

SEP 19 2023

TOWN OF WATERTOWN  
PLANNING AND ZONING COMMISSION  
SUBDIVISION/RESUBDIVISION APPLICATION

Received Planning and Zoning Office

Application for: ☒ Subdivision Date: \_\_\_\_\_  
☐ Resubdivision

Location of Property: 192 Park Rd, Watertown, CT 06795

Is this parcel within 500 feet of another municipality? \_\_\_\_\_ YES ☒ NO

Name of municipality: \_\_\_\_\_

Assessor's Map: 90 Block 20 Lot

Subdivision Name: 192 Park Rd (TEMPORARY)

Total Number of Proposed Lots: 4 Total Acreage: 66.41 AC

Number of Proposed Lots having Frontage on Existing Street: 4

Are there wetlands on the property or will you be draining water into a wetland? ☒ YES \_\_\_\_\_ NO

If YES, has an application been submitted to the Inland Wetland Commission? ☒ YES \_\_\_\_\_ NO

Applicant: JRD PROPERTIES-WATERTOWN LLC

Address: 146 HUNTINGDON AVENUE, WATERBURY CT 06708

Phone #: (203) 906-6355 Fax: N/A

Applicant's Signature: 

Owner: JRD PROPERTIES-WATERTOWN LLC

Address: 146 HUNTINGDON AVENUE, WATERBURY CT 06708

Phone #: (203) 906-6355 Fax: N/A

Owner's Signature: 

Information for Applicants and Owners

1. Twelve copies of the subdivision plan, twelve copies of the site development plan, two copies of the construction plans and four copies of the sediment and erosion control plans must be submitted with the application.
2. Public hearings will be held on all resubdivision applications and on subdivision applications at the discretion of the commission



1 inch = 1000 ft

SOIL SCIENTIST  
DAVID LORD  
SOIL RESOURCE CONSULTANTS  
PO BOX 752  
MERIDEN, CT 06450



CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
43 SHERMAN HILL ROAD  
WOODBRIDGE (203) 266-0778 CONNECTICUT

AUGUST 16, 2023



SHEET NO.	DESCRIPTION
	COVER SHEET
S 1.0	ZONING LOCATION SURVEY
C 2.1	OVERALL SITE PLAN
C 3.1	LOT 1 SITE PLAN
C 3.2	LOTS 2 & 3 GRADING, DRAINAGE & EROSION CONTROL PLAN
C 3.3	LOT 4 GRADING, DRAINAGE & EROSION CONTROL PLAN
C 4.1	LOT 4 DRIVEWAY PLAN & PROFILE
C 5.1	DETAILS
C 5.2	DETAILS
C 6.1	EROSION CONTROL NARRATIVE

# NOTES:

1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE ARCHIVES SECTIONS 20-200B-1 THROUGH 20-200B-20, AS REVISED.
2. THE TYPE OF SURVEY PERFORMED IS A LIMITED PROPERTY/ADJACENT ZONING LOCATION SURVEY.
3. THE BOUNDARY BETWEEN ADJACENT ZONING DISTRICTS IS SHOWN.
4. THIS MAP CONFORMS TO HORIZONTAL ACCURACY CLASS A-1.
5. THIS MAP CONFORMS TO VERTICAL ACCURACY CLASS V-1.
6. ELEVATIONS ON THIS MAP ARE BASED ON NAVD83, MAP J. 1000.
7. ELEVATIONS ON THIS MAP ARE BASED ON NAVD83, MAP J. 1000.
8. THE BOUNDARY BETWEEN ADJACENT ZONING DISTRICTS IS SHOWN.
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20. THE BOUNDARY BETWEEN ADJACENT ZONING DISTRICTS IS SHOWN.

## MAP REFERENCES:

1. "PROPERTY SURVEY MAP BY JOHN MORGAN, THE PARK ROAD WATERTOWN, CONNECTICUT" SCALE: 1" = 100' FEB. 4, 2011 BY: DANIEL C. LAFERRIERE

STANDARD	REQUIREMENT	EXISTING
MINIMUM LOT AREA	10,000 SF	10,000 SF
MIN. FRONT YARD SETBACK	10 FT	10 FT
MIN. SIDE YARD SETBACK	5 FT	5 FT
MIN. REAR YARD SETBACK	10 FT	10 FT
MIN. FRONT SETBACK	10 FT	10 FT
MIN. SIDE SETBACK	5 FT	5 FT
MIN. REAR SETBACK	10 FT	10 FT
MIN. FRONT SETBACK	10 FT	10 FT
MIN. SIDE SETBACK	5 FT	5 FT
MIN. REAR SETBACK	10 FT	10 FT
MIN. FRONT SETBACK	10 FT	10 FT
MIN. SIDE SETBACK	5 FT	5 FT
MIN. REAR SETBACK	10 FT	10 FT

## LEGEND

- PROPERTY LINE
- BOUNDARY SETBACK LINE
- WETLAND LINE
- WETLAND
- WATER FEATURE
- EXISTING LOT LINE
- EXISTING FENCE
- EXISTING UTILITY
- STONE OR BRICK WALL
- CATCH BASIN
- SAFETY SLOPE MARKER
- EXISTING TREE
- UTILITY POLE
- WETLAND
- DRILL HOLE
- NEW POLE

## LOCATION MAP



ZONING LOCATION SURVEY  
PREPARED FOR  
JRD PROPERTIES-WATERTOWN LLC  
192 PARK ROAD  
WATERTOWN, CONNECTICUT  
COPYRIGHT © 2023  
SCALE: 1" = 100' MAY 1, 2023  
PROJ. NO.: 0677

**ALL SEASONS**  
Land Surveying

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP AND SURVEY ARE CORRECTLY PREPARED AND SHOWN.

THIS MAP IS NOT VALID UNLESS IT BEARS THE SEAL AND SIGNATURE OF THE SURVEYOR.

DANIEL C. LAFERRIERE  
LICENSED LAND SURVEYOR, REG. NO. 11546

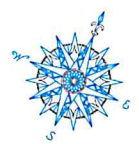
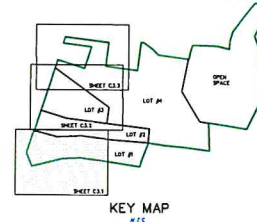
31 West Dayton Hill Road  
Watertown, CT 06492  
1 John Street  
Watertown, CT 06492  
Phone: (203) 213-8871  
dan@allseasonsurveying.com  
allseasonsurveying.com





Figure 1: Typical layout of a proposed road. The diagram illustrates a cross-section of a road layout with various features labeled on the left and right. The labels on the left include: PROPOSED ROAD, PROPOSED SIDEWALK, PROPOSED BIKEWAY, PROPOSED TRAIL, PROPOSED PATH, PROPOSED FENCE, PROPOSED WALL, PROPOSED AREA, PROPOSED ARCH, and PROPOSED BACKLINE. The labels on the right include: PROPERTY LINE, PROPOSED LOT LINE, BUILDING SETBACK LINE, EXISTING CURBLINE, EXISTING SPOT GRADE, PROPOSED CURBLINE, LIMIT OF CONSTRUCTION, EXISTING FENCE, STONE WALL, WETLAND LINE, NOT WETLAND REGULATED AREA, WETLAND ARCH, and PROPOSED BACKLINE.

1. THE TOPOGRAPHIC MAPPING USED FOR THIS SUBMISSION PLAN WAS TAKEN FROM THE DEEP OCEANIC DATA BASE.
2. TOTAL AREA OF THE PROPERTY IS 86,416 AC.
3. PROPERTY LINES IN THE WEST END DISTRICT.
4. BETWEEN PLANNED AND EXISTING WATERSHEDS DELIMITED BY DAVID LUND, SOIL SCIENTIST (SOIL RESOURCE CONSULTANTS) AND FIELD LOCATED BY ALL SEASONS LAND SURVEYING.
5. THE WATERTOWN PLANNED WATERSHEDS AGENCY HAS JURISDICTION OF ANY FURTHER DEVELOPMENT ACTIVITIES WITHIN THE WATERTOWN OF THE 100' ZONE.
6. THE MINIMUM OPEN SPACE AREA REQUIRED MUST BE 10% OF TOTAL PROPERTY CONTAINING SO UPLAND AREA.
7. DRIVEWAY APPROX, CROSSINGS AND PROFILES SHALL CONFORM TO THE TOWN OF WATERTOWN STANDARDS.

[illegible]

**LOT 1  
SITE PLAN**

192 PARK ROAD  
PARCEL ID: 83 90 20

WATERTOWN CONNECTICUT



CORNERSTONE PROFESSIONAL PARK, SUITE D-102  
42 SHERMAN HILL ROAD  
WOODBRIDGE, MASS 01969  
(508) 766-0778



### C 3.1

APPROVED BY THE WATERLOO ISLAND HERLANDS/CONSERVATION COMMISSION

\_\_\_\_\_  
*Signature/Name* \_\_\_\_\_  
*Date*

APPROVED BY THE WATERTOWN PLANNING & ZONING COMMISSION

APPROVED BY THE WATERTOWN TOWN ATTORNEY

© 2004 Blackwell Publishing Ltd, *Journal of Internal Medicine* 255: 103–110

APPROVED BY THE DIRECTOR OF PUBLIC WORKS/TOWN ENGINEER

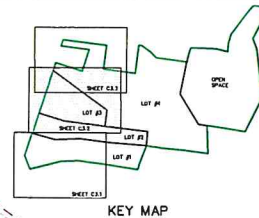
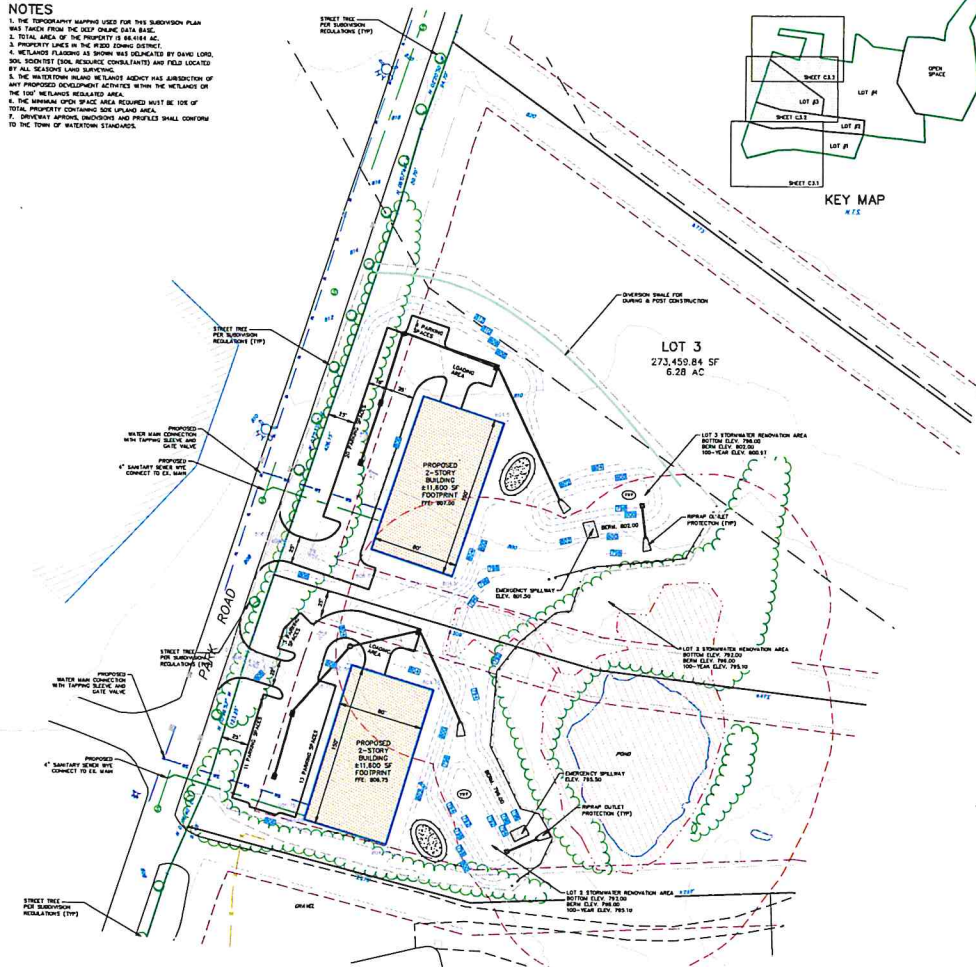
JOHN C. HARTMAN

NOTE: ADDITIONAL IMPROVEMENTS AND/OR MODIFICATIONS MAY BE REQUIRED BY THE DIRECTOR OF PUBLIC WORKS/TOWN ENGINEER IF FIELD CONDITIONS WARRANT.



PROPOSED LINE  
PROPOSED LOT LINE  
BLADING SURFACE LINE  
EXISTING SURFACE LINE  
EXISTING SPOT GRADE  
PROPOSED COTURAN  
LINE OF CONSTRUCTION  
EXISTING DRAINAGE  
STONE WALL  
NECULAND LINE  
NOT NEARLY REGULAR AREA  
NECULAND AREA  
PROPOSED STONE SEWER  
MATERIAL  
IN-TOE RADIUS  
EXISTING IN-TOE RADIUS  
PROPOSED 18" DIAM. SEWER  
EXISTING SURFACED SEWER  
PROPOSED SURFACED SEWER  
REINFORCED BR. RECTANGLE AREA  
PROPOSED 18" POLYETHYLENE OF CONSTRUCTION  
STABILIZED CONSTRUCTION DRAINAGE  
PROPOSED 18" RECT. PRICE

1. THE TOPOGRAHY MAPPIED USING FOR THIS SUBDIVISION PLAN WAS TAKEN FROM THE DEEP ONLINE DATA BASE.
2. TOTAL AREA OF THE PROPERTY IS 86.4184 AC.
3. PROPERTY LINES IN THE WEDD ZONING DISTRICT.
4. METERS FLASING AS SHOWN WAS DELICATED BY DAVID LORIS BOOBYER FOR EASE OF ACCESS, CONFINANTS AND FIELD LOCATED BY ALL SEASONS LAND SURVEY.
5. THE WATERFORD INLAND METLANDS AGENCY HAS JURISDICTION OF ANY PROPOSED DEVELOPMENT ACTIVITIES WITHIN THE METLANDS ON THE 100' METLANDS REGULATED AREA.
6. THE MINIMUM OPEN SPACE AREA REQUIRED MUST BE 10% OF TOTAL PROPERTY CONTAINING SOLE UPLAND AREA.
7. DRAINAGE AND EROSION CONTROL PROFILES SHALL CONFORM TO THE TOWN OF WATERFORD STANDARDS.

[illegible]


JRD PROPERTIES -  
WATERTOWN LLC  
146 HUNTINGDON AVE.  
WATERTOWN, CT. 06708

**LOTS 2 & 3  
GRADING, DRAINAGE, &  
EROSION CONTROL PLAN**

192 PARK ROAD  
PARCEL ID: 83 90 20



**Civil C1**  
CONSTRUCTION PROFESSIONAL RISK - SUITABLE



Seal of the State of Connecticut: A circular seal with "STATE OF CONNECTICUT" around the top and "JULY 26 1776" around the bottom. In the center is a shield with a ship, a plow, and a sheaf of wheat, with the motto "QUI PRO DOMINA JUSTITIA SEQUITUR" below it.

Membership Card: A portion of a card from the "CONNECTICUT STATE BAR ASSOCIATION". It shows fields for "NAME", "SEX", "SSN", "DATE OF BIRTH", and "DATE OF DEATH". The "NAME" field contains "C 3.2".

1. THE TOPOGRAPHIC MAPPING USED FOR THIS SUBDIVISION PLAN WAS TAKEN FROM THE DEED ONLINE DATA BASE.
2. TOTAL AREA OF THE PROPERTY IS 86.4184 AC.
3. PROPERTY LIES IN THE 12000 ZONING DISTRICT.
4. WETLANDS PLACING AS SHOWN WAS DETERMINED BY DAVID LOMD, NEW SCIENTIST (SEE REFERENCE CONTINENTS) AND FIELDS LOCATED BY ALL SEASONS LAND SURVEYORS.
5. THE WATERSHED INLAND WETLANDS AGENCY HAS JURISDICTION OF ANY PROPOSED DEVELOPMENT ACTIVITIES WITHIN THE WETLANDS OR THE 100' WETLANDS RECALCULATED AREA.
6. THE AREA OF THE WETLANDS AS SHOWN HEREIN MUST BE 10% OF TOTAL PROPERTY CONTAINING SOIL UPLAND AREA.
7. OVERLAY APPROX, DIMENSIONS AND PROFILES SHALL CONFORM TO THE TOWN OF WATERSHED STANDARDS.

Chairman/Secretary	Date
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APPROVED BY THE WATERTOWN PLANNING & ZONING COMMISSION

\_\_\_\_\_

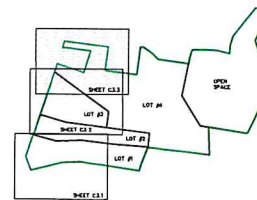
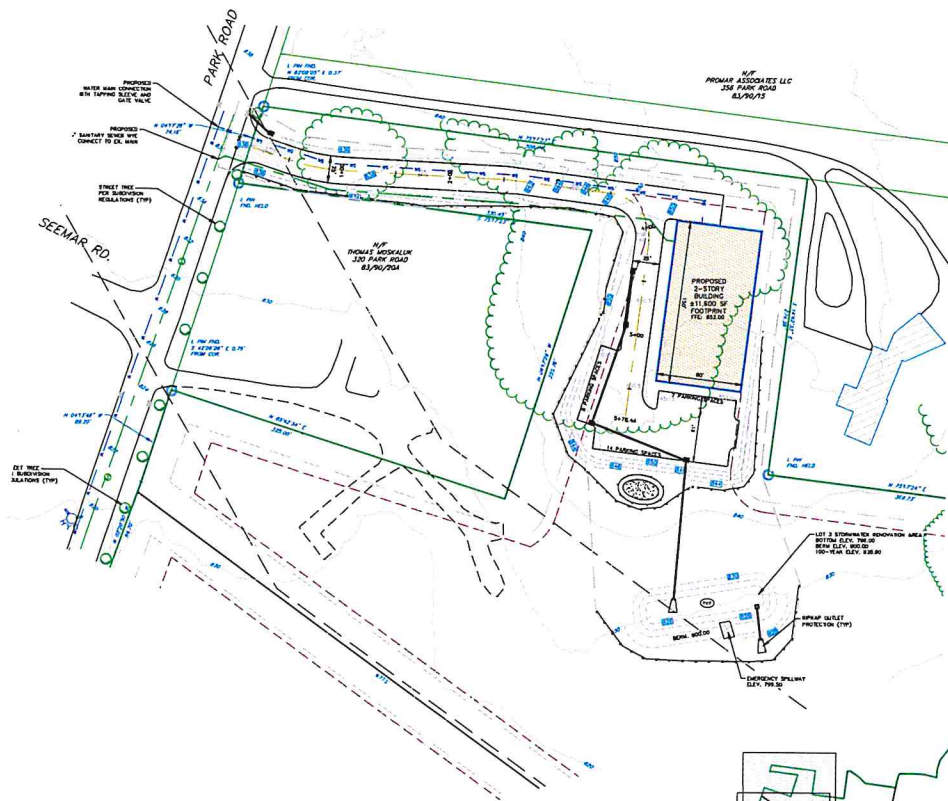
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APPROVED BY THE BURLINGTON TOWN ATTORNEY

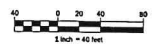
\_\_\_\_\_  
*Date*

APPROVED BY THE DIRECTOR OF PUBLIC WORKS/TOWN ENGINEER

NOTE: ADDITIONAL IMPROVEMENTS AND/OR MODIFICATIONS MAY BE REQUIRED BY THE DIRECTOR OF PUBLIC WORKS/TOWN ENGINEER IF FIELD CONDITIONS WARRANT



## KEY MAP

[illegible]

JRD PROPERTIES -  
WATERTOWN LLC  
146 HUNTINGDON AVE.  
WATERTOWN, CT. 06708

**LOT 4**  
**GRADING, DRAINAGE, &**  
**EROSION CONTROL PLAN**

192 PARK ROAD  
PARCEL ID: 83 90 20

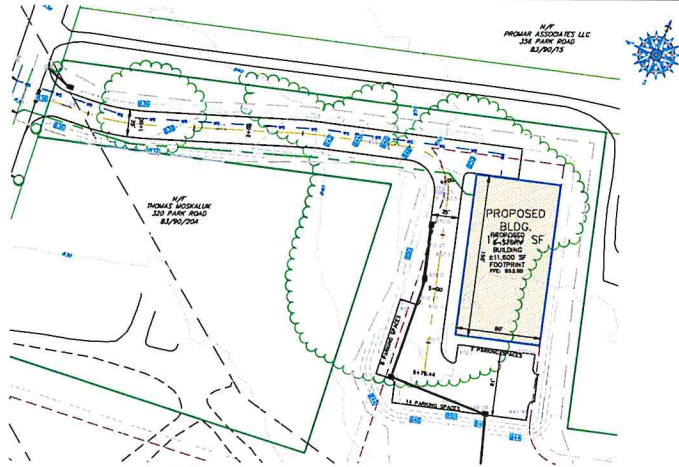
WATERTOWN CONNECTICUT



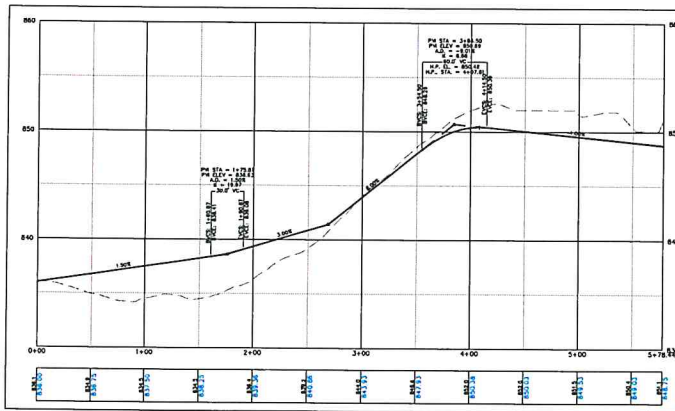
CORNERSTONE PROFESSIONAL PARK, SUITE D-121  
43 SHERMAN HILL ROAD



### C 3.3



LOT #4 PROPOSED DRIVEWAY PLAN VIEW  
SCALE 1"=40'



LOT #4 PROPOSED DRIVEWAY PROFILE  
SCALE 1"=40' HORIZ  
1"=4' VERT

NO.	REVISION



JRD PROPERTIES -  
WATERTOWN LLC  
146 HUNTINGDON AVE.  
WATERTOWN, CT. 06708

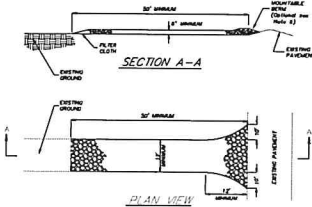
LOT 4 DRIVEWAY PLAN AND  
PROFILE

192 PARK ROAD

**CIVIL** 1  
CONVENTIONAL PROFESSIONAL FIRM, REGISTERED  
41 SHERMAN HILL ROAD  
WATERTOWN, CT 06708

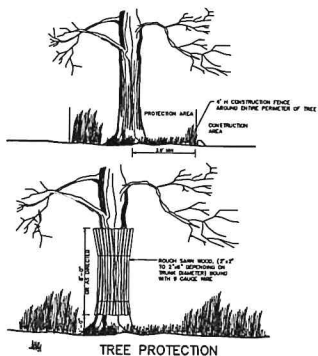
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C 4.1





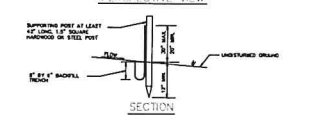
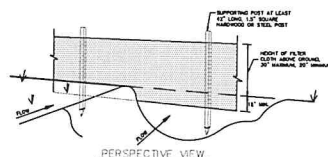
1. STONE CURB - 12" x 12" x 12" STONE OR EQUIVALENT ON REINFORCED CONCRETE EQUIVALENT.
2. CURB - 12" x 12" x 12" STONE OR EQUIVALENT ON REINFORCED CONCRETE EQUIVALENT.
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#### STABILIZED CONSTRUCTION ENTRANCE



#### TREE PROTECTION

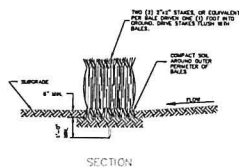
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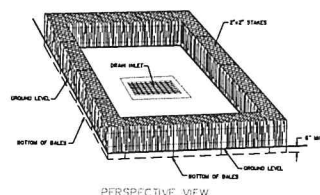
#### CONSTRUCTION NOTES FOR SILT FENCE

1. EXCAVATE A TRENCH A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE ON THE UP SIDE OF THE FENCE LOCATION.
2. STAKE SUPPORT POSTS ON THE DOWN SLOPE TO ANCHOR THE FENCE TO THE GROUND.
3. STAKE OR SECURE THE DOWN SLOPE TO THE SUPPORT POSTS FOR MANUFACTURED STRUCTURES THAT AT LEAST 8 INCHES OF DISTANCE ARE FROM THE FENCE.
4. BACKFILL THE TRENCH WITH TAMPED SOIL OR EQUIVALENT WHEN THE FENCE IS IN PLACE.

#### SILT FENCE DETAIL



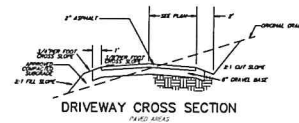
#### SECTION



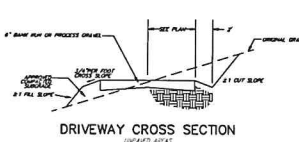
#### PERSPECTIVE VIEW

1. ALL BALES ARE TO BE TIED TOGETHER.
2. BALES SHALL BE TIED TOGETHER ON THE DOWN SLOPE OF THE FENCE.
3. BALES SHALL BE TIED TOGETHER ON THE DOWN SLOPE OF THE FENCE.
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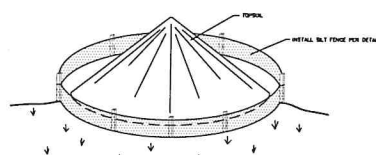
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#### DRIVEWAY CROSS SECTION



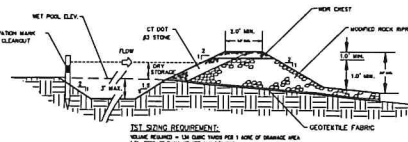
#### DRIVEWAY CROSS SECTION



#### STOCKPILE MANAGEMENT PER 2002 CT GUIDELINES FOR E & S CONTROL

1. LOCATE STOCKPILE SO THAT NATURAL DRAINAGE IS NOT OBSTRUCTED.
2. STOCKPILE SHOULD BE AT LEAST 10 FEET FROM THE PROPOSED FEE OF THE SLOPE.
3. STOCKPILE SHOULD BE AT LEAST 10 FEET FROM THE PROPOSED FEE OF THE SLOPE.
4. STOCKPILE SHOULD BE AT LEAST 10 FEET FROM THE PROPOSED FEE OF THE SLOPE.
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9. STOCKPILE SHOULD BE AT LEAST 10 FEET FROM THE PROPOSED FEE OF THE SLOPE.
10. STOCKPILE SHOULD BE AT LEAST 10 FEET FROM THE PROPOSED FEE OF THE SLOPE.

#### TEMPORARY TOPSOIL STOCKPILE



#### TEMPORARY SEDIMENT TRAP STONE FILTRATION BERM

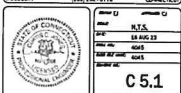
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NO.	REVISION

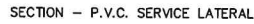
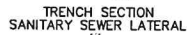
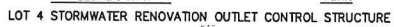
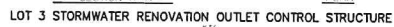
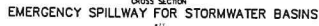
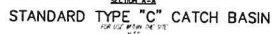
JRD PROPERTIES -  
WATERTOWN LLC  
146 HUNTINGDON AVE.  
WATERTOWN, CT. 06708

#### DETAILS

192 PARK ROAD



C 5.1



192 PARK ROAD



PILICY RYAN & WARD, P.C.  
ATTORNEYS AT LAW

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[fpilicy@prwpc.com](mailto:fpilicy@prwpc.com)  
Also Admitted in MA

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[drinaldi@prwpc.com](mailto:drinaldi@prwpc.com)  
As of Counsel to the Firm

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Stamford, Connecticut 06905  
Phone (203) 975-1151  
Fax (203) 975-1821

BENJAMIN A. SAAVEDRA  
[bsaavedra@prwpc.com](mailto:bsaavedra@prwpc.com)  
Also Admitted in MA

August 29, 2023

AUG 29 2023  
Received Planning and Zoning Office

Hand Delivered

Mark Massoud  
Administer of Land Use/Zoning Enforcement Officer  
61 Echo Lake Road  
Watertown, CT 06795

RE: **Substituted** Text Amendment Application  
New Proposed Section 55A-Age Restricted Housing Developments (ARHb)  
Applicant Franklin G. Pilicy  
c/o 235 Main Street, Watertown, CT 06795

Enclosed please find **substituted** proposed text amendment New Section 55A 15-30 Age Restricted Housing Developments (ARHb).

Section 55A.4.5 has been amended to provide as follows. "A minimum of two (2) off street visitor parking spaces shall be provided for every four (4) dwelling units. Driveway parking spaces may be counted as either resident or visitor parking spaces.

Section 55.4.8 has been added as follows: "Twenty-five (25%) percent of the site shall be set aside as contiguous public open space. A conservation restriction area may be included in determining the percentage. At least 25% of the minimum required public open space shall not be designated as wetlands or have greater than a 25% slope. In addition, at least another 10% of the site shall be designated as private open space. Water quality basin areas and conservation restriction areas may be included in determining the percentage of private open space. At least 25% of the minimum requested private open space shall not be designated as wetlands or have greater than a 25% slope."

The application fee has previously been paid.



Please substitute this text amendment for the text amendment filed on August 28, 2023.

Respectfully,

A handwritten signature in black ink, appearing to read "F. Pilicy", is positioned above a horizontal line.

Franklin G. Pilicy  
Applicant

New

**Section 55A      15 – 30 Acre Age Restricted Housing Developments (ARHb)**

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**55A.1 Establishment of an ARHb**

The establishment of an ARHb overlay zone within an existing R-12.5 of R-30, R-70, R-90, or R-G District shall be considered a zone change subject to the requirements and procedures of CGS Section 8-3 and the provisions of Section 60 of these Regulations. In approving any such zone change application, the Commission shall determine that a need for an ARHb zone has been established.

**55A.2 Basic Standard for ARHb Developments**

55A.2.1      No individual who has not attained the age of 21 years may be domiciled within a dwelling unit in an ARHb development for more than 30 days within a calendar year. Any person who is permitted to and did occupy a unit with an age qualified person may continue to occupy the unit, after the death of such age qualified person, or if such age qualified person becomes a permanent resident of a health care facility. An ARHb is designated to meet the needs and requirements of an active adult community. The community shall qualify as “housing for older persons” described in the “Fair Housing Act” except that each unit shall have at least one resident age 55 or older unless otherwise provided. The above age restrictions shall be verified on an annual basis in writing by the Association required by Subsection 55.6. (Amendment adopted      effective)(Effective date      )

55A.2.2      Permitted uses in an ARHb development are the following.

a.      Single-family detached buildings.

55A.2.3      The maximum permitted density shall be three (3) units per gross acre.

55A.2.4      An ARHb development requires a minimum parcel size of fifteen (15) acres.

55A.2.5      An ARHb development parcel size shall not exceed thirty (30) acres.

55A.2.6      An ARHb development shall be developed pursuant to CGS Chapter 828, the Connecticut Common Interest Ownership Act.

55A.2.7      All dwelling units constructed along existing Town roads shall be single family detached with a minimum setback of 50ft (from a Town road).

55A.2.8      An ARHb development may be phased.

### 55A.3 Dimensional Requirements

Building separation	no less than 20 ft.
Setback from roads	No less than 35 ft. excluding driveway
Setback from residential boundary	50 ft. (The Commission may permit a lesser setback by a majority vote)
Setback from Industrial Boundary	75 ft.
Maximum building height	35 ft.
Maximum Building coverage	15%
Maximum Impervious Surface Coverage	25%

### 55A.4 Site Plan and Special Permit

An ARHb development application shall be subject to Special Permit and Site Plan approvals in accordance with Sections 8 and 9 of these Regulations, and the following additional standards and requirements.

- 55A.4.1 Each residential unit shall have a private outside space of at least 50 square feet, such as a terrace, deck, patio, or courtyard adjoining and directly accessible to the residential unit.
- 55A.4.2 The Commission shall confirm that the architecture is themed, that the exterior building materials are of good quality, and that the elevations are residential in character. There shall be no mechanical equipment, except solar collectors, on the roofs visible from the ground. Mechanical equipment and refuse containers shall be screened from view on at least three sides. The Site Plan application shall include conceptual images of each of the proposed housing types, demonstrating a consistent architectural theme and a consistent application of good quality exterior siding and roofing materials, which shall be subject to approval by the Commission at the time of Site Plan approval.
- 55A.4.3 All driveways and access roads shall be set back no less than 20 feet from all property lines, excepting as required for access roads to connect with town roads. The Commission shall have the authority to permit a lesser setback by a majority vote. At no time shall on street parking be permitted within the development and shall be so signed.
- 55A.4.4 The ARHb site shall be served by public water and public sewer. Fire hydrants to meet fire marshal specifications. Electric, telephone, and cable connections shall be installed underground. All water and sewer mains within the road system shall be owned and maintained by the Watertown Water and Sewer Authority. All water and sewer laterals from the roadways to the buildings will be owned and maintained by the community.
- 55A.4.5 A minimum of two (2) off-street resident parking spaces shall be provided for each dwelling unit and located in proximity to each unit, at least one (1) of

which shall be located within an enclosed garage. A minimum of two (2) off-street visitor parking spaces shall be provided for every four (4) dwelling units. Driveway parking spaces may be counted as either resident or visitor parking spaces.

55A.4.6 The roadway system shall be private. The Community Association shall be responsible for the maintenance, repair and replacement of the road system and shared driveways. Primary collector roads shall be twenty-four (24) feet in width, secondary arterial roads shall be eighteen (18) feet in width and shared driveways shall be fourteen (14) feet in width. The roadway and driveway plan shall meet the approval of the Commission. The profile of the primary collector road shall be constructed to Town standards to require a 12-inch gravel base and 4 inches of asphalt. Suitable pedestrian walkways and trails shall be provided.

55A.4.7 All road and storm drainage facilities within the Development shall be constructed in accordance with Best Management Practices (BMP's) for storm water quality and management, as specified in Section 30. Sheet flow techniques and roadside swaling shall be encouraged over curbing, catch basins, and manholes. The storm water management plan shall provide for a zero increase in peak runoff from the site. All road and storm drainage facilities within the development shall be maintained, repaired, and replaced by the Homeowners' Association. An annual report of said maintenance and repairs shall be provided The Homeowners' Association to the Town Engineer. (Effective date 5/15/15)

55.4.8 Twenty-five (25%) percent of the site shall be set aside as contiguous public open space. A conservation restriction area may be included in determining the percentage. At least 25% of the minimum required public open space shall not be designated as wetlands or have greater than a 25% slope. In addition, at least another 10% of the site shall be designated as private open space. Water quality basin areas and conservation restriction areas may be included in determining the percentage of private open space. At least 25% of the minimum requested private open space shall not be designated as wetlands or have greater than a 25% slope.

#### 55A.5 Homeowners' Association and Deed Restrictions

A homeowner's association (common interest ownership association per CGS Chapter 828) for the ARHb development must be established to the satisfaction of the Commission and in accordance with Connecticut Law. The association documentation must be recorded on the land records of the Town of Watertown and must, at a minimum, contain the age, occupancy, and other restrictions and limitations contained in this ARHb regulation. The association shall be responsible for ensuring compliance with said restrictions. The restrictions as to age and number of occupants shall be specifically included as an encumbrance on the deed of each unit to be recorded on the land records.





August 30, 2023

Town of Watertown  
Planning & Zoning Commission  
61 Echo Lake Road  
Watertown, CT 06795

**RE: Bunker Hill Road Planned Development District (BHRPDD) Application  
Reasoning for Proposed Text Amendment  
Bunker Hill Road & New Wood Road  
Watertown, CT 06795  
Project Number: 22102801**

*Please see  
"more" for  
complete application  
on Town of Watertown  
website*

Member of the Planning & Zoning Commission,

The following summarizes the reason for the proposed Text Amendment as required by Section 60.2.3 of the Town of Watertown Zoning Regulations:

A text amendment to the zoning regulations to create a Bunker Hill Road Planned Development District (BHRPDD) is intended to accommodate a transition from the single family residential (R-70) zone to the restricted industrial (IR-80) zone. This amendment will allow for lot assemblages of 15 acres or more to be developed, redeveloped, subdivided and improved with a mix of multifamily residential and industrial uses where the existing zoning district and regulations do not allow for such development.

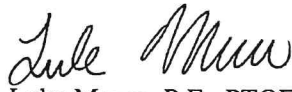
The name and address of the Petitioners, per Section 60.2.4 of the Town of Watertown Zoning Regulations are as follows:

Solli Engineering, whose address is 501 Main Street, Monroe, CT 06468. The name of the property owner is Heritage Woods, LLC. The name of the interested party is William Hoadley, WPH Holdings, LLC, whose address is 831 Federal Road, Brookfield, CT 06804.

If you have any questions, please contact the undersigned.

Respectfully,

**Solli Engineering, LLC**

  
Luke Mauro, P.E., PTOE  
Senior Project Manager

  
Kevin Solli, P.E., PTOE  
President/CEO

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**501 Main Street, Suite 2A  
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Office: (203) 880-5455**

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