### Received Planning and Zoning Office

# TOWN OF WATERTOWN PLANNING AND ZONING COMMISSION SUBDIVISION/RESUBDIVISION APPLICATION

Application for:	Subdivision Resubdivision		Date:		
Location of Property:	192 Park Rd, W	atertown, CT 0	6795		
Is this parcel with	in 500 feet of anothe	r municipality? _	YES X NO		
Name of municipality:					
Assessor's Map: 90		20 Lot	*		
192 Park Rd (TEMPORARY) Subdivision Name:					
Total Number of Proposed Lots: 4 Total Acreage: 66.41 AC					
Number of Proposed Lots having Frontage on Existing Street4					
Are there wetlands on the property or will you be draining water into a wetland?   X YESNO					
If YES, has an application been submitted to the Inland Wetland Commission? YES NO					
Applicant:					
Address:146 HUNTINGDON AVENUE, WATERBURY CT 06708					
Phone #:(203) 906-63	355	Fax:	N/A		
Applicant's Signature:	<u> </u>		~		
Owner:					
Address: 146 HUNTIN	IGDON AVENUE, I	WATERBURY	CT 06708		
Phone #:(203) 90		Fax:	NI/A		
Owner's Signature:	1				
		for Applicants	and Owners		

 Twelve copies of the subdivision plan, twelve copies of the site development plan, two copies of the construction plans and four copies of the sediment and erosion control plans must be submitted with the application.

with the application.

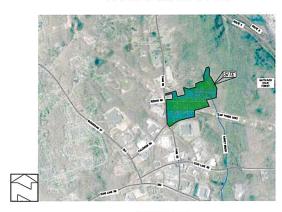
2. Public hearings will be held on all resubdivision applications and on subdivision applications at the

discretion of the commission

## 192 PARK ROAD

### **PERMITTING SET** NOT FOR CONSTRUCTION

4 LOT SUBDIVISION - IR-200 INDUSTRIAL ZONE WATERTOWN, CT PARCEL ID: 83 90 20



APPLICANT
JRD PROPERTIES-WATERTOWN LLC
146 HUNTINGDON AVE.
WATERBURY CT. 06708

ENGINEER
CIVIL 1
43 SHERMAN HILL ROAD, SUITE D-101
WOODBURY, CT

SURVEYOR ALL SEASONS LAND SURVEYING 31 WEST DAYTON HILL ROAD WALLINGFORD, CT 06492

SOIL SCIENTIST
DAVID LORD
SOIL RESOURCE CONSULTANTS
PO BOX 752
MERIDEN, CT 06450



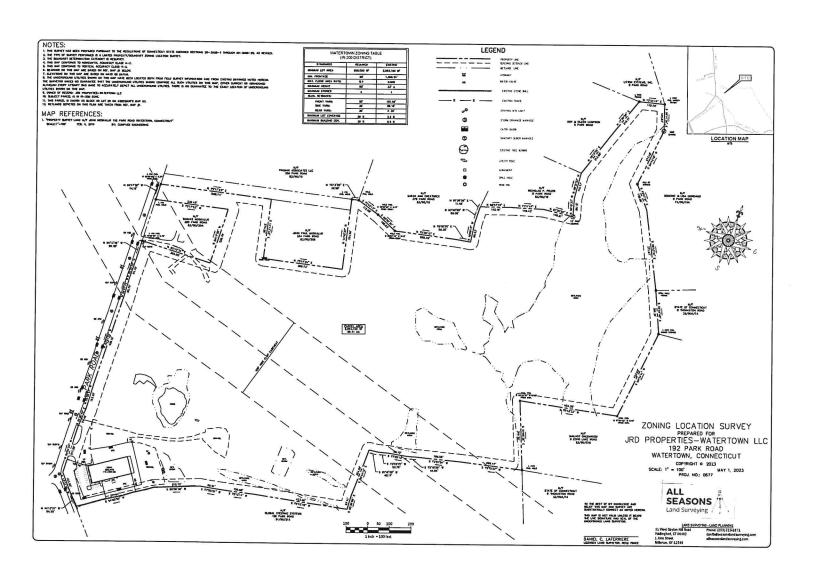


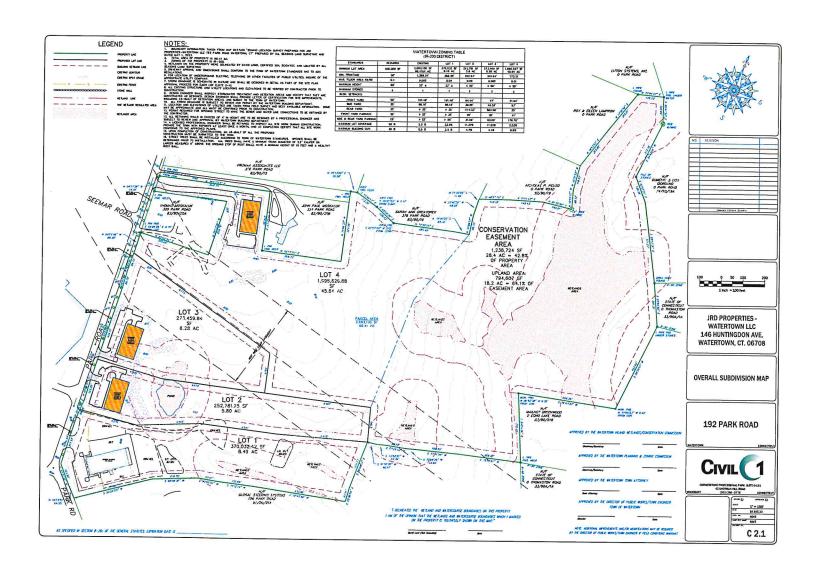


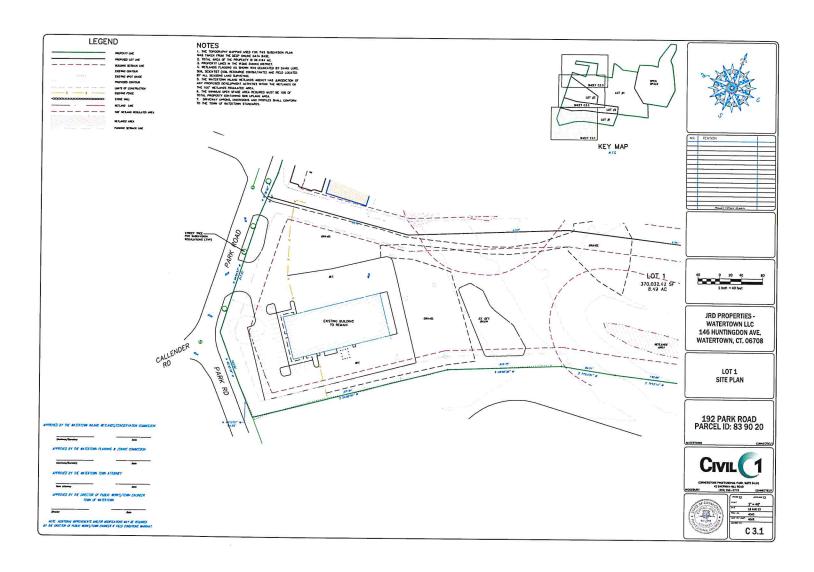
	COVER SHEET
5 1.0	ZONING LOCATION SURVEY
C 2.1	OVERALL SITE PLAN
C 3.1	LOT 1 SITE PLAN
C 3.2	LOTS 2 & 3 GRADING, DRAINAGE & EROSION CONTROL PLAN
C 3.3	LOT 4 GRADING, DRAINAGE & EROSION CONTROL PLAN
C 4.1	LOT 4 DRIVEWAY PLAN & PROFILE
C 5.1	DETAILS
C 5.2	DETAILS
C 6.1	EROSION CONTROL NARRATIVE

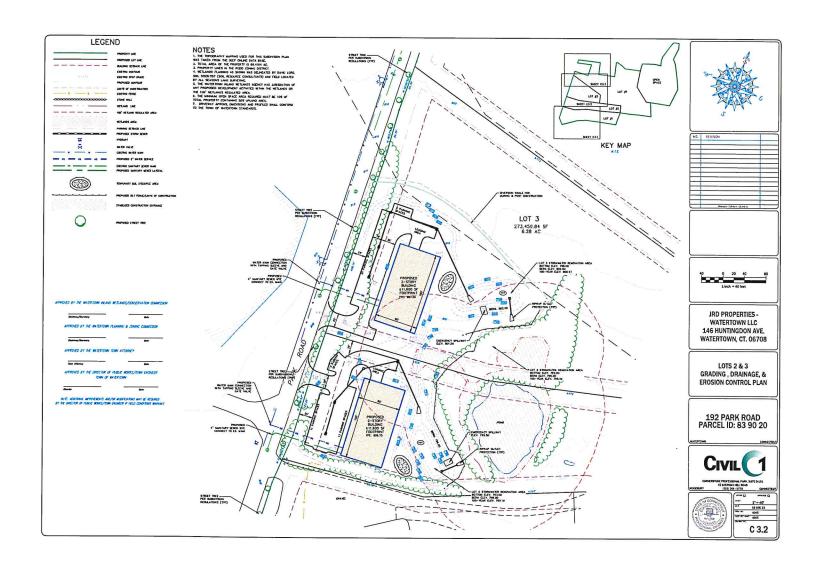
DESCRIPTION

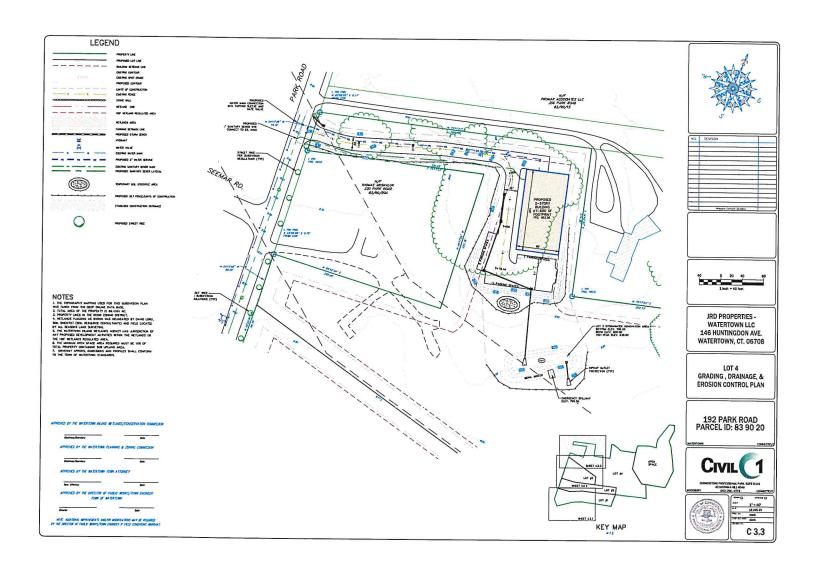
SHEET NO.

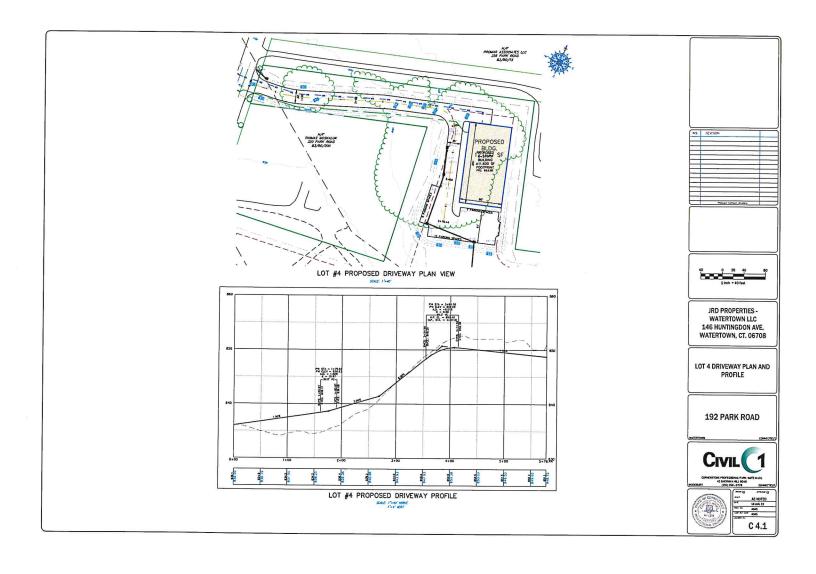


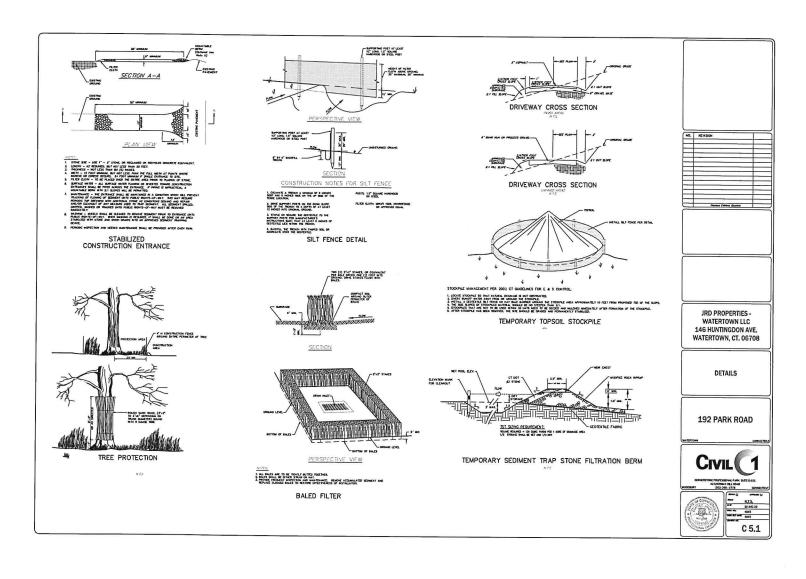


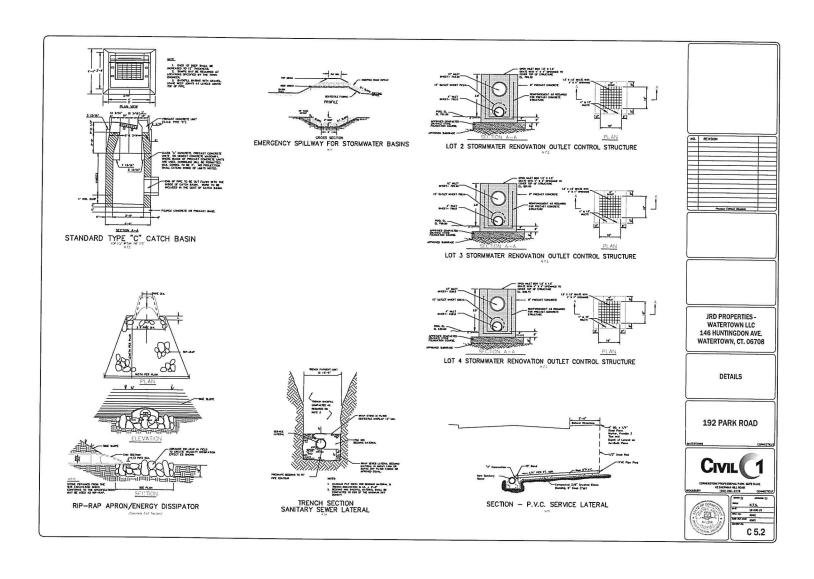












The repeatability for implementing and maintaining the Evolute and Sudmentation Control Plast rests with the ECHECPU, there any development of the parest yield release to ensuint and malimentation. The ECHECPUT and is a lost respectable for intering at development represent properties properties of the plan. The representable of the development and endicated present execution of the endocentral size in an ECHECPUT. desciptions forward.

Stripting very of registrion, regarding or above development tool be close in such a very see to minimize arrained.

Stripting very of registrion, regarding or above development tool be close in such a very see to minimize arrained.

Device and development plant proof preserve inportant country forward instruct, long out and its appropriate to a minimizer, and hours contributely refit inpurprises to the creates the lastst areales provided and aboutfully followed the minimizer out of minimizer of arrained restrict and analysis. 1. På meterial stad be free of brush, nebúsh, bree resta, legs, frances, bullets, dateis and other distribution meterial bed, and interfere mile, or present suntirection of substanting fits, since artificationals are to be constructed an depos stronger box. 21. Design, smally the senting days or sail his strope better tables is began. Sharman audinostation is reason by subpling requision una/or youday, it and to the responsibility of the parson, corporation or other suits being improved the parton audinosistion from all boar properties, drastops systems and saturaness and in Imper my comagn at their reprine as quistly on Place and compact of IB is bijers not extending I have in thickness. He IR small be proced on markets of state, for or hadon or unstates contend. If IR placement, by and conserved within 1 days, these benefit temporary sensions and sectional unshall assume as a longery IR born by Maintenance of all drainings healthins and nationauture within any land development and by the creatment of the CONLOCE will they are excepted by the force, and descript measures of the mediated or charities conductor throughout the unstantion prince. Surface healts aren't see that you not have at sectional mediated. The prince must be consisted of the company of some one section which the degree and of an experience statistic convention with the prince. development pass.

The unfilted form and the nortion of exposure studies top; to a proclimal minimum.

Defended made shall be studied so quickly as pussion.

Tentancy unpotential metion makes makes good as a possion.

Tentancy unpotent metion makes makes good to the second of the s 1. We become and the incorporated bits the fill envelope. Natural whall be placed in horizonia to 12 here been still and each taper compacted. During construction, the surface of the material and to second in strets. We make its best two locates, packets, wheath, or layout of needed differing advisationly in tentural or greation from the surraination material. It must be the removeshilty of any purson, corporation of what entity unquality in any set on or many servent, antercurbs of speed of upon the funds point or right-almost between it is multical as southy as pussions in its prisons clotel toles tome attemns, another range, found point or right-of-many for the direction of the southly set in reduce. It is in simple of expel workform after many setting is comparised. issues of nestude offering desirections in tenture or greation term on automating money.

1. De monitive quotant of the monitorin and its contribute of month in browning requirements of conventions. These successors, ministers must be under by the use of supermet generating analyses. Ever must be made undersor per of each top which the throughly desired reference analyses. The contribute of the contributions are contributed to the contribution of the contributio Michigans of Chinage Ballian or administration delications of Chinage Ballians of Chin in the managed areas and the manages and he hateled as seen as practical during Sections in the natural motor shall be imposed until the disturbed areas are stabilized by the use of debrie bearing, sectional bearing, sell trays or similar researce. An administration of the community and the provided for all desirance techniques to the community of the com The material stell be brought up uniformly and its top stell be tags ground and stell a material derivated on the content of rain value will be retained thorout. Compacted material derivated by need? All hids, tracts or developments shall be final graded to provide proper drainings using time behings and allowed of its orbital, and all land within a development shall be graded to crash and dispose of surface option of blank. 6. Meterial shall be undescribe to \$3.2 of the disposal product density of or not updated medium contents and by the composition supplient specified threes. Do composition exposition to the composition of the composition of the composition of the composition of the composition. Do consistent or of sections of the charge of the composition of the charge of the c HO. REVISION parallel.

Land delatations will be hapf to a minimum. Resideficiation will be scheduled as more as practical. Not more than 3 areas will be defaulted as any one time.

Count pastes will be protected with happade filters bytosphasis the construction partied and until all delatated errors training. States Province
The grade and the service is review street large than \$1' is demand; initial consist amount of solids and is solider under under districts. Great platforms induction, tendered to the service in the service consists provided to the service in the service consists provided to the service in the service consists provided to the service consists of the dated the security of the protection and happen filters bytespheid the unconvenient parties and until all executions and protection profession.

The public filters are the securities and sharp the ten of along all of critical and used the angue. All and other are the filters are the fi And statement of the second of TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES The responsibility for implementing the ensistent and underset control plant of most selfs the developer of record. He observed you like the its responsible for informing all encented of the requirements of the piece and for solifying the phoronic enformation of my inventor of requirements. ne followno ame flamed as topporaty diosonyscomortaton existio, weasures outro , a onlyfed store stabulou odkstructon extrance shall be placed at the sic access monroy sudies much the sweet further still trive, her or yeal ther of a rate of 1.5 to 2 box/fax, essay, so otherwise specified doubles, because of the still trive further still trive for substilled still trive further 1. A CHAPTER THREE THRANDS CONTINUED REPRINCE SPALE PLACES AS THE THREE REPRINCES. IN MACAS

IN THE TABLE SET FORCE SHALL BE STRINGLE MODE NO GO OF MICHAEL SEC OF MILL MEXICON. IN MACAS

CALCELS TO MELANDES SEE FORCE SHALL BE ARREST OF THAT ANIMALE. SEE FORCE SHILL SECTION. IN MACAS

CANCELS TO MELANDES SHALL SHE ARREST OF THE FORCE SHEETING OF STRINGLES SHE SHAME SHALL SHALL SHALL

THE TABLE SHALL BE INFECTED SHIP SHALL FOR THE SHALL DEFAULT SHALL SHOW THE SHALL

THE TABLE SHALL BE INFECTED SHIP SHALL FOR THE SHALL DEFAULT SHALL SHOW THE SHALL SHALL

THE TABLE SHALL BE INFECTED SHIP SHALL FOR THE SHALL DEFAULT SHALL SHOW THE SHALL SHALL

THE TABLE SHALL BE INFECTED SHIP SHALL FOR THE SHALL DEFAULT SHALL SHALL SHALL SHALL

THE TABLE SHALL BE INFECTED. and Michael Courts
Permanent, Courts
Property Courts
Property Courts
Property Courts
Property 20 8th/Ac.
Consider Research 20 8th/Ac.
Or AND EMPORENT 20 8th/Ac.
Of AN EMPORENT (4.5. bown building, rains, or other understanded prolifer
CCT CONTACT, MEL RESERT LAFLAMES (201) 736-25-4 Beyon created by suits or Bit shall not be stooper from 1.1 univers noted specifically on the plant and shall be restantiated by temporary or perfected monourse, on required during the development process. Evaluate control behavior will be sweet in these interests and in the control of the process of the 1. DUIT CORTRO, SHALL BE USED TO PROCENT ROSING, AND INFORMATION OF OUT TIME DUTING THAT BE USED TO PROCENT ROSING, BE A MEAN IN MULTINO TO HAVE BUILD'S MOUNTED TO THE OWNER OF THE OWNER Arrena (dinas Chambs All file small be compacted to provide stability of meterial and to proved underlank satisfaces). The file small be spread in a series of layers each not exceeding brown (12) house in Unknown and shall be compacted by a municipal rather or other approved modeled other seals layer in spread. 4. YAMORAYT SOL STOOPPLES DHALL BE PROTECTED BY A SERVICE RAMPER, SOL SUPERS OF the STOOPPLES SHALL HOT EXCELD 2 TO 1. THE STOOPPLES SHALL BE STABLUZED WHITE HARTY DATS OF FORMATION OF THE STOOPPLE BY TEMPORATY SURPOR DIE OFFICER SHIM HALD. The of the second method what was top or a property of the cold print area, where purple for any other purple for a print and the cold print area, where purple forces or purple force actually being purple forces or purple force actually purple purple forces or purple force actually purple purple forces or purple force actually purple forces or purple forces and purple forces forces or purple fo unted drawage or requisited food plain areas, unions permitted by I. THEFORMY VICTIANY DIVERS SHALL BE RETAILED ON ALL DETAINED MEAS NOT HELDOED FOR PRIMAY CONSTRUCTION RECOMMENDATION OF THE CONTROL EXHIBIT AND CHOICE ON MO. OF "FIRE HALL EXCHAUSES SAID OR RECOMMENDATION OF THE CONTROL EXCHAUSES OF THE HALL OF THE "ADMINIST", FOR MODIFIES, A SECOND RECOMMENDATION OF THE TOTAL OF "CONDUCTION" OF THE HALL OF THE "ADMINIST", FOR MODIFIES A CONSTRUCTION HOURS AND EQUIPMENT The places explored to natural environments, environted entered or flood places and have builded protection applied entered outly puriod of Seasing.

Orading shad not be done in such a may see in direct social data properly of another buildness without that impress artifices extend. tours of Operation: 7am - Sym Monday-Saturday Outly guiding operations, numerary measures for dust sender shall be standard.

All evaluates and smallmost contract measures all to constructed in accompany with the followers and specifications of the DOSC Communities Audition for Sale Contract Contract (2002) — Tables of Construction (2007 Badelos 2), 4. F. STORM DRAW CATCH BASIN PALET PROTECTION SHALL BE PROVIDED INDUCH IN BUSE OF FALTE FABRIC TOLICE OF STORE BARRERS ANDIANO INC CATCH BASINS AS INDICATED ON THE SECRETAY AND EROSON CONTROL GRAWHOE, THE BARRERS SHALL BUSY ER FRENCH WEST HES INDICATED THANGED, AND AN ECON STANLED. Equipment: Earth Moving Equipment (hunders, bull doctors, etc.) — QTY 3 Head Trucks — QTY 2 CONSTRUCTION SEQUENCE

THE OPERAL MEMORIES OF CONTRACTION FOR EACH LOT NAL BE AS FOLLOWS:
First informat the limits of all contributions activities. A literarch land acceptant made delented to the distribution of acceptant made delented to the distribution and acceptant to activity and magnitude activity facility to acceptant out for magnitude of the total policy of a relation and acceptant acceptance acceptant. PERMANENT FROSION CONTROL MEASURES ALL POMANCH'S EXECUTION CONTROL MEASURES DAIL, BE ORIGINAL OF STREET ACCORDANCE WITH THE SECONACIONATORS OF THE "BURGLESS", THE FRALED FRANKES EXHIBITION OF THE EXTENSION AND SEMENT CONTROL RAW. EARTHWORK QUANTITY ESTIMATE FOR WETLANDS RECULATED AREAS JRD PROPERTIES -Proposes and/or efficient force and other areason control features will be placed as shown as the analyses plan prior to the story of any convincions or removal of shortes. They shall be included in sourcement with the decided above, or the same WATERTOWN LLC not be build at site. Over all supplication within the construction area. All brees/structs have thus 4° in 146 HUNTINGDON AVE 2. THE RIPPLAN APPORTS SHALL BE CONSTRUCTED AND STABLUED AT THE PIPE CUTLETS PRICK TO DIRECTION RUNOFF TO DITHON STORMWATCH REMOVATION AREA AND AT ALL STORM CRARACE CUTLETS. Strip and electricle learned and nutreal metanded at the functions attend on the plants. The statistics and be sended with a feel growing pic grown. Entirette and semblect Stantineter Resountion dras as test on the scanes arise. Invite mobile Mynatures, hertal temporary perfected pipe and stone is serbel Physiciant to about the resountion are to invition as a temporary positional language decision mobile arise. MAINTENANCE SCHEDULE FOR EROSION CONTROL MEASURES The atheresy shall be rough graded. Any required sandable for utilities may be bestined at this time under the atheresy.

The arrivage oil nor be breaked, beducing the autical protection, exists beaute and polyphe, and exteriors taked gradely. DETAILS MOTION IN MONITORINE MONITORINE PROJECTIONI SOLICI PROJECTIONI DI CONTROLI PROGRESSI P payes, and orderform faster greating.

Great that the placed around the proposed colors basis rives and shall be greated to enter their necessary field no rector enters the satura basis until powerful it projected. Use self-timed twister hard it is thered bertoom system for the state of the project of the best of the second the self-th places will the recently appeared to the self-th places will the recently appeared to the self-th places will the recently appeared to the self-th places will be recent 10961 18 12901 10 18 1200 10 60 24110 10 18 1200 10 Time! rispose that he placed shared the court basis is step all their entering the drawage system. Nephrides shall also be placed in a some shader pattern shared pipe solution. This headest any settle basis when Furt Shad But may be in-192 PARK ROAD SCHOOL FEMALES OF CATCH BARNES
STARKED TO WARMING OF CATCH BARNES
STARKED TOWN PREMIABLES OF ONE STARKED TOWN PREMIABLES OF ON End and ornation control measures shall be impacted and any require completed prior to the institution of the militard arrange drainings. BALL INCOME PROTECTIC and the development of the second state is requised and any require.

In the development is the second entangle model's model's

Band its specied were and properly surposed band? model's

Band its specied extended of the second state of the second state

Band its specied extended of the development of the suppose.

The remainder of the development points can now be behavior.

Packs provid on offering and the foreign test to be supposed.

The band of the second of the supposed to both such provided of the second of CT AT LIND OF LACH MOREORICIAL AND REPARK ANY
LOS HARRIGARILY

EXC. REPLACEMENT OF SAT FERSE ON STALEPY, MAY BE
MANAGED COF. MAINTENANCE PLAN FOR STORM DRAINAGE SYSTEM STORMENTON RECOVERING AND A Second-should:

1. Out or more year limit deput. Oracle trace originant to the proposal defensely may be assess these registrate.

1. Out or of the recovering the properties of the p CONSTRUCTION MAINTENANCE PLAN FOR STORMWATER RENOVATION AREA 1. Once any herdery area has endownt build up within 16" of the lay of the foreign proude be downed and (i.e. 18" of hadrount build up), impact mates (interrupted) of starmentar resounts or seas. Sensor material area is here built up to a depth of which is of the solder should be interrupted. Pen orkneys. The best course of presented and surving shall be pleased. The graded structure shall be done at this time and course tolls a minimum of 4° of legicle. At this things shall be graded to a receiver of 211, coursed with Lapsaid, contained, and makehall. The en-site cates busing and absorbeits reswellen union and all deposits of the starth drainings system must be multilated in good working condition.

In summittings of 10, 10 to finish of these pile plane. Provide languarity stealing magnates on of exposed suchs which have demanded due to contributions settletime and one set is to permunantly national or are actude of contributions traffic tenses for a protein in access of 20 days. RESPONSIBILITY.
The invest white begins, and attraventor researches areas and all expects of the starm drainage system must be maintained in youd swriting condition.

The convenience with the found of these site panel. The property center will be requestable for the long large substantiation of the sterm depluyer spelled as failed above, biblioterance reports indicating that the system has been exeminated in outcombase and to the historial the great as admitted to the form Land late Offices on a sent-revised has office the multi-revised a beginning these receiveds. Clean of sit from croivage objectures.

The starting time for the construction is unknown, beamout the time limit for the site construction and building in approximately 270 days.

FILL MATERIAL & COMPACTION REQUIREMENTS

GENERAL PRINCIPLES

# PILICY RYAN & WARD, P.C. ATTORNEYS AT LAW

FRANKLIN G. PILICY fpilicy@prwpc.com
Also Admitted in MA

WILLIAM W. WARD billward@prwpc.com
Fellow, College of Community
Association Lawyers

DONALD J. RINALDI drinaldi@prwpc.com
As of Counsel to the Firm

www.PRWPC.com

235 Main Street
Watertown, Connecticut 06795
Phone (860) 274-0018
Fax (860) 274-0061

1318 Bedford Street Stamford, Connecticut 06905 Phone (203) 975-1151 Fax (203) 975-1821 CHARLES A. RYAN <u>cryan@prwpc.com</u> Also Admitted in MA

JILLIAN A. JUDD jjudd@prwpc.com

BENJAMIN A. SAAVEDRA <u>bsaavedra@prwpc.com</u> Also Admitted in MA

August 29, 2023

AUG 29 2023

Received Planning and Zoning Office

Hand Delivered

Mark Massoud Administer of Land Use/Zoning Enforcement Officer 61 Echo Lake Road Watertown, CT 06795

RE:

**Substituted** Text Amendment Application

New Proposed Section 55A-Age Restricted Housing Developments (ARHb)

Applicant Franklin G. Pilicy

c/o 235 Main Street, Watertown, CT 06795

Enclosed please find **substituted** proposed text amendment New Section 55A 15-30 Age Restricted Housing Developments (ARHb).

Section 55A.4.5 has been amended to provide as follows. "A minimum of two (2) off street visitor parking spaces shall be provided for every four (4) dwelling units. Driveway parking spaces may be counted as either resident or visitor parking spaces.

Section 55.4.8 has been added as follows: "Twenty-five (25%) percent of the site shall be set aside as contiguous public open space. A conservation restriction area may be included in determining the percentage. At least 25% of the minimum required public open space shall not be designated as wetlands or have greater than a 25% slope. In addition, at least another 10% of the site shall be designated as private open space. Water quality basin areas and conservation restriction areas may be included in determining the percentage of private open space. At least 25% of the minimum requested private open space shall not be designated as wetlands or have greater than a 25% slope."

The application fee has previously been paid.

Please substitute this text amendment for the text amendment filed on August 28, 2023.

Respectfully,

Franklin G. Pilicy

Applicant

### 55A.1 Establishment of an ARHb

The establishment of an ARHb overlay zone within an existing R-12.5 of R-30, R-70, R-90, or R-G District shall be considered a zone change subject to the requirements and procedures of CGS Section 8-3 and the provisions of Section 60 of these Regulations. In approving any such zone change application, the Commission shall determine that a need for an ARHb zone has been established.

### 55A.2 Basic Standard for ARHb Developments

- No individual who has not attained the age of 21 years may be domiciled within a dwelling unit in an ARHb development for more than 30 days within a calendar year. Any person who is permitted to and did occupy a unit with an age qualified person may continue to occupy the unit, after the death of such age qualified person, or if such age qualified person becomes a permanent resident of a health care facility. An ARHb is designated to meet the needs and requirements of an active adult community. The community shall qualify as "housing for older persons" described in the "Fair Housing Act" except that each unit shall have at least one resident age 55 or older unless otherwise provided. The above age restrictions shall be verified on an annual basis in writing by the Association required by Subsection 55.6. (Amendment adopted effective)(Effective date
- Permitted uses in an ARHb development are the following.
  - a. Single-family detached buildings.
- The maximum permitted density shall be three (3) units per gross acre.
- An ARHb development requires a minimum parcel size of fifteen (15) acres.
- An ARHb development parcel size shall not exceed thirty (30) acres.
- An ARHb development shall be developed pursuant to CGS Chapter 828, the Connecticut Common Interest Ownership Act.
- All dwelling units constructed along existing Town roads shall be single family detached with a minimum setback of 50ft (from a Town road).
- An ARHb development may be phased.

### 55A.3 <u>Dimensional Requirements</u>

Building separation	no less than 20 ft.	
Setback from roads	No less than 35 ft. excluding driveway	
Setback from residential boundary	50 ft. (The Commission may permit a lesser setback by a majority vote)	
Setback from Industrial Boundary	75 ft.	
Maximum building height	35 ft.	
Maximum Building coverage	15%	
Maximum Impervious Surface Coverage	25%	

### 55A.4 Site Plan and Special Permit

An ARHb development application shall be subject to Special Permit and Site Plan approvals in accordance with Sections 8 and 9 of these Regulations, and the following additional standards and requirements.

- 55A.4.1 Each residential unit shall have a private outside space of at least 50 square feet, such as a terrace, deck, patio, or courtyard adjoining and directly accessible to the residential unit.
- The Commission shall confirm that the architecture is themed, that the exterior building materials are of good quality, and that the elevations are residential in character. There shall be no mechanical equipment, except solar collectors, on the roofs visible from the ground. Mechanical equipment and refuse containers shall be screened from view on at least three sides. The Site Plan application shall include conceptual images of each of the proposed housing types, demonstrating a consistent architectural theme and a consistent application of good quality exterior siding and roofing materials, which shall be subject to approval by the Commission at the time of Sit Plan approval.
- All driveways and access roads shall be set back no less than 20 feet from all property lines, excepting as required for access roads to connect with town roads. The Commission shall have the authority to permit a lesser setback by a majority vote. At no time shall on street parking be permitted within the development and shall be so signed.
- 55A.4.4 The ARHb site shall be served by public water and public sewer. Fire hydrants to meet fire marshal specifications. Electric, telephone, and cable connections shall be installed underground. All water and sewer mains within the road system shall be owned and maintained by the Watertown Water and Sewer Authority. All water and sewer laterals from the roadways to the buildings will be owned and maintained by the community.
- 55A.4.5 A minimum of two (2) off-street resident parking spaces shall be provided for each dwelling unit and located in proximity to each unit, at least one (1) of

which shall be located within an enclosed garage. A minimum of two (2) off-street visitor parking spaces shall be provided for every four (4) dwelling units. Driveway parking spaces may be counted as either resident or visitor parking spaces.

- The roadway system shall be private. The Community Association shall be responsible for the maintenance, repair and replacement of the road system and shared driveways. Primary collector roads shall be twenty-four (24) feet in width, secondary arterial roads shall be eighteen (18) feet in width and shared driveways shall be fourteen (14) feet in width. The roadway and driveway plan shall meet the approval of the Commission. The profile of the primary collector road shall be constructed to Town standards to require a 12-inch gravel base and 4 inches of asphalt. Suitable pedestrian walkways and trails shall be provided.
- All road and storm drainage facilities within the Development shall be constructed in accordance with Best Management Practices (BMP's) for storm water quality and management, as specified in Section 30. Sheet flow techniques and roadside swaling shall be encouraged over curbing, catch basins, and manholes. The storm water management plan shall provide for a zero increase in peak runoff from the site. All road and storm drainage facilities within the development shall be maintained, repaired, and replaced by the Homeowners' Association. An annual report of said maintenance and repairs shall be provided The Homeowners' Association to the Town Engineer. (Effective date 5/15/15)
- 55.4.8 Twenty-five (25%) percent of the site shall be set aside as contiguous public open space. A conservation restriction area may be included in determining the percentage. At least 25% of the minimum required public open space shall not be designated as wetlands or have greater than a 25% slope. In addition, at least another 10% of the site shall be designated as private open space. Water quality basin areas and conservation restriction areas may be included in determining the percentage of private open space. At least 25% of the minimum requested private open space shall not be designated as wetlands or have greater than a 25% slope.

### 55A.5 Homeowners' Association and Deed Restrictions

A homeowner's association (common interest ownership association per CGS Chapter 828) for the ARHb development must be established to the satisfaction of the Commission and in accordance with Connecticut Law. The association documentation must be recorded on the land records of the Town of Watertown and must, at a minimum, contain the age, occupancy, and other restrictions and limitations contained in this ARHb regulation. The association shall be responsible for ensuring compliance with said restrictions. The restrictions as to age and number of occupants shall be specifically included as an encumbrance on the deed of each unit to be recorded on the land records.



August 30, 2023

Town of Watertown Planning & Zoning Commission 61 Echo Lake Road Watertown, CT 06795 Please see 11 More! for Complete application on Town of Water town

RE:

Bunker Hill Road Planned Development District (BHRPDD) Application

Reasoning for Proposed Text Amendment Bunker Hill Road & New Wood Road Watertown, CT 06795

Project Number: 22102801

Member of the Planning & Zoning Commission,

The following summarizes the reason for the proposed Text Amendment as required by Section 60.2.3 of the Town of Watertown Zoning Regulations:

A text amendment to the zoning regulations to create a Bunker Hill Road Planned Development District (BHRPDD) is intended to accommodate a transition from the single family residential (R-70) zone to the restricted industrial (IR-80) zone. This amendment will allow for lot assemblages of 15 acres or more to be developed, redeveloped, subdivided and improved with a mix of multifamily residential and industrial uses where the existing zoning district and regulations do not allow for such development.

The name and address of the Petitioners, per Section 60.2.4 of the Town of Watertown Zoning Regulations are as follows:

Solli Engineering, whose address is 501 Main Street, Monroe, CT 06468. The name of the property owner is Heritage Woods, LLC. The name of the interested party is William Hoadley, WPH Holdings, LLC, whose address is 831 Federal Road, Brookfield, CT 06804.

If you have any questions, please contact the undersigned.

Respectfully,

Solli Engineering, LLC

Luke Mauro, P.E., PTOE

Senior Project Manager

Kevin Solli, P.E., PTOE

President/CEO

X:\SE Files\Project Data\2022\22102801 - Bunker Hill Road - Watertown, CT\Office Data\Applications\Text Amendment\02 Amendment Reasoning.docx

501 Main Street, Suite 2A Monroe, CT 06468 Office: (203) 880-5455

11 Vanderbilt Avenue, Suite 240 Norwood, MA 02062 Office: (781)352-8491

www.SolliEngineering.com