



## **NOTICE OF DECISION**

DATE: July 31, 2023  
PROJECT NAME: Pecos Pit  
PROJECT LOCATION: 1010 and 1110 Yelm Ave E, Yelm, WA 98597  
PARCEL NUMBER(S): 22730110206 and 22730110207  
CASE NUMBER: MU 2023.0042

**NOTICE IS HEREBY GIVEN** that the Public Services Department completed an administrative review and determined that the proposed site plan for the properties located at 1010 Yelm Ave E, Yelm, WA 98597 has been approved with conditions.

The complete decision may be viewed on the City's website at [www.ci.yelm.wa.us](http://www.ci.yelm.wa.us) and choosing 'I Want To' then 'View' then 'Public Notices' from the menu system. A copy of the decision may also be obtained at the Public Services Department located at 901 Rhoton Rd. NW, Yelm, WA 98597 during normal business hours for a fee of 15 cents per page. For additional information, please contact the Public Services Department at 360-400-5001.

# MINISTERIAL SITE PLAN REVIEW MU 2023.0042

## FINDINGS OF FACT, CONCLUSIONS OF LAW, AND DECISION

### FINDINGS OF FACT

1. Paul Krakow on behalf of Yelm Plaza LLC, is proposing to convert the eastern portion of the existing building located at 1010 Yelm Ave E, Yelm, WA 98597 identified by Assessor's Tax Parcel Number 22730110206 into a drive through restaurant (Pecos Pit).

To accommodate a drive through lane, the project suggests modifying internal circulation in parcels 22730110206 and 22730110207, to provide a stacking space for the drive through. The project also intends to move the existing driveway on Plaza Drive NE, across from Algiers Drive NE.



2. The building was previously used by a Dollar Store but it has been vacant for the past eight years.
3. According to section 18.12.060 (A) (1) of Yelm Municipal Code, a Ministerial Site Plan Review is required for the changes of use on a property where there is parking expansion, exterior building changes, or other reasons that staff may deem necessary.
4. The approval process from initial concept to final occupancy consists of following steps:
  - I. Ministerial Site Plan Review
  - II. Civil Plan Review
  - III. Building Plan Review
5. The property is currently zoned Commercial (C-1). Per section 18.36.10 of YMC, the Commercial zone is intended to provide for the location of business centers to serve the needs of the community for convenience goods and services such as food, drugs, household supplies, automobile servicing, recreation, entertainment and other uses related to, but lesser in scope, than downtown core area uses. Per section 18.36.20 of YMC, service-oriented establishments including drive-through restaurants are permitted in this zone.

6. The surrounding properties are all zoned C-1, although the site to the north east is zoned C-2. The properties to the north, east and south are currently vacant.
7. The applicants submitted a site plan review application on March 14, 2023, and it was determined to be complete on June 14, 2023. The application materials included a Site Plan, the owner authorization letter, traffic impact assessment, and CC&R.
8. Since an impact to the neighboring properties due to the alteration in the internal circulation was expected, a Notice of Application was released on June 15, 2023 to notify the neighbors and WSDOT of the proposed changes on the site.
9. In addition to notifying the neighbors, the NOA was advertised at the following times and places:
  - Nisqually Valley News: 6/22/2023
  - Nisqually Valley News - Online Edition: 6/15/2023
  - City of Yelm Website, [www.yelmwa.gov](http://www.yelmwa.gov) : 6/15/2023

No comments were received.

10. The project is exempt from the State Environmental Policy Act pursuant to Section 197-11-800 (2).
11. Chapter 13.04 YMC and Chapter 4 of the Development Guidelines establish requirements for connection to the City's water system.
  - a. The site is connected to City water service.

Water connections are based on a consumption rate of 875 cubic feet a month. The civil engineer shall provide estimated water calculations at the time of civil plan review to determine if additional water connections are needed to serve the project.

The City implements a cross-connection and backflow control program pursuant to Title 43 RCW and Chapter 248-54 WAC [Section 13.04.220 YMC]. A backflow prevention assembly is required to protect Yelm's water system from cross-connections from all new developments. [Section 13.04.220 (D) YMC].
12. Chapter 13.08 YMC and Chapter 5 of the Development Guidelines establish requirements for connection to the City's sewer system.
  - a. The site is connected to City sewer service.

Sewer connections are based on water usage. Proposed water calculations will be used to determine if additional sewer connections are required.

Any commercial use that potentially generates Fats, Oils, or Greases (FOG) is required to remove FOG from the wastewater before it enters the STEP tank. To avoid the discharge of oil and grease, pretreatment facility (oil/water separator or interceptor) is required. [Section 13.04.220 (D) YMC].

Proof of compliance with FOG regulations is required at civil plan submission.
13. All of Yelm is considered a critical aquifer discharge area. The control and treatment of stormwater is required to protect the critical aquifer. The City has adopted the latest edition

(2019) of the Stormwater Management Manual for Western Washington (SMMWW) published by the Washington Department of Ecology [Chapter 18.27 YMC].

14. Chapter 18.16 YMC requires a determination that the infrastructure facilities necessary to serve a proposed development are in place or planned for and properly funded with a reasonable expectation that the facilities will be in place at the time needed to preserve adopted levels of service.

- a. Concurrency with sewer infrastructure means the project is within an area approved for sewer pursuant to the adopted sewer comprehensive plan for the City and improvements necessary to provide facilities and services are present to meet the needs of the proposed development.

The site is connected to City sewer service. This satisfies the concurrency requirement for sewer.

- b. Concurrency with water infrastructure means the project is within an area approved for municipal water service pursuant to the adopted water comprehensive plan for the City and improvements necessary to provide services are present.

The site is connected to City water service. This satisfies the concurrency requirement for water.

- c. Concurrency with school infrastructure means the developer pays a school impact fee at the time of construction.

The project does not impact schools as it does not increase student population.

- d. Concurrency with fire protection means the developer pays a fire impact fee at the time of construction.

Payment of the Fire Impact Fee at the time of building permit issuance satisfies concurrency requirements.

- e. Concurrency with transportation infrastructure means that the project completes frontage improvements, makes off-site improvements required for the safe movement of traffic and pedestrians if impacted by traffic from the development, and pays a transportation facilities charge.

The properties fronting Plaza Drive NE are not currently built to City standards. The properties must be improved to meet the City standards.

Any new PM peak hour trips generated by this project will require the payment of transportation facility charges. Transportation Facility Charges are due and payable at the time of building permit issuance.

When frontage improvements are completed to City standards and Transportation Facility Charges are paid, this will satisfy concurrency with transportation infrastructure.

15. The Yelm Critical Areas and Resource Lands, Chapter 18.21 YMC provides protection for critical aquifer recharge areas, frequently flooded areas, wetlands, geologically hazardous areas, and fish and wildlife habitat conservation areas.

- a. All of Yelm is identified as a critical aquifer recharge area. Compliance with Federal, State, and County water source protection regulations and with the City’s adopted stormwater regulations is required to protect the aquifer [Section 18.21.070(C) YMC].
- b. Important animal and plant species, their habitats of primary association, and other important habitats are protected under YMC 18.21, Critical Areas and Resource Lands.

On April 8, 2014, the U.S. Fish and Wildlife Service listed the Yelm subspecies of the Mazama Pocket Gopher (MPG) as threatened under the U.S. Endangered Species Act. It is the responsibility of the landowner to be aware of any species listing under the U.S. Endangered Species Act and comply with applicable federal regulations. Approval of this and other City permits may be superseded by federal law. Endangered species cannot be harmed at any time, even after permit issuance. If any are found during development, the applicant should contact the U. S. Fish and Wildlife Services and the City of Yelm.

Compliance with Yelm’s requirements under the Critical Areas Code does not ensure compliance with the provisions of the Endangered Species Act. The applicant should contact the US Fish and Wildlife Service with any questions about compliance with Federal standards for threatened species.

This property is mapped with soils that often contain the presence of Mazama Pocket Gopher. As this site is already improved with primarily impervious surfaces, a gopher study was not required.

16. Title 18 YMC is the Unified Development Code for the City of Yelm and establishes standards for development within the various zoning districts. The subject properties are identified by the Zoning Map as being within the C-1 zoning district. Chapter 18.36 provides guidance for the C-1 zone.
17. Service oriented establishments are allowed in the C-1 zoning district as a permitted use [Section 18.36.020 YMC].
18. The C-1 zoning district has the following development requirements: (18.36.040 YMC)
  - a. Minimum lot size: 5,000 Sq. Ft.
  - b. Setback requirements:
    - i. Minimum Front Setback: 15 feet.
    - ii. Minimum side yard setback: 10 feet.
    - iii. Minimum rear yard setback: 20 feet.
  - c. Maximum building heights: 60 feet.
  - d. Minimum driveway approach: 20’

The proposed project meets the C-1 development requirements.

- e. Provide at least two of the following pedestrian amenities near the sidewalk: (YMC 18.36.040 (j))
  1. Pedestrian furniture, such as seating, lighting, drinking fountain, etc.

2. Pedestrian weather protection at least three feet wide along at least 80 percent of the building's street front face. The weather protection may be in the form of awnings, marquees, canopies or building overhangs; provided, that canopies or awnings not extend above 15 feet above the ground elevation at the highest point nor lower than eight feet at the lowest point.
  3. Pedestrian oriented open space.
  4. Substantial perimeter landscaping.
  5. Artwork.
  6. Transit stop with seating.
  7. Window displays over the majority of the front facade.
  8. Decorative screen wall, trellis, or other building or site feature.
  9. Pedestrian lighting.
19. Chapter 18.52 YMC and section of 2.10.100 of Yelm Engineering Specifications and Standards Details, provide guidance for ingress and egress. Per section 18.52.100 of YMC, the location, width and manner of approach of vehicular ingress or egress from a building or parking area to a public street shall be located based on the interest of public safety and general welfare. Commercial driveway widths may vary from 24 for low volume activity (providing that 20-foot radii are used), to a maximum of 36 feet for undivided design, higher volume activity. A 36-foot driveway shall be marked with two exit lanes of 10- to 11-foot width, with the balance used for a single, wide entry lane.
  20. Whenever a building or a piece of land is put to a use different from the immediately preceding use, or when a building is remodeled, reconstructed or expanded, adequate off-street parking shall be provided consistent with the new use, reconstruction or expansion of the premises. (18.54.020 YMC)
  21. Establishments for the sale and consumption of food and beverages require a minimum of one parking space per 200 square feet of gross floor area [Section 18.54.030 YMC].
    - a. All stalls are required to be minimum of 8.5 ft. × 20 ft. according to Chapter 2 of Yelm Development Guidelines.

The site plan shows the depth of the proposed stalls is 18 feet which doesn't meet the minimum requirement. Proof of compliance is required prior to issuance of certificate of occupancy.
    - b. All aisle widths are required to be at least 23 feet in width for parking stalls at an angle of 90 degrees pursuant to Chapter 2 of Yelm Development Guidelines.
    - c. Accessible stalls meeting ADA standards are required.
  22. The trash enclosure shall meet the requirements stated in the table below and be constructed of CMU, wood or architectural steel. Gates shall be of similar durable materials and be capable of being secured when shut and at an angle of 135 degrees when open. Enclosure wall shall sit on a minimum six-inch concrete slab. The slab shall be graded to

prevent liquids from entering the city S.T.E.P. sewer system or on-site stormwater. The slab shall extend four feet beyond the gate(s). (YMC 18.59.040)

Use	Max. for Residential Container	Square Foot/Unit Per Cubic Yard	Minimum Enclosure Size	Additional Enclosures	Minimum Enclosure Height 6 Feet or
Restaurant	N/A	670 sf	8' x 20'	Each 4,020 sf	7 feet over 2,680 sf
Restaurant with grease storage	N/A	N/A	8' x 24'	Each 4,020 sf	7 feet over 2,680 sf

The revised site plan must show the location of the trash dumpster with the trash enclosure.

23. Per section 18.60.030 of YMC, buildings shall have a paved pedestrian pathway from the street sidewalk to the main entry of the building. If access traverses a parking lot, it shall be of a material different than the parking lot material. Walkways shall be integrated with parking lot landscaping and must tie into neighboring properties when feasible. Buildings with entries not facing the street shall have a clear and obvious street sidewalk to the entry. Pedestrian paths or walkways shall also connect all businesses and the entries of multiple buildings on the same development site.

Provide pedestrian pathway connecting the public sidewalk along the Plaza Dr. NE to the building. The pathway should connect businesses as well. The pedestrian pathway must be clearly marked on the site plan.

24. Convenient, marked pedestrian access shall be provided from parking areas to pedestrian linkage systems and from parking areas to principal uses. (YMC 18.54.070 (E))
25. All parking areas and driveways must be surrounded by a six-inch-high vertical concrete curb. (YMC 18.54.070 (N))
26. All landscaped and pedestrian areas shall be protected from encroachment by parked cars. (YMC 18.54.070 (O))
27. All development requiring review by the site plan review committee shall provide site illumination in accordance with the Washington State Energy Code (WEC) and the following standards:
  - A. Walkways and paths shall be illuminated to a minimum of two foot candles, and entries to four foot candles.

1. The parking lot shall be illuminated to a minimum of one-half foot candle.
2. Fixtures shall be nonglare and shielded.
3. Fixtures shall be mounted a maximum of 20 feet above grade.

4. A lighting plan shall be submitted as part of civil plan review.

Lighting was not provided in the preliminary site plan, please submit a lighting plan with the civil set.

28. Use architectural elements of a building and landscaping to highlight and define the entrance. The primary entries of all businesses must be enhanced by two or more of the following means: (18.60.50 YMC)

A. Weather protection such as an awning, canopy, marquee or other building element to create a covered pedestrian open space of at least 100 square feet.

B. Two hundred square feet of landscaping at or near the entry.

C. Pedestrian facilities, such as benches, kiosks, special paving, and bicycle racks.

D. A trellis, canopy, porch or other building element that incorporates landscaping.

E. Pedestrian scaled lighting.

F. Adjacent window displays.

G. Building ornamentation such as mosaic tile, relief sculpture, and ornamental wood or metal trim.

H. Artwork or special pedestrian scaled signs.

29. Landscaping requirements:

The property owner shall replace any unhealthy or dead plant materials in conformance with the approved landscape development proposal and shall maintain all landscape material. (YMC 18.55.060)

Perimeter Landscape. (This is required on the east of the property)

Streetscapes landscape (This is required as part of the frontage improvement.)

Purpose: Streetscape landscaping is intended to provide visual relief where clear sight is desired. This landscaping is utilized along pedestrian corridors and walks for separation of pedestrians from streets and parking areas while providing an attractive setting and overstory canopy.

When Required: Streetscape landscaping is required as part of street frontage improvements.

Description:

a. This type of landscaping consists of street trees for a large overstory canopy along streets and pedestrian corridors and approved vegetation for groundcover.

b. Street trees shall be chosen from a street tree list as adopted by the Yelm tree advisory board. Decorative protection may be placed around the trees.

c. Groundcover shall be a minimum four-inch pots spaced 18 to 20 inches on center or one-gallon pots at 20 inches on center. Low growth shrubs shall be one-gallon pots at three feet on center. Shrubs shall be 18 to 24 inches in height at five feet on center or three-gallon pot at five feet on center.



d. Earthen berms with grass or other vegetative groundcover and other design features may be worked into landscaping provided the resultant effect of providing a pedestrianfriendly environment and visual relief where clear site is required can be achieved.

e. The minimum width for streetscape landscaping shall be six feet to provide adequate rooting area for large street trees and to provide adequate streetscape. A four-foot width may be used through parking area pedestrian walks where accent trees are used and less width is required.

f. Planting theme shall be a ratio of three street trees to one accent tree.

g. Trees shall be spaced 35 feet on center starting 15 feet from the property line. Tree spacing may be adjusted to allow unobstructed sight distance on either side of a driveway and at street intersections. Tree spacing may also be adjusted when in conflict with luminaire poles.

#### Parking Lot Landscaping

Purpose: Parking lot landscaping is intended to provide visual relief and shade in parking areas.

When Required: Parking lot landscaping is a required element of any parking area, with the exception of single-family residences.

Description:

a. Parking areas shall have a minimum of at least 24 square feet of landscape development for each parking stall proposed.

b. Each area of landscaping must contain at least 100 square feet of area and must be at least six feet in any direction.

c. Live groundcover shall be provided throughout each landscaping area. Groundcover may be a combination of shrubs and trees that provide the desired effect of providing visual relief and green space within the parking area. Groundcover shall be selected and maintained so that the entire landscaped area will be covered within three years.

d. At least three percent of the parking area, excluding any other required landscaping, shall be utilized for landscaping.

e. Each planting area must contain at least one tree. Planting areas shall be provided with the maximum number of trees possible.

f. No parking stall shall be located more than 50 feet from a tree.

g. A landscaped area must be placed at the interior end of each parking row in a multiple-lane parking area.

h. A minimum of 60 percent of the trees must be deciduous and 40 percent evergreen. Up to 100 percent of the trees may be deciduous.

i. All parking areas located adjacent to any private street or public right-of-way shall provide a minimum five-foot planted buffer strip between the parking area and the private street or public right-of-way.

j. Permanent curbs and/or structural barriers shall be provided to protect the plantings from vehicle overhang.

The applicant shall utilize plant materials that are drought resistant, complement the natural character of the Pacific Northwest, are not listed as invasive species, and conform to the following:

A. All landscaping shall include at least 75 percent of groundcover and shrubs, and 50 percent of trees that are native or noninvasive naturalized species.

B. At least 60 percent of all landscaping shall be drought tolerant (unless site conditions assure adequate moisture).

C. Existing vegetation may be used to augment required landscaping.

D. Trees shall be a minimum of two-inch caliper measured six inches above the base at the time of planting and shrubs must be capable of growing to a minimum of five feet in height, within three years.

E. When the width of any landscape strip is 20 feet or greater, the required trees shall be staggered in two or more rows.

F. Groundcover shall be minimum four-inch pot spaced 18 to 20 inches on center or one-gallon pots at 20 inches on center, planted and spaced to result in total coverage of the required area within five years.

G. Low growth shrubs shall be one-gallon pots at three feet on center.

H. Shrubs shall be 18 to 24 inches in height at five feet on center or three-gallon pot at five feet on center.

I. Fences shall be placed on the inward side of any required perimeter landscaping.

J. Berms shall not exceed a slope of two horizontal feet to one vertical foot.

## **CONCLUSIONS OF LAW**

### **MINISTERIAL SITE PLAN REVIEW MU 2023.0042**

A. Section 18.12.060 (B) YMC allows the Site Plan Review Committee to process ministerial site plan review applications as provided in Chapter 18.10 YMC.

B. As conditioned below, the Ministerial Site Plan application is consistent with the development requirements of Yelm Municipal Code.

## CONDITIONS OF APPROVAL

1. All the comments shown on the site plan must be addressed.
2. A landscape plan that complies with all City rules and Unified Development Code requirements must be submitted with the civil plans.
3. The number of new PM peak hour trips generated by this project must be added to the TIA report. This is calculated by reducing the PM peak hour trips of the former use of the property from the PM peak hour trips generated by the new use. A revised TIA must be submitted.
4. Traffic Facility charges are required at the time the building permit is issued.
5. The Fire Impact Fee must be paid at the time the building permit is issued.
6. Provide at least two of the following pedestrian amenities near the sidewalk:
  - a. Pedestrian furniture, such as seating, lighting, drinking fountain, etc.
  - b. Pedestrian weather protection at least three feet wide along at least 80 percent of the building's street front face. The weather protection may be in the form of awnings, marquees, canopies or building overhangs; provided, that canopies or awnings not extend above 15 feet above the ground elevation at the highest point nor lower than eight feet at the lowest point.
  - c. Pedestrian oriented open space.
  - d. Substantial perimeter landscaping.
  - e. Artwork.
  - f. Transit stop with seating.
  - g. Window displays over the majority of the front facade.
  - h. Decorative screen wall, trellis, or other building or site feature.
  - i. Pedestrian lighting.
7. Provide pedestrian pathway connecting the public sidewalk along the Plaza Dr. NE to the building. The pedestrian pathway must be clearly marked on the site plan.
8. Provide marked pedestrian access from parking areas to pedestrian linkage systems and from parking areas to principal uses. (Both Pecos Pit and King Cronin)
9. Lighting was not provided in the preliminary site plan, please submit a lighting plan with the civil set.
10. The frontage of parcels 22730110206 and 22730110207 which are bordering Plaza Drive NE are not currently built to City standards. The properties must be improved by streetscape landscape, and sidewalks to meet the City standards.
11. Show the location of trash dumpster on the site plan. The applicant must provide trash enclosure in accordance with section 22 of this letter.

12. All stalls are required to be minimum of 8.5 ft. × 20 ft. according to Chapter 2 of Yelm Development Guidelines. The site plan shows the depth of the proposed stalls is 18 feet which doesn't meet the minimum requirement. Proof of compliance is required prior to issuance of certificate of occupancy.
13. All parking areas and driveways must be surrounded by a six-inch-high vertical concrete curb.
14. All landscaped and pedestrian areas shall be protected from encroachment by parked cars.
15. Any commercial use that may produce Fats, Oils, or Grease (FOG) must remove FOG from the wastewater before it enters the STEP tank. To avoid the discharge of oil and grease, pretreatment facility (oil/water separator or interceptor) is required. [Section 13.04.220 (D) YMC]. Proof of compliance with FOG regulations is required at civil plan submission.
16. All commercial meters must have a reduced pressure backflow assembly. Any proposed irrigation meters must include double check valve assemblies. Proof of compliance with the City's backflow control program is required.
17. This property is mapped with soils that often contain the presence of Mazama Pocket Gopher. A gopher study was not required because this site has already developed with predominantly impermeable surfaces. If the presence of the Mazama pocket gopher is confirmed during or after construction, the property owner/tenant must notify US Fish and Wildlife and the City of Yelm.
18. Building entries must have direct access to the public sidewalk.
  - i. The primary entries of all businesses must be enhanced by two or more of the following means: (18.60.50 YMC)
    1. Weather protection such as an awning, canopy, marquee or other building element to create a covered pedestrian open space of at least 100 square feet.
    2. Two hundred square feet of landscaping at or near the entry.
    3. Pedestrian facilities, such as benches, kiosks, special paving, and bicycle racks.
    4. A trellis, canopy, porch or other building element that incorporates landscaping.
    5. Pedestrian scaled lighting.
    6. Adjacent window displays.
    7. Building ornamentation such as mosaic tile, relief sculpture, and ornamental wood or metal trim.
    8. Artwork or special pedestrian scaled signs.

- A. The site plan approval is contingent upon addressing all the above conditions.
- B. The site plan is valid for eighteen (18) months from the date of this approval. The applicant may request a six-month extension on the approval, if the request is made in writing prior to the expiration date of this approval.

Dated this 31st day of July, 2023



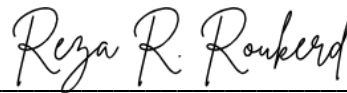
Maryam Moeinian  
Senior Planner



Chris Vaccaro  
Building Official/Fire Marshal



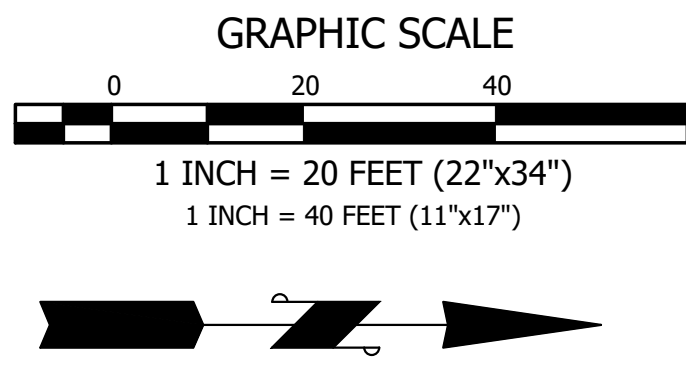
Cody Colt  
Public Services Director



Reza Roukerd  
Civil Review Engineer

## APPEAL

The Site Plan Review Committee's decision in this matter may be appealed pursuant to Chapter 18.10 YMC, to the City of Yelm Hearing Examiner no later than 21 days from the date of this decision. An appeal must be in writing, contain specific factual objections, and include the appeal fee of \$1,250.00.



**PECOS PIT - YELM**  
 A PORTION OF THE NE 1/4 OF THE NE 1/4 OF SECTION 30, TOWNSHIP 17 N, RANGE 2 E, W.M.,  
 CITY OF YELM, THURSTON COUNTY, WASHINGTON

**OWNER**  
 YELM PLAZA LLC  
 8448 N MERCER WAY  
 MERCER ISLAND, WA 98040

**APPLICANT/TENANT**  
 PECOS PIT INT'L FRANCHISE, LLC  
 7681 S 180TH ST  
 KENT, WA 98032

**ARCHITECT**  
 MERRICK LENTZ ARCHITECT  
 12815 NE 126TH PL  
 KIRKLAND, WA 98034

**ENGINEER/SURVEYOR**  
 CONTOUR ENGINEERING LLC  
 P.O. BOX 949  
 GIG HARBOR, WA 98335

**PROJECT INFORMATION**

ADDRESS: 1010 EAST YELM AVE, SUITE H  
 YELM, WA 98597

PARCEL NUMBER: 22730110206

ZONING: C-1 COMMERCIAL

BUILDING AREA: PROJECT BUILDING AREA = 1,840 SQ. FT.  
 TOTAL BUILDING AREA = 14,394 SQ. FT.

CONSTRUCTION TYPE: V-B FULLY SPRINKLERED

OCCUPANCY TYPE: A-2 - FOOD SERVICE

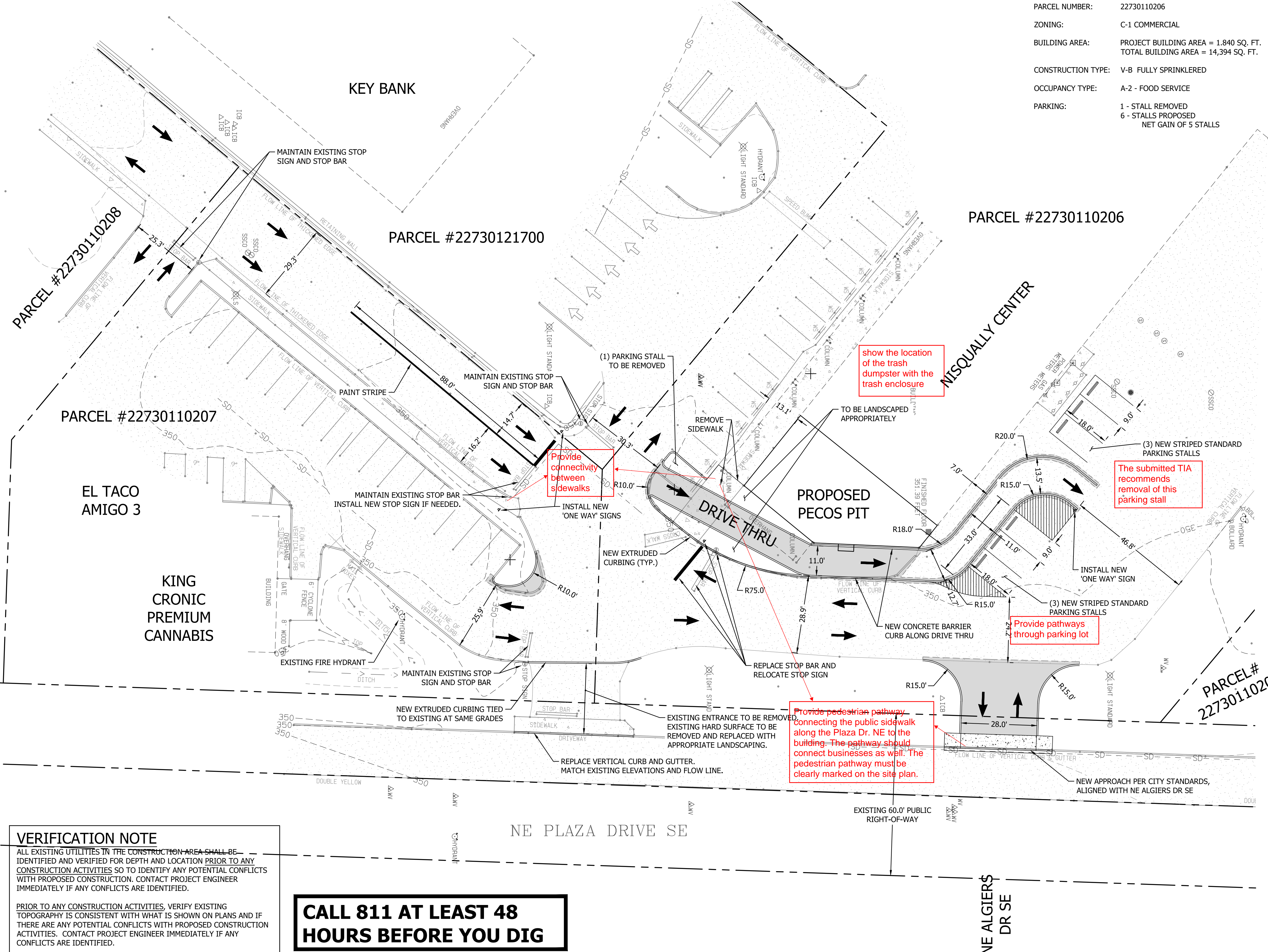
PARKING: 1 - STALL REMOVED  
 6 - STALLS PROPOSED  
 NET GAIN OF 5 STALLS



**VICINITY MAP**  
 NOT TO SCALE

**LEGEND**

SURVEY	PROPOSED
	CONTOURS
	PROPERTY LINE/RIGHT-OF-WAY
	RIGHT-OF-WAY CENTERLINE
	EASEMENT
	BUILDING SETBACK
	STORM DRAIN LINE
	SANITARY SEWER LINE
	ROOF DRAIN LINE
	OVERHEAD POWER LINE
	UNDERGROUND POWER LINE
	GAS LINE
	WATER LINE
	TYPE 2 CATCHBASIN
	TYPE 1/TYPE 1L CATCHBASIN
	STORM DRAIN CLEANOUT (SDCO)
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT (SSCO)
	HYDRANT
	WATER VALVE
	WATER METER
	FIRE DEPARTMENT CONNECTION (FDC)
	PRESSURE RELEASE VALVE (PRV)
	GAS MARKING POST
	GAS METER (GM)
	GAS VALVE (GV)
	MONUMENT
	POWER POLE (PP)
	GUY WIRE (GW)
	WATER MARKING POST (WMP)
	LIGHT STANDARD/YARD LIGHT (LS/YL)
	POWER MANHOLE (PMH)
	POWER VAULT
	TRANSFORMER PAD
	TELEPHONE JUNCTION BOX
	CABLE JUNCTION BOX (CJB)
	SIGNAL BOX (SB)
	WHEEL STOP
	SIGN
	BOLLARD
	ASPHALT
	CONCRETE



**VERIFICATION NOTE**  
 ALL EXISTING UTILITIES IN THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND VERIFIED FOR DEPTH AND LOCATION PRIOR TO ANY CONSTRUCTION ACTIVITIES SO TO IDENTIFY ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION. CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

PRIOR TO ANY CONSTRUCTION ACTIVITIES, VERIFY EXISTING TOPOGRAPHY IS CONSISTENT WITH WHAT IS SHOWN ON PLANS AND IF THERE ARE ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION ACTIVITIES. CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

**CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG**

BY	
DATE	
DESCRIPTION	
REVISION	

**CONTOUR ENGINEERING • L.L.C.**  
 CIVIL ENGINEERS • SURVEYORS • LAND PLANNERS  
 Phone: 253-857-5454 ~ Fax: 253-505-0044 ~ info@contourllc.com  
 Mailing Address: P.O. Box 949, Gig Harbor, WA 98335  
 Physical Address: 4706 97th Street NW, Suite 100, Gig Harbor, WA 98332

**PRELIMINARY ENGINEERING**  
 JEREMY F. HANSEN  
 STATE OF WASHINGTON  
 PROFESSIONAL ENGINEER

SHEET TITLE: PRELIMINARY SITE PLAN  
 CLIENT: PECOS PIT INT'L FRANCHISE, LLC  
 7681 S 180TH ST  
 KENT, WA 98032  
 CONTACT: PAUL KRAKOW  
 PHONE: (253) 224-1412

DESIGNER: JFH  
 ENGINEER: JFH  
 DRAWN: JFH  
 DATE: 2023.03.17  
 REVISED:

PROJECT: 23-021  
 DWG NAME: 23-021-A

SHEET	REV.
SITE PLAN	△
1 OF 1	



# City of Yelm

EST. 1924

## WASHINGTON

## MEMORANDUM

---

DATE: July 13, 2023  
TO: Maryam Moeinian  
FROM: Reza R. Roukerd - Engineering  
SUBJECT: **MU 2023.0042 Pecos Pit Drive Thru**

To whom it may concern,

Please forward the comments that are listed below:

1. The location of project site on vicinity map is incorrect on the Site plan.
2. Please edit the fonts because some of the words/numbers are impossible to read on the Site plan.
3. Please see the plans' markup for minor errors and typos
4. Frontage improvement on NE Plaza Dr. is required. Please see city of Yelm Development Guidelines - Chapter 2 – Transportation Details ([Link](#)) DWG. NO. 2-6
5. According to TIA, *"The stall closest the drive-thru may be considered for relocation/removal and/or increase turning radius for the purpose of avoiding possible conflict with larger vehicles navigating the drive-thru exit."*, Please remove or shift the closest parking stall to the drive-thru.
6. Minimum driveway width for commercial is 30 feet. Please see city of Yelm Development Guidelines - Chapter 2 – Transportation Details ([Link](#)) DWG. NO. 2-9
7. Is the drive-thru window an extension of the building or it is shown wrong in the site plan? The lane width is preferable to be 12', and it should be kept the same in front of the window as well.
8. The parking Stall depth is 20'
9. Please move the window so the car will not be in the curve and there will be more stacking lanes.
10. The *"2005 Stormwater Management Manual for Western Washington"* is not acceptable for this project. The 2019 edition is currently the approved manual.
11. Following the issuance of the NOD, the civil plan review will start.

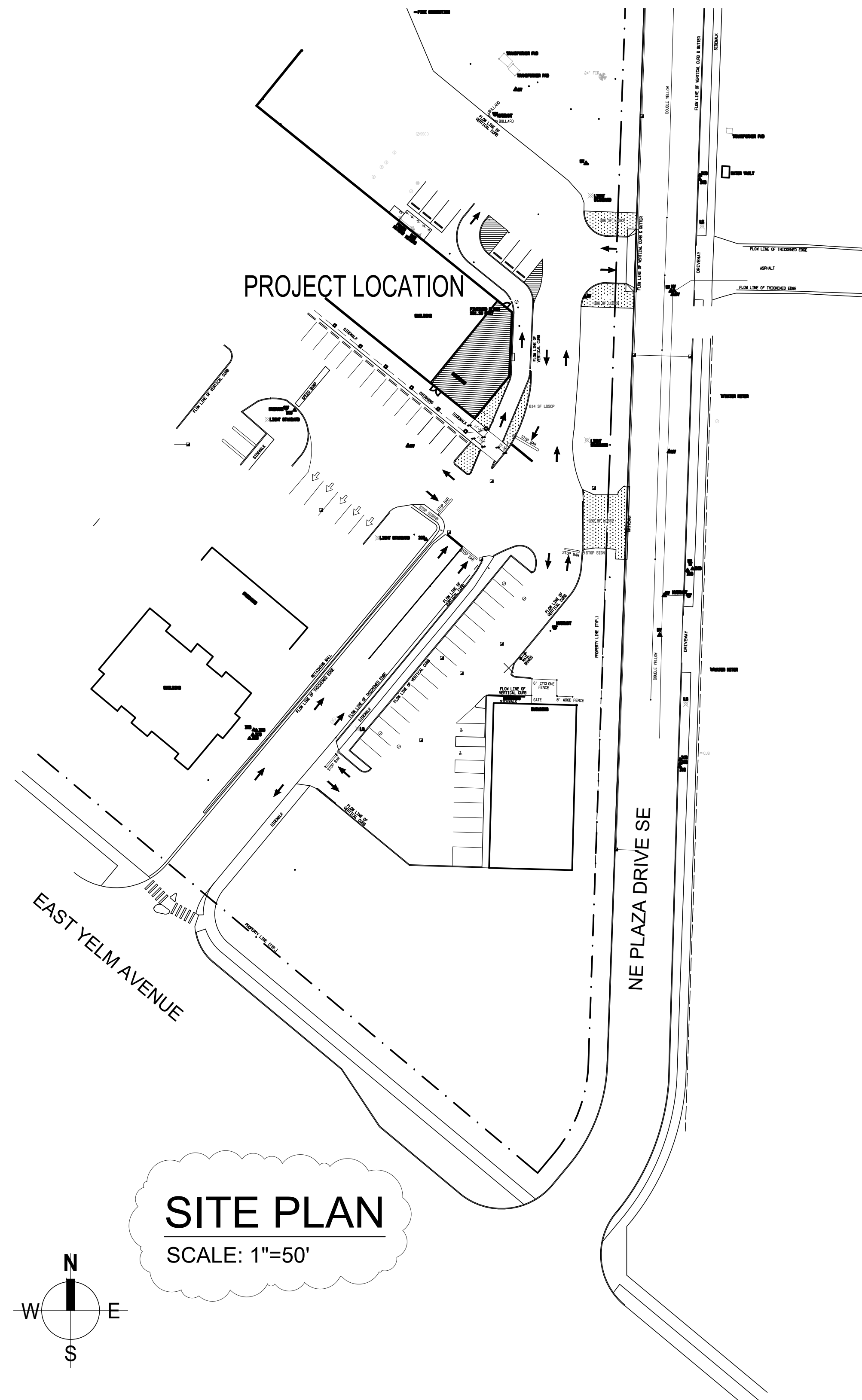
Reza R. Roukerd

City of Yelm Civil Review Engineer

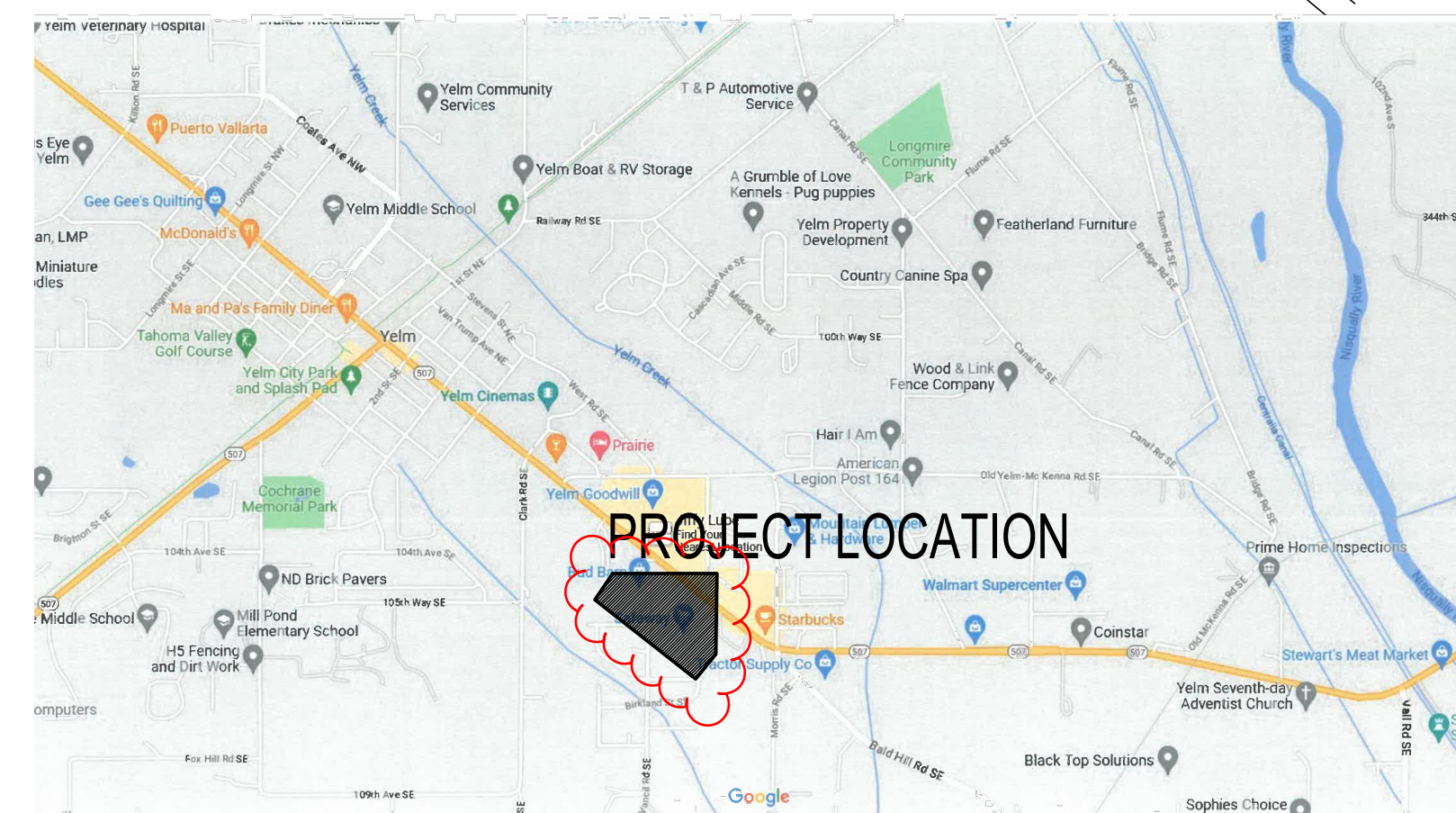
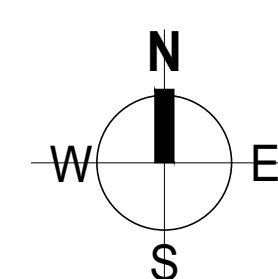




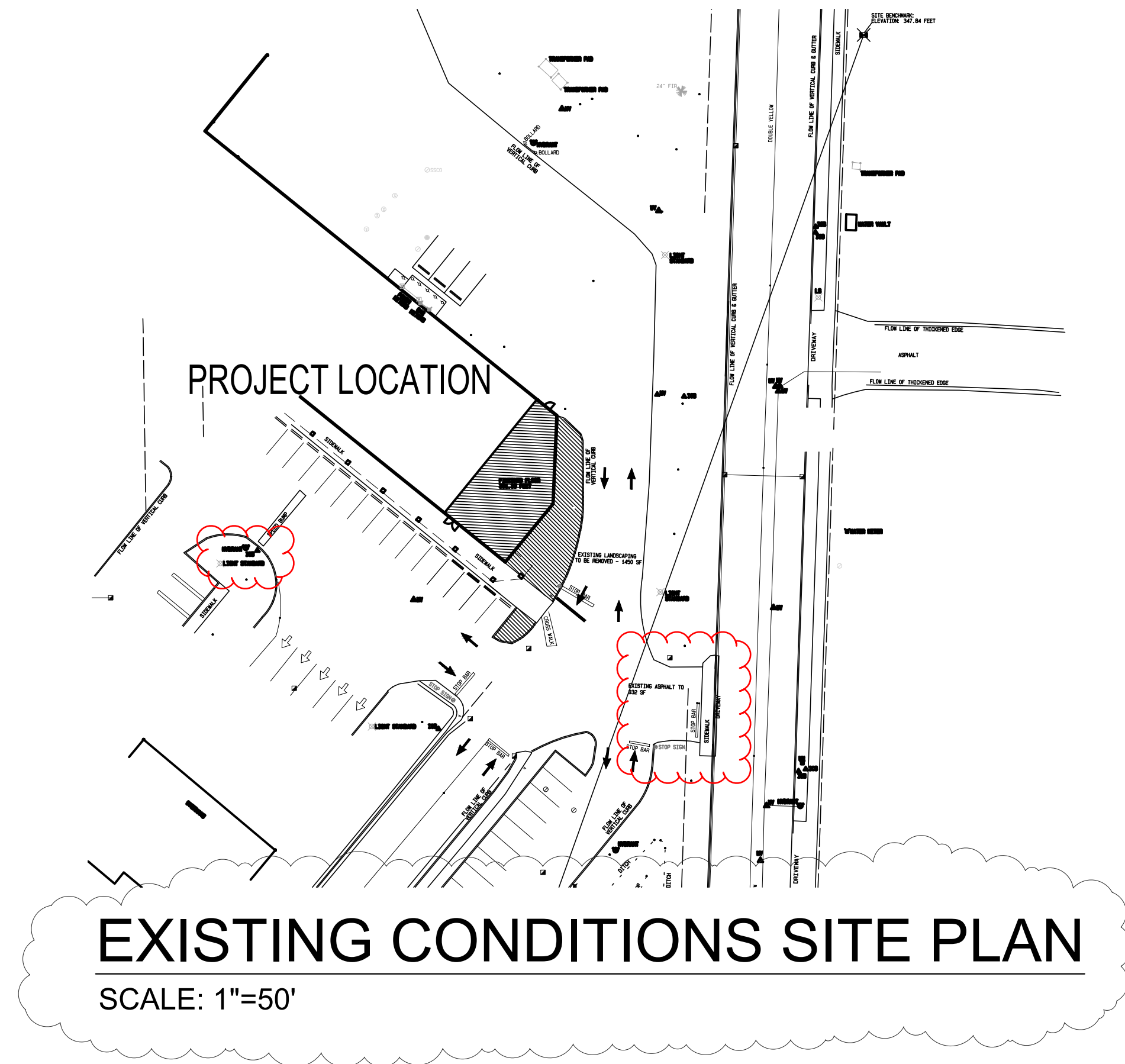
**SITE KEY PLAN**  
NO SCALE



**SITE PLAN**  
SCALE: 1"=50'



**VICINITY MAP**  
NO SCALE



**EXISTING CONDITIONS SITE PLAN**  
SCALE: 1"=50'

**PROJECT NOTES**

SCOPE OF WORK	CONSTRUCTION OF FOOD SERVICE FACILITY IN EXISTING RETAIL BUILDING.
ADDRESS	1010 EAST YELM AVENUE, SUITE H YELM, WA 98597
OWNER	YELM PLAZA LLC 8448 N. MERCER WAY MERCER ISLAND, WA 98040
TENANT	PECOS PIT
APPLICANT	MERRICK LENTZ ARCHITECT RICK LENTZ 12815 NE 126th PL KIRKLAND, WA 98034
APN	22730110206
ZONING	C-1 COMMERCIAL
GOVERNING CODES	2018 INTERNATIONAL BUILDING CODE w/ WASHINGTON STATE AMENDMENTS 2018 INTERNATIONAL EXISTING BUILDING CODE 2018 INTERNATIONAL FIRE CODE - WAC 51-54 2009 ANS/ICC A117.1
BUILDING AREA	TOTAL BUILDING AREA: 14,394 SF WORK AREA: 1840 SF
SITE AREA	169,013 SF (3.88 AC)
CONSTRUCTION TYPE	V-B FULLY SPRINKLERED
OCCUPANCY GROUP	A-2 - FOOD SERVICE
PARKING	NO CHANGE PROPOSED TO EXISTING PARKING OR LANDSCAPING
PROJECT OCCUPANCY	SEATING 749 / 15 50 OCCS KITCHEN 805 / 300 4 OCCS OFFICE 58/100 1 OCC RESTROOMS 108 EXEMPT TOTAL OCCUPANCY 56 OCCS
DEFERRED SUBMITTALS	SITE MODIFICATIONS MECHANICAL PLUMBING ELECTRICAL FIRE SPRINKLER/ALARM MODIFICATIONS
LEGAL DESCRIPTION	SEC 30 TN 17 R 2E SS988210 LOT 4 DOC 3167697
LANDSCAPING	EXISTING REMOVED FOR DRIVE-THRU - 1450 SF NEW 614 SF NEXT TO BUILDING 932 SF AT REMOVED DTREET ACCESS 770 SF FLANKING NEW CURB CUT TOTAL NEW - 2316 SF NEW LANDSCAPING TO BE SHRUBS AND GROUND COVER CONSISTENT WITH ADJACENT PLANTING

**SHEET INDEX**

A1.1	SITE KEY PLAN, PROJECT NOTES
A2.1	DEMO PLAN, CONSTRUCTION FLOOR PLAN, STOREFRONT ELEVATION
A2.2	REFLECTED CEILING PLAN, SUSPENDED CEILING DETAIL, FINISH SCHEDULE
A2.3	RESTROOM PLAN AND ELEVATIONS, DOOR SCHEDULE
A3.1	EXTERIOR DETAILS
QF100	FIXTURE AND EQUIPMENT PLAN AND LIST
QF600	EQUIPMENT ELEVATIONS

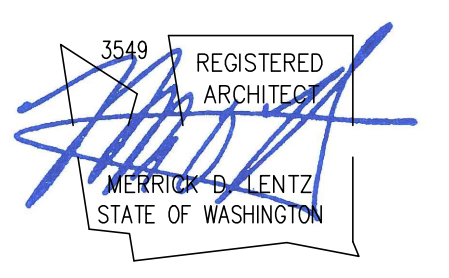
- Comments:**
- 1) The location of project site on vicinity map is incorrect.
  - 2) Frontage Improvement is required on NE Plaza Dr.
  - 3) On Existing site plan, please remove the sidewalk notes as it is a driveway approach.
  - 4) (Suggestion) Please change the color or draw a frame around the "PEDESTRIAN PATH TO THE PUBLIC WAY"
  - 5) Please remove the SHEET INDEX if there is only one sheet
  - 6) Please edit the fonts because some of the words are impossible to read.

UNPUBLISHED WORK  
© 2023 MERRICK LENTZ ARCHITECT  
Unauthorized use or reproduction of these drawings or any part herein without the permission of Merrick Lentz Architect is not permitted



12815 NE 126th Place, Kirkland, WA 98034  
t:425.747.3177 www.mlarch.com

stamp



consultant

project name

**PECOS PIT BARBEQUE-  
YELM**

**NISQUALLY PLAZA**  
Suite H  
East Yelm Avenue  
Yelm, WA 98597

**permit plan**

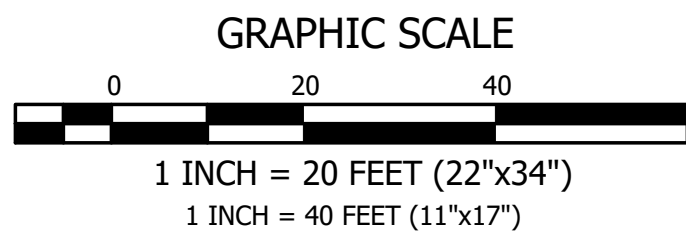
drawing title

**SITE KEY PLAN  
BUILDING KEY PLAN  
PROJECT NOTES  
VICINITY MAP**

drawn by JTB  
checked by MDL

06/13/2023	Review comments
02/27/2023	Permit plan
issued	date description

**A1.1**



**PECOS PIT - YELM**  
 A PORTION OF THE NE 1/4 OF THE NE 1/4 OF SECTION 30, TOWNSHIP 17 N, RANGE 2 E, W.M.,  
 CITY OF YELM, THURSTON COUNTY, WASHINGTON

**OWNER**  
 YELM PLAZA LLC  
 8448 N MERCER WAY  
 MERCER ISLAND, WA 98040

**APPLICANT/TENANT**  
 PECOS PIT INT'L FRANCHISE, LLC  
 7681 S 180TH ST  
 KENT, WA 98032

**ARCHITECT**  
 MERRICK LENTZ ARCHITECT  
 12815 NE 126TH PL  
 KIRKLAND, WA 98034

**ENGINEER/SURVEYOR**  
 CONTOUR ENGINEERING LLC  
 P.O. BOX 949  
 GIG HARBOR, WA 98335

**PROJECT INFORMATION**

ADDRESS: 1010 EAST YELM AVE, SUITE H  
 YELM, WA 98597

PARCEL NUMBER: 22730110206

ZONING: C-1 COMMERCIAL

BUILDING AREA: PROJECT BUILDING AREA = 1,840 SQ. FT.  
 TOTAL BUILDING AREA = 14,394 SQ. FT.

CONSTRUCTION TYPE: V-B FULLY SPRINKLERED

OCCUPANCY TYPE: A-2 - FOOD SERVICE

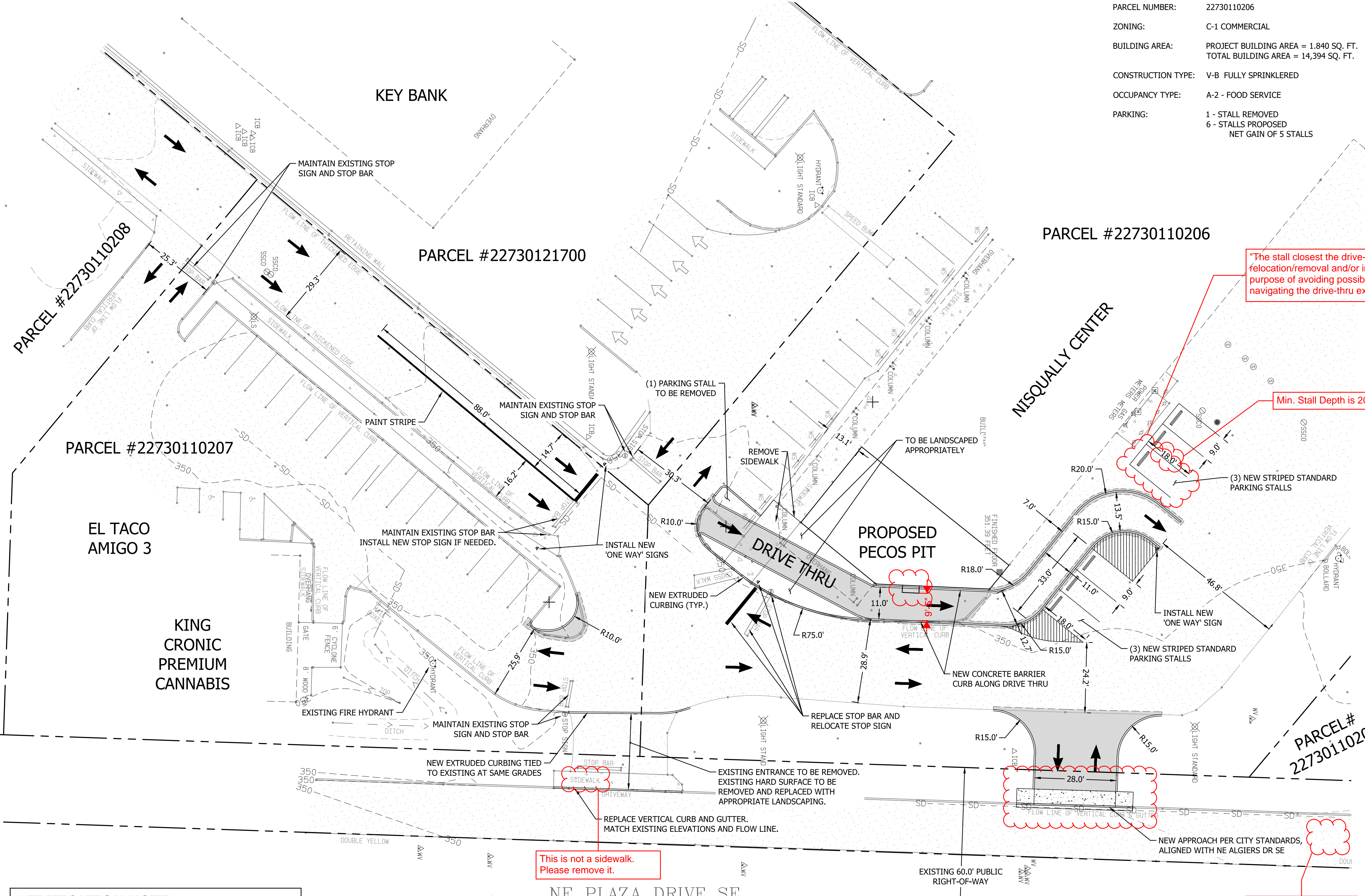
PARKING: 1 - STALL REMOVED  
 6 - STALLS PROPOSED  
 NET GAIN OF 5 STALLS



VICINITY MAP  
 NOT TO SCALE

**LEGEND**

SURVEY	PROPOSED
CONTOURS	CONTOURS
PROPERTY LINE/RIGHT-OF-WAY	PROPERTY LINE/RIGHT-OF-WAY
RIGHT-OF-WAY CENTERLINE	RIGHT-OF-WAY CENTERLINE
EASEMENT	EASEMENT
BUILDING SETBACK	BUILDING SETBACK
STORM DRAIN LINE	STORM DRAIN LINE
SANITARY SEWER LINE	SANITARY SEWER LINE
ROOF DRAIN LINE	ROOF DRAIN LINE
OVERHEAD POWER LINE	OVERHEAD POWER LINE
UNDERGROUND POWER LINE	UNDERGROUND POWER LINE
GAS LINE	GAS LINE
WATER LINE	WATER LINE
TYPE 2 CATCHBASIN	TYPE 2 CATCHBASIN
TYPE 1/TYPE 1L CATCHBASIN	TYPE 1/TYPE 1L CATCHBASIN
STORM DRAIN CLEANOUT (SDCO)	STORM DRAIN CLEANOUT (SDCO)
SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT (SSCO)	SANITARY SEWER CLEANOUT (SSCO)
HYDRANT	HYDRANT
WATER VALVE	WATER VALVE
WATER METER	WATER METER
FIRE DEPARTMENT CONNECTION (FDC)	FIRE DEPARTMENT CONNECTION (FDC)
PRESSURE RELEASE VALVE (PRV)	PRESSURE RELEASE VALVE (PRV)
GAS MARKING POST	GAS MARKING POST
GAS METER (GM)	GAS METER (GM)
GAS VALVE (GV)	GAS VALVE (GV)
MONUMENT	MONUMENT
POWER POLE (PP)	POWER POLE (PP)
GUY WIRE (GW)	GUY WIRE (GW)
WATER MARKING POST (WMP)	WATER MARKING POST (WMP)
LIGHT STANDARD/YARD LIGHT (LS/YL)	LIGHT STANDARD/YARD LIGHT (LS/YL)
POWER MANHOLE (PMH)	POWER MANHOLE (PMH)
POWER VAULT	POWER VAULT
TRANSFORMER PAD	TRANSFORMER PAD
TELEPHONE JUNCTION BOX	TELEPHONE JUNCTION BOX
CABLE JUNCTION BOX (CJB)	CABLE JUNCTION BOX (CJB)
SIGNAL BOX (SB)	SIGNAL BOX (SB)
WHEEL STOP	WHEEL STOP
SIGN	SIGN
BOLLARD	BOLLARD
ASPHALT	ASPHALT
CONCRETE	CONCRETE



"The stall closest the drive-thru may be considered for relocation/removal and/or increase turning radius for the purpose of avoiding possible conflict with larger vehicles navigating the drive-thru exit."

Min. Stall Depth is 20'

This is not a sidewalk. Please remove it.

Please update Asphalt hatch in the legend?

**VERIFICATION NOTE**  
 ALL EXISTING UTILITIES IN THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND VERIFIED FOR DEPTH AND LOCATION PRIOR TO ANY CONSTRUCTION ACTIVITIES SO TO IDENTIFY ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION. CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

PRIOR TO ANY CONSTRUCTION ACTIVITIES, VERIFY EXISTING TOPOGRAPHY IS CONSISTENT WITH WHAT IS SHOWN ON PLANS AND IF THERE ARE ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION ACTIVITIES. CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

**CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG**

BY	
DATE	
DESCRIPTION	
REVISION	

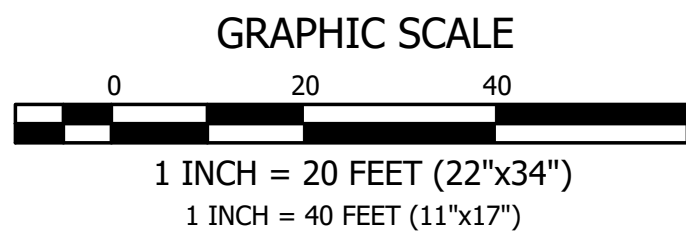
**CONTOUR ENGINEERING • L.L.C.**  
 CIVIL ENGINEERS • SURVEYORS • LAND PLANNERS  
 Phone: 253-857-5454 ~ Fax: 253-509-0044 ~ info@contourllc.com  
 Mailing Address: P.O. Box 949, Gig Harbor, WA 98335  
 Physical Address: 4706 97th Street NW, Suite 100, Gig Harbor, WA 98332

**PRELIMINARY SITE PLAN**  
 DESIGNER: JFH  
 ENGINEER: JFH  
 DRAWN: JFH  
 DATE: 2023.03.17  
 REVISED:

**CLIENT:** PECOS PIT INT'L FRANCHISE, LLC  
 7681 S 180TH ST  
 KENT, WA 98032

**CONTACT:** PAUL KRAKOW  
 PHONE: (253) 224-1412

**SHEET** 1 OF 1



**PECOS PIT - YELM**  
 A PORTION OF THE NE 1/4 OF THE NE 1/4 OF SECTION 30, TOWNSHIP 17 N, RANGE 2 E, W.M.,  
 CITY OF YELM, THURSTON COUNTY, WASHINGTON

**OWNER**  
 YELM PLAZA LLC  
 8448 N MERCER WAY  
 MERCER ISLAND, WA 98040

**APPLICANT/TENANT**  
 PECOS PIT INT'L FRANCHISE, LLC  
 7681 S 180TH ST  
 KENT, WA 98032

**ARCHITECT**  
 MERRICK LENTZ ARCHITECT  
 12815 NE 126TH PL  
 KIRKLAND, WA 98034

**ENGINEER/SURVEYOR**  
 CONTOUR ENGINEERING LLC  
 P.O. BOX 949  
 GIG HARBOR, WA 98335

**PROJECT INFORMATION**

ADDRESS: 1010 EAST YELM AVE, SUITE H  
 YELM, WA 98597

PARCEL NUMBER: 22730110206

ZONING: C-1 COMMERCIAL

BUILDING AREA: PROJECT BUILDING AREA = 1,840 SQ. FT.  
 TOTAL BUILDING AREA = 14,394 SQ. FT.

CONSTRUCTION TYPE: V-B FULLY SPRINKLERED

OCCUPANCY TYPE: A-2 - FOOD SERVICE

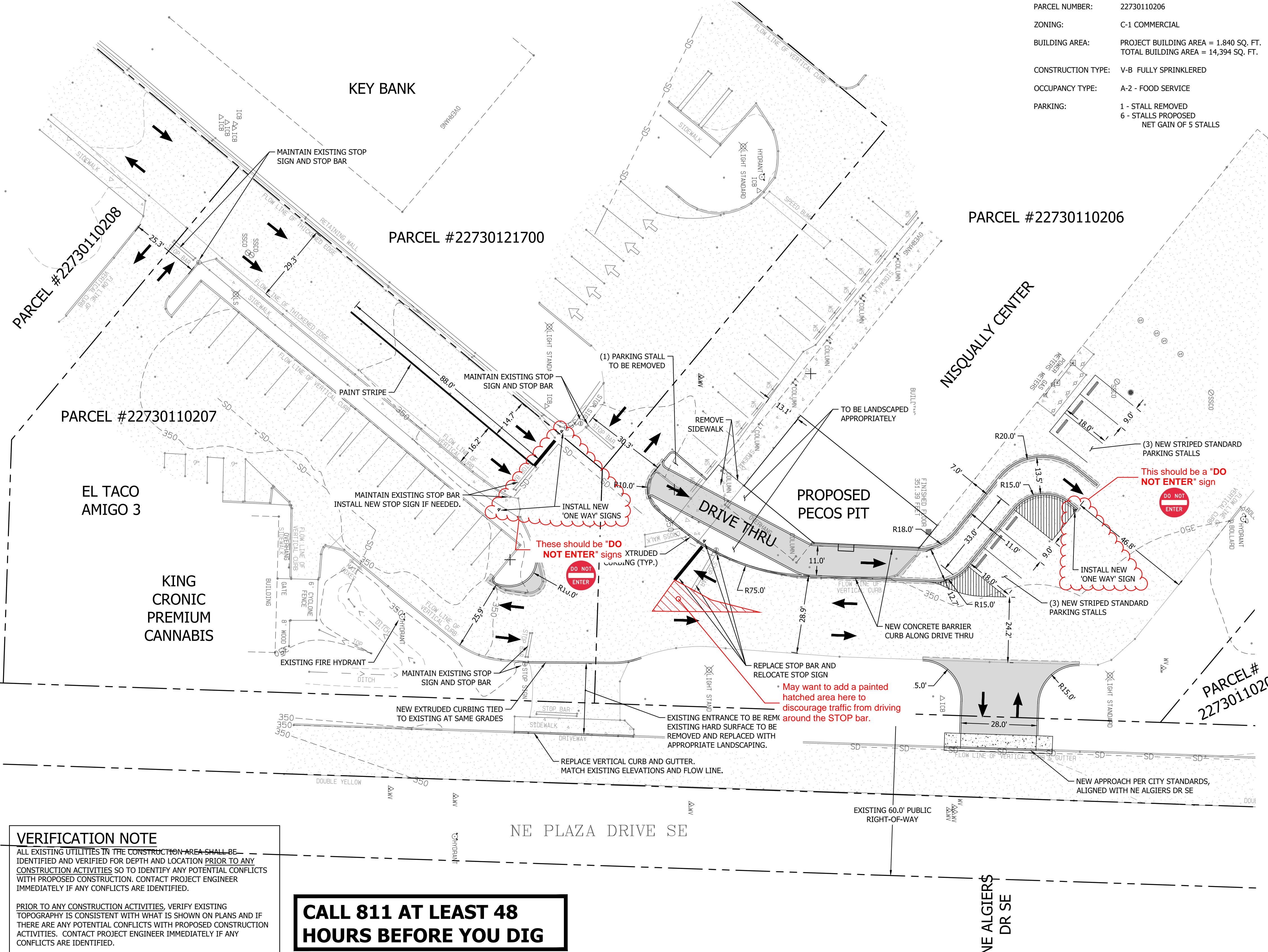
PARKING: 1 - STALL REMOVED  
 6 - STALLS PROPOSED  
 NET GAIN OF 5 STALLS



**VICINITY MAP**  
 NOT TO SCALE

**LEGEND**

SURVEY	PROPOSED
	CONTOURS
	PROPERTY LINE/RIGHT-OF-WAY
	RIGHT-OF-WAY CENTERLINE
	EASEMENT
	BUILDING SETBACK
	STORM DRAIN LINE
	SANITARY SEWER LINE
	ROOF DRAIN LINE
	OVERHEAD POWER LINE
	UNDERGROUND POWER LINE
	GAS LINE
	WATER LINE
	TYPE 2 CATCHBASIN
	TYPE 1/TYPE 1L CATCHBASIN
	STORM DRAIN CLEANOUT (SDCO)
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT (SSCO)
	HYDRANT
	WATER VALVE
	WATER METER
	FIRE DEPARTMENT CONNECTION (FDC)
	PRESSURE RELEASE VALVE (PRV)
	GAS MARKING POST
	GAS METER (GM)
	GAS VALVE (GV)
	MONUMENT
	POWER POLE (PP)
	GUY WIRE (GW)
	WATER MARKING POST (WMP)
	LIGHT STANDARD/YARD LIGHT (LS/YL)
	POWER MANHOLE (PMH)
	POWER VAULT
	TRANSFORMER PAD
	TELEPHONE JUNCTION BOX
	CABLE JUNCTION BOX (CJB)
	SIGNAL BOX (SB)
	WHEEL STOP
	SIGN
	BOLLARD
	ASPHALT
	CONCRETE



**VERIFICATION NOTE**  
 ALL EXISTING UTILITIES IN THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND VERIFIED FOR DEPTH AND LOCATION PRIOR TO ANY CONSTRUCTION ACTIVITIES SO TO IDENTIFY ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION. CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

PRIOR TO ANY CONSTRUCTION ACTIVITIES, VERIFY EXISTING TOPOGRAPHY IS CONSISTENT WITH WHAT IS SHOWN ON PLANS AND IF THERE ARE ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION ACTIVITIES. CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

**CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG**

BY			
DATE			
DESCRIPTION			
REVISION			
<b>CONTOUR ENGINEERING • L.L.C.</b> CIVIL ENGINEERS • SURVEYORS • LAND PLANNERS Phone: 253-857-5454 ~ Fax: 253-505-0044 ~ info@contourllc.com Mailing Address: P.O. Box 949, Gig Harbor, WA 98335 Physical Address: 4706 97th Street NW, Suite 100, Gig Harbor, WA 98332			
SHEET TITLE: <b>PRELIMINARY SITE PLAN</b> CLIENT: <b>PECOS PIT - YELM</b> PECOS PIT INT'L FRANCHISE, LLC 7681 S 180TH ST KENT, WA 98032 CONTACT: <b>PAUL KRAKOW</b> PHONE: (253) 224-1412			
DESIGNER: JFH ENGINEER: JFH DRAWN: JFH DATE: 2023.03.17 REVISED:			
PROJECT: 23-021 DWG NAME: 23-021-A			
SHEET	REV.		
<b>SITE PLAN</b>			
1 OF 1			

July 10, 2023

Aaron Van Aken, PE  
Heath & Associates, Inc.  
PO Box 397  
Puyallup, WA 98371

Re: Peco's Pit TIA Review  
Yelm Application Number: LD 2022.0109

I have reviewed Peco's Pit Traffic Impact Analysis dated May 22, 2023 for the proposed project. The project is planned for construction in the Nisqually Plaza, north of Yelm Avenue and west of Plaza Drive SE. The proposed project will convert the eastern portion of the existing building into a drive through restaurant. To accommodate a drive through lane the project proposes to alter internal circulation to provide a storage lane/ The project also proposes to relocate an existing driveway on Plaza Drive SE north, across from Algiers Drive SE.

### **Trip Generation**

The TIA documents use of the current ITE manual and land use code 934. This is a good match for the proposed project. The Trip Generation is acceptable.

### **Trip Distribution and Assignment**

The TIA documents an even distribution to each direction of Yelm Avenue, based on travel patterns from the TRPC model. Given the proposed internal circulation changes the TIA documents different percentages for inbound and outbound travel, with 20% of outbound traffic travelling north on Plaza Drive SE. These percentages are acceptable for the primary traffic.

Similar percentages were used for the pass-by traffic. Pass-by trips are not new trips but existing trips that interrupt their travel to enter the site. AS such, the vehicles should exit the site to continue travelling to their initial destination. The TIA has 20% of the outbound pass-by trips travelling north on Plaza Drive SE< but it's not clear how this is reconciled with the vehicles entering on Yelm Avenue. Please explain how these trips are expected to navigate back to the initial route or shift all pass-by activity to Yelm Avenue.

*Update Pass-by distribution and assignment or expand on description of existing patterns*

### **Analysis Study Area**

The TIA currently provided an operational analysis of the primary access points to the eastern portion of the Nisqually Plaza and the internal intersections where changes are proposed. These are acceptable locations for inclusion in the TIA. Based on the trip generation volumes shown on Figure 5 and Figure 6,

please also include the intersection of Yelm Avenue at Plaza Drive SE as this intersection is shown to increase by over 20 project trips.

*Add Yelm Avenue at Plaza Drive SE as a study intersection*

### **Existing Volumes**

Given the adjacency of the study intersections there should be little to no change in approach/departure volume between the intersections. The existing volumes presented in Figure 3, especially intersections #4 and #5, are not balanced. This leads to difficulty in following the reassignment of traffic that results from the driveway relocation and internal circulation. Consider creating a uniform peak hour or balancing the existing volumes.

### **Volume Forecast**

The TIA uses an annual growth rate of 4% and includes several pipeline development projects. The volume forecasting approach is acceptable and should be extended to the additional study intersections.

### **Site Plan**

The site plan included in the TIA includes a depiction of the proposed circulation changes. The travel arrows in the southwest corner, showing travel to/from Yelm Avenue on the eastern plaza access, have the arrows shown incorrectly. This is also true for the top image on page 5 of the TIA.

### **Site Circulation Changes**

The project proposes to change to the existing access and circulation of the Nisqually Plaza:

- Converting a portion of the eastern plaza access to northbound only, allowing for a drive through storage lane.
- Relocation of the existing driveway on Plaza Drive SE north, across from Algiers Road SE

Based on the analysis provided in the TIA there should not be any internal congestion issues that would impact the public street system. The relocation of the existing driveway to the north will consolidate multiple accesses to a single location, provide more spacing to Yelm Avenue, and provide more internal spacing to the circulation aisles. It is assumed that the circulation changes will implement standard practices for design and signage. Overall, these changes are acceptable. It is not anticipated that the existing volume and pass-by comments above will materially change the analysis results in the TIA.

If you have any questions, please contact me at (360) 352-1465, 360-400-5001, or you may contact Maryam Moeinian at the City of Yelm at 360-400-5001.

Sincerely,



Ryan Shea, PTP  
Senior Transportation Planner