CORING.



PLAN VIEW
SECTION "A-A"



PLAN VIEW
HOLE DRILL DETAIL

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0	FIRST ISSUE	CGM	04/06/22

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81418

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**SHOREWOOD MN
MINNESOTA**

SITE ADDRESS:
24283 SMITHTOWN RD.
EXCELSIOR, MN 55331

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SIGNATURE: *Esha Modi*
NAME: ESHA MODI
LICENSE NUMBER: 55210
DATE:

Authorized by "EOR"
18 Apr 2022 10:19:55 cosign

DRAWN BY:	CGM
APPROVED BY:	IPD
DATE DRAWN:	04/06/22
ATC JOB NO:	13668518_C6_06

FOUNDATION
INSTALLATION DETAILS

SHEET NUMBER:	REVISION:
S-501	0

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0	FIRST ISSUE	CGM	04/06/22

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ATC SITE NAME:

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MINNESOTA

SITE ADDRESS:

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DATE:

Authorized by "EOR"

18 Apr 2022 10:19:55

DRAWN BY:	CGM
APPROVED BY:	IPD
DATE DRAWN:	04/06/22
ATC JOB NO:	13668518_C6_06

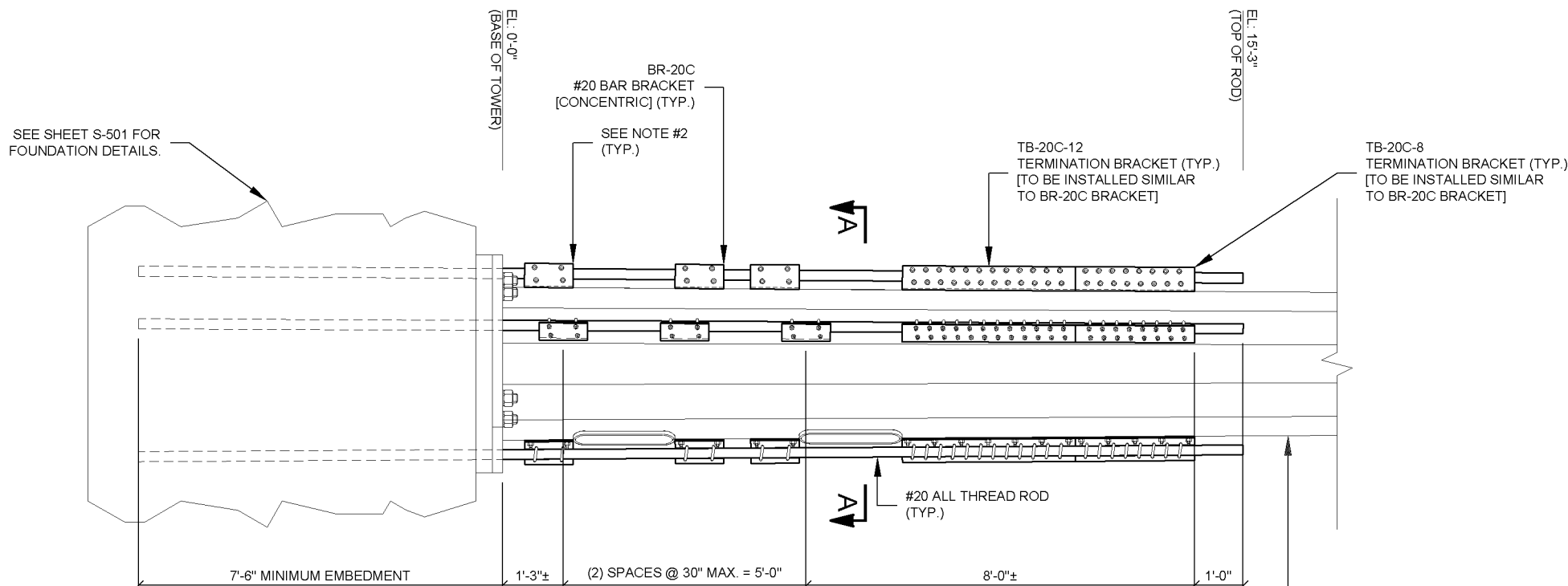
REINFORCEMENT
INSTALLATION DETAILS

SHEET NUMBER:

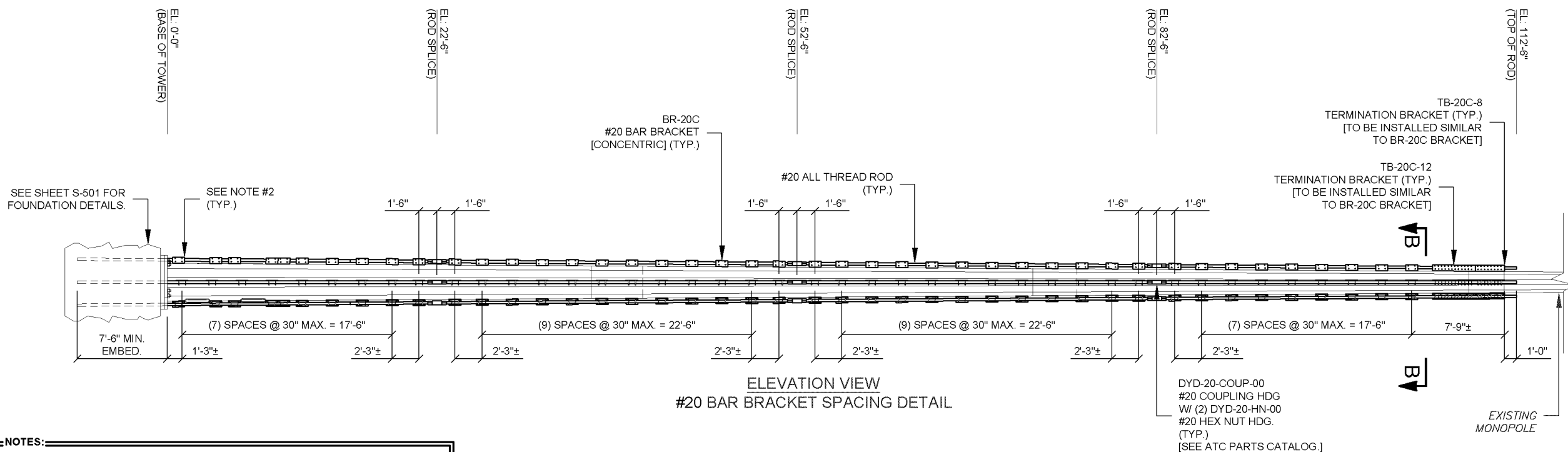
S-502

REVISION:

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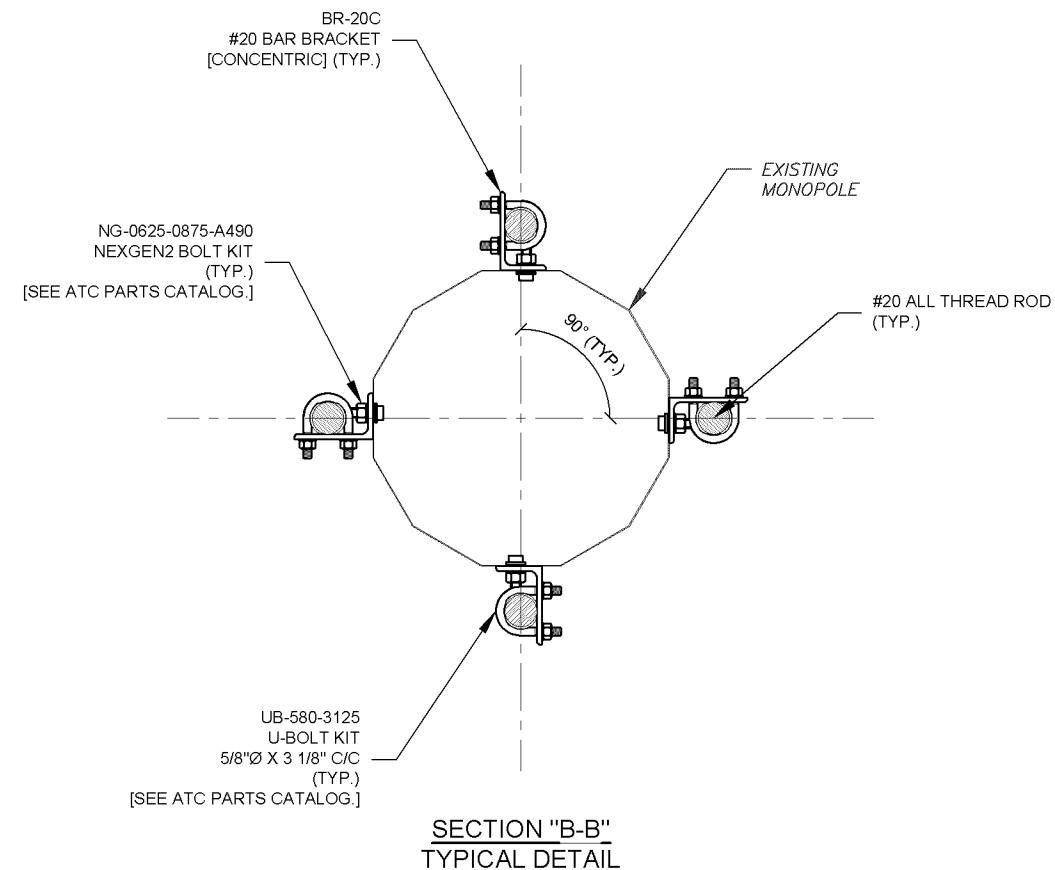
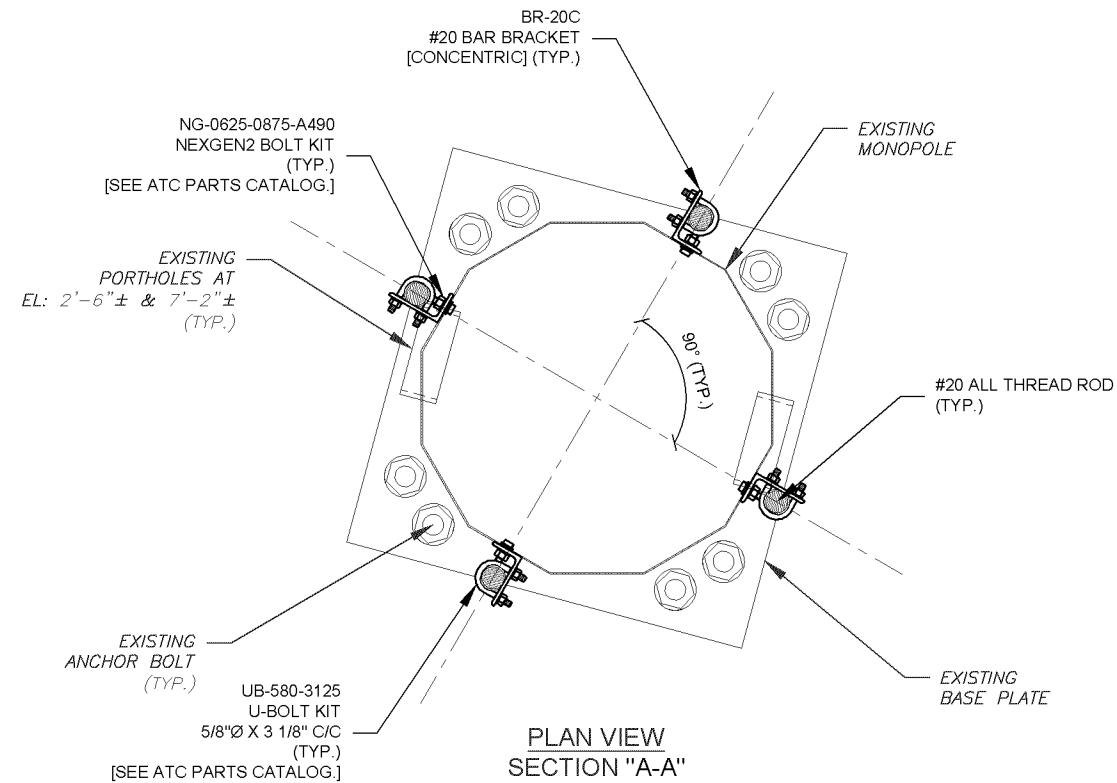
ELEVATION VIEW
#20 BAR BRACKET SPACING DETAIL



ELEVATION VIEW
#20 BAR BRACKET SPACING DETAIL

NOTES:

- REPLACE ANY EXISTING STEP BOLTS THAT INTERFERE WITH THE NEW #20 ALL THREAD ROD REINFORCEMENTS. THE NEW STEP BOLTS SHALL BE ATTACHED TO THE #20 ALL THREAD RODS IN THE SAME APPROXIMATE LOCATION. SEE SHEET S-505 FOR INSTALLATION DETAILS.
- PLACE A BRACKET (BR-20C) DIRECTLY ABOVE AND BELOW ANY EXISTING PORTHOLE AS REQUIRED.
- SEE SHEET S-503 FOR SECTIONS "A-A" & "B-B".
- SEE SHEET S-504 FOR #20 ALL THREAD ROD BRACKET INSTALLATION DETAILS.
- NG-0938-1438-A490 NEXGEN2 BOLT KITS ARE SUPPLIED AS REQUIRED FOR BAR BRACKET CONNECTIONS THAT FALL WITHIN SLIP JOINT LOCATIONS.



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ATC SITE NAME:

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MINNESOTA

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EXCELSIOR, MN 55331

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SIGNATURE:

NAME: ESHA MODI

LICENSE NUMBER: 55210

DATE:

Authorized by "EOR"

18 Apr 2022 10:19:55

cosign

DRAWN BY:	CGM
APPROVED BY:	IPD
DATE DRAWN:	04/06/22
ATC JOB NO:	13668518_C6_06

REINFORCEMENT
INSTALLATION DETAILS
(CONT'D)

SHEET NUMBER:

S-503

REVISION:

0



CITY OF
SHOREWOOD

5755 COUNTRY CLUB ROAD, SHOREWOOD, MINNESOTA 55331-8927 • 952.960.7900
www.ci.shorewood.mn.us • cityhall@ci.shorewood.mn.us

MEMORANDUM

TO: Planning Commission, Mayor and City Council

FROM: Marie Darling, Planning Director

MEETING DATE: November 15, 2022

REQUEST: **Comprehensive Plan Amendment and Zoning Map Amendment** to detach a parcel from the City of Chanhassen and allow concurrent annexation of the parcel into the City of Shorewood

APPLICANT: Carl Zinn

LOCATION: 34-117-23-44-0052 (Shares address with property to the south, 6200 Cardinal Avenue)

LAND USE CLASSIFICATION: Proposed for Low Density Residential (1-2 units/acre)

ZONING: Proposed for R-1C

REQUEST

The applicant is requesting a Comprehensive Plan Amendment and a Zoning Map Amendment to allow the detachment of a .43 acre (18,715 square feet) from the City of Chanhassen and the annexation of the parcel into the City of Shorewood, the two requests above are required for this application. The parcel is owned by the same property owner as the parcel to the south and north. The home that previously straddled the lot line between the subject property and the property to the south has been removed.



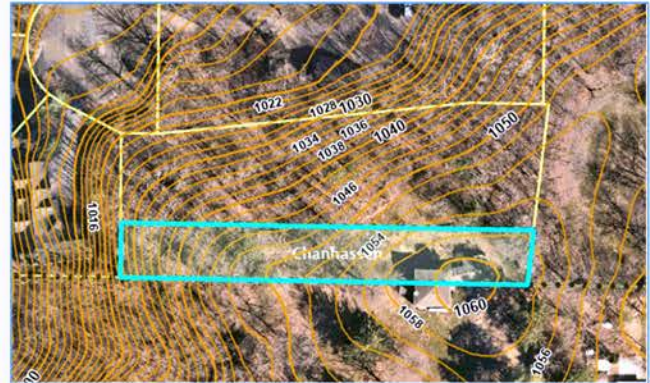
As the receiving city, Shorewood's Comprehensive Plan and the zoning map must be amended to reflect the additional parcel.

Notice of this application and the public hearing was published in the City's official newspaper and mailed to all property owners within 750 feet of the property at least 10 days prior to the meeting.

Notice of the application was sent to the other governmental agencies including adjacent cities, the school district, county, watersheds, MnDOT, DNR and the Metropolitan Council. Comments received from those agencies by the time the packet was produced are attached.

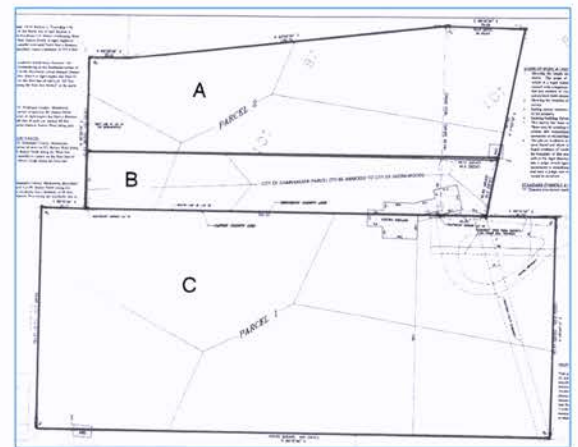
BACKGROUND

Context: The lot was originally part of two lots in Auditor's Subdivision 135 recorded in 1924. It has over 30 feet of topographic change with the highest spot on the east side of the property. The property has significant trees and any new home construction is subject to the tree preservation policy. The property is too narrow to provide a buildable area on its own.



ANALYSIS

The property owners own three parcels. The three parcels are on both sides of the County boundaries as shown on the map to the right. If the concurrent annexation/detachment is approved the City and County boundaries would align.



Under the plan, the applicant proposes to consolidate the two Hennepin County parcels (A and B) to create a buildable lot for one home within the City of Shorewood. Parcel C would remain in Chanhassen and would be sold as a separate building site.

Map Amendments

As this parcel is not in Shorewood, both the land use map (and a few accompanying tables) and the zoning map would need to be amended to include the parcel. Staff recommend the same land use (Low Density Residential) and zoning district (the R-1C) as is applied to the neighboring parcels.

Finance

With this proposal for detachment and annexation, neither city staff has concerns over

Property	Current City	Current County	Proposed City
Parcel A	Shorewood	Hennepin County	No Change
Parcel B	Chanhassen	Hennepin County	Shorewood
Parcel C	Chanhassen	Carver County	No Change

tax implications of the boundary adjustment as the adjustment has some benefits for both cities. Combining parcels A and B would create a buildable lot for a home within Shorewood. Since parcel B is too narrow to develop on its own, Chanhassen would not lose a building site. Shorewood would gain a larger buildable lot for a new home that has more practical access (see below for more info on access), and Chanhassen would gain an additional utility customer (see more info below on utilities).

Access

The parcel to be annexed into Shorewood (Parcel B) has no public access. Prior to the issuance of any building permits, the parcel must be combined with Parcel A. Parcel A has legal access to Murray Court. However, the access is not practical for construction of a driveway due to the grades and presence of a tiered retaining wall constructed near the



View from Murray Ct toward property

cul-de-sac. (See photo) Access to the home site would be more practically provided from the south, where several properties share a driveway connected to Cardinal Avenue. Prior to issuance of any building permits, the applicant is required to submit a copy of an access easement showing that the property has access to the private, shared drive to the south through Chanhassen. The applicant is currently completing the documents.

Utilities

Shorewood does not have municipal water in proximity to these lots. Parcel A has legal access to sewer in Murray Court. Like the access issue, constructing a connection to the sewer in Murray Court would be complicated by the tiered retaining wall. Public works staff was consulted. They recommend connecting any future home to utilities available in Chanhassen which are more practically accessible. The applicant would be required to submit executed easements showing proof of access to utilities from the Chanhassen side of the boundary. Staff will provide a joint powers agreement to the City Council prior to construction of a home on the Shorewood property.

FINDINGS/RECOMMENDATION

Staff recommends approval of the following:

1. Comprehensive plan amendment and zoning map amendment to allow the concurrent detachment/annexation of property 3511723420052 (north portion of 6200 Cardinal Avenue) into Shorewood; and,
2. The application of the low-density residential land use classification and the R-1C zoning district to the property.

ATTACHMENTS

Location Map

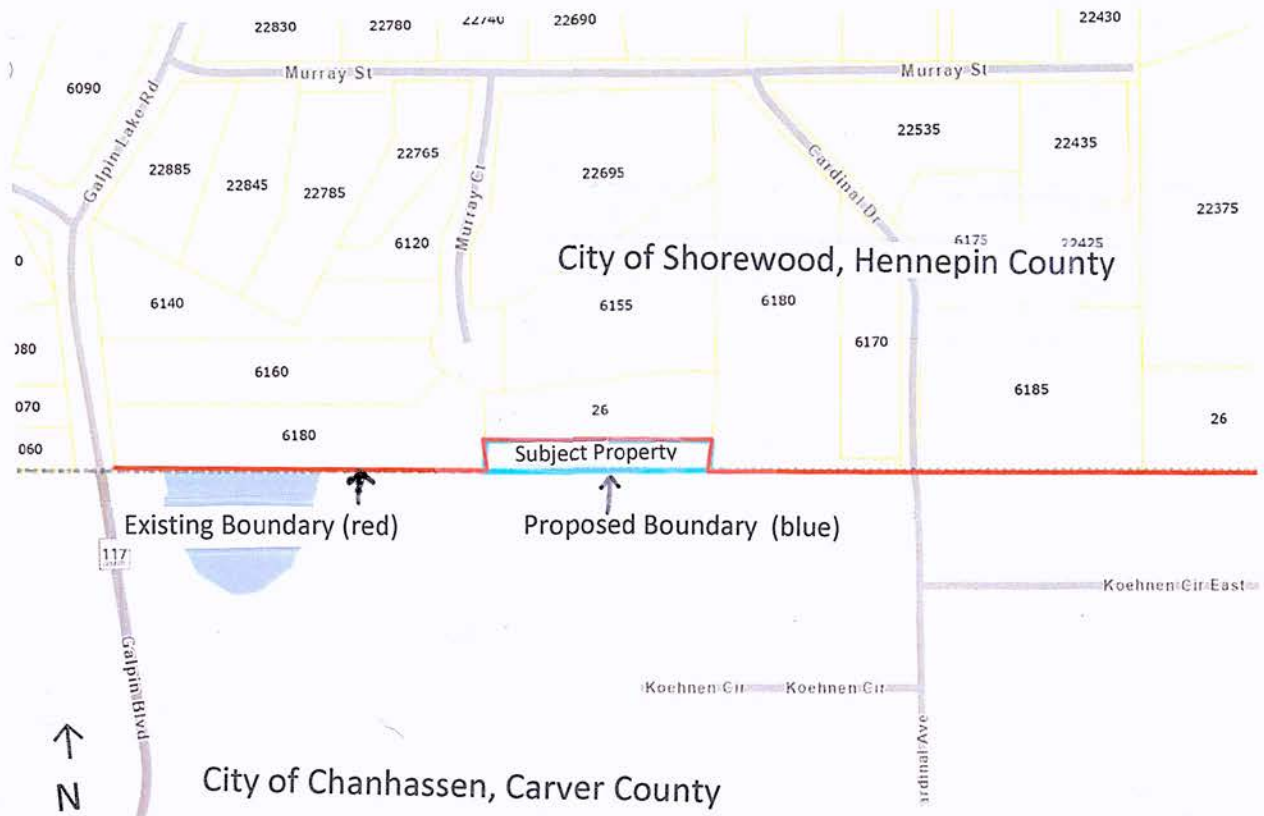
Applicant's Narrative and Plan

Proposed Changes to the Land Use Map and Zoning Map

Exhibits – Existing and Proposed Boundaries

Comments from Other Jurisdictions

Location Map
North portion of 6200 Cardinal Avenue
34-117-23-44-0052



A request for an amendment to the City of Shorewood Comprehensive Plan, a rezoning, and the consolidation of the two Shorewood lots into one property.

BACKGROUND

In 1993 the City of Shorewood agreed to an annexation by the City of Chanhassen of the south 50 feet of a parcel owned by Gerald and Carol Lynn Cox. The objective was to add a Hennepin County house to the City of Chanhassen to allow Chanhassen to qualify for CDBG Funds. The Cox family home lies on the Hennepin-Carver County line and prior to the annexation was half in Shorewood and half in Chanhassen.

OBJECTIVES

The Cox family would now like to reverse this annexation and combine the two (2) Shorewood parcels into the original one (1) Shorewood lot. The Cox family will demolish their existing home, which straddles the Hennepin-Carver County line.

GENERAL INFORMATION

The property to be added to the City of Shorewood is PID 34-117-23-44-0052. The PID of the Shorewood property to be combined with the added property is 34-117-23-44-0050. The street address of the combined Shorewood lot could be Murray Court or Cardinal depending on which access is used.

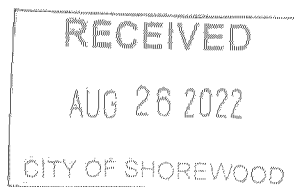
Both properties are owned by the Cox Family Trust. Gerald Loren Cox and Carol Lynn Cox are Trustees. Gerald and Carol "Lynn" have moved to 7994 Autumn Ridge Way, Chanhassen, MN.

The Cox family is aware that a building permit for the newly combined lot will require the demolition of the home located across the county line.

The Cox Family is being assisted by their Realtors, Carl Zinn and Hans Zinn, 5820 Ridge Road, Shorewood, MN.

ATTACHEMENTS

1. A survey and legal description of the property to be placed in the City of Shorewood.
2. A survey and a legal description of the property resulting from the combination of the two Shorewood lots.
3. A commitment for title insurance.
4. An estimate for the demolition of the existing house straddling the county line. The Cox family understands that a building permit for the new parcel will not be issued until the demolition is complete.
5. A Street Location map and description of the subject property with PID numbers.



LEGAL DESCRIPTIONS:

PARCEL 1 (CARVER CO.): That part of the Northeast 1/4 of Section 3, Township 116, Range 23 described as follows: Beginning at a point in the North line of said Section 3, distant 1356 feet West of the Northeast corner of said Northeast 1/4; thence continuing West of the North line of said Section 3, a distance of 450 feet; thence South, at right angles to said North line, a distance of 193.6 feet; thence East parallel with said North line a distance of 450 feet; thence North at right angles to the last described course a distance of 193.6 feet to the point of beginning, Carver County.

PARCEL 2 (HENNEPIN CO.): That part of Lot 87, Auditor's Subdivision Number 135, Hennepin County, Minnesota, described as follows: Commencing at the Southeast corner of said Lot 87; thence West along the South line thereof to the Southwest corner thereof, thence North along the West line thereof, a distance of 132 feet; thence at right angles due East 33 feet; thence in a straight line Northeast to a point on the East line of said Lot, 165 feet North of the Southeast corner thereof; thence South along the East line thereof, to the point of beginning.

AND

That part of Lot 89, Auditor's Subdivision Number 135, Hennepin County, Minnesota, described as follows: Commencing at the Southwest corner of said Lot 89; thence North along the West line thereof, a distance of 165 feet; thence at right angles due East a distance of 70 feet; thence Southwesterly to a point on the South line of said Lot, distant 40 feet Easterly, along said South line from the Southwest corner thereof; thence West along said South line to the point of beginning.

CITY OF CHANHASSEN TO CITY OF SHOREWOOD PARCEL

That part of Lot 87, Auditor's Subdivision Number 135, Hennepin County, Minnesota, described as follows: Commencing at the Southeast corner of said Lot 87; thence West along the South line thereof to the Southwest corner thereof; thence North along the West line thereof, a distance of 50 feet; thence in a straight line easterly to a point on the East line of said Lot 50 feet North of the Southeast corner thereof; thence South along the East line thereof, to the point of beginning.

AND

That part of Lot 89, Auditor's Subdivision No. 135, Hennepin County, Minnesota, described as follows: Commencing at the Southwest corner of said Lot 89; thence North along the West line 50 feet; thence easterly and parallel with the southerly line a distance of 49 feet; thence South 79° 41' 43" West, a distance of 51 feet; thence West along the southerly line of said Lot a distance of 40 feet to the point of beginning.

SCOPE OF WORK & LIMITATIONS:

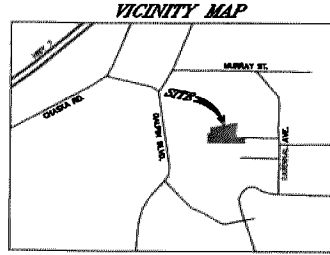
- Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
- Showing the location of observed existing improvements we deem necessary for the survey.
- Setting survey markers or verifying existing survey markers to establish the corners of the property.
- Existing building dimensions and setbacks measured to outside of siding or sheetrock.
- This survey has been completed without the benefit of a current title commitment. Therefore, this survey does not purport to show any easements or encumbrances other than the ones shown herein.
- The plat of Auditor's Subdivision No. 135 is old and vague, the iron monuments we have found and show on this survey are not in complete agreement. We have also found evidence of multiple irons at many of the lot corners. While we have shown the boundary of this property as best we can using prior surveys, found evidence and calls in the legal description, but there is conflicting information and we can't be sure that a judge would agree with our reasoning if the survey were challenged. If this uncertainty is something that you would like to remove, it is possible to go to court and have a judge rule on the matter, but like all legal proceedings, time and money would be involved.

STANDARD SYMBOLS & CONVENTIONS:

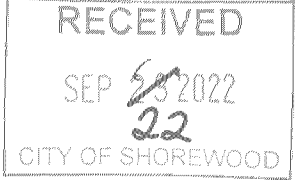
* Denotes iron survey marker, found, unless otherwise noted.

PROPOSED UTILITY EASEMENT LEGAL DESCRIPTION:

That part of the Northeast 1/4 of Section 3, Township 116, Range 23 lying 10 feet Southwesterly and parallel to the following described line: Commencing at a point in the North line of said Section 3, distant 1356 feet West of the Northeast corner of said Northeast 1/4; thence South, at right angles to said North line, a distance of 193.6 feet, to the point of beginning of said line; thence Northwesterly, to a point on said North line, distance 40 feet East of the Southeast corner of Lot 87, Auditor's Subdivision Number 135, Hennepin County, Minnesota, and said line there terminating. Side lines of easement to be extended or shortened to terminate on the North and South lines of the subject property.

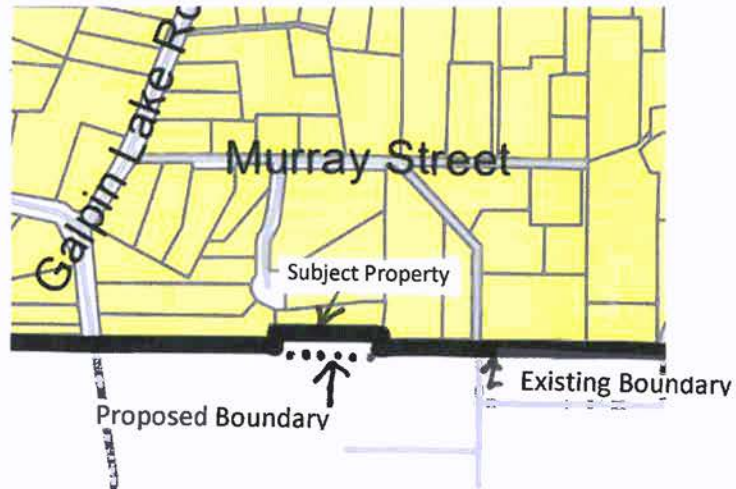


DATE	REVISION DESCRIPTION	DRAWING ORIENTATION & SCALE	CLIENT/JOB ADDRESS	ADVANCE SURVEYING & ENGINEERING, CO.	DATE	SHEET TITLE	SHEET NO.
			ZINN FAMILY REALTORS 6200 CARDINAL AVE. SHOREWOOD, MN	17917 Highway No. 7 Minnetonka, Minnesota 55345 Phone (952) 474-7984 Web: www.advance.com	SEPTEMBER 21, 2022	PARCEL SURVEY	S1
				17917 Highway No. 7 Minnetonka, Minnesota 55345 Phone (952) 474-7984 Web: www.advance.com	SEPTEMBER 15, 2022	SHEET SIZE: 22 X 34	
				Wayne W. Pringle #43503 LICENSE NO. SEPTEMBER 21, 2022	DRAFTED DATE: SEPTEMBER 21, 2022	DRAWING NUMBER 221825 WP	



Proposed Land Use Map Change

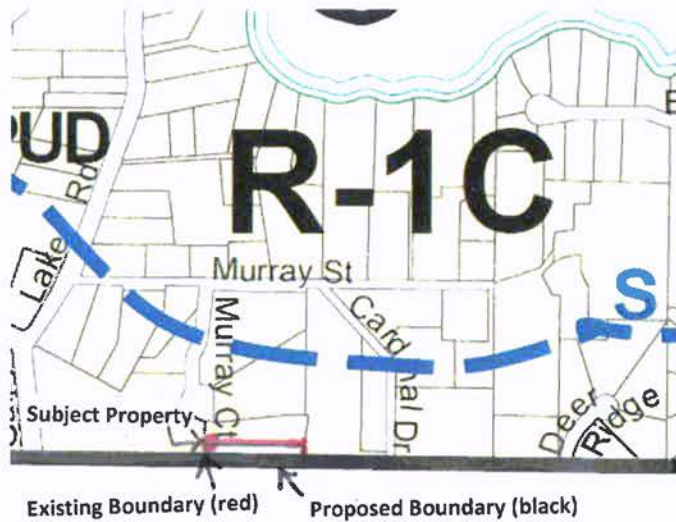
Existing Land Use Map:



Subject property is proposed to be guided Low Density Residential, same as the adjacent properties.

 **Low Density Residential**

Proposed Zoning Map Amendment Change:

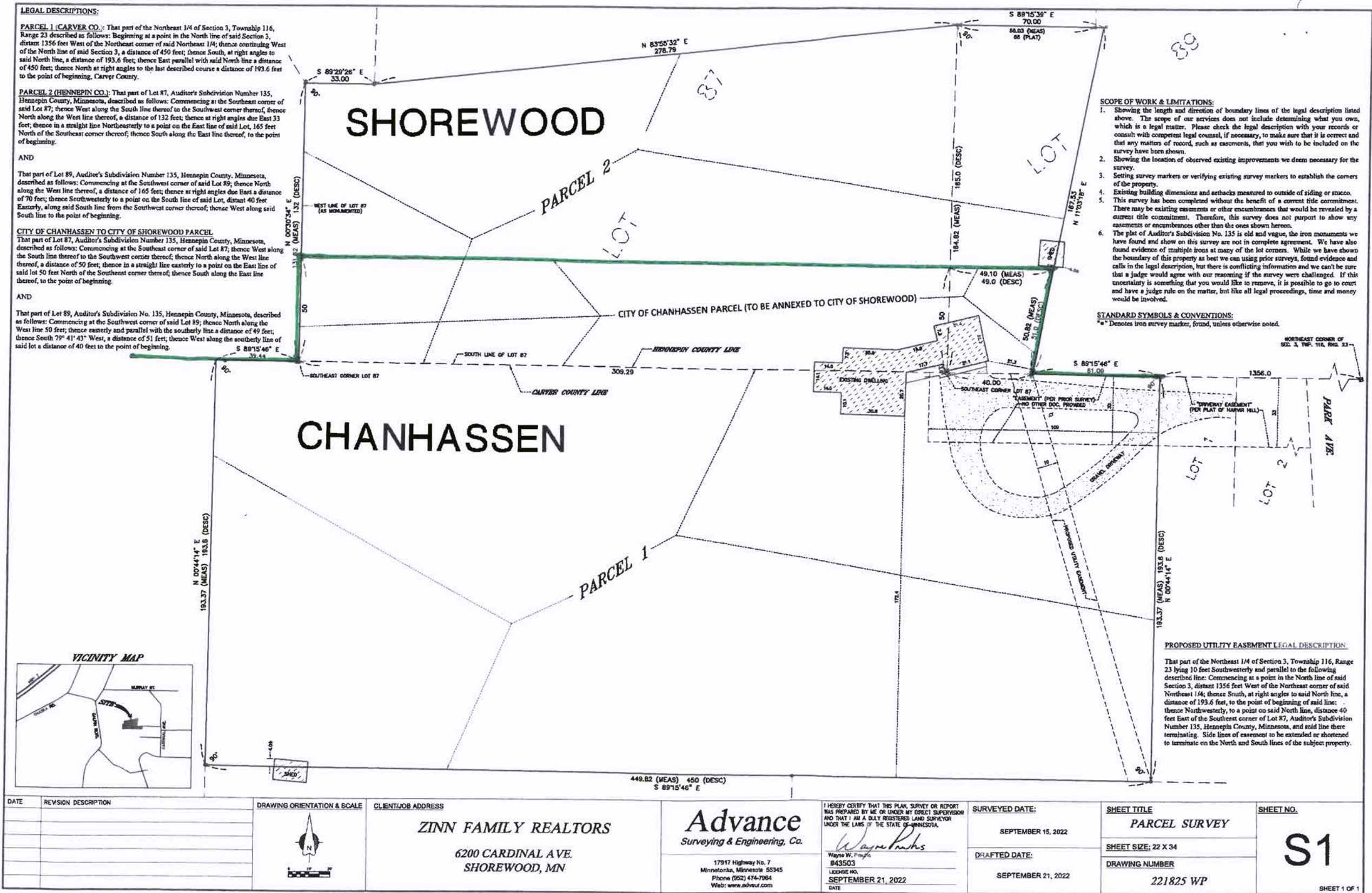


Subject property is proposed to be zoned R-1C, same as the adjacent properties



R-1C *Single-Family (20,000 sq. ft.)*

EXISTING BOUNDARY



RECEIVED
SEP 25 2022
22
CITY OF SHOREWOOD

PROPOSED BOUNDARY

LEGAL DESCRIPTIONS:

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SHOREWOOD

CHANHASSEN

SCOPE OF WORK & LIMITATIONS:

- Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
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- Setting survey markers or verifying existing survey markers to establish the corners of the property.
- Existing building dimensions and setbacks measured to outside of siding or stoop.
- This survey has been completed without the benefit of a current title commitment. There may be existing easements or other encumbrances that would be revealed by a current title commitment. Therefore, this survey does not purport to show any easements or encumbrances other than the ones shown hereon.
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*•• Denotes iron survey marker, found, unless otherwise noted.

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VICINITY MAP

DATE **REVISION** **DESCRIPTION**

DRAWING ORIENTATION & SCALE

CLIENT/JOB ADDRESS

ZINN FAMILY REALTORS
6200 CARDINAL AVE.
SHOREWOOD, MN

Advance
Surveying & Engineering, Co.

17917 Highway No. 7
Minnetonka, Minnesota 55345
Phone (952) 474-7064
Web: www.advance.com

I HEREBY CERTIFY THAT THIS PLAN, SURVEY OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Wayne W. Pugh
#43603
LICENSE NO.
SEPTEMBER 21, 2022
DATE

SURVEYED DATE:
SEPTEMBER 15, 2022

DRAFTED DATE:
SEPTEMBER 21, 2022

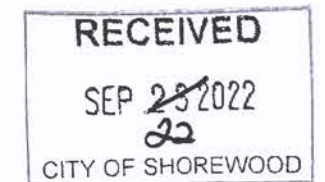
SHEET TITLE
PARCEL SURVEY

SHEET SIZE: 22 X 34

DRAWING NUMBER
221825 WP

SHEET NO.
S1

SHEET 1 OF 1

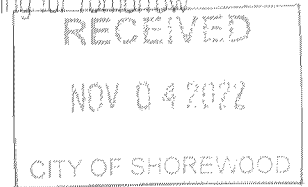




CITY OF CHANHASSEN

Chanhassen is a Community for Life - Providing for Today and Planning for Tomorrow

November 1, 2022



City of Shorewood
5755 Country Club Road
Shorewood, MN 55331

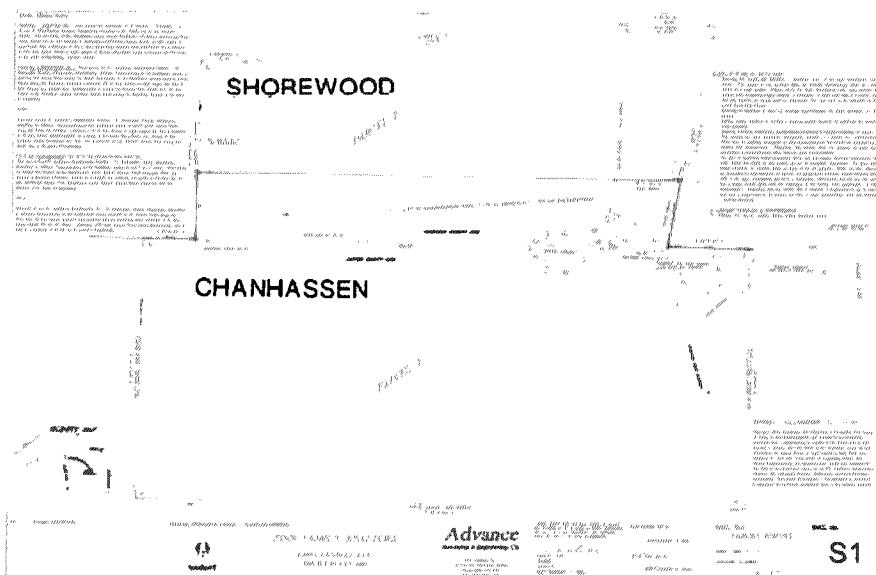
Re: Shorewood Comprehensive Plan Amendment for Concurrent Detachment Annexation

Dear City of Shorewood:

- The parcel in question is shown on the attached location map and is addressed as 6200 Cardinal Avenue (within the City of Chanhassen, but within Hennepin County).
- The Hennepin County PID is 3411723440052.
- The applicant is proposing to detach the parcel and annex it into the City of Shorewood. The subject parcel would then be combined with another parcel lying northerly of the subject property to create a buildable lot for one new home in the City of Shorewood.
- The property would be guided Low Density Residential (1-2 units/acre) and zoned R-1C, the same as the surrounding parcels.

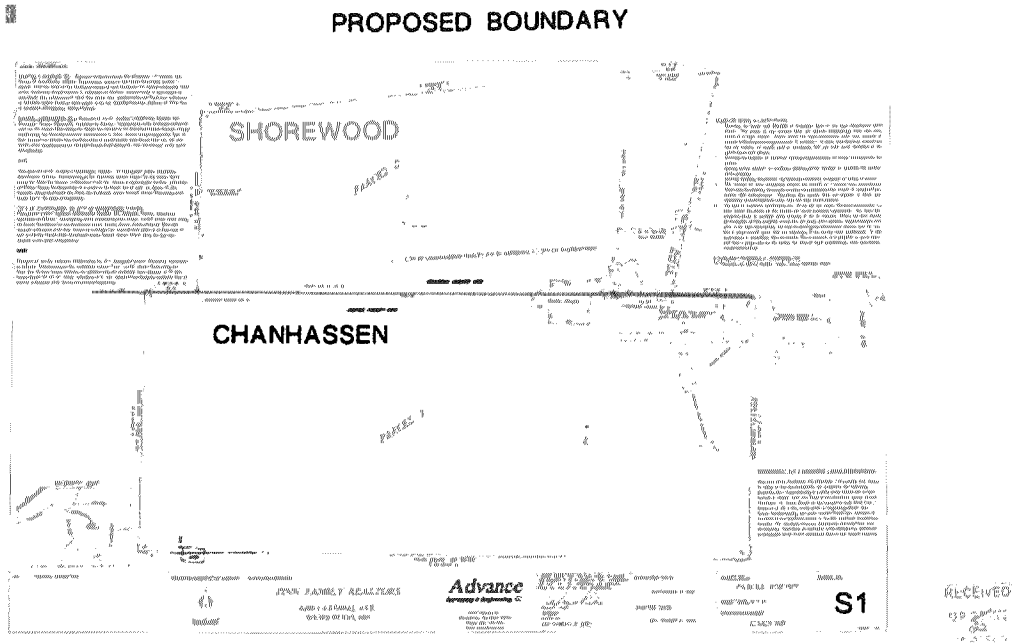
Comments: Support for the Plan Amendment is contingent upon the City of Shorewood concurrent detachment annexation of said parcel.

EXISTING BOUNDARY



PH 952.227.1100 • www.ci.chanhassen.mn.us • FX 952.227.1110

7700 MARKET BOULEVARD • PO BOX 147 • CHANHASSEN • MINNESOTA 55317



Reviewer: Kate Aanenson, Community Development Director City of Chanhassen

Sincerely,

Kate Aanenson
Community Development Director

g:\plan\shorewood 1.1.22.docx

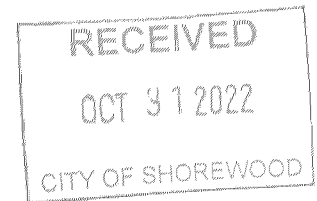


2415 WILSHIRE BOULEVARD • MOUND, MN 55364-1668
PH: 952-472-0600 • FAX: 952-472-0620 • WWW.CITYOFMOUND.COM

By Email

October 31, 2022

Ms. Marie Darling
Planning Director
City of Shorewood
5755 Country Club Road
Shorewood, MN 55331



This letter is in regard to the email and information received on October 28, 2022 from the City of Shorewood regarding a minor comprehensive plan amendment to facilitate a concurrent detachment/annexation with the City of Chanhassen.

Please be advised that the City of Mound has no comments regarding the proposed comprehensive plan amendment and therefore is waiving review of the 60-day comment period.

If you have any questions, please feel free to contact me directly at (952) 472-0604 or by email at sarahsmith@cityofmound.com. I will be happy to answer any questions you may have.

Sincerely,

Sarah Smith

Sarah Smith, Community Development Director

Cc: Eric Hoversten, City Manager

Marie Darling

From: Pat Smith <pat@cityofdeephaven.org>
Sent: Monday, October 31, 2022 12:09 PM
To: Marie Darling
Subject: RE: Comprehensive Plan Amendment for Concurrent Detachment Annexation

No comments 😊

Patrick Smith, AICP

Planning Director
Deephaven • Woodland

20225 Cottagewood Road
Deephaven, MN 55331
Direct: (952) 358-9938
pat@cityofdeephaven.org

From: Marie Darling <MDarling@ci.shorewood.mn.us>
Sent: Friday, October 28, 2022 2:54 PM
To: kaanenson@ci.chanhassen.mn.us; jwischnack@eminnetonka.com; jmullin@excelsiormn.org; administrator@greenwoodmn.com; Pat Smith <pat@cityofdeephaven.org>; Dana Young <danay@cityofdeephaven.org>; Dan Tolsma <dtolsma@cityoftonkabay.net>; sarahsmith@cityofmound.com; David Abel <dabel@ci.minnetrista.mn.us>; jbrewington@ci.victoria.mn.us; loakden@ci.orono.mn.us; tjeffery@rpbcwd.org; jwisker@minnehahacreek.org; Martha.vickery@state.mn.us; david.law@minnetonkaschools.org; kgrissman@threeriversparkdistrict.org; April.Crockett@state.mn.us; lrobjent@co.carver.mn.us; planning@co.carver.mn.us; Ashley Morello <Ashley.Morello@hennepin.us>; ao.admin@hennepin.us; fnielsen@ci.victoria.mn.us
Cc: Thamman, Freya <Freya.Thamman@metc.state.mn.us>; Generous, Bob <bgenerous@chanhassenmn.gov>; Jason Carlson <jcarlson@ci.shorewood.mn.us>; Zinn, Carl N <czinn@CBBURNET.COM>
Subject: Comprehensive Plan Amendment for Concurrent Detachment Annexation

CITY OF DEEPAVEN SECURITY NOTICE:

This email originated from an external sender. Exercise caution before clicking on any links or attachments and consider whether you know the sender. For more information please contact IT Support.

The City has recently received an application for a comprehensive plan amendment to facilitate a concurrent detachment/annexation with the City of Chanhassen. You are receiving this notice in conformance with requirements for review by adjacent governmental units, affected special districts and affected school districts.

The parcel in question is shown on the attached location map and is addressed as 6200 Cardinal Avenue (within the City of Chanhassen, but within Hennepin County). The Hennepin County PID is 3411723440052. The applicant is proposing to detach the parcel and annex it into the City of Shorewood. The subject parcel would then be combined with another parcel lying northerly of the subject property to create a buildable lot for one new home in the City of Shorewood. For more information, see the attached narrative.

The property would be guided Low Density Residential (1-2 units/acre) and zoned R-1C, the same as the surrounding parcels.

Marie Darling

From: David Abel <dabel@ci.minnetrista.mn.us>
Sent: Tuesday, November 8, 2022 9:38 AM
To: Marie Darling
Subject: RE: Comprehensive Plan Amendment for Concurrent Detachment Annexation

Hello Marie,

The City of Minnetrista does not have any comments or questions regarding this request. We waive the 60-day review period.

Kinds Regards,

David Abel
Community Development Director
City of Minnetrista, 7701 County Road 110 West, Minnetrista, MN 55364
Direct Phone: (952) 241-2523



<https://www.cityofminnetrista.com/>

From: Marie Darling <MDarling@ci.shorewood.mn.us>
Sent: Friday, October 28, 2022 2:54 PM
To: kaanenson@ci.chanhassen.mn.us; jwischnack@eminnetonka.com; jmullin@excelsiormn.org; administrator@greenwoodmn.com; pat@cityofdeephaven.org; danay@cityofdeephaven.org; Dan Tolsma <dtolsma@cityoftonkabay.net>; sarahsmith@cityofmound.com; David Abel <dabel@ci.minnetrista.mn.us>; jbrewington@ci.victoria.mn.us; loakden@ci.orono.mn.us; tjeffery@rpbcwd.org; jwisker@minnehahacreek.org; Martha.vickery@state.mn.us; david.law@minnetonkaschools.org; kgrissman@threeriversparkdistrict.org; April.Crockett@state.mn.us; lrobjent@co.carver.mn.us; planning@co.carver.mn.us; Ashley Morello <Ashley.Morello@hennepin.us>; ao.admin@hennepin.us; fnielsen@ci.victoria.mn.us
Cc: Thamman, Freya <Freya.Thamman@metc.state.mn.us>; Generous, Bob <bgenerous@chanhassenmn.gov>; Jason Carlson <jcarlson@ci.shorewood.mn.us>; Zinn, Carl N <czinn@CBBURNET.COM>
Subject: Comprehensive Plan Amendment for Concurrent Detachment Annexation

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The property would be guided Low Density Residential (1-2 units/acre) and zoned R-1C, the same as the surrounding parcels.

Attached are two types of location maps (one showing the subject property within the City of Shorewood and a local area map); the applicant's narrative explaining the request; the applicant's property survey showing the change in the boundary; and proposed changes to the City of Shorewood's Land Use Map.

Please contact me at your earliest convenience with any comments or questions. If you have no comments or questions, you may also waive your required 60-day review period.

Marie Darling

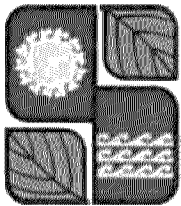
Planning Director

952-960-7912

mdarling@ci.shorewood.mn.us

City of Shorewood
5755 Country Club Road
Shorewood, MN 55331

MN Data Practices Notification: Pursuant to MN Data Practices Chapter 13 all government data including email communications is presumed to be public unless there is a specific state statute, federal law, or temporary classification that classifies it otherwise.



**CITY OF
SHOREWOOD**

www.ci.shorewood.mn.us