



TOWN OF WATERTOWN CONNECTICUT

51 Depot Square Business Center

Suite 502 • Watertown, Connecticut 06795-2200

Planning and Zoning, Zoning Board of Appeals, Conservation Commission/Inland Wetland Agency

Telephone: (860) 945-5266

Fax: (860) 945-2704

SITE PLAN APPROVAL/SPECIAL PERMIT # 2023-02

Name and mailing address of Applicant AEPM International LLC 241 MAIN ST ANSONIA, CT 06401 Phone: ()	Location of Property 1125 Main Street Watertown, CT 06795
Name and address of Owner SABRINA SIGMORE 1125 MAIN STREET LLC 1125 MAIN ST. Watertown CT 06795	Zone BG non-conforming? NO Map 3526 Block Lot

Description of Existing Use/Property	
Type of Use	Currently Retail space on Main St. All other space unoccupied.
Size of property	18,030 SF or .414 acre
Buildings	Two structures
Parking	12-15
other important features	
Signage(# of signs & square feet)	To be determined with Tenant

Description of Proposed Use	
Uses	Mixed Use Commercial/Retail Floor 1
Buildings	Two to remain Residential Floors 2 & 3
Parking	12-15
Signage(# of signs & square feet)	to be determined with new Tenants
Number of Employees	TBD

Hotel/Motel Rooms	Where applicable, number of: N/A		
Hospital/Clinic Beds	Convalescent Home		
Water & Sewer to be provided by	Occupants of Assembly Hall		
Professional Engineer/Surveyor name and address GARY GIORDANO 19 Ferrell Farm Rd Bethlehem, CT Phone: (203) 266-6760	Date Submitted	Date Rec'd	PH Date
Signature of Applicant	Project Number:	Fee:	
Date 2-23-23	Signature of Owner		
	Date		



Outsourced Risk Management Solutions LLC

Property

Job Name: Signore's Place LLC
1125 - 1133 Main Street
Watertown, CT 06795
Constructed in 1977

Date: March 18, 2022

File #: ION.DR.13510

Professional Opinion

Based on the review of the available government records and historical records described below, we have conducted an ORMS Desktop Review and concluded that the findings are:

☒ Low Risk ☐ Elevated Risk

Recommendations:

Based solely on the information evaluated as part of this review, the subject property is considered a low risk, and ORMS suggests that no further environmental investigation is necessary at this time.

Intake/Environmental Checklists:

- The checklist for 1125 Main Street, signed by the borrower, Sabrina Signore, on 3/10/2022, indicates that the property was formerly occupied by a NAPA retail parts store/office, and its intended future use is retail/residential/office use. Renovation will be required. No environmental concerns were identified. The building is heated via electricity.
- The checklist for 1133 Main Street, signed by the borrower, Sabrina Signore, on 3/10/2022, indicates that the property is occupied by a restaurant, and its intended future use is a restaurant. The building is heated via natural gas. One or more former USTs (underground storage tanks) were identified.

Government Database Records:

- Based on the database report only, there are four (4) environmental records associated with the subject property address at 1133 Min Street. There are zero records for the subject property address at 1125 Main Street.
 - A SPILLS database record documents a 2001 incident where the responsible party appears to be CL&P (now Eversource) and where a broken hose resulted in a 1-gallon release of hydraulic oil that is noted to have been cleaned. Most likely the incident occurred in the street right-of-way, rather than on the subject property itself. In any case, the quantity of released material was minimal, it was cleaned, and the regulatory status of the record is CLOSED. This is not considered a significant environmental concern for the subject property.
 - A record in the FIND/FRS database indicates that the subject property, identified as Home Plate Restaurant, is of some environmental interest. No other detail is provided, but this record is likely to be associated with the other records summarized below.
 - Records in the UST and CT MANIFEST databases may be related to the same circumstances. The UST record documents the removal of three (3) 3,000-gallon gasoline tanks. The date(s) of removal were not specified in

LIMITATIONS OF LIABILITY

This report was prepared for the use of ION Bank and the U.S. Small Business Administration exclusively and is based solely on the review of environmental data referenced in this review. It also contains certain information obtained from a variety of public and other sources reasonably available to ION Bank. It cannot be concluded from this report that coverage and/or information for the subject and surrounding properties does not exist from other sources. This report did not include a review of any separate environmental documentation obtained independently by ION Bank unless specifically noted. A prior report was not provided for review.



Outsourced Risk Management Solutions LLC

the record, but the tanks' last use was listed as January 1975. The CT MANIFEST record documents the removal of 3,000 gallons of waste flammable liquid in March 1980. This type of record is typical of waste that would be generated by cleaning tanks that had held gasoline, upon their removal. Although the USTs were last used in 1975, based on the record that the liquid waste was shipped, and presumably generated, in March 1980, and the supplemental letters noted below were dated in May 1980, ORMS presumes that the USTs were removed in March 1980 and that the UST and CT MANIFEST records are both associated with the UST removals.

- Twenty-two (22) records are noted within $\frac{1}{8}$ mile of the subject property.
 - Based on the type of record, its regulatory status, and its relative location (distance and elevation), none of these records is likely to affect the subject property.
- There are thirty (30) records noted between $\frac{1}{8}$ – $\frac{1}{4}$ of a mile from the subject property.
 - Based on the type of record, its regulatory status, and its relative location (distance and elevation), none of these records is likely to affect the subject property.
- There were twelve (12) records noted beyond $\frac{1}{4}$ of a mile from the subject property.

Supplemental City Information:

A previous ORMS EnviroFlash report in May 2013 for 1133 Main Street included summaries of two letters documenting the absence of releases from the USTs removed as noted above. The letters were from the local Fire Chief/Marshal and the contractor who removed the tanks. Both letters were dated in May 1988. Based on this supplemental information, ORMS opined that the former USTs and their removal constituted a low environmental risk to the property.

Fire Insurance Maps:

- Based upon research conducted by ERIS, fire insurance maps were not available for the subject property.

City Directories:

- A city directory review as conducted by ERIS provided directories for the years 1942-1968 with at least two directories per decade, and 1998-2020 at approximately 4-year intervals.
 - The 1942 city directory does not list the subject site.
 - The 1947-1958 city directories indicate that 1125 Main Street is occupied by individuals and, beginning in 1956, also by Vaughn Brothers Television, and 1133 Main Street is occupied by The Connecticut Fuel Gas Corp. In 1964, the 1133 Main Street site is vacant.
 - The 1968 city directory indicates that 1125 Main Street is occupied by individuals and Vaughn Brothers Television, and 1133 Main Street is occupied by Chapins Chevron.
 - The 1998-2020 city directories indicate that 1125 Main Street is occupied by an auto parts business, and 1133 Main Street is occupied by Homeplate Restaurant.

Aerial Photographs:

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- A review of online aerial photograph was conducted. Aerial photographs for the years 1934, 1955-1991 with at least one photograph per decade, and even years 2004-2018 were reviewed at <http://www.historicaerials.com>. (The 2006 photograph is blank.)
 - The 1934 aerial photograph’s quality is too poor to interpret site occupancy.
 - The 1955 & 1966 aerial photographs indicate that 1125 Main Street is occupied by a building that appears to be residential and 1133 Main Street is occupied by a building set further back from the street than the current building.
 - The 1969 & 1972 aerial photographs indicate that 1125 Main Street is occupied by the current building and 1133 Main Street is occupied by several structures, one of which is similar to the building seen in the previous photographs. The 1972 aerial photograph shows multiple parked vehicles at 1133 Main Street.
 - The 1985-2018 aerial photographs indicate the subject site is occupied by the two current buildings.

Parcel Information:

- According to information provided to ORMS and verified through the Town of Watertown Assessor & Treasurer online database, the subject property at 1125 Main Street consists of 0.44 acres of land. This property is developed with a 2,642 square foot building constructed in 1920.
 - According to information provided to ORMS and verified through the Town of Watertown Assessor & Treasurer online database, the subject property at 1133 Main Street consists of 0.46 acres of land. This property is developed with a 2,535 square foot building constructed in 1977.
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PILICY RYAN & WARD, P.C.
ATTORNEYS AT LAW

FRANKLIN G. PILICY
fpilicy@prwpc.com
Also Admitted in MA

www.PRWPC.com

CHARLES A. RYAN
cryan@prwpc.com
Also Admitted in MA

WILLIAM W. WARD
billward@prwpc.com
Fellow, College of Community
Association Lawyers

235 Main Street
Watertown, Connecticut 06795
Phone (860) 274-0018
Fax (860) 274-0061

JILLIAN A. JUDD
jjudd@prwpc.com

DONALD J. RINALDI
drinaldi@prwpc.com
As of Counsel to the Firm

1318 Bedford Street
Stamford, Connecticut 06905
Phone (203) 975-1151
Fax (203) 975-1821

BENJAMIN A. SAAVEDRA
bsaavedra@prwpc.com
Also Admitted in MA

March 29, 2023

Planning and Zoning Commission
Town of Watertown
Watertown Municipal Center
61 Echo Lake Road
Watertown, CT 06795

Re: 795 Straits Turnpike
Interpretation of Zoning Regulations
Proposed Use

Planning and Zoning Commission ("Commission"):

This Office represents Peter Lupachino, Owner ("Owner") of 795 Straits Turnpike, Watertown, CT. The Property is located in the shopping center business (B-SC) District. The Owner is seeking to locate a business within a portion of the building for the following uses that are car related; detailing cars, install car navigation and entertainment systems, car preparation and improvements, tinting car windows, and related automotive uses. There will be no car sales of any nature. There will be no traditional repairs of any nature.

It is the position of the Owner that this is a permitted use pursuant to Section 17.3.1 of the Watertown Zoning Regulations.

"17.3.1 B-SC District Uses and Structures Permitted by Site Plan Approval. (a.) Stores or shops for the conduct of retail business. (b.) Stores or shops for the conduct of personal service businesses."

The Owner respectfully requests a Planning and Zoning Interpretation of the regulations to determine that the proposed use is a permitted use under the existing Zoning Regulations.

If you have any other questions please contact the undersigned at your convenience.

RESPECTFULLY,

BY: /s/046648
Franklin G. Pilicy, Esq.



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Planning and Zoning, Zoning Board of Appeals, Conservation Commission/Inland Wetland Agency

Telephone: (860) 945-5266

Fax: (860) 945-2704

SITE PLAN APPROVAL/SPECIAL PERMIT #2023-01

Name and mailing address of Applicant 795 Straits Tpk. LLC 56 Echo Lake Road Watertown CT Phone: (203) 228-3873	Location of Property 795 Straits Tpk. Watertown CT
Name and address of Owner Peter Lupachino 1451 Grosvenor Rd. Watertown	Zone BSC non-conforming? Map 165 th Block 257 Lot 50

Description of Existing Use/Property

Type of Use	Vacant
Size of property	73,676 sq. ft.
Buildings	1
Parking	200 +/-
other important features	none
Signage(# of signs & square feet)	none

Description of Proposed Use

Uses	Daycare
Buildings	1
Parking	as needed
Signage(# of signs & square feet)	3
Number of Employees	12

Where applicable, number of:

Hotel/Motel Rooms		Convalescent Home	
Hospital/Clinic Beds		Occupants of Assembly Hall	
Water & Sewer to be provided by			
Professional Engineer/Surveyor name and address	Date Submitted	Date Rec'd	PH Date
Phone:	Project Number:	Fee:	
Signature of Applicant	Date	Signature of Owner	Date
	3/21/23		3/21/23

Ashley
Revised 2/03

Peter Lupachino

EXISTING NOTES

GENERAL NOTES

1. ALL DIMENSIONS ARE INTERIOR DIMENSIONS, FINISHED WALL TO FINISHED WALL. DIMENSIONS TAKEN IN THE FIELD ON 3/16/23 - 3/19/23.
2. WINDOWS ON SECOND FLOOR HAVE AN AWNING WINDOW FOR VENTILATION WITH 2 FIXED WINDOWS, AWNING WINDOW HAS SCREEN MESH. WINDOWS ON FIRST FLOOR NOT LISTED IN WINDOW SCHEDULE ARE APART OF CURTAIN WALL AND ARE FIXED.
3. EXISTING FIRE PROTECTION SYSTEM IN THE OBSERVED AREA CONSISTED OF, RECESSED SPRINKLERS IN THE CEILING, IN EVERY ROOM AND SEVERAL IN BIGGER AREAS (NOT SHOWN), WALL MOUNTED SPRINKLERS, AND WALL MOUNTED FIRE EXTINGUISHERS.
4. AMOUNT OF STORIES OF STRUCTURE: 2
5. MEASURED AREA WAS USED FOR AUTOMOTIVE SALES.
6. HEATING OF STRUCTURE IS FORCED HOT AIR, FUEL IS NATURAL GAS.
7. CONSTRUCTION/ EXTERIOR FINISH OF STRUCTURE IS MASONRY/ CONCRETE BLOCK
8. STRUCTURE BUILT AND MAINTAINED SINCE 1963.
9. SQUARE FOOTAGE IS OF THE MEASURED AREA ON SHEETS A-1 AND A-2.

CLASSIFICATION & CONSTRUCTION TYPE:

1. CLASSIFICATION OF USE IS: GROUP B
2. TYPE OF CONSTRUCTION IS: TYPE 3

SQUARE FOOTAGE

FIRST FLOOR: 3580 S.F.

SECOND FLOOR: 1368 S.F.

TOTAL: 4,948 S.F.

Door Schedule			
Door Size	Door Size	Type	Quantity
D1	3'-0" x 7'-0"	EXTERIOR - SINGLE - GLASS/CURTAIN WALL DOOR	3
D2	3'-0" x 7'-0"	EXTERIOR - SINGLE - GLASS/METAL DOOR	1
D3	3'-0" x 7'-0"	INTERIOR - SINGLE DOOR W/ SINGLE VISION_LITE	8
D4	3'-0" x 7'-0"	INTERIOR - SINGLE DOOR	8
D5	2'-8" x 6'-8"	INTERIOR - SINGLE DOOR	1
D6	3'-0" x 6'-8"	INTERIOR - SINGLE DOOR	2
D7	2'-8" x 6'-8"	INTERIOR - SINGLE DOOR W/ SINGLE VISION_LITE	1
D8	2'-8" x 6'-8"	INTERIOR - SINGLE METAL DOOR W/ SINGLE VISION_LITE	1
D9	3'-0" x 6'-8"	INTERIOR - SINGLE METAL DOOR	1
D10	5'-0" x 6'-8"	INTERIOR - DOUBLE DOOR	1

Window Schedule			
Window Tag	Window Size	Type	Quantity
W1	3'-5" x 6'-7"	FIXED WINDOWS OVER AWNING WINDOW	16
W2	2'-8" x 3'-2"	SINGLE FIXED WINDOW	1
W3	7'-6" x 5'-0"	SINGLE FIXED WINDOW	1
W4	3'-8" x 3'-8"	SINGLE FIXED WINDOW	2
W5	1'-10" x 2'-6"	SINGLE FIXED WINDOW	2
W6	1'-9" x 2'-8"	SINGLE FIXED WINDOW	1

*NOTE CURTAIN WALL FIXED WINDOWS NOT SHOWN IN WINDOW SCHEDULE

PROPOSED NOTES

GENERAL NOTES

1. ALL DIMENSIONS ARE INTERIOR DIMENSIONS, FINISHED WALL TO FINISHED WALL. DIMENSIONS TAKEN IN THE FIELD ON 3/16/23 - 3/19/23. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION OF NEW WALLS.
2. ALL EXISTING WINDOWS TO REMAIN UNLESS SHOWN OTHERWISE (SEE PROPOSED LAYOUT ON SHEETS A-3 & A-4).
3. EXISTING FIRE PROTECTION SYSTEM IN THE OBSERVED AREA CONSISTED OF, RECESSED SPRINKLERS IN THE CEILING, IN EVERY ROOM AND SEVERAL IN BIGGER AREAS (NOT SHOWN), WALL MOUNTED SPRINKLERS, AND WALL MOUNTED FIRE EXTINGUISHERS TO REMAIN IN PLACE UNLESS SHOWN OTHERWISE.
4. MEASURED AREA TO NOW BE USED FOR CHILD DAY CARE CENTER WITH PRESCHOOL, "RIVER OAK ACADEMY OF EARLY LEARNING."
5. ALL REQUIREMENTS MADE BY THE LICENSING STANDARDS FOR DAYCARE CENTERS IN CONNECTICUT TO BE FOLLOWED, INCLUDING BUT NOT LIMITED TO...

A.) ANY NEW OPERATOR IS RESPONSIBLE FOR BRINGING THE CENTER OR HOME INTO COMPLIANCE WITH SECTIONS 19A-79-1A THROUGH 19A-79-8A OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES.

B.) THE BUILDING, EQUIPMENT AND SERVICES SHALL BE MAINTAINED IN A GOOD STATE OF REPAIR. A MAINTENANCE PROGRAM SHALL BE ESTABLISHED THAT ENSURES THAT THE INTERIOR, EXTERIOR AND GROUNDS OF THE BUILDING ARE MAINTAINED, KEPT CLEAN AND ORDERLY, FREE FROM ACCUMULATIONS OF REFUSE, RAMPNESS, STAGNANT WATER, DILAPIDATED STRUCTURES, AND OTHER HEALTH AND SAFETY HAZARDS.

C.) WATER SUPPLY, FOOD SERVICE AND SEWAGE DISPOSAL FACILITIES SHALL BE IN COMPLIANCE WITH ALL APPLICABLE SECTIONS OF THE PUBLIC HEALTH CODE.

D.) ALL WATER SUPPLIES SHALL BE TESTED EVERY TWO (2) YEARS FOR LEAD CONTENT AND THE RESULTS SUBMITTED TO THE LOCAL AND STATE HEALTH DEPARTMENTS.

E.) WHENEVER WATER IS OBTAINED FROM OTHER THAN A DEPARTMENT-APPROVED PUBLIC WATER SUPPLY IT SHALL BE OF A SAFE AND SANITARY QUALITY AND TESTED EVERY TWO (2) YEARS FOR BACTERIAL AND CHEMICAL QUALITY AND THE RESULTS SUBMITTED TO THE LOCAL AND STATE HEALTH DEPARTMENTS.

F.) SANITARY DRINKING FOUNTAINS OR INDIVIDUAL DISPOSAL DRINKING CUPS SHALL BE PROVIDED AND ACCESSIBLE TO THE CHILDREN AT ALL TIMES

6. FENCED-IN OUTDOOR PLAY AREA TO FOLLOW THE REQUIREMENTS LISTED IN LICENSING STANDARDS FOR DAYCARE FACILITIES, CT STATUTES AND REGULATIONS CHILD CARE CENTERS AND GROUP CHILD CARE HOME, OUTDOOR PLAY SPACE (H).

6. ADDITIONAL KEY BASIC REQUIREMENTS LISTED IN THE LICENSING STANDARDS FOR DAYCARE CENTERS IN CONNECTICUT USED FOR DESIGN INCLUDE BUT NOT LIMITED TO.....

A.) EMERGENCY VEHICLES SHALL HAVE ACCESS TO ALL CHILD DAY CARE CENTERS OR GROUP DAY CARE HOMES.

B.) IN CHILD DAY CARE CENTERS THAT ARE LICENSED OR RENOVATED AFTER JANUARY 1, 1994, A ROOM WITH A TOILET AND SINK WITHIN THE LICENSED CHILD DAY CARE CENTER SHALL BE DESIGNATED FOR THE EXCLUSIVE USE OF STAFF AND OTHER ADULTS.

C.) ALL WINDOWS THAT OPEN TO THE OUTSIDE AND ARE USED FOR VENTILATION SHALL BE EQUIPPED WITH SIXTEEN (16) MESH SCREENING.

D.) ANY UNPROTECTED GLASS DOORS, WINDOWS, OR MIRRORS TO WHICH CHILDREN HAVE ACCESS SHALL BE PROTECTED TO A HEIGHT OF THIRTY SIX (36) INCHES FROM THE FLOOR OR SURFACE ON WHICH A CHILD STANDS.

E.) EXIT DOORWAYS, STAIRS, OR HALLWAYS SHALL NOT BE BLOCKED BY FURNITURE, TOYS, OR PLAY EQUIPMENT.

F.) THERE SHALL BE AN AREA AVAILABLE FOR THE INDIVIDUAL STORAGE OF EACH CHILD'S CLOTHING AND BEDDING.

G.) ELECTRICAL OUTLETS SHALL BE PROVIDED WITH SAFETY COVERS OR APPROVED SAFETY OUTLETS. THE USE AND MAINTENANCE OF ELECTRICAL CORDS, APPLIANCES, AND ADAPTORS SHALL BE IN FULL COMPLIANCE WITH STATE CODES.

H.) ESTABLISHED WALKWAYS PROVIDED SHALL PROPERLY BE MAINTAINED FOR EACH ENTRANCE AND EXIT LEADING TO A DRIVEWAY OR STREET.

I.) FOR PROGRAMS SERVING CHILDREN UNDER SIX (6) YEARS OF AGE THERE SHALL BE AT LEAST ONE (1) TOILET AND ONE (1) SINK WITH HOT AND COLD RUNNING WATER FOR EVERY SIXTEEN (16) CHILDREN, OR FRACTION THEREOF. STANDARD SIZE TOILETS AND SINKS SHALL BE ADAPTED FOR CHILDREN'S USE.

J.) THE OPERATOR SHALL PROVIDE MINIMUM OF THIRTY-FIVE (35) SQUARE FEET OF TOTAL INDOOR USABLE PROGRAM SPACE PER CHILD. THE TOTAL LICENSED CAPACITY SHALL BE DETERMINED ON A ROOM-BY-ROOM BASIS MEASURING FROM INTERIOR WALL TO INTERIOR WALL.

7. SEE LICENSING STANDARDS FOR DAYCARE FACILITIES, CT STATUTES AND REGULATIONS CHILD CARE CENTERS AND GROUP CHILD CARE HOME, PHYSICAL PLANT (E) FOR ENVIRONMENTAL REQUIREMENTS

Door Schedule			
Door Size	Door Size	Type	Quantity
D1	3'-0" x 7'-0"	EXTERIOR - SINGLE - GLASS/CURTAIN WALL DOOR	3
D2	3'-0" x 7'-0"	EXTERIOR - SINGLE - GLASS/METAL DOOR	1
D3	3'-0" x 7'-0"	INTERIOR - SINGLE DOOR W/ SINGLE VISION_LITE	8
D4	3'-0" x 7'-0"	INTERIOR - SINGLE DOOR	10
D5	2'-6" x 6'-8"	INTERIOR - SINGLE DOOR	1
D6	3'-0" x 6'-8"	INTERIOR - SINGLE DOOR	9
D7	2'-8" x 6'-8"	INTERIOR - SINGLE DOOR W/ SINGLE VISION_LITE	1
D8	2'-8" x 6'-8"	INTERIOR - SINGLE METAL DOOR W/ SINGLE VISION_LITE	1
D9	3'-0" x 6'-8"	INTERIOR - SINGLE METAL DOOR	1
D10	5'-0" x 6'-8"	INTERIOR - DOUBLE DOOR	1

CLASSIFICATION & CONSTRUCTION TYPE:

1. CLASSIFICATION OF USE IS: INSTITUTIONAL GROUP 1-4
2. TYPE OF CONSTRUCTION IS: TYPE 3

SQUARE FOOTAGE

FIRST FLOOR: 3580 S.F.

SECOND FLOOR: 1368 S.F.

TOTAL: 4,948 S.F.

EQUIPMENT REQUIREMENTS

ALL EQUIPMENT SHALL BE OF SUCH DESIGN AND MATERIAL AS TO BE READILY CLEANED AND SAFE FOR CHILDREN.

(1) EQUIPMENT SHALL NOT BE COLORED AND / OR COVERED BY ANY POISONOUS MATERIAL. ALL SOLID CONSTITUENTS OF PAINT FOR EQUIPMENT AND TOYS, AND PIGMENT COLORING IN PAINTS, PENCILS, CRAYONS AND INKS, TO BE USED BY THE CHILDREN SHALL BE NON-TOXIC. EQUIPMENT SHALL BE STURDY, SAFELY CONSTRUCTED, AND FREE FROM PROTRUDING NAILS, RUST, TOXIC MATERIAL, AND OTHER HAZARDS.

(2) ADEQUATE EQUIPMENT FOR REST SHALL BE PROVIDED. AN INDIVIDUAL COT SHALL BE PROVIDED FOR ANY CHILD WHO REGULARLY REMAINS FIVE (5) HOURS OR LONGER PER DAY. WHEN COTS ARE SHARED, THEY SHALL BE WASHED AND DISINFECTED AND LINENS CHANGED BETWEEN CHILDREN. IN A GROUP DAY CARE HOME, AN INDIVIDUAL MAT OR INDIVIDUAL SLEEPING BAG MAY BE SUBSTITUTED FOR THE INDIVIDUAL COT.

(3) METAL EQUIPMENT SHALL BE FREE FROM RUST OR CHIPPING PAINT. HARDWARE SUCH AS AIR CONDITIONERS, WATER HEATERS, OR FUSE BOXES SHALL BE INACCESSIBLE TO CHILDREN. THE MATERIALS AND EQUIPMENT AVAILABLE AND USED BY CHILDREN SHALL BE DEVELOPMENTALLY APPROPRIATE FOR THE AGES OF THE CHILDREN SERVED.

D11	8'-0" x 7'-0"	INTERIOR - DOUBLE FULL GLASS DOOR	2
D12	2'-8" x 6'-8"	INTERIOR - SINGLE DOOR	1
D13	3'-0" x 7'-0"	INTERIOR - BARN DOOR	2
D14	5'-0" x 6'-8"	INTERIOR - CLOSET DOOR	1

Notes & Schedules		A-0
Date	3/27/23	
Drawn by	RJG	SCALE:
Checked by	MG	

Child Daycare Center /
Preschool Development Plan

Prepared For
River Oak Academy of Early
Learning

795 Straits Turnpike, LLC.

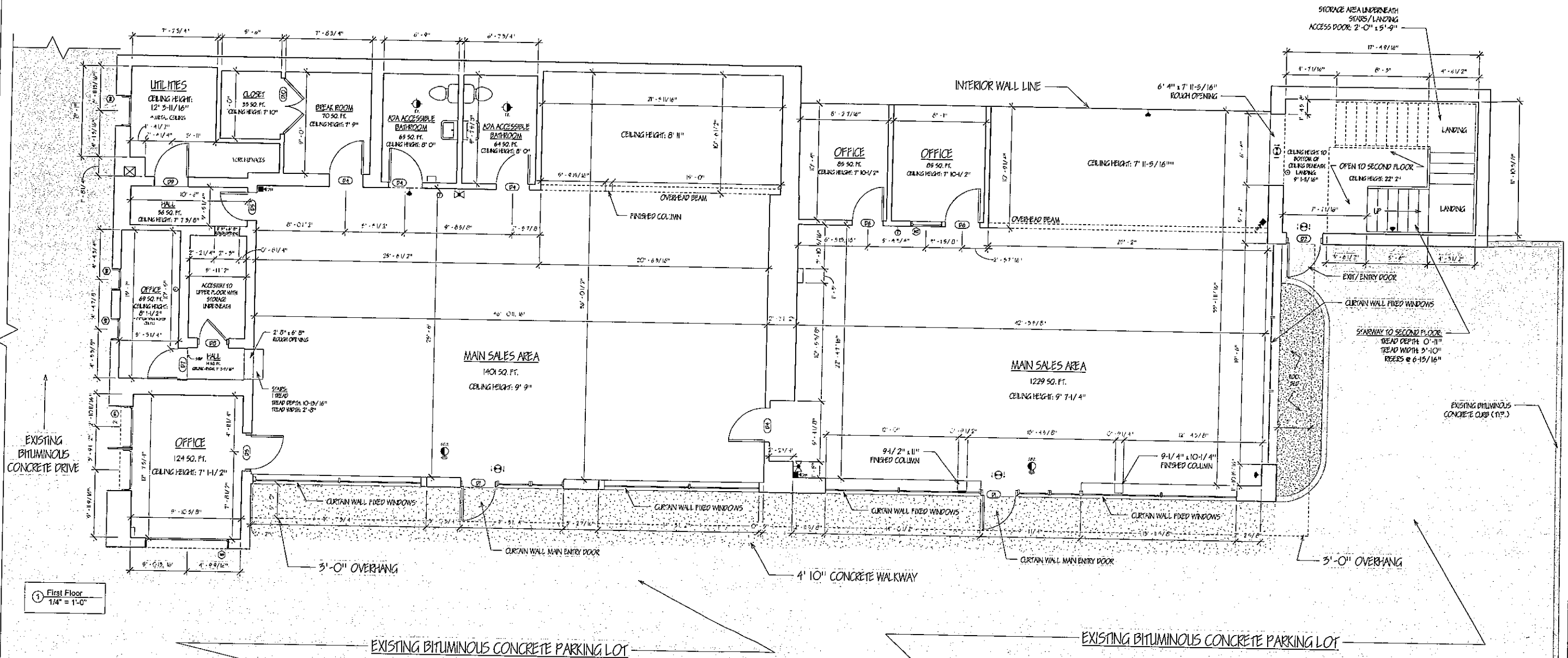
56 Echo Lake Road
Watertown, CT 06795

795 Straits Turnpike
Watertown, CT 06795











NOTES:

ALL CEILINGS ARE ACT SYSTEM UNLESS SHOWN OTHERWISE.

ALL CEILING HEIGHTS ARE FROM FINISH FLOOR TO BOTTOM OF THE TRACK OF THE ACT SYSTEM. (WHERE CEILINGS ARE NOT ACT SYSTEM HEIGHT IS FINISH FLOOR TO FINISHED CEILING.



LEGEND:

- | | | | | | | | | | |
|---|----------------------|---|--------------------------------|---|---------------------------------|---|------------------------------|---|------------|
|  | EXHAUST FAN/ DUCT |  | CEILING MOUNTED EXIT SIGN |  | CEILING MOUNTED SECURITY CAMERA |  | WALL MOUNTED EMERGENCY LIGHT |  | DOOR TAG |
|  | GLASS BREAK DETECTOR |  | WALL MOUNTED FIRE EXTINGUISHER |  | WALL MOUNTED FIRE EXTINGUISHER |  | THERMOSTAT |  | WINDOW TAG |

First Floor Plan	A-1
Date 3/27/23	
Drawn by RJG	
Checked by MG	
SCALE: 1/4" = 1'-0"	

Existing Conditions Plan
Prepared For
River Oak Academy of Early
Learning

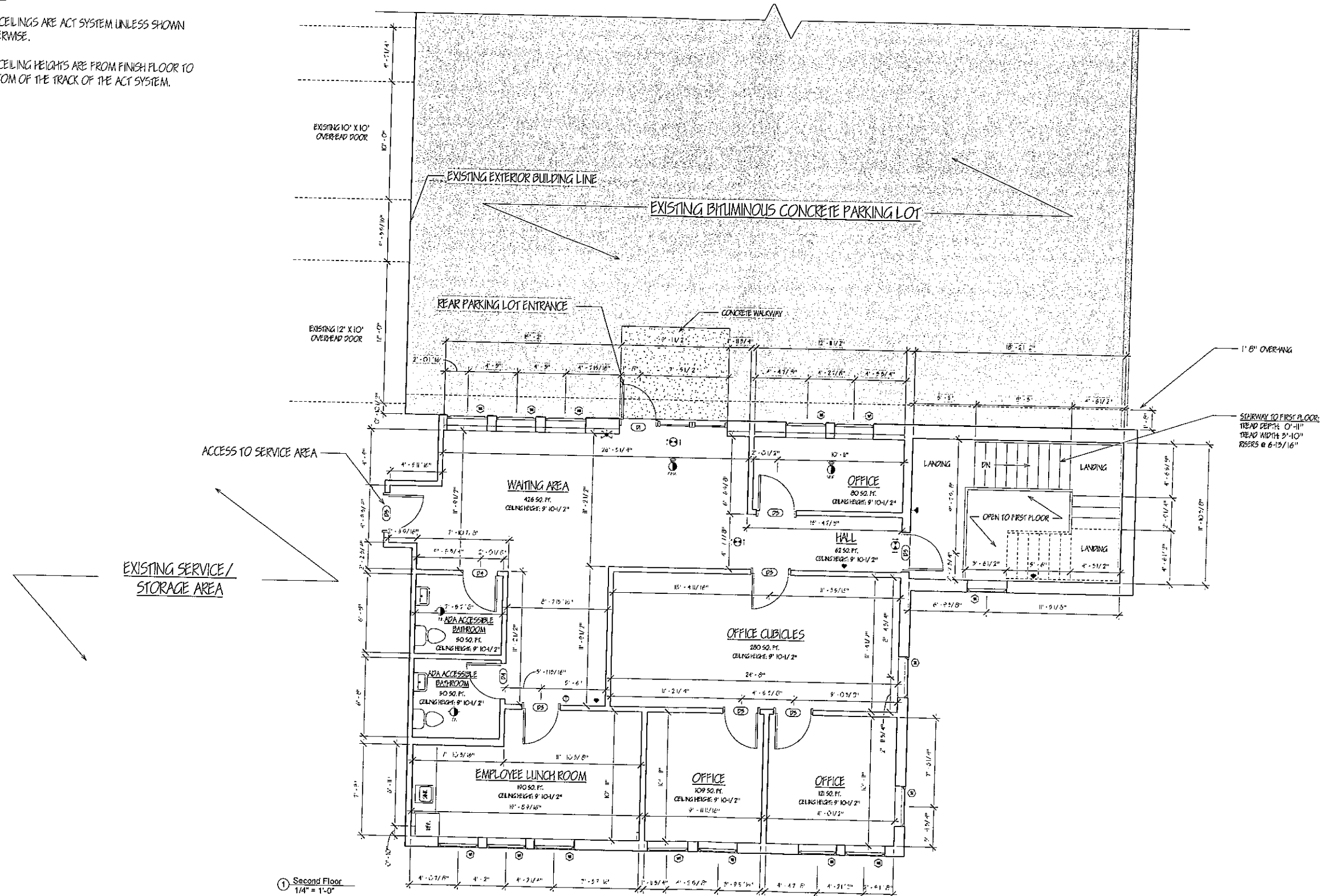
795 Straits Turnpike, LLC.
56 Echo Lake Road
Watertown, CT 06795

795 Straits Turnpike
Watertown, CT 06795

NOTES:

ALL CEILINGS ARE ACT SYSTEM UNLESS SHOWN OTHERWISE.

ALL CEILING HEIGHTS ARE FROM FINISH FLOOR TO BOTTOM OF THE TRACK OF THE ACT SYSTEM.



LEGEND:

Second Floor Plan		A-2
Date	3/27/23	
Drawn by	RJG	SCALE: 1/4" = 1'-0"
Checked by	MG	

Existing Conditions Plan
Prepared For
River Oak Academy of Early Learning

795 Straits Turnpike, LLC.
56 Echo Lake Road
Watertown, CT 06795

795 Straits Turnpike
Watertown, CT 06795

NOTES:

ALL CEILINGS ARE ACT SYSTEM UNLESS SHOWN OTHERWISE.

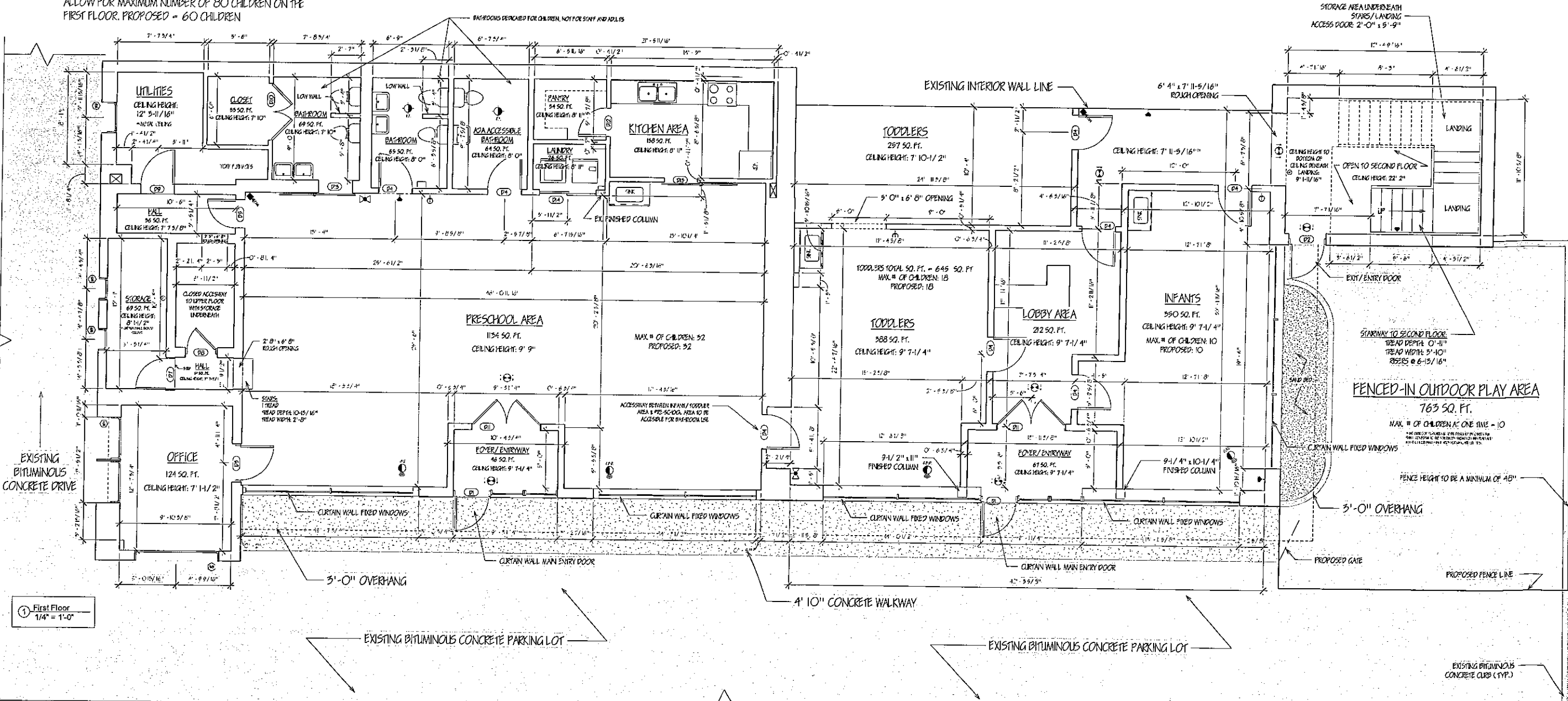
ALL CEILING HEIGHTS ARE FROM FINISH FLOOR TO BOTTOM OF THE TRACK OF THE ACT SYSTEM. (WHERE CEILINGS ARE NOT ACT SYSTEM HEIGHT IS FINISH FLOOR TO FINISHED CEILING.)

PROPOSED/EXISTING TOILETS & SINKS AS SHOWN WILL ALLOW FOR MAXIMUM NUMBER OF 80 CHILDREN ON THE FIRST FLOOR. PROPOSED = 60 CHILDREN

ALL NEW WALLS TO BE 6-3/4" (1-HR) PARTITION WALL OR 4-1/2" PARTITION WALL WOOD STUD 16" O.C. UNLESS SHOWN OTHERWISE.

ANY SPACE USED FOR SLEEPING PURPOSES TO ACCEPT SMOKE DETECTORS FOR EARLY WARNING.

SEE SHEET A-1 FOR EXISTING FIRST FLOOR LAYOUT.



LEGEND:

- EXHAUST FAN/DUCT
- CEILING MOUNTED EXIT SIGN
- CEILING MOUNTED SECURITY CAMERA
- WALL MOUNTED EMERGENCY LIGHT
- DOOR TAG
- GLASS BREAK DETECTOR
- WALL MOUNTED FIRE EXTINGUISHER
- WALL MOUNTED FIRE EXTINGUISHER
- THERMOSTAT
- WINDOW TAG

First Floor Plan		A-3
Date	3/27/23	
Drawn by	RJG	SCALE:
Checked by	MG	1/4" = 1'-0"

Proposed Daycare Center/Preschool Plan
Prepared For
River Oak Academy of Early Learning

795 Straits Turnpike, LLC.
56 Echo Lake Road
Watertown, CT 06795

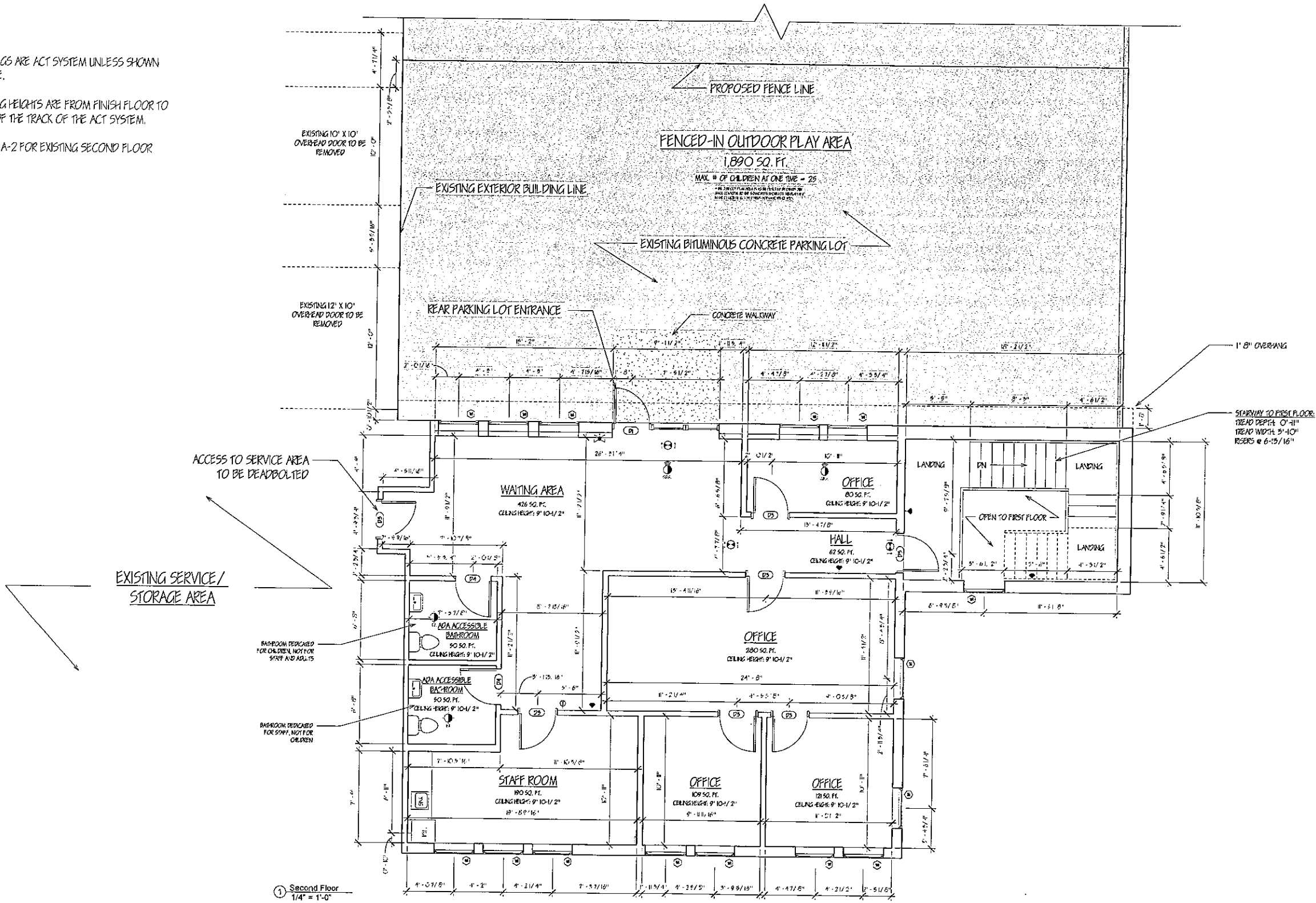
795 Straits Turnpike
Watertown, CT 06795

NOTES:

ALL CEILINGS ARE ACT SYSTEM UNLESS SHOWN OTHERWISE.

ALL CEILING HEIGHTS ARE FROM FINISH FLOOR TO BOTTOM OF THE TRACK OF THE ACT SYSTEM.

SEE SHEET A-2 FOR EXISTING SECOND FLOOR LAYOUT.



LEGEND:

- EXHAUST FAN/ DUCT
- CEILING MOUNTED EXIT SIGN
- CEILING MOUNTED SECURITY CAMERA
- WALL MOUNTED EMERGENCY LIGHT
- DOOR TAG
- GLASS BREAK DETECTOR
- WALL MOUNTED FIRE EXTINGUISHER
- WALL MOUNTED FIRE EXTINGUISHER
- THERMOSTAT
- WINDOW TAG

Second Floor Plan		A-4
Date	3/27/23	
Drawn by	RJG	SCALE: 1/4" = 1'-0"
Checked by	MG	

Proposed Daycare
Center/Preschool Plan
Prepared For
River Oak Academy of Early
Learning

795 Straits Turnpike, LLC.
56 Echo Lake Road
Watertown, CT 06795

795 Straits Turnpike
Watertown, CT 06795

NOTES:

ALL CEILINGS ARE ACT SYSTEM UNLESS SHOWN OTHERWISE.

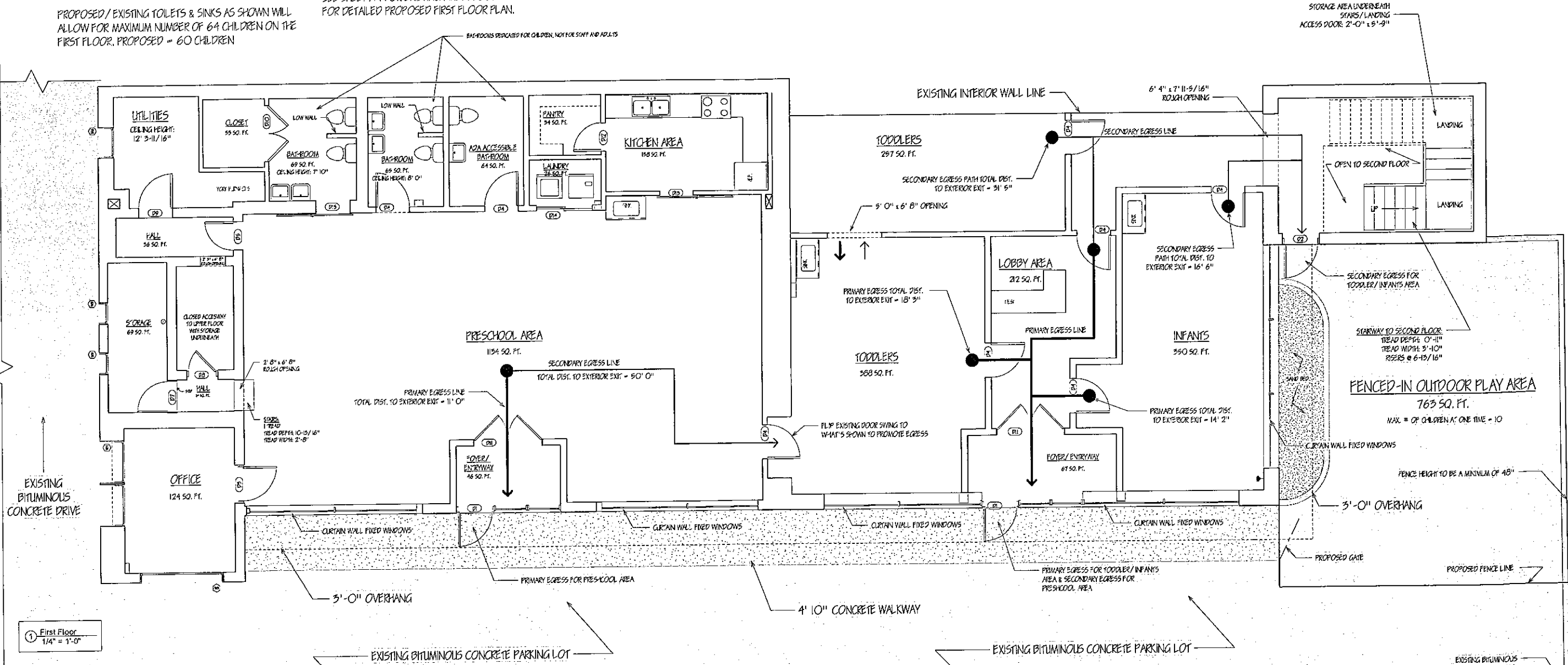
ALL CEILING HEIGHTS ARE FROM FINISH FLOOR TO BOTTOM OF THE TRACK OF THE ACT SYSTEM. (WHERE CEILINGS ARE NOT ACT SYSTEM HEIGHT IS FINISH FLOOR TO FINISHED CEILING.

PROPOSED / EXISTING TOILETS & SINKS AS SHOWN WILL ALLOW FOR MAXIMUM NUMBER OF 64 CHILDREN ON THE FIRST FLOOR. PROPOSED = 60 CHILDREN

ALL NEW WALLS TO BE 6-3/4" (1-HR) PARTITION WALL OR 4-1/2" PARTITION WALL WOOD STUD 16" O.C. UNLESS SHOWN OTHERWISE.

ANY SPACE USED FOR SLEEPING PURPOSES TO ACCEPT SMOKE DETECTORS FOR EARLY WARNING.

SEE SHEET A-1 FOR EXISTING FIRST FLOOR LAYOUT & SHEET A-3 FOR DETAILED PROPOSED FIRST FLOOR PLAN.



1 First Floor
1/4" = 1'-0"

LEGEND:

- DOOR TAG → PRIMARY EGRESS LINE
WINDOW TAG → SECONDARY EGRESS LINE

First Floor Egress Plan		A-5
Date	3/27/23	
Drawn by	RJG	SCALE: 1/4" = 1'-0"
Checked by	MG	

Proposed Daycare
Center/Preschool Plan
Prepared For
River Oak Academy of Early
Learning

795 Straits Turnpike, LLC.
56 Echo Lake Road
Watertown, CT 06795

795 Straits Turnpike
Watertown, CT 06795



TOWN OF WATERTOWN CONNECTICUT

51 Depot Square Business Center

Suite 502 • Watertown, Connecticut 06795-2200

Planning and Zoning, Zoning Board of Appeals, Conservation Commission/Inland Wetland Agency

Telephone: (860) 945-5266

Fax: (860) 945-2704

SITE PLAN APPROVAL/SPECIAL PERMIT

Name and mailing address of Applicant Krista Palombari 856 Echo Lake Rd Watertown, Ct 06795 Phone: (860) 417-1648	Location of Property 856 Echo Lake Rd Watertown, Ct 06795
Name and address of Owner Nicole Conboy 856 Echo Lake Rd Watertown, Ct 06795	Zone IR-80 non-conforming? Map 103, Block 96, Lot 17

Description of Existing Use/Property

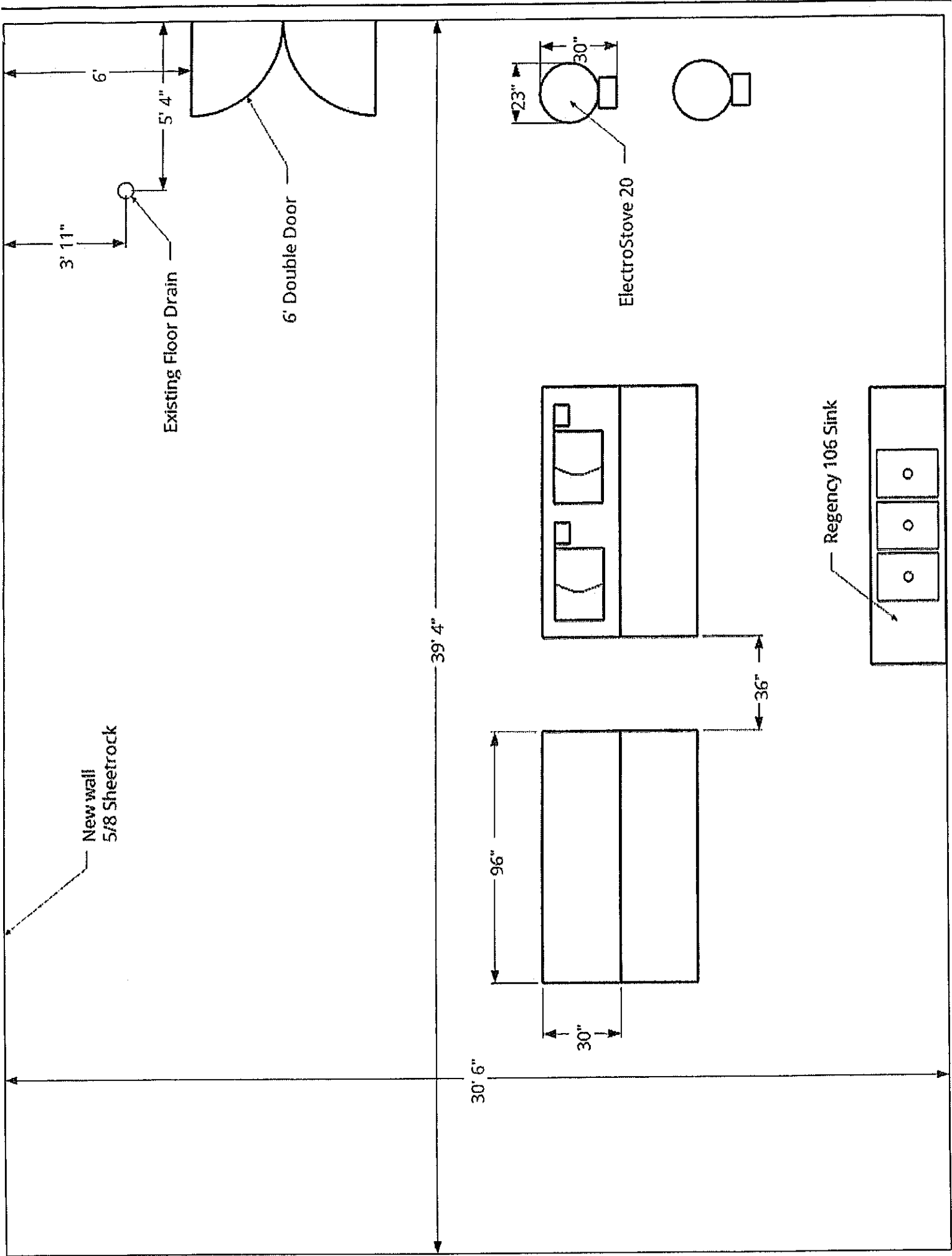
Type of Use	Cannabis producer
Size of property	10 acres
Buildings	1 - 100,000 sq. ft.
Parking	179
other important features	
Signage(# of signs & square feet)	1 - 6.76 sq ft.

Description of Proposed Use

Uses	Kitchen
Buildings	1 - 100,000 sq. ft.
Parking	179
Signage(# of signs & square feet)	1 - 6.76 sq. ft.
Number of Employees	89

Where applicable, number of:

Hotel/Motel Rooms		Convalescent Home	
Hospital/Clinic Beds		Occupants of Assembly Hall	
Water & Sewer to be provided by	Town of Watertown		
Professional Engineer/Surveyor name and address	Date Submitted	Date Rec'd	PH Date
Phone: ()	Project Number:	Fee:	
Signature of Applicant	Date	Signature of Owner	Date
W Palombari	3-29-2023	Nicole W Conboy	3-29-2023





March 30, 2023

Carol Allen
Planning & Zoning Commission
61 Echo Lake Rd.
Watertown, CT 06795

Carol,
Attached please find our modification to our site plan/special permit form and a basic plan for the kitchen instillation.

As previously discussed, we are looking to get on next week's agenda. We are expecting the bid/proposal from the contractors early next week and I will submit to you so you may calculate the fees.

I want to thank you and Mark for your assistance in getting the kitchen off the ground at Theraplant. I look forward to hearing from Mark regarding the meeting with the department heads.

Please let me know if you need anything further from me.

Thank you,

A handwritten signature in cursive script that reads 'Krista Palomba'.

Krista Palomba
Compliance Manager
Theraplant LLC

THE CITY OF WATERBURY, ZONING COMMISSION

DATE: MARCH 16, 2023
TO: MUNICIPALITIES ADJOINING WATERBURY
FROM: CITY OF WATERBURY, CITY PLANNING DEPARTMENT
RE: NOTICE OF PROPOSED ZONING REGULATION AMENDMENT

In accordance with the Connecticut General Statutes you are hereby notified that the Zoning Commission of the City of Waterbury will hold a public hearing to consider amendments to the Zoning Regulation for the City of Waterbury. The description of the proposed amendments as well as the date time and location of the public hearing is noted below.

WATERBURY ZONING COMMISSION
NOTICE OF PUBLIC HEARING

Date: Wednesday, May 24, 2023

Time: 7:00 PM

Place: Aldermanic Chambers, 2nd Floor, Waterbury City Hall
235 Grand Street, Waterbury, CT 06702

WATERBURY, CT
TOWN CLERKS OFFICE
RECEIVED FOR RECORD
2023 MAR 20 PM 1:36
TOWN CLERK
[Signature]

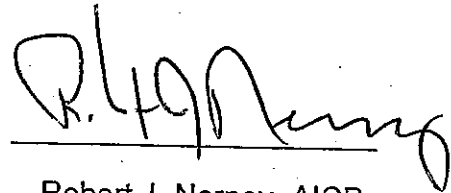
The application is as follows:

- PL 2023-0086 Zoning Regulation Text Amendment** – Proposed revisions to the Zoning Regulations to: 1). Amend Article 2, Section 2.02.02 Specific Definitions for purposes of defining “Cannabis” and Cannabis Establishment”; 2). Amend Article 4, Section 4.08 (Master Use Table) by repealing “Medicinal Marijuana Dispensary Facility” as a use category and establishing the following use categories: “Cannabis Establishment, Dispensary Facility”, “Cannabis Establishment, Hybrid Retailer”, “Cannabis Establishment, Product Packager” and “Cannabis Establishment, Retailer”; 3). Amend Article 4, Section 4.08 (Use Definitions) to exclude cannabis-based food products from the definition of “Food Sales and Processing”, exclude the commercial cultivation of cannabis from the definition of “Agriculture”, and to establish definitions for “Cannabis Establishment, Dispensary Facility”, “Cannabis Establishment, Hybrid Retailer”, “Cannabis Establishment, Product Packager” and “Cannabis Establishment, Retailer”; 4.) Amend Article 9, Section 9.03.05, Table 2 to establish parking standards for “Cannabis Establishment, Dispensary Facility”, “Cannabis Establishment, Hybrid Retailer”, “Cannabis Establishment, Product Packager” and “Cannabis Establishment, Retailer”; and 5.) Repeal Section 10.30 Special Use Standards pertaining to “Medicinal Marijuana Dispensary Facility” and establish a new Section 10.30 for purposes of creating special use standards for “Cannabis Establishment, Dispensary Facility”, “Cannabis Establishment, Hybrid Retailer”, “Cannabis Establishment, Product Packager” and “Cannabis Establishment, Retailer”. **Applicant:** City of Waterbury Zoning Commission. **Open Hearing Deadline:** n/a.

A copy of the petition is enclosed.

Copies of the petition are also on file and available for public inspection in the Office of the City Plan Department, 185 South Main Street, Waterbury, Connecticut. 06706.

ATTEST:

A handwritten signature in black ink, appearing to read "R. J. Nerney", written over a horizontal line.

Robert J. Nerney, AICP
City Planner



CITY OF WATERBURY
ZONING COMMISSION
PETITION TO AMEND THE
ZONING MAP OR REGULATIONS

Page 1
Zoning Amendment 6-1-15

Fee: \$ 660.⁰⁰
Includes \$60 State Fee

Application is hereby made pursuant to Section 11.12 of the Zoning Regulation, City of Waterbury for an amendment to the zoning map or the text of the zoning regulations.

PROPERTY INFORMATION:

ADDRESS: n/a (Proposed Regulation Amendment)
MAP-BLOCK- LOT: n/a

DATE: 03-16-2023

APPLICANT:

Name: Waterbury Zoning Commission
Address: 185 South Main Street
City, State, Zip: Waterbury, CT 06706
Phone: (203) 574-6817
Fax: (203) 346-3949
Email: rmerney@waterburyct.org

PROPERTY OWNER:

Name: n/a
Address:
City, State, Zip:
Phone:
Fax:
Email:

Property Owners Signature: n/a

Date: n/a

(Certifies authorization for application and permission to enter the property in connection with the application)
If the proposed zone change area contains multiple parcels, please attach as many SUPPLEMENTAL INFORMATION SHEET(s) as necessary to identify all parcels.

Applicants Signature: *R. L. G. Merney* ON BEHALF OF ZONING COMM Date: 03/16/2023

REQUESTED AMENDMENT:

MAP AMENDMENT

Existing Zoning District: n/a
Proposed Zoning District: n/a
What is the area of the land subject to the change? n/a Acres n/a Square Feet

Is the area subject to the change within 500 feet of a municipal boundary? Yes ☐ No ☐

Does the area subject to the change abut the proposed zoning district? Yes ☐ No ☐

REGULATION TEXT AMENDMENT

Section Numbers subject to amendment:

§ 2.02.02	§ 4.08 Use Tab	§ 4.08 Use Def.
§ 9.03.05 (iii)	§ 10.30	§ See Attached
§	§	§



CITY OF WATERBURY
LAND USE APPLICATION
SUPPLEMENTAL PAGE FOR
PROPERTY INFORMATION

Page 2
Zoning Amendment 6-1-15

Attach as many copies of this page as necessary to identify all properties subject to your land use application.

PROPERTY:

ADDRESS: n/a
TAX ID:

PROPERTY OWNER:

Name: n/a
Address:
City, State, Zip
Phone:
Fax:
Email:

Property Owners Signature: n/a Date:
(Certifies authorization for petition and permission to enter the property in connection with the application)

PROPERTY:

ADDRESS: n/a
TAX ID:

PROPERTY OWNER:

Name: n/a
Address:
City, State, Zip
Phone:
Fax:
Email:

Property Owners Signature: n/a Date:
(Certifies authorization for petition and permission to enter the property in connection with the application)

PROPERTY:

ADDRESS: n/a
TAX ID:

PROPERTY OWNER:

Name: n/a
Address:
City, State, Zip
Phone:
Fax:
Email:

Property Owners Signature: n/a Date:
(Certifies authorization for petition and permission to enter the property in connection with the application)



CITY OF WATERBURY ZONING AMENDMENT SUBMISSION REQUIREMENTS

ALL AMENDMENTS:

- An original application
- Ten copies of all submissions
- One electronic copy (compatible with Microsoft Word),
- One copy in electronic portable document format
- Application must be signed by the property owner(s) requesting such change
- A comprehensive analysis of the impacts of the proposed change that includes but is not necessarily limited to information concerning traffic flow and generation, storm-water run-off, environmental impact, and consistency with the Plan of Conservation and Development.

Note: The Commission may require that the impact analysis be performed on the full potential build-out condition subsequent to the change being implemented.

- The fee required by Section 11.07.

ZONING MAP AMENDMENTS:

- A metes and bounds legal description of the area subject to the amendment. As per § 3.02.03 (i) and (ii) the description should reflect District boundaries which extend to the center line of any street, road, highway, railroad, stream, river or other natural feature forming a boundary between two different Zoning Districts.
- An A-2 survey map showing in reasonable detail the topographic and land characteristics of the area referred to in such petition, including street addresses, Tax Assessor's map, block, and lot numbers.
- The names of all owners of property in the City of Waterbury within such area and within 500 feet thereof and including the location of any Town boundary within 500 feet of the proposed District boundary.

Note: This is often provided on a second map.

ZONING REGULATION TEXT AMENDMENTS:

- A letter noting the specific reference to the portion of these Regulations to be changed and
- The text of the proposed amendment or change.

Attachment #1

Proposed deletion of text appears in a strikethrough format. Proposed addition of text appears in bold, underlined, italic print.

Section 2.02.02 Specific Definitions

Cannabis: Marijuana, as defined in Section 21a-240 of the Connecticut General Statutes.

Cannabis Establishment: A cannabis producer, cannabis dispensary facility, cannabis cultivator, cannabis micro-cultivator, cannabis retailer, cannabis hybrid retailer, cannabis food and beverage manufacturer, cannabis product manufacturer, cannabis product packager, cannabis delivery service, cannabis transporter or medical marijuana dispensary facility. Cannabis establishments shall be licensed by the State of Connecticut Department of Consumer Protection pursuant to June Special Session Public Act 21-1, or other department(s) or licensing board(s) as may be sanctioned by the State of Connecticut.

Section 10.30 Special Use Standards

~~10.30~~ **Medical Marijuana Dispensary Facility** ~~(Amend. 11-19-15)~~

~~10.30.01~~ **Purpose**

~~This Section regulates the location and operation of a Medical Marijuana Dispensary Facility in accordance with Connecticut General Statutes § 21a-408 through 21a-408z, as amended (the “Relevant Statutes”). The primary purpose of these regulations is to minimize any potential adverse impacts; to protect and preserve the quality of Waterbury’s neighborhoods, commercial districts, property values and the quality of urban life through effective land use planning; and to protect public health, safety, and convenience.~~

~~10.30.02~~ **Applicability**

~~A Medical Marijuana Dispensary Facility, as such use is defined in this Section, may be permitted in the IG District subject to Special Exception Permit approval and conformance with the applicable District Development and General Use Standards and the Special Use Standards of this Section.~~

~~10.30.03~~ **Medical Marijuana Dispensary Facility Special Use Standards**

~~A Medical Marijuana Dispensary Facility shall comply with the following Special Use Standards.~~

- (i) No Medical Marijuana Dispensary Facility shall be permitted within the same building, structure or portion thereof that is used for residential purposes.
- (ii) No Medical Marijuana Dispensary Facility shall be permitted on a site that is less than three hundred (300) feet from any site containing a church, school, public park or recreation area, residential property; unless the above referenced land uses are separated by a limited access highway and/or limited access roadway or railroad line. Such distance shall be measured by taking the nearest straight line between the respective lot boundaries of each site.
- (iii) Hours of operation for a Medical Marijuana Dispensary Facility shall be between the hours of 8:00 AM and 8:00 PM, Monday through Saturday.
- (iv) Exterior building signage shall be restricted to a single name plate with the address of the dispensary no larger than four (4) square feet.
- (v) No illuminated, electronic or motion signage of any kind shall be permitted.
- (vi) The Medical Marijuana Dispensary Facility shall be located in the Industrial General (IG) Zone.

Section 10.30 Cannabis Establishment (Amend. XX-XX-XX)

10.30.01 Purpose

Pursuant to licensing requirements set forth by the State of Connecticut Department of Consumer Protection, this Section is intended to regulate the location of Cannabis Establishments in the City of Waterbury. These regulations are designed to minimize any potential adverse impacts; to protect and preserve the quality of Waterbury's neighborhoods, commercial and industrial districts, property values and the quality of urban life through effective land use planning; and to protect public health, safety, and convenience.

10.30.02 Applicability

For the purpose of these regulations, a Cannabis Establishment includes any business operating as a Cannabis Dispensary Facility, Cannabis Hybrid Retailer, Cannabis Retailer or Cannabis Product Packaging use as defined in these regulations. Such establishments may be permitted in the "IP" Industrial Park zoning district by Special Permit approval and by Zoning Permit approval. Not more than three (3) cannabis establishments, irrespective of allowable use group classification, shall be permitted in the City of Waterbury. Any pre-existing nonconforming use approved for the conveyance of medicinal cannabis products, shall be included when calculating the total number of allowable cannabis establishments.

10.30.03 Cannabis Establishment Special Use Standards

Cannabis establishments shall operate in strict compliance with all applicable District Development Standards, General Use Standards and Special Use Standards of these regulations. An approved cannabis establishment shall not be allowed to operate under any combined use group classification nor be allowed to retail or convey any noncannabis-related products, goods or services.

A Cannabis Establishment shall comply with the following requirements:

- (i) The front entrance to any Cannabis Establishment shall be at least five hundred (500) feet, measured in a direct line from the nearest property line of any parcel used for the following:
 - 1) School;
 - 2) Religious Institution;
 - 3) Group Living;
 - 4) Day Care Center.
- (ii) The driveway entrance to any Cannabis Establishment shall be located at least 500 feet from the nearest property line of any legal dwelling unit that maintains common street frontage.
- (iii) No operation shall be established on any lot that adjoins a publicly-owned lot(s) used and actively maintained by the City for either indoor or outdoor recreational purposes.
- (iv) The applicant shall provide a security plan detailing the means of averting product theft; including but not limited to proposed site fencing, building alarm systems, video surveillance systems, the means of securing production and storage areas and utilization of on-site security staff to prevent the theft of cannabis.
- (v) The applicant shall submit a written study of the estimated amount and types of vehicle traffic expected to be generated on a daily basis and at peak hours. Such study shall be prepared, signed and sealed by a State of Connecticut Registered Professional Engineer with expertise in traffic analysis.
- (vi) The hours of operation shall be between the hours of 10:00 AM and 8:00 PM, Monday through Saturday.
- (vii) The gross floor area of a Cannabis Dispensary Facility, Cannabis Hybrid Retailer or Cannabis Retailer shall not exceed 5,000 square feet and the gross floor area of the retail area associated with a Cannabis Product

Packaging use shall be restricted to a gross floor area of not more than 5,000 square feet.

- (viii) Exterior building signage associated with any authorized cannabis establishment shall be restricted to a single sign not to exceed ten (10) square feet in area. Such sign shall not contain any statement, design, representation, picture, emblem, illustration or representation that encourages the underage use of either medicinal or recreational cannabis nor depict any image of cannabis or any other cannabis product derived therefrom.
- (ix) Evidence of a valid State license, applicable to the use group and site under consideration, shall be provided with the Special Permit submittal application.
- (x) The conveyance of cannabis product by means of a drive-up window is prohibited.
- (xi) The applicant shall provide an odor abatement plan and implement necessary measures to prevent cannabis odors from emanating beyond the interior space of the business.
- (xii) No Cannabis Establishment shall be permitted on a site that is less than two thousand (2,000) feet from any other Cannabis Establishment.
- (xiii) The inability to comply with the provisions of Section 10.30 of these regulations shall not constitute a hardship nor serve as justification for the granting of a variance from such requirements.

Section 9.03.05(iii), Table 2, Required Number of Parking Spaces

Commercial Use Parking Space Requirements		
Use	Required Spaces	SPC
Mixed Use Planned Development	Sum of component uses	NA
Retail Sales (< 5000 SFGFA)	5 per 1000 Square Feet of Gross Floor Area (SF GFA)	C
Retail Sales (≥ 5000 SFGFA)	4 per 1000 SF GFA	C
Medical Marijuana <u>Cannabis Establishment, Dispensary Facility</u> (< 5000 SFGFA)	5 7 per 1000 Square Feet of Gross Floor Area (SF GFA)	C
Medical Marijuana (≥ 5000 SFGFA)	4 per 1000 SF GFA	C
<u>Cannabis Establishment, Hybrid Retailer</u>	<u>10 per 1000 SF GFA</u>	<u>C</u>
<u>Cannabis Establishment, Retailer</u>	<u>10 per 1000 SF GFA</u>	<u>C</u>
<u>Cannabis Establishment, Product Packager</u>	<u>10 per 1000 SF GFA for designated retail areas and 2 per 1000 SF GFA for all other areas</u>	<u>C</u>
Package Store	5 per 1000 SF GFA	C
Eating and Drinking Establishments	7 per 1000 SF GFA	E
Personal, Business and Repair Services	5 per 1000 SF GFA	C
Entertainment Uses	0.25 per Person of Fire Code Occupancy	G
Large Venue Events	0.25 per Person of Fire Code Occupancy	F
Shopping Centers	4 per 1000 SF GFA	C
Food Processing and Sales	2 per 1000 SF GFA	B
Adult Establishment	7 per 1000 SF GFA	C
Recreation Uses	0.25 per Person of Fire Code Occupancy	F
Social Gathering Places	7 per 1000 SF GFA	G
Automobile and Marine Craft Trade	0.1 per Display Space plus 3 per Service Bay	C
Commercial Outdoor Recreation (< 1 acre)	10	J
Commercial Outdoor Recreation (≥ 1 acre)	10 per Acre	J
Offices	4 per 1000 SF GFA	B
Medical Offices	6 per 1000 SF GFA	B

Section 4.08 Master Use Table

USE CATEGORIES	RS 12	RS	RL	RM	RH	RO	CN	CO	CA	CG	CBD	IG	IL	IP	STANDARDS
Veterinary Services					SP	SP	ZP	ZP	ZP	ZP	ZP				
Wind Energy Conversion Systems	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	10.25.
Crematories	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	10.26
Medical Marijuana Dispensary Facility												SP			10.30
<u>Cannabis Establishment, Dispensary Facility</u>														<u>SP</u>	<u>10.30</u>
<u>Cannabis Establishment, Hybrid Retailer</u>														<u>SP</u>	<u>10.30</u>
<u>Cannabis Establishment, Product Packager</u>														<u>SP</u>	<u>10.30</u>
<u>Cannabis Establishment, Retailer</u>														<u>SP</u>	<u>10.30</u>
INDUSTRIAL USES															
Manufacturing and Processing															
Industrial Services												ZP	ZP	ZP	
Warehouse and Freight Handling												ZP	ZP	ZP	
Wholesale Trade					SP	SP	SP	SP	ZP	SP		ZP	ZP	ZP	

Section 4.08 Master Use Table (cont.)

USE DEFINITIONS		AS-OF-RIGHT ACCESSORY USES
<u>Medical Marijuana Dispensary Facility:</u> A place of business where marijuana may be dispensed or sold at retail under the supervision of a licensed pharmacist to qualifying patients and primary caregivers and for which the Connecticut Department of Consumer Protection has issued a dispensary facility permit.		None
<u>Cannabis Establishment, Dispensary Facility:</u> - a place of business where cannabis may be dispensed, sold or distributed in accordance with Chapter 420F of the Connecticut General Statutes and any other State regulations or licensing procedures adopted thereunder, to qualifying patients and caregivers, and to which the State of Connecticut has issued a dispensary facility license.		<u>None</u>
<u>Cannabis Establishment, Hybrid Retailer:</u> - an establishment operating under State of Connecticut licensing requirements, engaged in the sale, dispensing or distribution of cannabis and cannabis products to adult consumers over the age of 21 and to qualifying patients and caregivers.		<u>None</u>
<u>Cannabis Establishment, Product Packager:</u> a business licensed by the State of Connecticut and engaged in the packaging and labeling of cannabis products for either on-premise or off premise distribution and sale with at least 25% but not more than 5,000 square feet of the gross floor area of the establishment devoted to either dispensary, hybrid or retail sales.		<u>None</u>
<u>Cannabis Establishment - Retailer:</u> an establishment, excluding a Dispensary Facility and Hybrid Retailer, operating in accordance with State of Connecticut licensing requirements and engaged in the business of acquiring cannabis from producers, cultivators, micro-cultivators, product manufacturers and food and beverage manufacturers for sale, dispensing or distribution to consumers over the age of 21 and to research program providers.		<u>None</u>

Section 4.08 Master Use Table (cont.)

Food Sales and Processing: - The preparation and sale of foods, <u>excluding cannabis-based food products</u> , for both retail and wholesale where at least 20 percent of the gross floor area is devoted to retail activity and the total gross floor area of the establishment does not exceed 5000 square feet, including but not necessarily limited to bakeries, food processing for wholesale distribution, and butcher shops.	Including but not necessarily limited to uses such as seating areas for the retail consumption of prepared food products, off street parking, signs, fences, offices, storage of goods, and manufacture, repackaging or transportation of goods for on or off-site sales.
Agriculture: - Operations that entail the commercial production of agricultural goods, including crops and raising of livestock or poultry for slaughter or sale. <u>For the purpose of this definition, "Agriculture" shall not be construed to mean the commercial cultivation of cannabis.</u>	Including but not necessarily limited to off street parking, signs, fences, offices, storage, rail spur or lead lines, and docks.

**Proposed Amendment to the City of Waterbury Zoning Regulations for Purposes
of Regulating the Location and Operation of Cannabis Establishments,
Reasons for Request and Consistency with the 2015-2025 Plan of Conservation
and Development**

Background:

As part of Connecticut's drug policy reform initiative, legislation legalizing the commercial cultivation, production and retailing of cannabis for adult recreational use was passed by the General Assembly and signed into law by the Governor in 2021. The following year, Waterbury residents narrowly approved a referendum question supporting the retail sale of cannabis. During this time, the Zoning Commission imposed a moratorium on "cannabis establishments" in order to explore options and develop policies that best serve the interests of City residents. The City Planning Department was tasked with studying the issue and drafting regulations for Commission consideration. This involved an extensive review of the State's enabling legislation involving the production and sale of cannabis along with a review of current local policies pertaining to the sale of medicinal marijuana dispensaries (presently permitted in Waterbury). City parcel maps and zoning maps were carefully analyzed as were spatial, dimensional and other land use requirements within the City's commercial and industrial districts. Field inspections of these districts were conducted and information was gathered from other communities in Colorado and Massachusetts where the sale of recreational cannabis is allowed. Discussions were held with experts in the cannabis industry, officials in Pittsfield, Massachusetts and information from the Institute of Transportation Engineers was used to determine potential traffic and parking impacts.

Zoning policies have been drafted in a manner that defines and limits the type of permissible cannabis establishments in Waterbury and creates parameters under which such businesses may operate. The proposed regulation takes into consideration the size of property necessary to reasonably accommodate on-site parking, provide for adequate accessibility and reduce conflicts with certain incompatible uses; namely residences, schools, religious institutions, group living environments, daycares as well as public indoor and outdoor recreation uses.

Proposal:

Waterbury's zoning regulations presently allow Medicinal Marijuana Dispensary Facilities by Special Permit in the City's General Industrial "IG" district. For codification and streamlining purposes, the proposed regulation amendment seeks to repeal Section 10.30 (Medicinal Marijuana Dispensary Facilities) and replace it with a new and more expansive chapter entitled "Cannabis Establishments". These revisions include the following types of cannabis establishments: "Dispensary Facility", "Hybrid Retailer", "Product Packager" and "Retailer".

The amendment proposes to regulate these four use categories by Special Permit in the City's Park Industrial "IP" zoning district. Each establishment type is subject to a 500' spatial separation requirement from schools, religious institutions, group living and day care centers.

The regulation is drafted so as to prohibit driveway entrances serving a cannabis establishment from being located within 500' of from the nearest property line of any legal dwelling unit that maintains a common street frontage. Moreover, the regulation prohibits a cannabis establishment from locating on a property that adjoins a publicly-owned property used and actively maintained by the City for either indoor or outdoor recreational purposes.

The regulation proposal calls for a 2,000-foot spatial separation requirement between a cannabis establishment and any other cannabis establishments. The regulation also sets a total cap of not more than three (3) cannabis establishments in the City; regardless of the sub-use category. This provision will safeguard against adverse impacts to the "IP" district arising from a potential concentration of cannabis businesses and any excessive traffic that may follow.

Plan of Conservation and Development:

The amendment proposal comports with Waterbury's 2015-2025 Plan of Conservation and Development. This long-range visionary plan for the City recognizes the importance and need for regulatory land use controls. Page 49 of the Plan speaks to the enhancement of public safety by expanding community policing, improving the enforcement of quality of life issues, increasing police presence in public places and furthering community outreach initiatives such as the Police Activity League (PAL). The location of adult-oriented retail businesses in proximity to uses that cater to underage children is an important safety and social consideration that is reflected in the Plan.

Similarly, considerable discussion relating to the City's residential housing stock and the importance of protecting such resources, is reference on pages 80 – 87 of the Plan. This includes the protection of residential property values which often can be impacted by the presence of incompatible uses.

Finally, page 114 speaks to the importance of encouraging investment in the City's commercial districts, including the Central Business District, where the attraction of patrons is critical to the success of the City's institutional, historic, entertainment venues and private businesses. An appropriate assemblage of support uses is critical when it comes to branding, attracting people and promoting community investment.

Waterbury's "IP" Industrial Park districts are well-suited for this type of business. The zoning standards require larger parcels that provide the necessary carrying capacity to accommodate required parking, convenient accessibility and site security. The majority of "IP" districts provide an array of both undeveloped and master-planned developed properties that are adequately served by public water, sewer and storm water runoff. Existing roadways within these developments are of adequate design to support the anticipated number of customers; particularly in the months following an initial opening.

