



NOTICE OF DECISION

DATE:July 17, 2023PROJECT NAME:Earsley Investments Car DetailingPROJECT LOCATION:106 & 108 Yelm Ave W, Yelm, WA 98597PARCEL NUMBER(S):85800100100 & 85800100200CASE NUMBER:MU 2022.0065

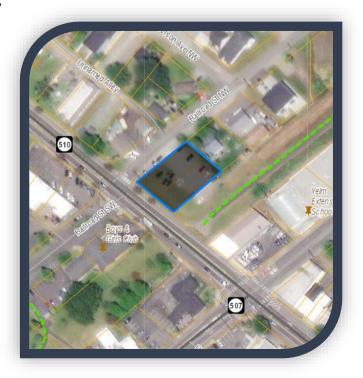
NOTICE IS HEREBY GIVEN that the Public Services Department completed an administrative review and determined that the proposed site plan for the properties located at 106 & 108 Yelm Ave W, Yelm, WA 98597 has been approved with conditions.

The complete decision may be viewed on the City's website at www.yelmwa.gov and choosing 'I Want To' then 'View' then 'Public Notices' from the menu system. A copy of the decision may also be obtained at the Public Services Department located at 901 Rhoton Rd. NW, Yelm, WA 98597 during normal business hours for a fee of 15 cents per page. For additional information, please contact the Public Services Department at 360-400-5001.

Administrative Site Plan Review mu 2022.0065 Findings of Fact, Conclusions of Law, and Decision

FINDINGS OF FACT

- Matt and Sadie Earsley on behalf of Earsley Investments II LLC, are proposing to combine the properties located at 106 & 108 Yelm Ave W, Yelm, WA 98597 identified by Assessor's Tax Parcel Numbers 85800100100 & 85800100200 through a Boundary Line Adjustment in order to build a 69' × 47.5' building which will be used for auto detailing services. The subject properties are approximately 0.28 acres and are currently vacant.
- According to section 18.13.020 (A) (2) of Yelm Municipal Code, an Administrative Site Plan Review is required for the construction of any new commercial, industrial, institutional, or public building. Moreover, according to section 18.12.070 of YMC, a Boundary Line Adjustment is required to alter the boundary line between platted or unplatted lots.



- 3. The approval process from initial concept to final occupancy consists of following steps:
 - I. Boundary Line Adjustment
 - II. Administrative Site Plan Review
 - III. Civil Plan Review
 - IV. Building Plan Review
- 4. The properties were combined through a Boundary Line Adjustment on June 26th, 2023. The new address of the property is 106 Yelm Ave W Yelm, WA 98597.
- 5. The property is zoned Central Business District (CBD) and is fronting a "pedestrian oriented street". Per section 18.35.10 of YMC, the CBD zone is intended to promote the special characteristics of the existing downtown Yelm area, to provide a pedestrian shopping atmosphere and to promote the rehabilitation of existing structures and the most desirable uses of land.
- 6. The surrounding properties are all zoned CBD, although the site to the north is being used for residential purposes.

- 7. The applicants submitted a site plan review application on October 3, 2022, and it was determined to be complete on November 22, 2022. The application materials included a Site Plan, a Trip Generation Report, Construction Stormwater Pollution Prevention Plan, Stormwater Drainage Report, and SEPA Checklist.
- 8. The Planning and Building Department mailed a Notice of Application on November 30, 2022, in accordance with Section 18.10.080 YMC, to regional, state, and nearby property owners. In addition, the NOA was advertised at the following times and places:
 - ➢ Nisqually Valley News: 12/8/2022
 - Nisqually Valley News Online Edition: 12/1/2022
 - City of Yelm Website, www.yelmwa.gov : 11/30/2022

No comments were received.

- 9. The project is exempt from the State Environmental Policy Act pursuant to Section 197-11-800 (1)(a)(iv).
- 10. Chapter 13.04 YMC and Chapter 4 of the Development Guidelines establish requirements for connection to the City's water system.
 - a. The site is not connected to City water service.

Water connections are based on a consumption rate of 875 cubic feet a month. The civil engineer shall provide estimated water calculations at the time of civil plan review to determine if additional water connections are needed to serve the project.

The City implements a cross-connection and backflow control program pursuant to Title 43 RCW and Chapter 248-54 WAC [Section 13.04.220 YMC]. A backflow prevention assembly is required to protect Yelm's water system from cross-connections from all new developments. [Section 13.04.220 (D) YMC].

- 11. Chapter 13.08 YMC and Chapter 5 of the Development Guidelines establish requirements for connection to the City's sewer system.
 - a. The site is not connected to City sewer service.

Sewer connections are based on water usage. Proposed water calculations will be used to determine if additional sewer connections are required.

Any commercial use that potentially generates Fats, Oils, or Greases (FOG) is required to remove FOG from the wastewater before it enters the STEP tank. To avoid the discharge of oil and grease, pretreatment facility (oil/water separator or interceptor) is required. [Section 13.04.220 (D) YMC].

Proof of compliance with FOG regulations is required at civil plan submission.

 All of Yelm is considered a critical aquifer discharge area. The control and treatment of stormwater is required to protect the critical aquifer. The City has adopted the latest edition (2019) of the Stormwater Management Manual for Western Washington (SMMWW) published by the Washington Department of Ecology [Chapter 18.27 YMC].

- 13. Chapter 18.16 YMC requires a determination that the infrastructure facilities necessary to serve a proposed development are in place or planned for and properly funded with a reasonable expectation that the facilities will be in place at the time needed to preserve adopted levels of service.
 - a. Concurrency with sewer infrastructure means the project is within an area approved for sewer pursuant to the adopted sewer comprehensive plan for the City and improvements necessary to provide facilities and services are present to meet the needs of the proposed development.

The proposed development is not connected to City sewer service. The property under building permit review shall connect to the City sewer system. Connection of the new construction to the sewer system satisfies concurrency requirements.

b. Concurrency with water infrastructure means the project is within an area approved for municipal water service pursuant to the adopted water comprehensive plan for the City and improvements necessary to provide services are present.

The proposed development is not connected to City water service. The property under building permit review shall connect to the City water system. Connection of the new construction to the water system satisfies concurrency requirements.

c. Concurrency with school infrastructure means the developer pays a school impact fee at the time of construction.

The project does not impact schools as it does not increase student population.

d. Concurrency with fire protection means the developer pays a fire impact fee at the time of construction.

Payment of the Fire Impact Fee at the time of building permit issuance satisfies concurrency requirements.

e. Concurrency with transportation infrastructure means that the project completes frontage improvements, makes off-site improvements required for the safe movement of traffic and pedestrians if impacted by traffic from the development, and pays a transportation facilities charge.

The property borders Yelm Avenue West and Railroad Street Northwest which are not currently built to City standards. The Railroad Street NW side of the property must be improved to meet the City standards.

Any new PM peak hour trips generated by this project will require the payment of transportation facility charges. This project will generate a total of 12 PM peak hour trips, according to the trip generation memo. Transportation Facility Charges are due and payable at the time of building permit issuance.

When frontage improvements are completed to City standards and Transportation Facility Charges are paid, this will satisfy concurrency with transportation infrastructure.

- 14. The Yelm Critical Areas and Resource Lands, Chapter 18.21 YMC provides protection for critical aquifer recharge areas, frequently flooded areas, wetlands, geologically hazardous areas, and fish and wildlife habitat conservation areas.
 - a. All of Yelm is identified as a critical aquifer recharge area. Compliance with Federal, State, and County water source protection regulations and with the City's adopted stormwater regulations is required to protect the aquifer [Section 18.21.070(C) YMC].
 - b. Important animal and plant species, their habitats of primary association, and other important habitats are protected under YMC 18.21, Critical Areas and Resource Lands.

On April 8, 2014, the U.S. Fish and Wildlife Service listed the Yelm subspecies of the Mazama Pocket Gopher (MPG) as threatened under the U.S. Endangered Species Act. It is the responsibility of the landowner to be aware of any species listing under the U.S. Endangered Species Act and comply with applicable federal regulations. Approval of this and other City permits may be superseded by federal law. Endangered species cannot be harmed at any time, even after permit issuance. If any are found during development, the applicant should contact the U.S. Fish and Wildlife Services and the City of Yelm.

Compliance with Yelm's requirements under the Critical Areas Code does not ensure compliance with the provisions of the Endangered Species Act. The applicant should contact the US Fish and Wildlife Service with any questions about compliance with Federal standards for threatened species.

This property is mapped with soils that often contain the presence of Mazama Pocket Gopher. As this site is already improved with primarily impervious surfaces, a gopher study was not required.

- 15. Title 18 YMC is the Unified Development Code for the City of Yelm and establishes standards for development within the various zoning districts. The subject property is identified by the Zoning Map as being within the CBD zoning district. Chapter 18.35 provides guidance for the CBD zone.
- 16. Service oriented establishments are allowed in the CBD zoning district as a permitted use [Section 18.35.020 YMC].
- 17. The CBD zoning district has the following development requirements: (18.35.040 YMC)
 - a. Setback: Structures shall be located so as to provide continuity with existing streets, alleys, sidewalks, and bikeways.
 - b. Maximum building heights: 60 feet.
 - c. Minimum driveway approach: 20'

The proposed building meets the CBD development requirements.

d. Yelm Ave. W, is considered a pedestrian-oriented street, properties fronting pedestrianoriented streets shall include features in compliance with Section 18.35.040(M) YMC.

1. Paved pedestrian walkway from the street corner to the building entrance.

2. Transparent window area or window displays along at least 50 percent of the length of the ground floor facade.

3. Sculptural, mosaic or bas relief artwork over 50 percent of the length of the ground floor facade.

4. Pedestrian oriented space, located adjacent to the sidewalk. At least 500 square feet of pedestrian oriented space must be provided for every 100 linear feet of facade as measured along the property lines adjacent to the street right-of-way.

5. Other special landscaping or building design feature approved by the city.

6. Building entries must have direct access to the public sidewalk.

7. No more than 50 percent of the street frontage measured parallel to the curb may be occupied by parking and/or vehicle access.

8. For properties fronting on two or more pedestrian oriented streets, parking may be located on one of the streets; provided, that a building or pedestrian oriented space is situated between the parking and the street corner.

e. In addition to the site planning measures above, provide at least two of the following pedestrian amenities near the sidewalk: (YMC 18.35.040 (N))

1. Pedestrian furniture, such as seating, lighting, drinking fountain, etc.

2. Pedestrian weather protection at least three feet wide along at least 80 percent of the building's street front face. The weather protection may be in the form of awnings, marquees, canopies or building overhangs; provided, that canopies or awnings not extend above 15 feet above the ground elevation at the highest point nor lower than eight feet at the lowest point.

- 3. Pedestrian oriented open space.
- 4. Substantial perimeter landscaping.
- 5. Artwork.
- 6. Transit stop with seating.
- 7. Window displays over the majority of the front facade.
- 8. Decorative screen wall, trellis, or other building or site feature.
- 9. Pedestrian lighting.
- f. Architecturally accentuate building corners at street intersections. All new buildings located on properties at the intersection of two public streets shall apply one or more of the following design elements: (YMC 18.35.040 (O))

1. At least 100 square feet of sidewalk or pedestrian oriented open space in addition to required building setback.

2. Corner entrance to courtyard, building lobby, atrium or pedestrian pathway.

3. Corner architectural elements such as bay windows, roof deck or balconies on upper stories, notched or curved facade surfaces.

- 4. Sculpture or artwork or distinctive use of materials.
- 5. Special treatment of pedestrian weather protection canopy.
- 6. Building corner entry.
- g. Building Design. Building shell colors shall be earth tones such as taupe, brown, redbrown, buff, gray, cream, white, natural wood, brick, or stone. Trim should be white, black, dark blue, dark green, dark teal, dark red, or other deep saturated colors. Bright accent colors should not cover more than 10 percent of any building facade. Stucco must not be treated in a sculptural manner with curved surfaces or relief patterns. Stucco surfaces should be trimmed with wood, brick, or masonry or in a way that protects them from the weather. (YMC 18.35.040 (P))
- Off-street parking spaces and driveways shall not be used at any time for purposes other than their intended use, i.e., the temporary storage of motor vehicles used by persons visiting or having business to conduct on the premises for which the parking is provided. (18.54.020 YMC)
- 19. Minimum parking requirement: One space per 400 sq. ft. of GFA. The minimum parking stall dimension is 9' x 20'.

The proposed site plan complies with code requirements.

- 20. Convenient, marked pedestrian access shall be provided from parking areas to pedestrian linkage systems and from parking areas to principal uses. (YMC 18.54.070 (E))
- 21. Driveway standards are outlined in Chapter 18.52 YMC and 2.10.100 of Yelm Engineering Specifications and Standards Details. The access off of Railroad Street NW is shown on the site plan which must meet these requirements.
- 22. All parking areas and driveways must be surrounded by a six-inch-high vertical concrete curb. (YMC 18.54.070 (N))
- 23. All landscaped and pedestrian areas shall be protected from encroachment by parked cars. (YMC 18.54.070 (O))
- 24. The proposed site plan shows the existing historical water fountain will be relocated to the east side of the property. The Site Plan Review Committee approves this proposal as long as the element is not damaged and properly replaced.
- 25. The trash enclosure shall meet the requirements stated in the table below and be constructed of CMU, wood or architectural steel. Gates shall be of similar durable materials and be capable of being secured when shut and at an angle of 135 degrees when open.

Use	Max. for Residential Container	Square Foot/Unit Per Cubic Yard	Minimum Enclosure Size	Additional Enclosures	Minimum Enclosure Height 6 Feet or
Retail	230 sf	1,380 sf	8' x 20'	Each 8,280 sf	7 feet over 5,520 sf

Enclosure wall shall sit on a minimum six-inch concrete slab. The slab shall be graded to prevent liquids from entering the city S.T.E.P. sewer system or on-site stormwater. The slab shall extend four feet beyond the gate(s). (YMC 18.59.040)

26. The applicant shall provide site illumination in accordance with the Washington State Energy Code (WEC) and the following standards:

A. Walkways and paths shall be illuminated to a minimum of two foot candles, and entries to four foot candles.

- 1. The parking lot shall be illuminated to a minimum of one-half foot candle.
- 2. Fixtures shall be nonglare and shielded.
- 3. Fixtures shall be mounted a maximum of 20 feet above grade.
- 4. A lighting plan shall be submitted as part of civil plan review.
- 27. A new development on a corner lot at street intersections must enhance the property's visual qualities at the corner by one or more of the following methods per section 18.59.60 of YMC:

A. Install substantial landscaping of at least 200 square feet at or near the corner of the lot.

B. Install a decorative screen wall at least three feet high, a trellis or other continuous architectural element with a length of at least 20 feet, along the front property line.

C. Provide a pedestrian walkway from corner to building entry and/or a building entry at the corner of the building nearest the intersection.

D. Locate building within 15 feet of either or both front property lines

- 28. New commercial developments shall coordinate with Intercity Transit to incorporate transit stops. Intercity Transit shall determine the type and location of new or upgraded transit stops. (YMC 18.59.070)
- 29. New commercial developments shall coordinate with the U.S. Postal Service for the location of any mailbox(es). New or replacement mailboxes shall not be located on arterials or commercial and residential collector streets. (No new mailbox on the Yelm Ave is allowed.)
- 30. The proposed development shall incorporate the following elements for pedestrian circulation:

A. All pathways shall be paved a minimum of 60 inches wide.

B. Buildings shall have a paved pedestrian pathway from the street sidewalk to the main entry of the building. If access traverses a parking lot, it shall be of a material different than the parking lot material.

C. Walkways shall be integrated with parking lot landscaping.

D. Walkways shall tie into neighboring properties when feasible.

E. Buildings with entries not facing the street shall have a clear and obvious street sidewalk to the entry.

- F. Provide pathways through the parking lot.
- 31. Use architectural elements of a building and landscaping to highlight and define the entrance. The primary entries of all businesses must be enhanced by two or more of the following means: (18.60.50 YMC)

A. Weather protection such as an awning, canopy, marquee or other building element to create a covered pedestrian open space of at least 100 square feet.

B. Two hundred square feet of landscaping at or near the entry.

C. Pedestrian facilities, such as benches, kiosks, special paving, and bicycle racks.

- D. A trellis, canopy, porch or other building element that incorporates landscaping.
- E. Pedestrian scaled lighting.
- F. Adjacent window displays.

G. Building ornamentation such as mosaic tile, relief sculpture, and ornamental wood or metal trim.

- H. Artwork or special pedestrian scaled signs.
- 32. Buildings over three stories or up to 5,000 square feet in gross building footprint shall include at least one of the following elements: (YMC 18.61.030)

A. A minimum 10-foot setback from the face of a building on an upper story. Building facades visible from a public right-of-way or park shall be modulated horizontally every 100 feet, with a minimum depth of six feet. Roof deck or balconies as part of the building modulation shall be a minimum of 60 square feet.

B. Roof lines visible from a public right-of-way or park shall be modulated vertically every 100 feet. Gable, hipped or shed roofs shall have a slope of at least three feet vertical to 12 feet horizontal. Arched, vaulted, dormer or saw-toothed roof lines shall have a change in slope within every 100 foot width.

C. Building facades shall include repeating elements such as distinctive window patterns, porch, patio, alternate dormers, gables, or other roof elements, changing materials, lighting fixtures, trellis, substantial landscaping and/or pedestrian oriented open spaces along the building facade.

33. Buildings facing a public street or park shall be enhanced with at least one of the following elements: (YMC 18.61.040)

A. Decorated rooflines, such as an ornamental molding, entablature, frieze or other roofline device visible from the ground level.

B. Decorative window and door treatments such as a decorative molding or framing details around all ground floor windows and doors.

- C. Decorative railings, grill work or landscape guards.
- D. Landscape trellises.
- E. Decorative light fixtures with a diffuse visible light source.

F. Decorative building materials.

G. Blank walls visible from the street, parking or adjacent lot shall be treated in one or more of the following ways:

1. Vertical trellis in front of the wall with climbing vines or plant materials.

2. Landscaped planting bed at least five feet wide or raised planter bed at least two feet high and three feet wide in front of the wall, and plant materials that obscure or screen at least 35 percent of the wall's surface within three years.

34. The following building materials are allowed as described below: (YMC 18.61.050)

1. Metal siding over 25 percent of a building's facade must have a matted finish in a neutral or earth tone color, and must include visible window and door trim painted or finished in a complementary color and corner and edge trim that cover exposed edges of the sheet metal panels.

2. Pre-finished metal roofing must have standing seams and muted colors.

3. Concrete block walls, or exposed concrete surfaces that are visible from a public street or park must be architecturally treated by split face or grooved surface, colored mortar, or other masonry types in conjunction with concrete blocks.

4. Architecturally finished vinyl or fiberglass material used for wall surface must not possess sheen.

- 5. Stucco surfaces must be finished.
- 6. Terra cotta tile.
- 7. Clear or lightly tinted glass.
- 8. Natural copper or bronze.

9. Wood shingles/shakes. Wood siding and wood product panels shall be weather resistant, and all edges and seams covered or trimmed.

10. Architectural polymers and plastics are prohibited for exterior walls.

11. Backlit vinyl or plastic awning illumination is limited to a single fluorescent tube the length of the awning or canopy.

B. The following materials are prohibited:

1. Mirrored glass, corrugated fiberglass, and chain link fencing, when visible from the street (Except for temporary purposes such as a construction site).

- 2. Corrugated roofing or siding, and fiberglass.
- 3. Galvanized roofing.
- 4. T-111, fiberboard, and untreated plywood siding.
- 5. Applied aggregate finishes ("marble-crete").
- 6. Mirrored or opaque glass.
- 35. Landscaping requirements:

Dense Sight Barrier. (This is required to separate the commercial use from the residential use on the north side of the property.)

Purpose: Dense sight barrier landscaping is intended to provide a physical buffer to significantly separate conflicting uses and land use districts.

When Required: Whenever a nonresidential activity is proposed adjacent to a residential zone or when required by the site plan review committee for special uses, capital facilities, or to buffer conflicting uses.

Description:

a. All plant materials and living groundcover must be selected and maintained so that the entire landscape area will be covered within three years.

b. Any combination of trees, shrubs, fences, walls, earthen berms and related plant materials or design features may be selected; provided, that the resultant effect is sight obscuring from adjoining properties.

c. A minimum of 15 feet of width shall be required when dense site barrier landscaping design is utilized.

Perimeter Landscape. (This is required on the west and east of the property)

Purpose: Perimeter landscaping is intended to provide separation of uses from streets, and visual separation of compatible uses so as to soften the appearance of streets, parking areas and building elevation.

When Required: Perimeter landscape is required for all residential and nonresidential developments, with the exception of a single-family residence.

Description:

a. All plant materials and living groundcover must be selected and maintained so that the entire landscape area will be covered within three years.

b. Any combination of evergreen and deciduous trees (with no more than 50 percent being deciduous), shrubs, earthen berms and related plant materials or design features may be selected; provided, that the resultant effect is to provide partial screening and buffering between uses and of softening the appearance of streets, parking and structures.

c. When perimeter landscaping is used to provide partial screening between uses, a minimum planting area of eight feet in width shall be provided.

Streetscapes landscape (This is required as part of the frontage improvement.)

Purpose: Streetscape landscaping is intended to provide visual relief where clear sight is desired. This landscaping is utilized along pedestrian corridors and walks for separation of pedestrians from streets and parking areas while providing an attractive setting and overstory canopy.

When Required: Streetscape landscaping is required as part of street frontage improvements.

Description:

a. This type of landscaping consists of street trees for a large overstory canopy along streets and pedestrian corridors and approved vegetation for groundcover.

b. Street trees shall be chosen from a street tree list as adopted by the Yelm tree advisory board. Decorative protection may be placed around the trees.

c. Groundcover shall be a minimum four-inch pots spaced 18 to 20 inches on center or one-gallon pots at 20 inches on center. Low growth shrubs shall be one-gallon pots at three feet on center. Shrubs shall be 18 to 24 inches in height at five feet on center or three-gallon pot at five feet on center.

d. Earthen berms with grass or other vegetative groundcover and other design features may be worked into landscaping provided the resultant effect of providing a pedestrianfriendly environment and visual relief where clear site is required can be achieved.

e. The minimum width for streetscape landscaping shall be six feet to provide adequate rooting area for large street trees and to provide adequate streetscape. A four-foot width may be used through parking area pedestrian walks where accent trees are used and less width is required.

f. Planting theme shall be a ratio of three street trees to one accent tree.

g. Trees shall be spaced 35 feet on center starting 15 feet from the property line. Tree spacing may be adjusted to allow unobstructed sight distance on either side of a driveway and at street intersections. Tree spacing may also be adjusted when in conflict with luminaire poles.

Parking Lot Landscaping

Purpose: Parking lot landscaping is intended to provide visual relief and shade in parking areas.

When Required: Parking lot landscaping is a required element of any parking area, with the exception of single-family residences.

Description:

a. Parking areas shall have a minimum of at least 24 square feet of landscape development for each parking stall proposed.

b. Each area of landscaping must contain at least 100 square feet of area and must be at least six feet in any direction.

c. Live groundcover shall be provided throughout each landscaping area. Groundcover may be a combination of shrubs and trees that provide the desired effect of providing visual relief and green space within the parking area. Groundcover shall be selected and maintained so that the entire landscaped area will be covered within three years.

d. At least three percent of the parking area, excluding any other required landscaping, shall be utilized for landscaping.

e. Each planting area must contain at least one tree. Planting areas shall be provided with the maximum number of trees possible.

f. No parking stall shall be located more than 50 feet from a tree.

g. A landscaped area must be placed at the interior end of each parking row in a multiplelane parking area.

h. A minimum of 60 percent of the trees must be deciduous and 40 percent evergreen. Up to 100 percent of the trees may be deciduous.

i. All parking areas located adjacent to any private street or public right-of-way shall provide a minimum five-foot planted buffer strip between the parking area and the private street or public right-of-way.

j. Permanent curbs and/or structural barriers shall be provided to protect the plantings from vehicle overhang.

Stormwater Facility Landscaping

Purpose: The intent of stormwater facility landscaping is to provide visual relief in stormwater retention/detention areas.

2. When Required: Stormwater facility landscaping is a required component of any stormwater facility.

3. Description.

a. The floor and slopes of any stormwater retention/detention area shall be planted in vegetation that is suitable and will thrive in hydric soils.

b. The landscaping of the stormwater facility shall be incorporated with all on-site landscaping.

c. When biofiltration swales and ponds are used in any development other than residential subdivisions, they shall be incorporated into overall site design through one of the following means listed in order of preference:

i. Locate biofiltration swales, pond, or other approved biofiltration systems at the side or rear of the lot and incorporate as part of a landscape screen.

ii. Locate biofiltration swale, wet pond, or other approved biofiltration system within the paved parking or service area.

iii. Locate swale along the front edge of the property. Incorporate landscaping and screening to visually enhance the swale.

iv. If the biofiltration swale is located and/or designed as a positive landscaping feature with an approved design and plant materials, it may be counted as part of the required site landscaping.

The applicant shall utilize plant materials that are drought resistant, complement the natural character of the Pacific Northwest, are not listed as invasive species, and conform to the following:

A. All landscaping shall include at least 75 percent of groundcover and shrubs, and 50 percent of trees that are native or noninvasive naturalized species.

B. At least 60 percent of all landscaping shall be drought tolerant (unless site conditions assure adequate moisture).

C. Existing vegetation may be used to augment required landscaping.

D. Trees shall be a minimum of two-inch caliper measured six inches above the base at the time of planting and shrubs must be capable of growing to a minimum of five feet in height, within three years.

E. When the width of any landscape strip is 20 feet or greater, the required trees shall be staggered in two or more rows.

F. Groundcover shall be minimum four-inch pot spaced 18 to 20 inches on center or onegallon pots at 20 inches on center, planted and spaced to result in total coverage of the required area within five years.

G. Low growth shrubs shall be one-gallon pots at three feet on center.

H. Shrubs shall be 18 to 24 inches in height at five feet on center or three-gallon pot at five feet on center.

I. Fences shall be placed on the inward side of any required perimeter landscaping.

J. Berms shall not exceed a slope of two horizontal feet to one vertical foot.

CONCLUSIONS OF LAW

ADMINISTRATIVE SITE PLAN REVIEW MU 2022.0065

- A. Section 18.13.020 (B) YMC allows the Site Plan Review Committee to process administrative site plan review applications as provided in Chapter 18.10 YMC.
- B. As conditioned below, the Administrative Site Plan application is consistent with the development requirements of Yelm Municipal Code.

CONDITIONS OF APPROVAL

- 1. All the comments shown on the site plan must be addressed.
- 2. The review comments on the landscape plan haven't been addressed yet. A landscape plan that complies with all City rules and Unified Development Code requirements must be submitted with the civil plans.
- 3. The Fire Impact Fee must be paid at the time the building permit is issued.
- 4. Traffic Facility charges are required at the time the building permit is issued.
- 5. The property borders by Yelm Avenue West and Railroad Street Northwest, both of which are not up to City standards. To satisfy City standards, the Railroad Street NW side of the property must be improved.

- 6. Since this property is fronting a pedestrian oriented street, the new development shall provide the features mentioned in section 16 (d) of this letter.
- 7. In addition to the features listed above, please provide at least two pedestrian amenities near the sidewalk, as specified in section 16 (e) of this letter.
- 8. New developments shall coordinate with the U.S. Postal Service for the location of any mailbox(es). New or replacement mailboxes shall not be located on arterials or commercial and residential collector streets. (No new mailbox on the Yelm Ave is allowed.) Show the proposed location of the mailbox on the site plan.
- 9. The trash enclosure must satisfy the specifications outlined in section 24 of this letter.
- 10. The applicant shall provide site illumination in accordance with section 25 of this letter.
- 11. All parking areas and driveways must be surrounded by a six-inch-high vertical concrete curb.
- 12. All landscaped and pedestrian areas shall be protected from encroachment by parked cars.
- 13. The proposed development under building permit review shall connect to the City sewer system.
- 14. The proposed development under building permit review shall connect to the City water system.
- 15. All commercial meters must have a reduced pressure backflow assembly. Any proposed irrigation meters must include double check valve assemblies. Proof of compliance with the City's backflow control program is required.
- 16. Any commercial use that may produce Fats, Oils, or Grease (FOG) must remove FOG from the wastewater before it enters the STEP tank. To avoid the discharge of oil and grease, pretreatment facility (oil/water separator or interceptor) is required. [Section 13.04.220 (D) YMC]. Proof of compliance with FOG regulations is required at civil/building plan submission.
- 17. This property is mapped with soils that often contain the presence of Mazama Pocket Gopher. A gopher study was not required because this site has already developed with predominantly impermeable surfaces. If the presence of the Mazama pocket gopher is confirmed during or after construction, the property owner/tenant must notify US Fish and Wildlife and the City of Yelm.
- 18. Building design: Please submit renders/elevation drawings at the time of building plan submittals. The following design requirements shall be met:
 - i. Transparent window area or window displays along at least 50 percent of the length of the ground floor facade.
 - ii. Sculptural, mosaic or bas relief artwork over 50 percent of the length of the ground floor facade.

- iii. Building entries must have direct access to the public sidewalk.
- iv. The primary entries of all businesses must be enhanced by two or more of the following means: (18.60.50 YMC)
 - 1. Weather protection such as an awning, canopy, marquee or other building element to create a covered pedestrian open space of at least 100 square feet.
 - 2. Two hundred square feet of landscaping at or near the entry.
 - 3. Pedestrian facilities, such as benches, kiosks, special paving, and bicycle racks.
 - 4. A trellis, canopy, porch or other building element that incorporates landscaping.
 - 5. Pedestrian scaled lighting.
 - 6. Adjacent window displays.
 - 7. Building ornamentation such as mosaic tile, relief sculpture, and ornamental wood or metal trim.
 - 8. Artwork or special pedestrian scaled signs.
- v. Building shell colors shall be earth tones such as taupe, brown, red-brown, buff, gray, cream, white, natural wood, brick, or stone. Trim should be white, black, dark blue, dark green, dark teal, dark red, or other deep saturated colors. Bright accent colors should not cover more than 10 percent of any building facade. Stucco must not be treated in a sculptural manner with curved surfaces or relief patterns. Stucco surfaces should be trimmed with wood, brick, or masonry or in a way that protects them from the weather.
- vi. Please provide <u>at least one</u> of the following design elements:
 - 1. At least 100 square feet of sidewalk or pedestrian oriented open space in addition to required building setback.
 - 2. Corner entrance to courtyard, building lobby, atrium or pedestrian pathway.
 - 3. Corner architectural elements such as bay windows, roof deck or balconies on upper stories, notched or curved facade surfaces.
 - 4. Sculpture or artwork or distinctive use of materials.
 - 5. Special treatment of pedestrian weather protection canopy.
 - 6. Building corner entry.
- vii. In addition to the above mentioned design requirements, the building design shall also meet the requirement of section 31 through 33 of this letter.

- 19. The property owners shall coordinate with Intercity Transit to incorporate transit stops. Intercity Transit shall determine the type and location of new or upgraded transit stops.
- 20. Off-street parking spaces and driveways shall not be used at any time for purposes other than their intended use. Outdoor storage of vehicles is not allowed.
- A. The site plan approval is contingent upon addressing all the above conditions.
- B. The site plan is valid for eighteen (18) months from the date of this approval. The applicant may request a six-month extension on the approval, if the request is made in writing prior to the expiration date of this approval.

Dated this 17th day of July, 2023

Maryam Moein

Maryam Moeinian Senior Planner

Cody Colt Public Services Director

Chris Vaccaro Building Official/Fire Marshal

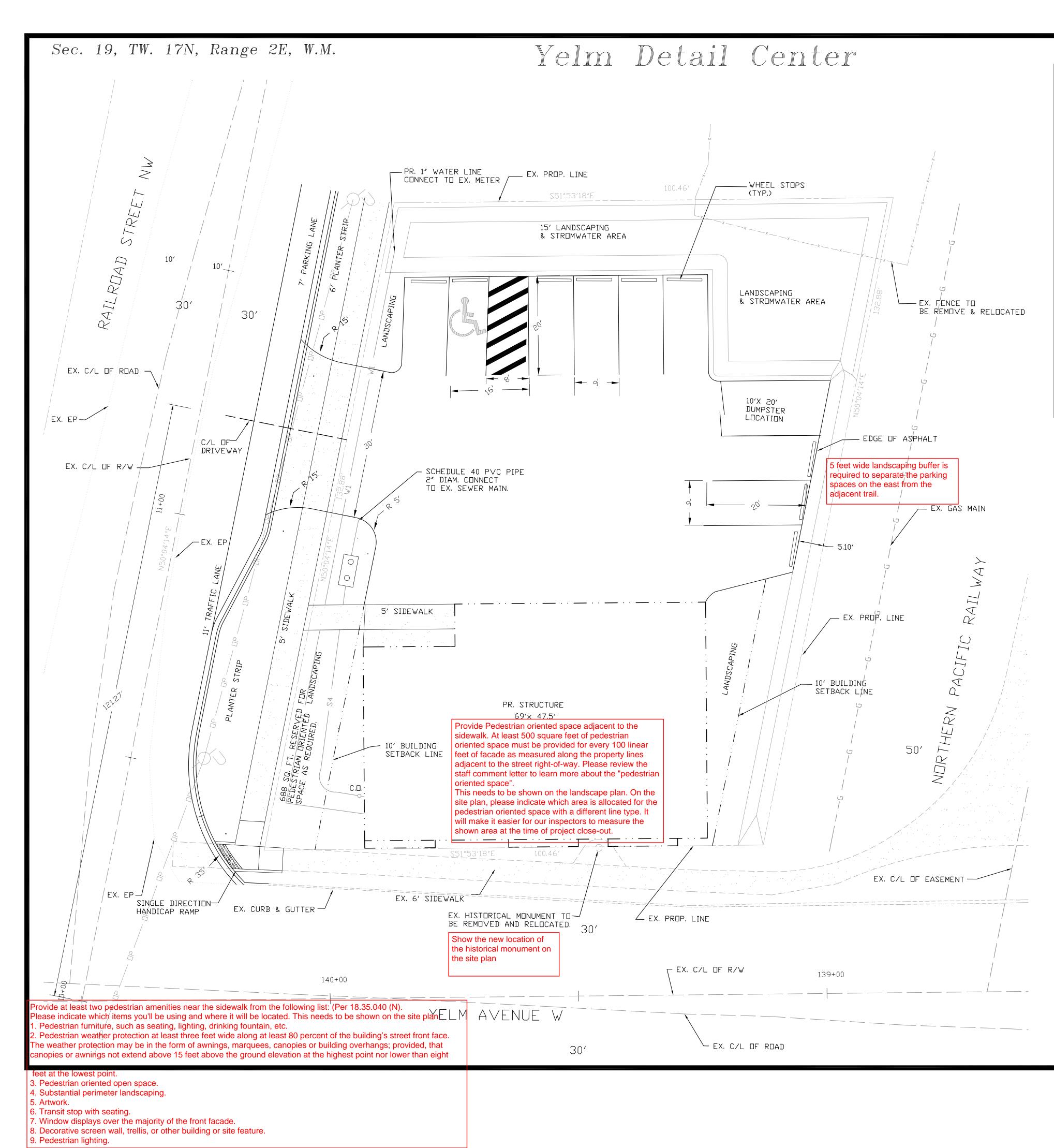
Grangtoopen

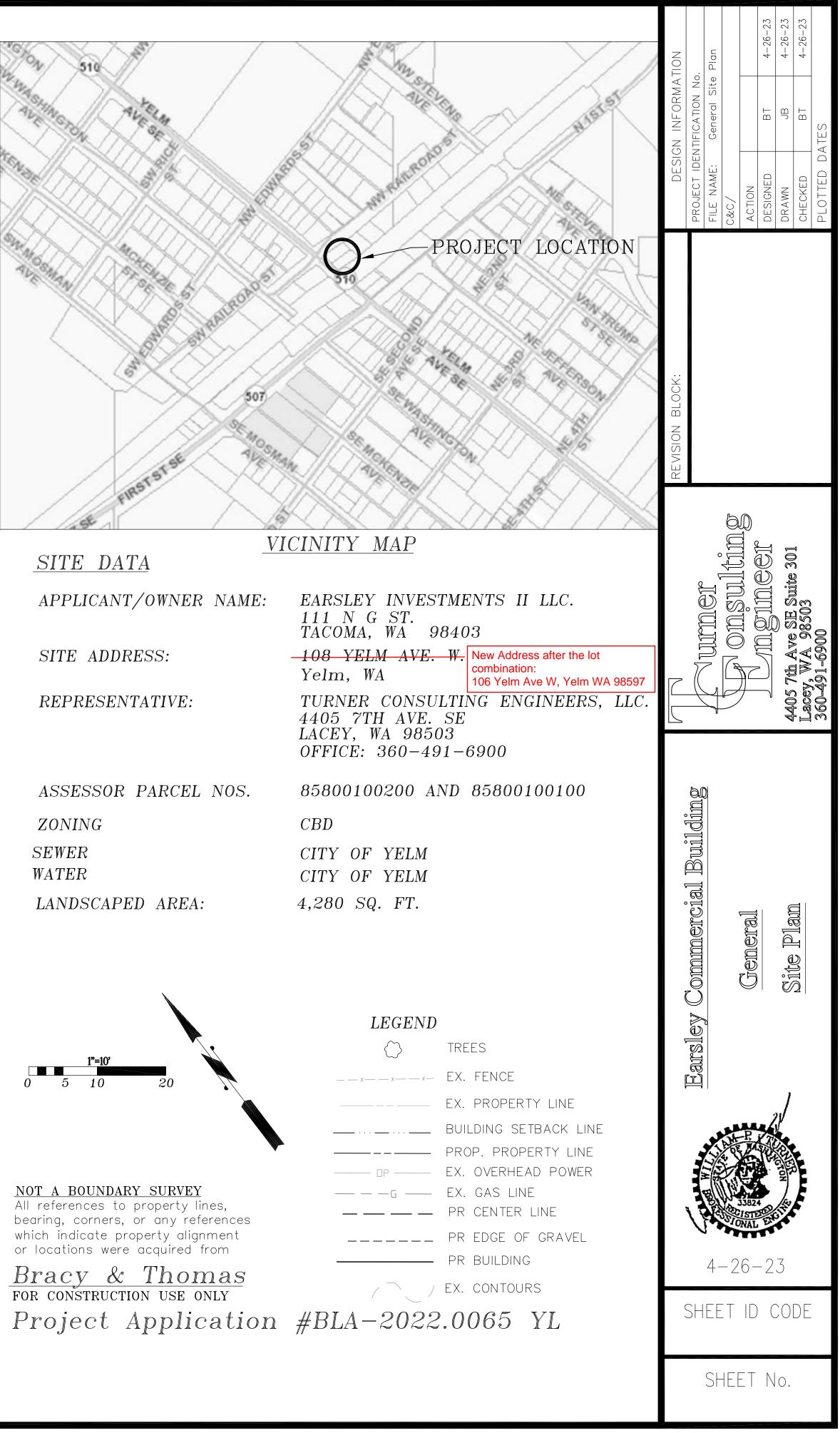
Gary Cooper Planning and Building Manager

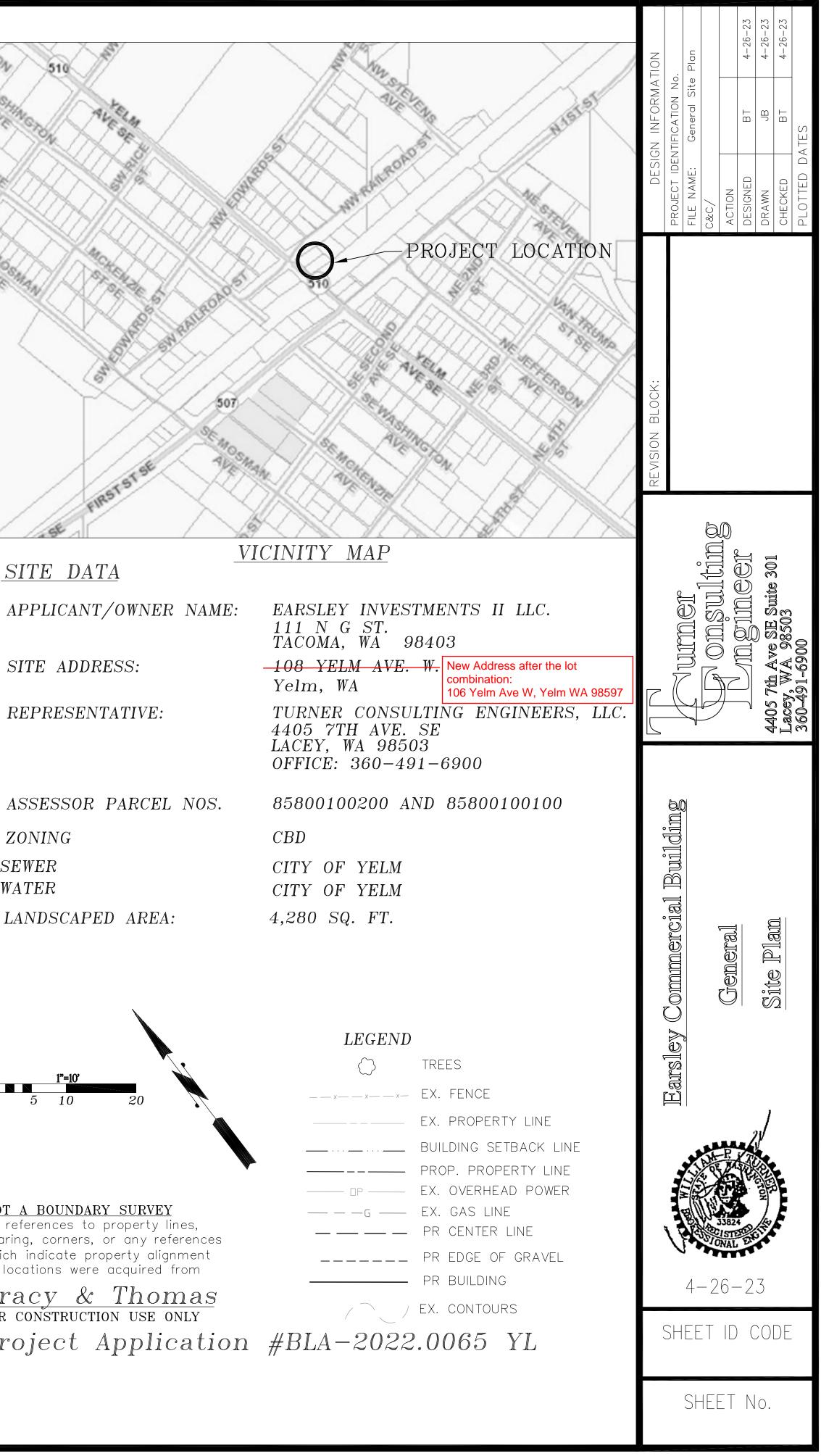
Reza Roukerd Civil Review Engineer

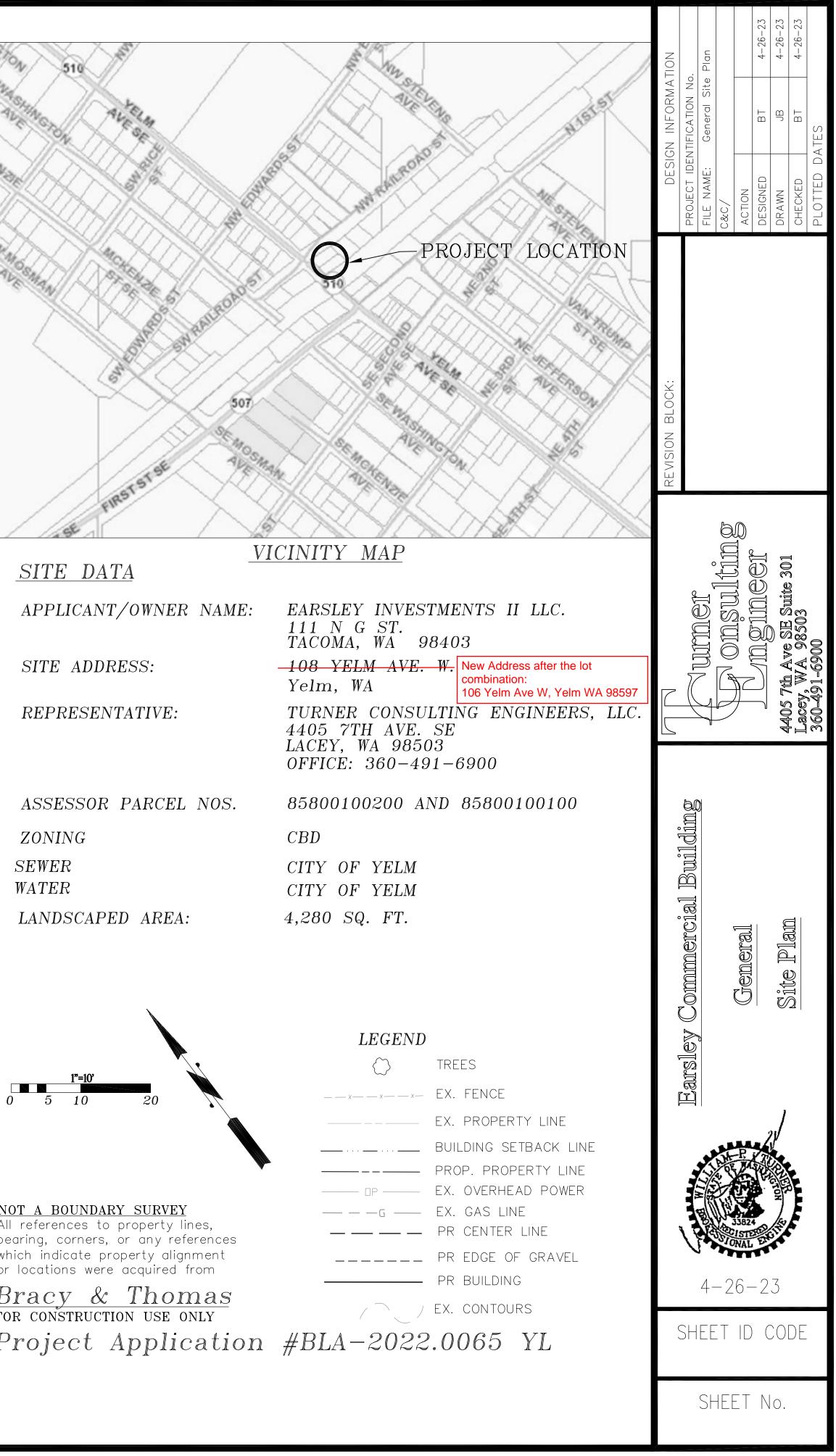
APPEAL

The Site Plan Review Committee's decision in this matter may be appealed pursuant to Chapter 18.10 YMC, to the City of Yelm Hearing Examiner no later than 21 days from the date of this decision. An appeal must be in writing, contain specific factual objections, and include the appeal fee of \$1,250.00.



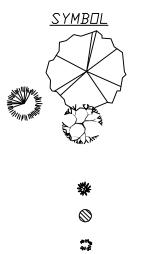






street trees shall be chosen from the street tree list adopted by the Yelm tree advisory board. Please choose from the "Pedestrian Oriented Streets" section of this list.

PLANT LIST



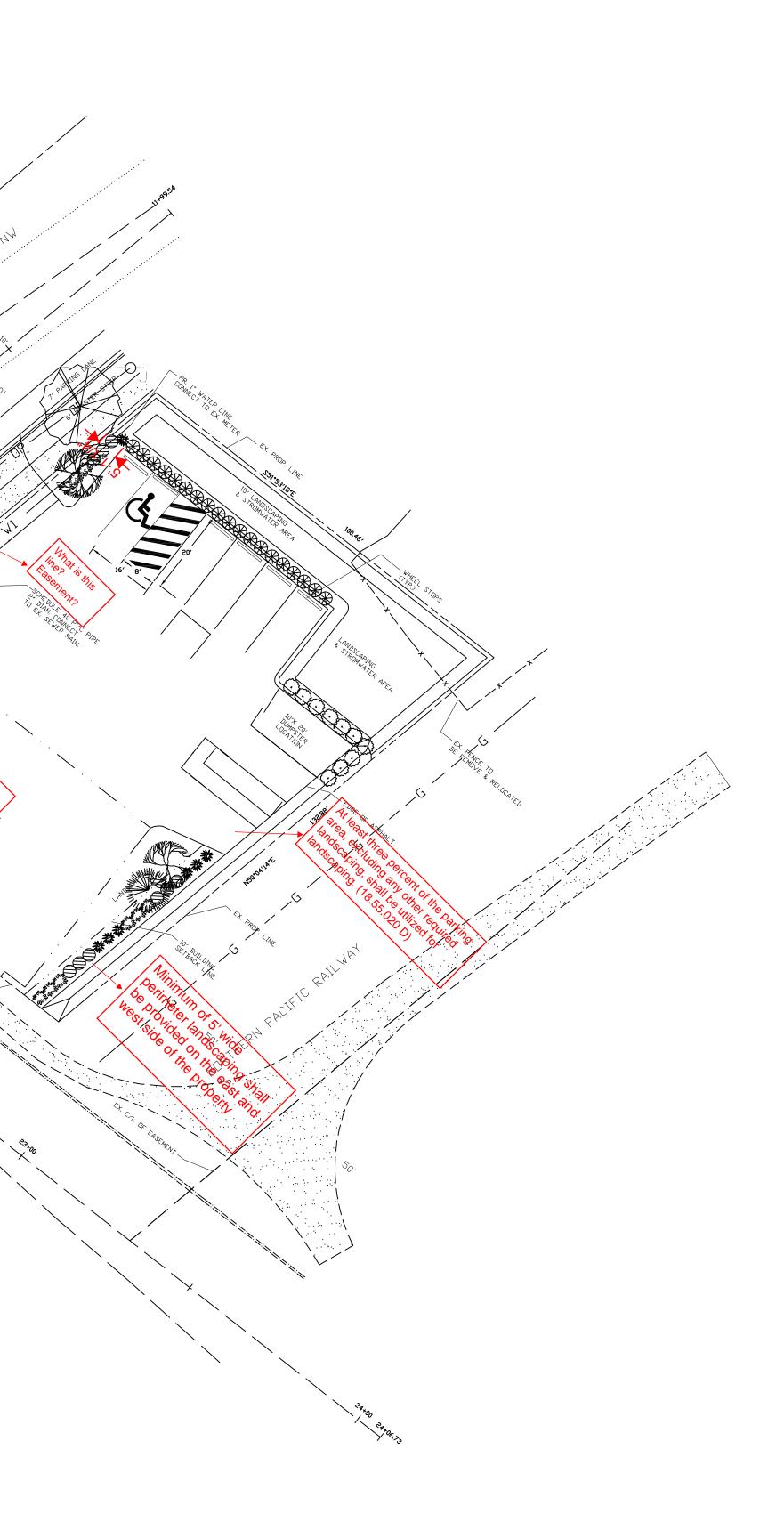
_	ST			
	<u>SCIENTIFIC NAME</u>	<u>COMMON NAME</u>	<u>PLANTING SIZE</u>	<u>COMMENTS</u>
	<u>TREES</u> :			
	Acer Freemanii 'Jeffersred'	Autumn Blaze Maple	2" Caliper	
	Thuja Plicata 'Fastigiata'	Fastigiata Western Cedar	6-8' ht	Native
	Prunus Cerasifera 'Thundercloud'	Thundercloud Plum	2" Caliper	
	<u>SHRUBS;</u>			
	Polystichum Munitum	Sword Fern	2 gal	Native
	Viburnum Davidi	Davids Viburnum	2 gal	Native
	Mahonia Repens	Creeping Dregon Grape	2 gal	Native
	GROUND COVER:			
	Arctostaphylos Uva-ursi	Kinnikinnick	4" pots for GC. 0	2 18" o.c., on South and Wes
	Gaultheria Shallon	Salal	4" pots for GC. 0	2 18" o.c., on North and East

All none planted areas to be hydroseed lawn. between sidewalk and curb on both sides of Raod. The Storm Water Area shall be hydroseeded with a aquatic mix such as Streambank or Reparian Mix by Sunmark Seeds at recommended rates.



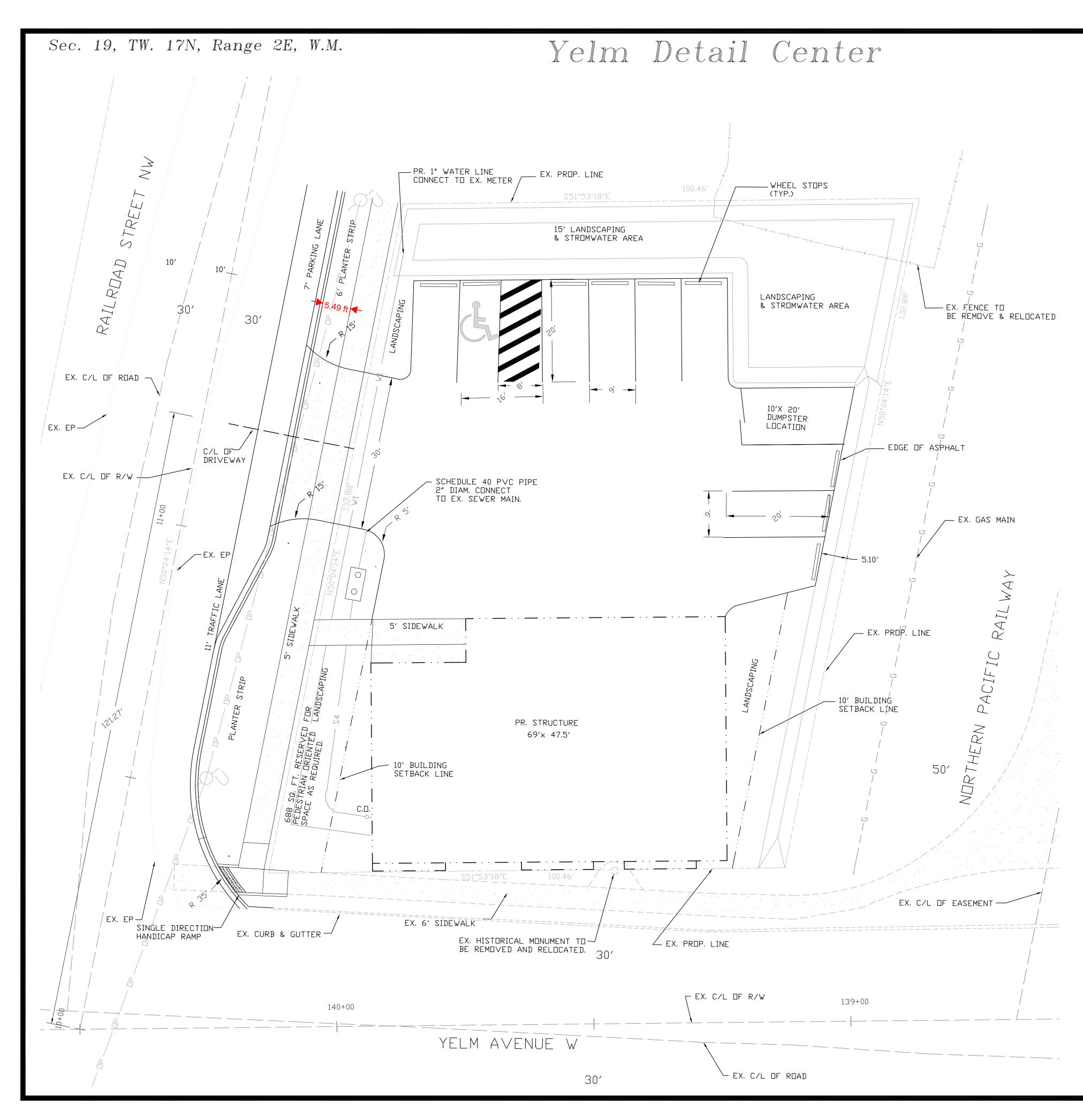
с, F.H.

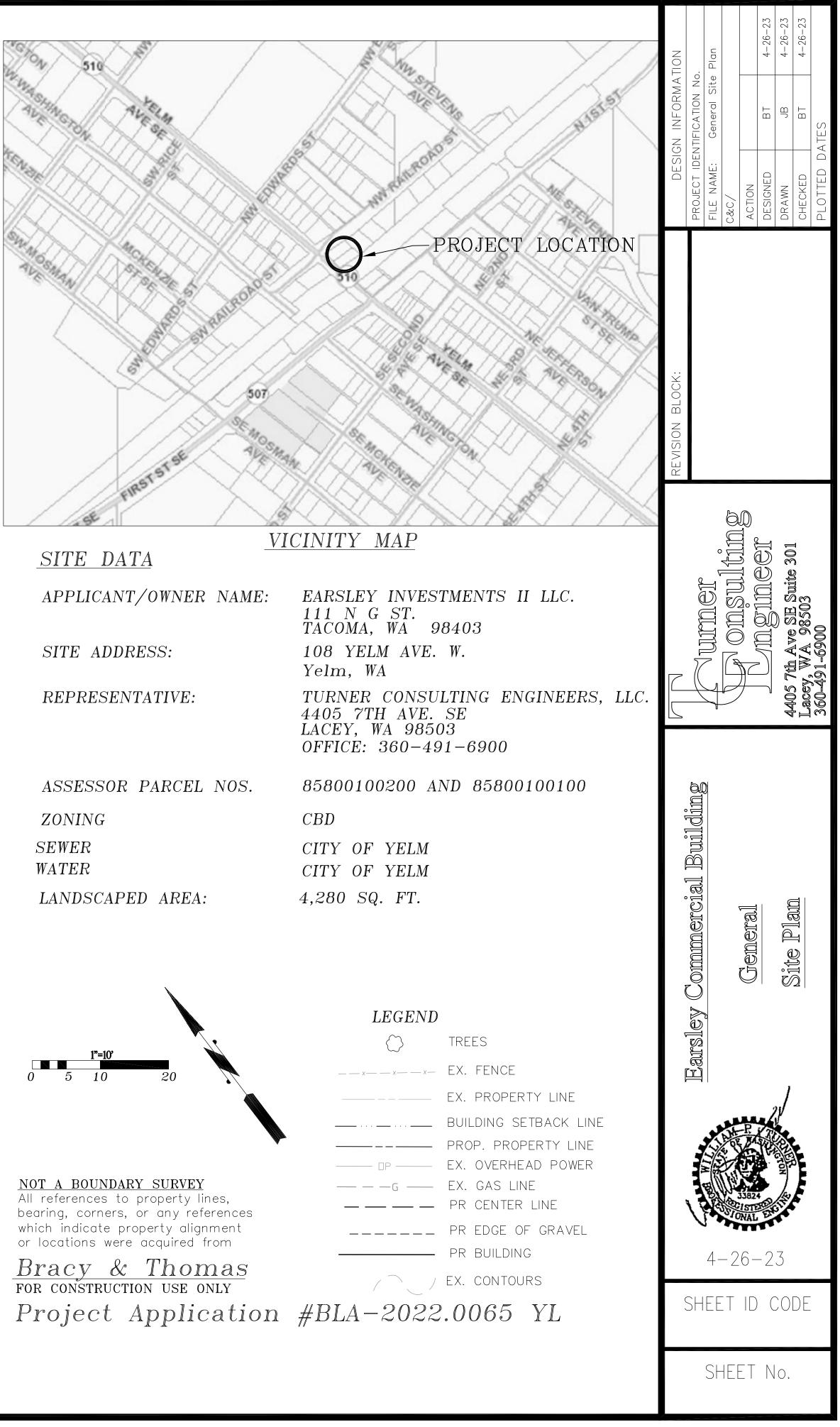
/est side of buildings 4" pots for GC. @ 18" o.c., on North and East side of buildings

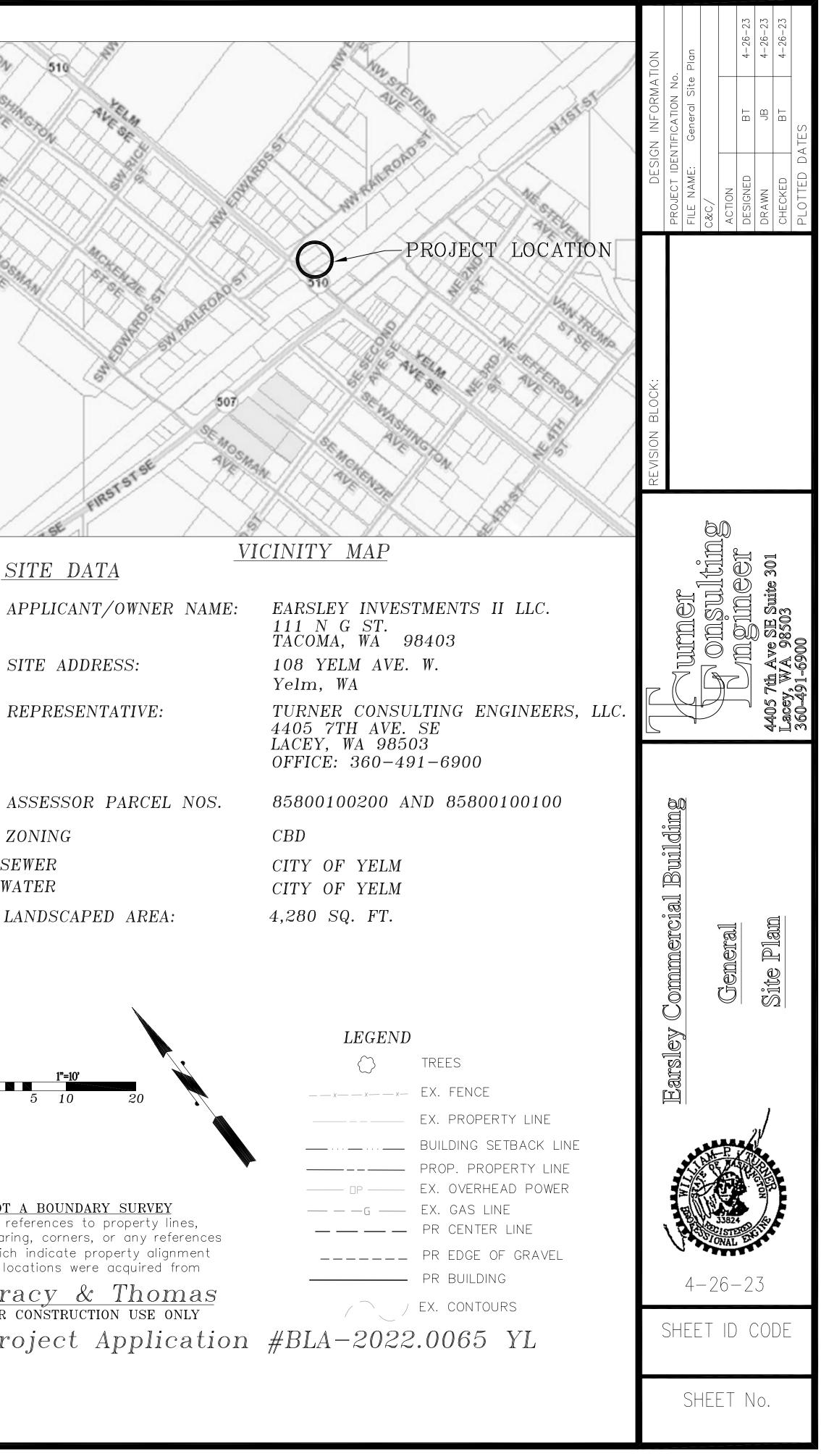


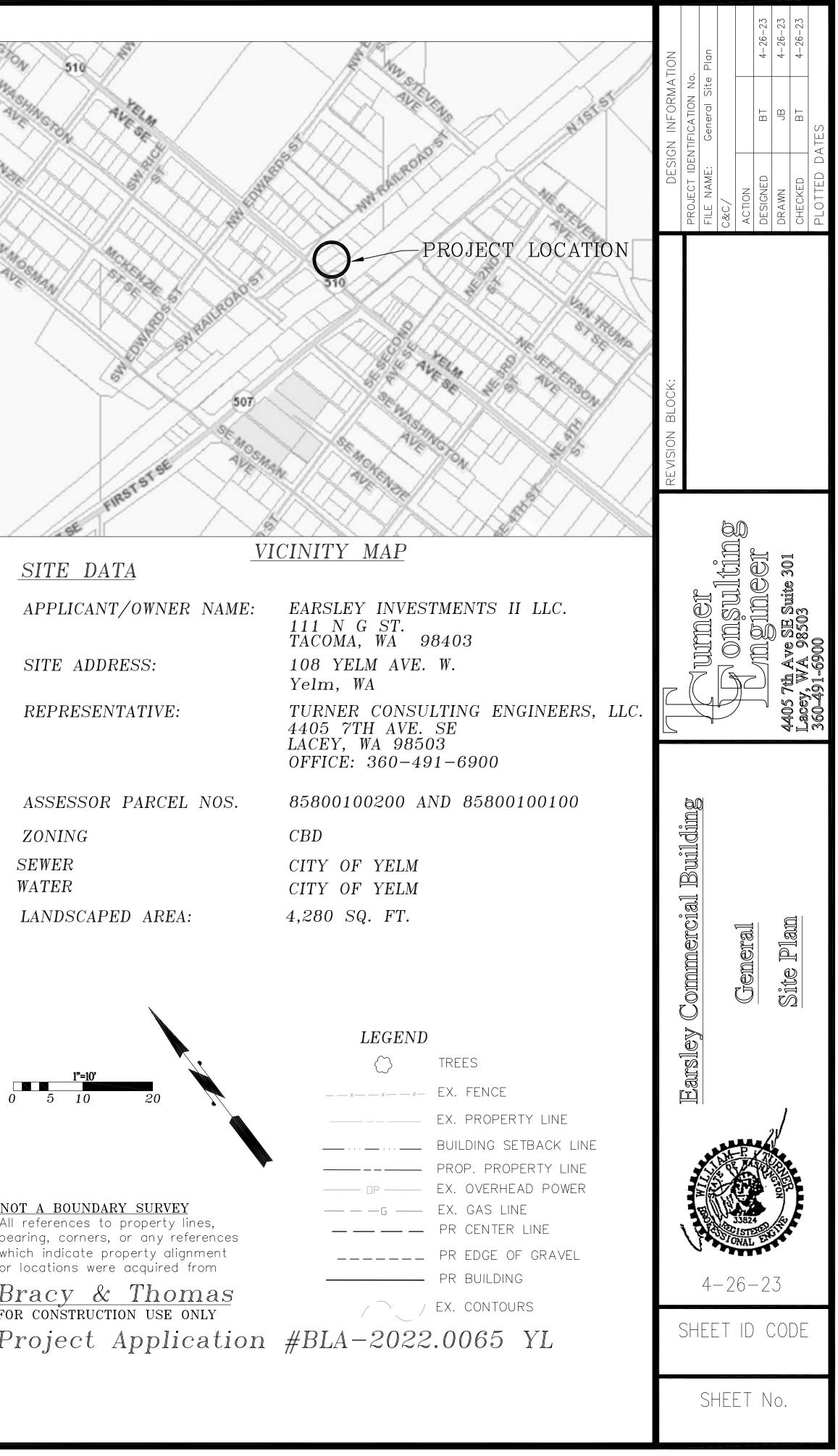
Christe	STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT Christopher Paul Bennis CERTIFICATE NO. 973			
Rannia Dacian	2105 36th Ave SE Dividiling WA	2100 JOUN AVE JE L UJUNUP, WA Phone: 253-350-5844		
Dramiar Callician CABSTAB Valm	Premier Collision CARSTAR Yelm 103 1st St N Yelm, WA 98597 Landscape Plan			
Scale: 1" = 20'-0"	Revised:			
Design: CPB	Drawn: CPB	Approved: CPB	Date Mar. 1,2023	
Sheet:	<u> </u>			

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF BENNIS DESIGN AND ARE NOT TO BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN AUTHORIZATION OF BENNIS DESIGN. THIS DRAWING MUST NOT BE SCALED. CONTRACTORS SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK, AND ANY OMISSIONS OR DISCREPANCIES SHALL BE REPORTED TO THE OWNER REPRESENTATIVE.

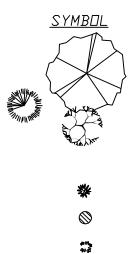








PLANT LIST



<u>SCIENTIFIC NAME</u> <u>TREES</u>:

Carpinus Betulus 'Fastigiata' Thuja Plicata 'Fastigiata' Prunus Cerasifera 'Thundercloud' Thundercloud Plum <u>SHRUBS:</u>

Polystichum Munitum

Viburnum Davidi

Mahonia Repens

<u>GROUND COVER:</u> Arctostaphylos Uva-ursi Gaultheria Shallon

Pyramidal European Hornbeam Fastigiata Western Cedar

<u>COMMON NAME</u>

Sword Fern Davids Viburnum Creeping Dregon Grape

Kinnikinnick Salal

All none planted areas to be hydroseed lawn. between sidewalk and curb on both sides of Raod. The Storm Water Area shall be hydroseeded with a aquatic mix such as Streambank or Reparian Mix by Sunmark Seeds at recommended rates.

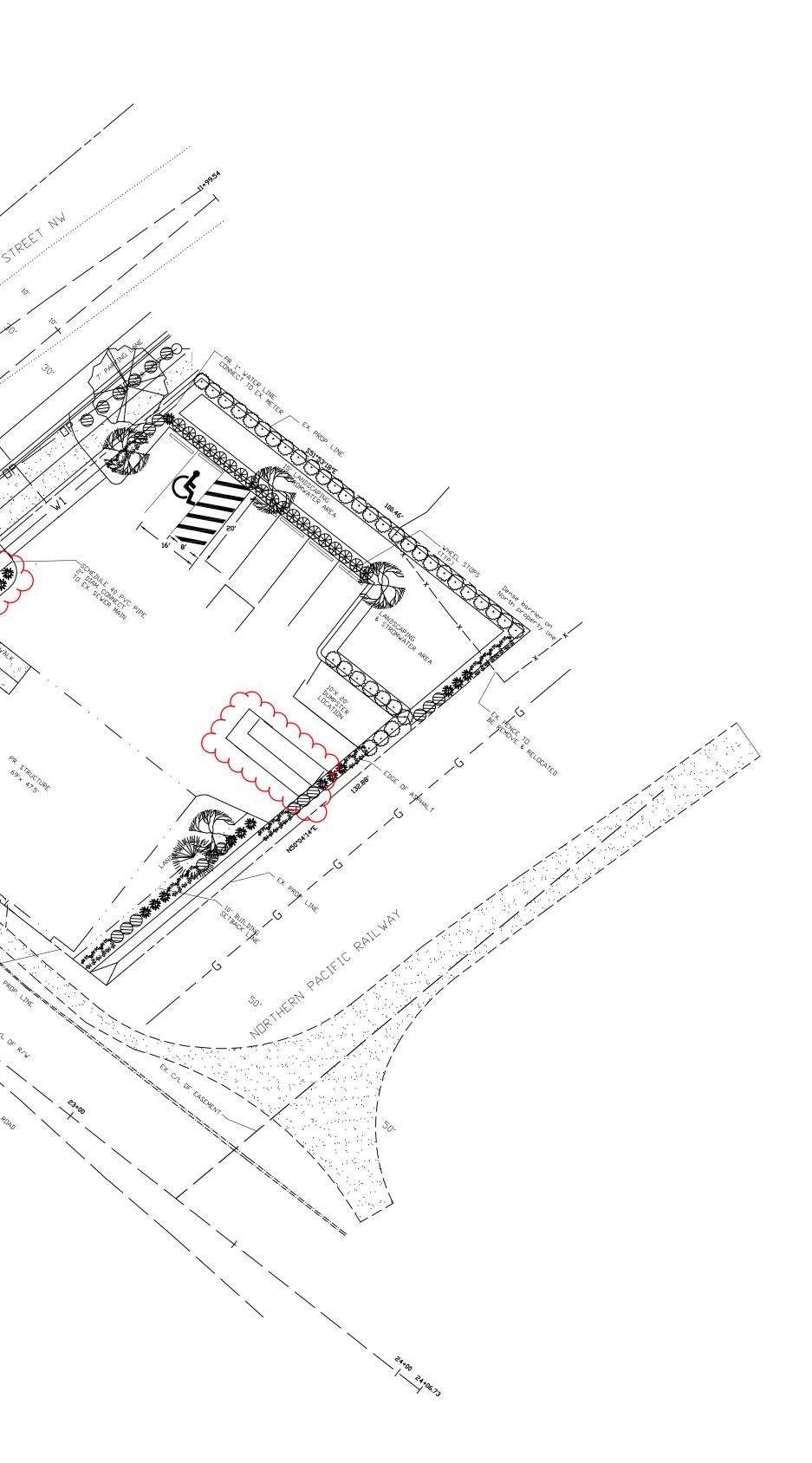


₹ THI

PLANTING	SIZE	COMMENTS
<u>· _ · · · · · · · · · · · · · · · · · ·</u>		

2" Caliper 6-8' ht 2" Caliper	Native, drought tolerant
2 gal	Native
2 gal	Native, drought tolerant
2 gal	Native, drought tolerant

4" pots for GC. @ 18" o.c., on South, West side of building and in ROW between sidewalk and curb 4" pots for GC. @ 18" o.c., on North and East side of buildings



Bennis Design Receiver Architect Receiver Architect 2105 36th Ave SE Puyallup, WA Phone: 253–350–5844 Manuer: 253–350–5844			
Premier Collision CARSTAR Yelm 103 1st St N Yelm, WA 98597 Landscape Plan			
Scale: $1'' = 20' - 0''$	Revised: 5/8/2023		
Design: CPB	Drawn: CPB	Approved: CPB	Date Mar. 1,2023
Sheet:	<u></u>		

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Auto Detailing Center

Engineering Department Comments MU 2022.0065 Address: 106&108 W Yelm Ave, Yelm, WA 98597 Parcel#: 85800100100 & **85800100200**

Comments:

- The planter strip need to be measured from the edge of the sidewalk to the back of the curb (Please see the attached detail that is extracted and marked up from the city of Yelm Development Guidelines Chapter 2 Transportation Details (Link))
- No shrubs, bushes, or ground cover vegetation other than grass shall be planted within a 5' radius of any tank lid. No trees shall be planted within 10' of any tank lid or valve box. All of the tank lids shall be visible.
- The new site plan and landscaping plan submissions are not consistent. The new site plan has only one page whole the previous ones have two pages with the detail on street Tree.
- The comments that highlighted on the plans were ignored such as fonts, ...
- The FOG program is something required on civil plans, but if a grease interceptor or water/oil separator is decided then the tank location should be shown on the site plan as well.