



# *County of Yuba*

## Community Development & Services Agency

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915 8<sup>th</sup> Street, Suite 123, Marysville, CA 95901

### Planning Department

Phone: (530) 749-5470

Fax: (530) 749-5434

Web: [http:// www.co.yuba.ca.us](http://www.co.yuba.ca.us)

### PLANNING COMMISSION STAFF REPORT

**Hearing Date:** December 18, 2019

**Case Number:** Tentative Subdivision Tract Map TSTM 2019-0004, Change of Zone CZ 2019-0001, and Conditional Use Permit CUP 2019-0005 (South Orchard Estates)

**Request:** A request to subdivide an 8.77± acre parcel into 41 residential lots and one commercial parcel in the NMX (Neighborhood Mixed Use) Zoning District in the community of Olivehurst.

**Location:** South of Autumn Lane, west of Sunhaven Court, and north of Erle Road, in the Olivehurst Community (APN: 014-850-009-000)

**Applicant:** Lendco LLC, P.O. Box 591, Marysville, CA 95901

**Engineer:** MHM, 41204 E Street, P.O. Box B, Marysville, CA 95901

**Recommendation:** Adopt the attached resolution recommending the Board of Supervisors approve the Tentative Subdivision Map TSTM 2019-0005, Change of Zone CZ 2019-0001, and Conditional Use Permit CUP 2019-0005

**Background:** The subject application proposes to create 41 residential lots and one commercial lot for an 8.77 acre property located adjacent to Autumn Lane, Sunhaven Court, and Erle Road, in the Olivehurst Community at Assessor's Parcel Numbers: 019-762-002 & 019-762-003 (see attached vicinity map). According to the County Zoning Code, the site is located within the "NMX" Neighborhood Mixed Use Zoning District which allows 3-20 residential units per acre for mixed use projects, but does not allow for detached single-unit dwellings. For this reason, the applicants are requesting a Change of Zone for 6.5 acres, of the 8.77 acre parcel, from "NMX" to the "RS" Single Family Residential Zoning District. The remaining 2.27 acres will continue to be "NMX" for future commercial uses.

The application is also requesting a Conditional Use Permit to reduce the minimum lot width and lot area. The "RS" Zoning District requires a minimum lot width of 60 feet and a lot size of 6,000 square feet for interior lots and 7,365 square feet for corner lots. The applicants are proposing to create lots with a minimum lot width of 50 feet and a lot size of 4,500 square feet for interior lots and 5,000 square feet for corner lots. As a part of the Conditional Use Permit,

they are also requesting to reduce the rear yard setback requirements to 15 feet. The reduction in the rear yard setback will ensure the future developer can fit adequately sized homes on the proposed lots.

The project proposes ingress/egress points from Autumn Lane and future connections from Seedling Way to the west and Glowhaven Street to the east. There will be three new public roads (Seedling Way, Swaisys Drive, and Glowhaven Street). All new roads will be paved and built to County road standards. The project site is currently undeveloped with vegetation consisting of native grasses and weeds. The project site is located on flat land in the valley area of Yuba County. Surrounding properties are either vacant or residential, with more residential sites currently under construction. The Southern Pacific Railroad tracks are located approximately one mile directly to the west.

All proposed parcels will be required to connect to Linda County Water District for water and sewer services and Linda County Fire Protection District would provide fire protection services.

**General Plan/Zoning:** As previously stated, the site is shown on the General Plan Land Use diagram as Valley Neighborhood and is located in a “NMX” Neighborhood Mixed Use zoning district. The Valley Neighborhood land use classification is intended to allow a wide variety of residential, commercial, and public and quasi-public uses. As the Valley Neighborhood designation pertains to housing, it is intended to provide for a full range of housing types such as single-family apartments, condominiums, and other types of housing in single-use and mixed-use homes.

Consistent with the Valley Neighborhood land use classification, the proposed “RS” Single-Family Residential zoning district would allow for a mixture of housing types in a low density (up to 8 units per acre) setting where public water and sewage facilities are available. The predominant housing type in the “RS” zoning district consists of single-family residential. The zoning district allows a range of uses including single-family residential, accessory structures, home occupations, residential care facilities serving less than six individuals and family day care homes serving less than six children.

The project is located in the Valley Neighborhood land use designation of the 2030 General Plan. The Valley Neighborhood land use designation allows for both detached and attached single-family residences, small-lot single-family homes, second dwelling units, apartments, condominiums, and other types of housing in single-unit and mixed-use format. The project provides residential development at a density of 6.59 dwelling units per acre, thereby, staying consistent with the lower density residential (up to 8 dwelling units per acre) called out in the Development Code for the “RS” zoning district. Moreover, the proposed “RS” density is within the density of the prior “NMX” zoning, which would have required 3-20 units per acre.

The proposed change of zone and associated project is consistent with the Valley Neighborhood land use designation and 2030 General Plan policies related to single-family residential housing and new innovated housing products. The project is, also, consistent with all the development standards contained in the Development Code.

**Surrounding Uses:**

	GENERAL PLAN LAND USE DESIGNATION	ZONING	EXISTING LAND USE
North	Valley Neighborhood	RS	Single-Family Residential
East	Valley Neighborhood	RS	Single-Family Residential
South	Valley Neighborhood	Planning Reserve	Interim Ag and Single-Family Residential
West	Valley Neighborhood	NMX	Vacant

**Discussion:** Projects are evaluated for consistency with the County's General Plan, conformance with the County's Zoning Ordinance, and potential for impacts to the health, safety and welfare of persons who reside or work in the area surrounding the project. In the case of addressing project impacts to health, safety, and welfare, specific findings need to be met for each entitlement. Below are the findings for each project entitlement needed for project approval.

**Change of Zone:**

1. *The change in district boundaries is consistent with the General Plan and any applicable adopted community plan or specific plan;*

The proposed project would be consistent with Yuba County 2030 General Plan policies CD 2.1; CD 2.3; CD 5.2; CD 5.3 and CD 5.4 as they pertain to development in the Valley Neighborhood and Reinvestment in the Valley Neighborhood land use designation. Additionally, the proposed Single Family Residential use would be consistent with The Yuba County Zoning Map and Ordinance.

2. *The change in district boundaries is consistent with the purpose of this Code to promote the growth of the County in an orderly manner and to promote and protect the public health, safety, peace, comfort and general welfare; and*

The property has been vacant for many years and there are several vacant mixed use zoned properties along Erle Road. The change of zone to single family residential will make the property easier to develop due to the increase in demand for single family residential lots. The remaining commercial portion of the property is large enough to accommodate future commercial uses. The proposed project will promote both residential and commercial growth on this vacant property.

3. *The change in district boundaries is necessary to achieve the balance of land uses desired by the County, consistent with the General Plan, and to increase the inventory of land within a given zoning district.*

The “NMX” zoning district allows for both commercial and residential uses. The change in zone for a portion of the property to residential is still consistent with the prior zoning and the General Plan.

**Conditional Use Permit:**

4. *The lot size and project density are consistent with the General Plan and do not exceed the maximum density of the zone district;*

The project provides residential development at a density of 6.59 dwelling units per acre, thereby, staying consistent with the lower density residential (up to 8 dwelling units per acre) called out in the Development Code for the “RS” zoning district.

5. *The lots and associated development would not adversely affect adjoining uses;*

The adjoining uses to the north, south, east, and west are all single family residential in nature. The proposed use would complement the surrounding uses.

6. *Additional site and building design elements are in evidence; and*

The applicant has submitted five unique elevations and floor plans for the proposed subdivision. The elevations provide a variety of lot widths and setbacks to accommodate a variety of home styles, setbacks, and garage placements (see Attachment 3).

7. *The lot size is acceptable considering site topography, public-street access, availability of utilities, existing neighborhood characteristics, including the average density of surrounding development.*

The residential portion of the project is 6.5 acres in size and physically capable for the proposed development. The proposed project site is currently vacant and relatively flat and without any physical or biological constraints that would limit full utilization of the site. The lot has public-street access via Autumn Lane, Sunhaven Street, and Erle Road, the lot has access to public water and utilities via the Linda County Water District, the site is surrounded by single family residential uses, and the proposed average density of the “RS” zoning district is more compatible with the surrounding development than the density of the “NMX” zoning district.

**Environmental Review:** Staff has determined this project exempt from environmental review pursuant to California Environmental Quality Act (CEQA) Section 15061, (Review for Exemption). CEQA Section 15061 exempts projects from further environmental review when a public agency has determined that the project will have no effect on the environment. The proposed “RS” zoning is less of an environmental impact than the “NMX” Zoning. The “NMX” zoning district would allow for high density residential and various commercial uses.

Furthermore, the rough grading for the project site has already occurred and there are no trees or any other sensitive biological and/or cultural resources known on the project site. The 2030 General Plan EIR analyzed increase traffic in the project area and traffic impacts from 41



additional home sites and one commercial unit are covered in that document. The Linda County Water District has availability for water and sewer so there are no impacts to water and sewer availability. Linda County Fire District and the Yuba County Sheriff's Department have reviewed project plans and have determined that there will not be any impacts to emergency services.

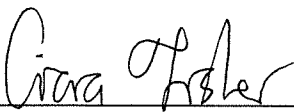
**Departmental and Agency Review:** The project was circulated to various agencies and County departments for review and comment during the early consultation phase and the environmental review stages of the project. The following is a summary of comments:

- County Staff – The Public Works Department, Environmental Health Department, and Building Department have reviewed the project and provided comments and/or conditions of approval that are incorporated into the attached Conditions of Approval.
- Reclamation District 784 – Within boundaries, but outside internal drainage basins.
- Linda Fire Protection District – No opposition.
- Marysville Joint Unified School District – Additional students could cause adverse impacts.

**Attachments:**

1. Resolution
2. Subdivision Map
3. Elevations
4. Conditions of Approval
5. Comment Letters

Report Prepared By:



Ciara Fisher  
Planner II

**BEFORE THE COUNTY OF YUBA  
PLANNING COMMISSION**

**RESOLUTION RECOMMENDING THE  
BOARD OF SUPERVISORS FIND THE  
PROJECT EXEMPT FROM  
ENVIRONMENTAL REVIEW AND APPROVE  
TSTM 2019-0004; CZ 2019-0001, AND CUP  
2019-0005 SUBJECT TO THE ATTACHED  
CONDITIONS OF APPROVAL**

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**RESOLUTION NO.:** \_\_\_\_\_

**WHEREAS**, Lendco LLC, filed an application for a Tentative Subdivision Tract Map to subdivide an 8.77-acre property into 41 residential parcels and one commercial parcel. The request for a Change of Zone is to change 6.65 acres from NMX – Neighborhood Mixed Use District to RS-Single Family Residential District. The request for a Conditional Use Permit is to reduce the minimum lot size, width, and setback requirements to 4,500 square feet for interior lots, 5,000 square feet for corner lots, 50 feet for lot width, and to reduce rear yard setbacks to 15 feet. This project is located adjacent to Autumn Lane, Sunhaven Court, and Erle Road, in the Olivehurst Community at Assessor's Parcel Numbers: 019-762-002 & 019-762-003.; and

**WHEREAS**, the Community Development & Services Agency, Planning Department of the County of Yuba has conducted a review of the proposed project and concluded that the project is consistent with both the 2030 General Plan and Development Code and is exempt from further environmental review pursuant to Section 15061 of the California Environmental Quality Act; and

**WHEREAS**, the Community Development & Services Agency, Planning Department of the County of Yuba has provided due notice of a public hearing before the Planning Commission of the County of Yuba and the intent to find the proposed project exempt from further environmental review in accordance with the California Environmental Quality Act, as amended;

**NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:**

1. The foregoing recitals are true and correct.
2. The Planning Commission recommends that the Board of Supervisors finds that the proposed project is consistent with the Land Use Element and other applicable elements of the Yuba County 2030 General Plan as well as with the Yuba County Zoning Map and Development Code.
3. The Planning Commission recommends that the Board of Supervisors finds that the project site is physically suitable for the proposed type of development and the proposed density of development.
4. The Planning Commission recommends that the Board of Supervisors finds that the

Attachment 1

proposed project and the conditions under which it would be developed or maintained will promote, protect and secure the public health, safety and general welfare and will result in an orderly and beneficial development of the County.

5. The Planning Commission recommends that the Board of Supervisors finds that the project, as conditioned, meets the County design and improvement standards set forth in the Yuba County Development Code.
6. The Planning Commission recommends that the Board of Supervisors finds that the project, as conditioned, is in compliance with the Yuba County Development Code.
7. The project will not cause substantial environmental damage to fish and/or wildlife and their habitats, nor have the potential for adverse effect(s) on wildlife resources or the habitat upon which wildlife depends. A Notice of Exemption will be recorded with the County Recorder.
8. The Planning Commission hereby recommends to the Board of Supervisors adoption of the Tentative Subdivision Tract Map TSTM2019-0004, Change of Zone CZ 2019-0001, and Conditional Use Permit CUP 2019-0005, incorporated by reference.

The Planning Commission hereby recommends that the Board of Supervisors finds the project exempt from further environmental review pursuant to Section 15061 of the California Environmental Quality Act adopts, incorporated herein by reference, and approves Tentative Subdivision Tract Map TSTM 2019-0004, Change of Zone CZ 2019-0001, and Conditional Use Permit CUP 2019-0005; subject to the Exemption from Environmental Review and Conditions of Approval incorporated by reference.

**PASSED AND ADOPTED** at a regular meeting of the Planning Commission of the County of Yuba, State of California, on the \_\_\_\_\_, by the following vote.

**AYES:**  
**NOES:**  
**ABSENT:**  
**ABSTAIN:**

\_\_\_\_\_  
**Yuba County Planning Commission**

**ATTEST:**  
**Planning Commission Secretary**

**APPROVED AS TO FORM:**  
**County Counsel**

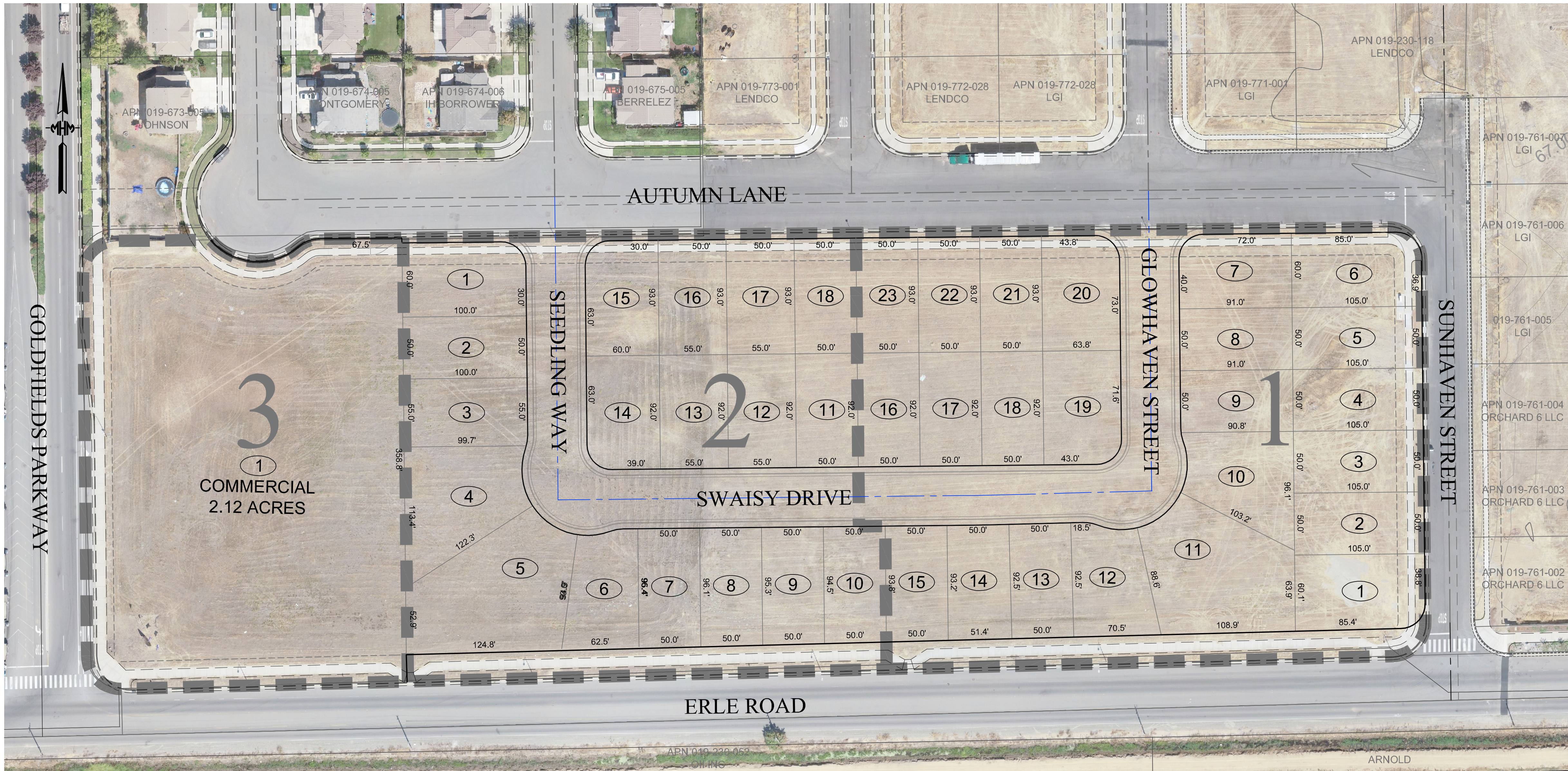
**BY:** \_\_\_\_\_

**BY:**  \_\_\_\_\_



# TENTATIVE SUBDIVISION TRACT MAP 2019-0004 SOUTH ORCHARD ESTATES

YUBA COUNTY, CALIFORNIA  
SEPTEMBER 19, 2019 REVISED NOVEMBER 5, 2019



## PROJECT NOTES

**OWNER**  
LENDCO LLC  
P.O. BOX 591  
MARYSVILLE, CA 95901  
ATTN: DAVID LANZA  
PHONE: (530) 743-7877

**APPLICANT**  
LENDCO LLC  
P.O. BOX 591  
MARYSVILLE, CA 95901  
ATTN: DAVID LANZA  
PHONE: (530) 743-7877

**ENGINEER/SURVEYOR**  
MHM INCORPORATED  
1204 E STREET, P.O. BOX B  
MARYSVILLE, CA 95901  
CONTACT: SEAN MINARD  
PHONE: (530) 742-6485

**ASSESSOR'S PARCEL NO.**  
019-762-001

**AREA OF TENTATIVE MAP**  
8.77 GROSS ACRES

## EXISTING USE

VACANT

## EXISTING GENERAL PLAN DESIGNATION

VALLEY NEIGHBORHOOD

## PROPOSED GENERAL PLAN DESIGNATION

VALLEY NEIGHBORHOOD

## EXISTING ZONING

NMX - NEIGHBORHOOD MIXED USE DISTRICT

## PROPOSED ZONING

RS - SINGLE FAMILY RESIDENTIAL DISTRICT

NMX - NEIGHBORHOOD MIXED USE DISTRICT

## LEVEE PROTECTION

RECLAMATION DISTRICT NO. 784

## ELEMENTARY SCHOOL DISTRICT

MARYSVILLE JOINT UNIFIED SCHOOL DISTRICT

## HIGH SCHOOL DISTRICT

MARYSVILLE JOINT UNIFIED SCHOOL DISTRICT

## FIRE PROTECTION

LINDA COUNTY FIRE DISTRICT

## LAW ENFORCEMENT

COUNTY OF YUBA

## SANITARY SEWER

LINDA COUNTY WATER DISTRICT

## DOMESTIC WATER

LINDA COUNTY WATER DISTRICT

## STORM DRAINAGE

COUNTY OF YUBA

## ELECTRICITY

PACIFIC GAS AND ELECTRIC

## NATURAL GAS

PACIFIC GAS AND ELECTRIC

## COMMUNICATION

AT&T AND COMCAST

## CABLE

COMCAST

## GENERAL NOTES:

- SUBDIVIDER RESERVES THE RIGHT TO PHASE DEVELOPMENT AND FILE MULTIPLE FINAL MAPS PURSUANT TO SECTION 66456.1 (A) OF THE SUBDIVISION MAP ACT.
- A 10.0 FOOT PUBLIC UTILITY EASEMENT SHALL BE LOCATED ADJACENT SIDEWALK TO ALL PUBLIC RIGHT OF WAYS EXCEPT ADJACENT TO CUL-DE-SAC THE PUBLIC UTILITY EASEMENT SHALL BE 10 FEET UNLESS OTHER WAS APPROVED BY CITY ENGINEER.
- THIS EXHIBIT IS FOR TENTATIVE MAP PURPOSES ONLY, ACTUAL DIMENSIONS, ROAD ALIGNMENTS, ACREAGE, AND YIELDS ARE TO BE VERIFIED PRIOR TO FINAL MAP.
- THIS IS AN APPLICATION FOR A DEVELOPMENT PERMIT.
- VILLAGE NUMBERING IS FOR IDENTIFICATION PURPOSES ONLY AND DOES NOT INDICATE PHASING ORDER OF DEVELOPMENT. ULTIMATE DEVELOPMENT PHASING WILL BE ORDERLY AND WILL BE DETERMINED AT FINAL MAP AND/OR IMPROVEMENT PLAN STAGE.
- ALL EXISTING STRUCTURES AND WELLS TO BE REMOVED PRIOR TO CONSTRUCTION.
- ALL SEPTIC TANKS SHALL BE REMOVED PRIOR TO OR AS PART OF CONSTRUCTION.
- ADDITIONAL EASEMENTS TO ACCOMMODATE NEW PUBLIC UTILITY IMPROVEMENTS, ACCESS REQUIRES FOR LOT DEVELOPMENT, OR OTHER SIMILAR MAPPING REQUIREMENTS NEEDED TO ACCOMPLISH THE FINAL DESIGN, MAY BE ADDED PRIOR TO EACH FINAL MAP BASED ON THIS TENTATIVE MAP.
- OWNERS, APPLICANT, ENGINEER, AND SURVEYOR SHALL RECEIVE ANY COMMUNICATIONS AND/OR NOTICES RELATED TO THIS PROJECT.

## LEGAL DESCRIPTION:

REAL PROPERTY IN THE UNINCORPORATED AREA OF COUNTY OF YUBA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

THE LAND IDENTIFIED AS LOT 303 AS SHOWN UPON THE CERTAIN ENTITLED "TRACT MAP NO. 2004-60, THE ORCHARD PHASE SIX," ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF YUBA, STATE OF CALIFORNIA, IN BOOK 98 OF MAPS, PAGE 12 THROUGH 17.

EXCEPTING THEREFROM THAT PORTION THEREOF, LYING WITHIN THE BOUNDARIES OF THE WIGET TRACT, AS SHOWN ON THE MAP THEREOF, ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF YUBA, STATE OF CALIFORNIA, IN BOOK 43 OF MAPS, PAGE 16.

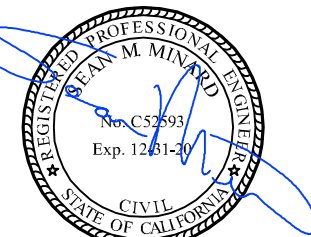
ALSO EXCEPTING THEREFROM ALL THAT CERTAIN REAL PROPERTY DESCRIBED IN DEED EXECUTED BY MARIO BRUSASCHETTI, ET UX, TO THE COUNTY OF YUBA, DATED NOVEMBER 4, 1969, AND RECORDED NOVEMBER 5, 1969 IN BOOK 490 OF OFFICIAL RECORDS, PAGE 538.

ALSO EXCEPTING THEREFROM ALL THAT CERTAIN REAL PROPERTY DESCRIBED IN DEED EXECUTED BY MARY ANITA ROSEBERRY, ETAL, TO JIMMY R THOMPSON, ETUX DATED SEPTEMBER 30, 1987, AND RECORDED OCTOBER 13, 1987 IN BOOK 920 OF OFFICIAL RECORDS, PAGE 273.

APN 019-762-001-000

## SURVEYORS STATEMENT:

I HEREBY STATE THAT ALL EASEMENTS OF RECORD ARE SHOWN AND LABELED PER PRELIMINARY TITLE REPORT BY FIRST AMERICAN TITLE COMPANY ORDER NUMBER 12023-4760237 DATED OCTOBER 17, 2019



SEAN MINARD, P.E. 52593, P.L.S. 8397

## COUNTY OF YUBA APPROVAL:

THE COUNTY OF YUBA PLANNING COMMISSION HAS CONSIDERED AND APPROVED RESOLUTION 19-XXX APPROVING TSM 2019-0004, CUP 20019-0005, GPA 2019-0001 DURING THE PLANNING COMMISSION MEETING ON \_\_\_\_\_, 2019.

COUNTY OF YUBA DATE: \_\_\_\_\_

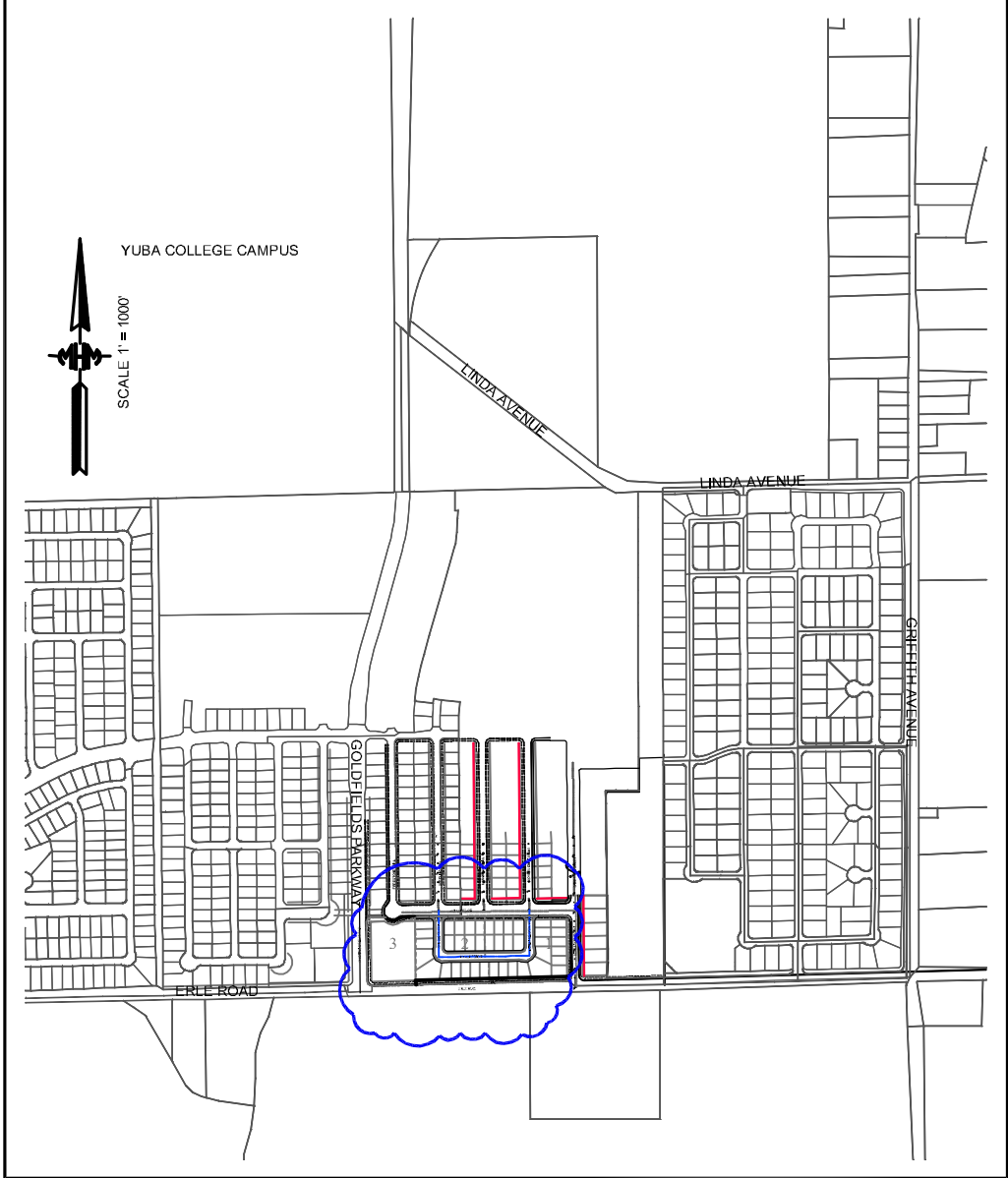
2 INDICATES PROPOSED SMALL LOT PHASE AND LARGE LOT PARCEL

## LAND USE SUMMARY

LOT SUMMARY*			
VILLAGE NO. 1 =	23 UNITS	3.37 AC	6.82 DU/AC
VILLAGE NO. 2 =	18 UNITS	2.85 AC	6.32 DU/AC
SUBTOTAL = (RESIDENTIAL)	41 UNITS	6.22 AC	6.59 DU/AC
COMMERCIAL LOT		2.12 AC	
MAJOR ROADS**		0.43 AC	
SUBTOTAL = (NON-RESIDENTIAL)		0.43 AC	
TOTAL =		8.77 AC	4.68 DU/AC

\*ALL ACREAGES AND DENSITIES EXCLUDE ARTERIAL AND COLLECTOR STREETS.  
\*\*INCLUDES EXISTING ROW ON NORTH BEALE ROAD. THIS IS THE ADDITIONAL ROW

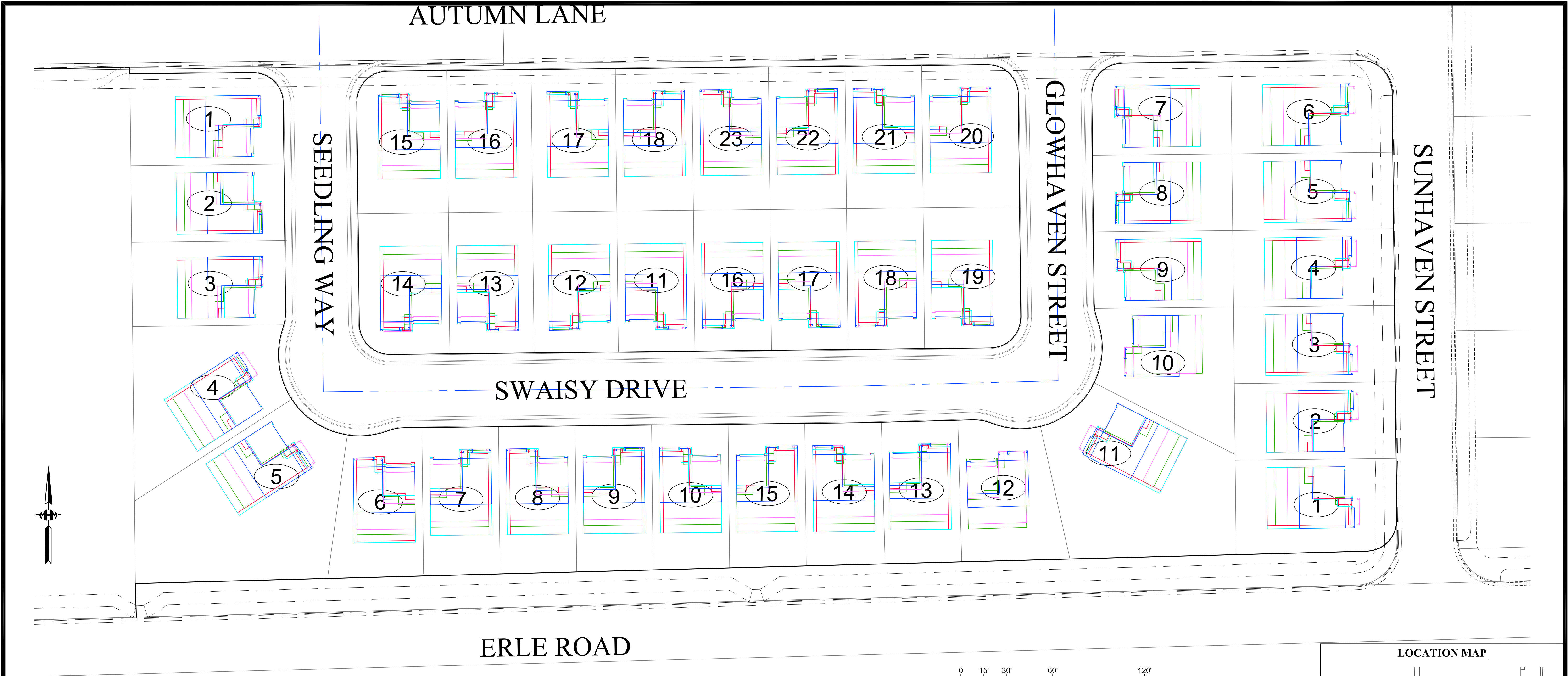
## LOCATION MAP



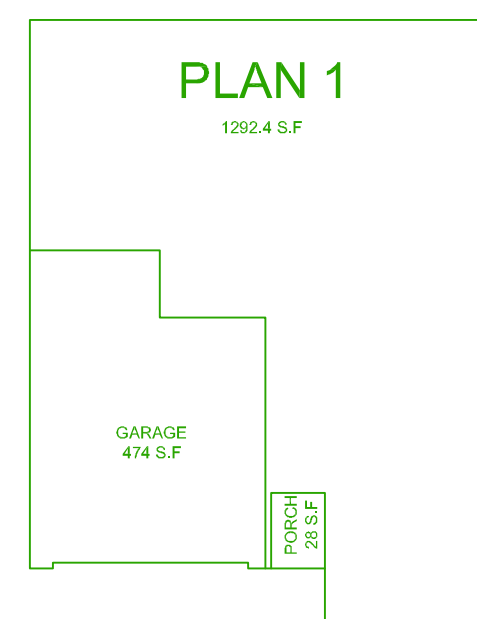
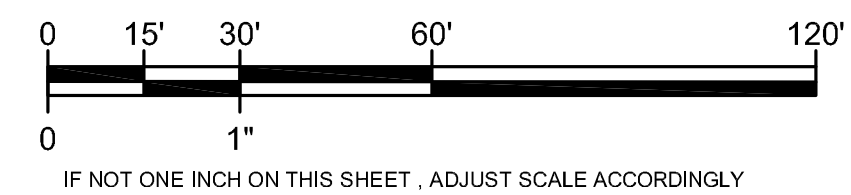
**M.H.M.**  
ENGINEERS & SURVEYORS SINCE 1892

1204 E STREET, P.O. BOX B  
MARYSVILLE, CA 95901  
TEL: 530.742.6485  
FAX: 530.742.5639

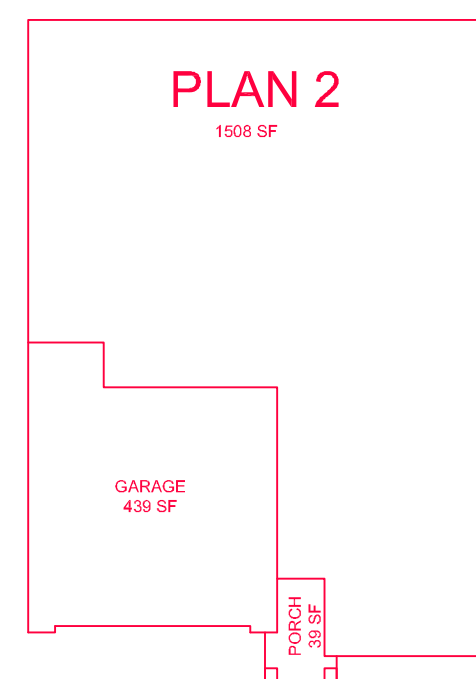




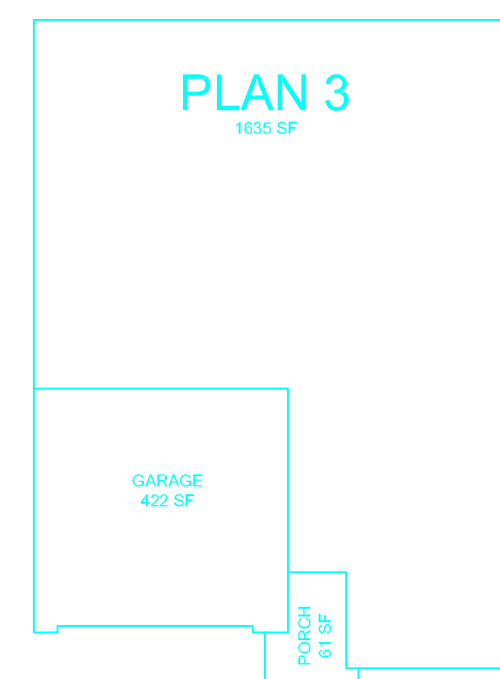
ERLE ROAD



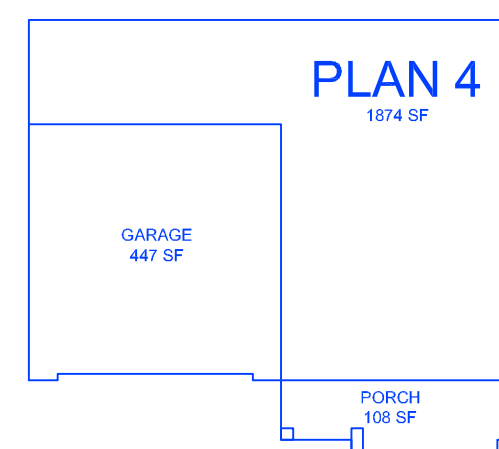
PLAN 1



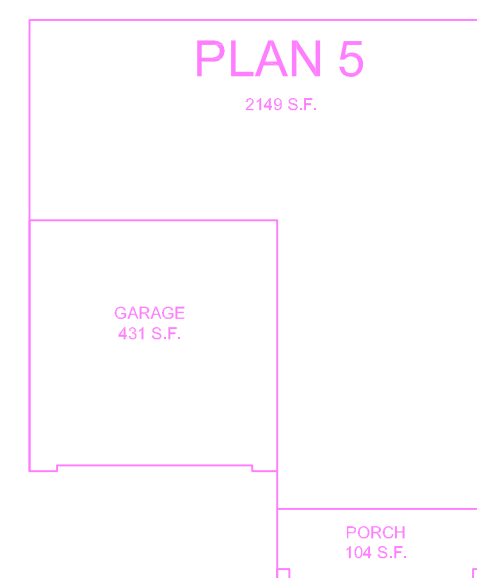
PLAN 2  
(CARMEL)



PLAN 3  
(KELLER)



PLAN 4  
(MALIBU)

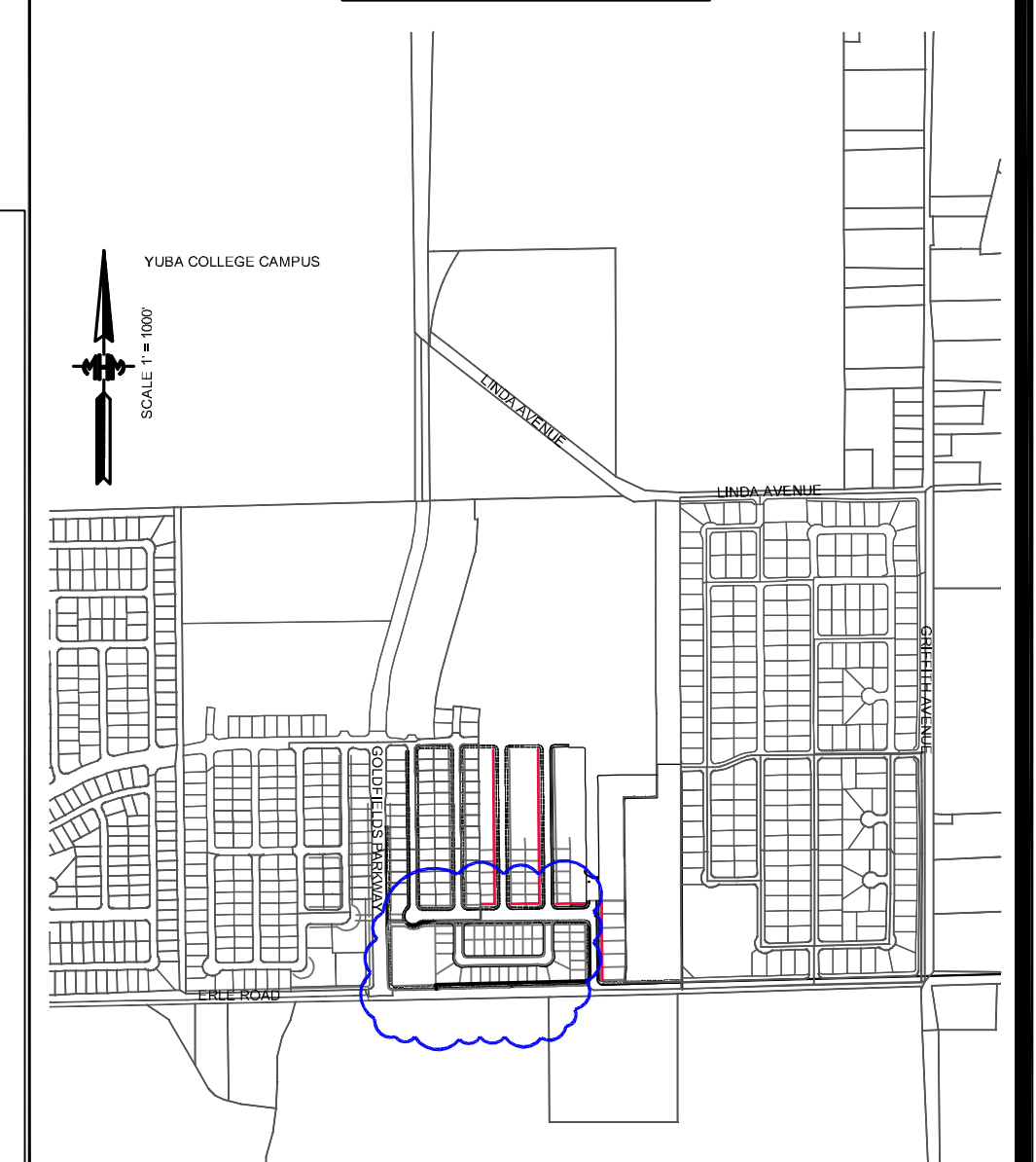


PLAN 5  
(STINSON)

TABLE 11.07.030: DEVELOPMENT REGULATIONS—RESIDENTIAL DISTRICTS

Standard	RE Within VGB	RS	RM	RH	Additional Regulations	#
Accessory Structure	20	15	15	15	Exceptions 11.19.030, Accessory Structures	5
Minimum Setbacks (ft, measured from property line unless otherwise indicated)						
Front or Street Side	Detached sidewalk: 10 ft from edge of sidewalk Attached sidewalk: 15 ft from edge of sidewalk No sidewalk: 15 ft from edge of ultimate right of way and 10 feet from edge of drainage ditch if present				11.19.090 Setbacks and Yards	4
Interior Side	10	5 (D)	5 (D)	5 (D)		5
Rear, Primary Structure	25	20	15	15		6
Rear, Accessory Structure	10	5	5	5	11.19.030, Accessory Structures	7
Garage	A minimum 20 ft driveway apron shall be provided for front loaded garages				11.07.040(A), Residential Single Family Development	8
Parking, from street facing property line	n/a	n/a	40	40	11.07.040(B), Residential Multi-Family Development	9
Parking & Loading					11.25 Parking & Loading	

LOCATION MAP



**19153 Lendco - Orchard Commerical Study Plan Fit List**

11/6/2019

Phase 1 Lot #	House Plan 1	House Plan 2	House Plan 3	House Plan 4	House Plan 5
P1 Lot 1	Fits	Fits	Fits	Fits	Fits
P1 Lot 2	Fits	Fits	Fits	Fits	Fits
P1 Lot 3	Fits	Fits	Fits	Fits	Fits
P1 Lot 4	Fits	Fits	Fits	Fits	Fits
P1 Lot 5	Fits	Fits	Fits	Fits	Fits
P1 Lot 6	Fits	Fits	Fits	Fits	Fits
P1 Lot 7	Fits	Fits	Fits	Fits	Fits
P1 Lot 8	Fits	Fits	Fits	Fits	Fits
P1 Lot 9	Fits	Fits	Fits	Fits	Fits
P1 Lot 10	Fits	Doesn't Fit	Doesn't Fit	Fits	Fits
P1 Lot 11	Fits	Fits	Fits	Fits	Fits
P1 Lot 12	Fits	Doesn't Fit	Doesn't Fit	Fits	Fits
P1 Lot 13	Fits	Fits	Fits	Fits	Fits
P1 Lot 14	Fits	Fits	Fits	Fits	Fits
P1 Lot 15	Fits	Fits	Fits	Fits	Fits
P1 Lot 16	Fits	Fits	Fits	Fits	Fits
P1 Lot 17	Fits	Fits	Fits	Fits	Fits
P1 Lot 18	Fits	Fits	Fits	Fits	Fits
P1 Lot 19	Fits	Fits	Fits	Fits	Fits
P1 Lot 20	Fits	Fits	Fits	Fits	Fits
P1 Lot 21	Fits	Fits	Fits	Fits	Fits
P1 Lot 22	Fits	Fits	Fits	Fits	Fits
P1 Lot 23	Fits	Fits	Fits	Fits	Fits
Phase 2 Lot #	House Plan 1	House Plan 2	House Plan 3	House Plan 4	House Plan 5
P2 Lot 1	Fits	Fits	Fits	Fits	Fits
P2 Lot 2	Fits	Fits	Fits	Fits	Fits
P2 Lot 3	Fits	Fits	Fits	Fits	Fits
P2 Lot 4	Fits	Fits	Fits	Fits	Fits
P2 Lot 5	Fits	Fits	Fits	Fits	Fits
P2 Lot 6	Fits	Fits	Fits	Fits	Fits
P2 Lot 7	Fits	Fits	Fits	Fits	Fits
P2 Lot 8	Fits	Fits	Fits	Fits	Fits
P2 Lot 9	Fits	Fits	Fits	Fits	Fits
P2 Lot 10	Fits	Fits	Fits	Fits	Fits
P2 Lot 11	Fits	Fits	Fits	Fits	Fits
P2 Lot 12	Fits	Fits	Fits	Fits	Fits
P2 Lot 13	Fits	Fits	Fits	Fits	Fits
P2 Lot 14	Fits	Fits	Fits	Fits	Fits
P2 Lot 15	Fits	Fits	Fits	Fits	Fits
P2 Lot 16	Fits	Fits	Fits	Fits	Fits
P2 Lot 17	Fits	Fits	Fits	Fits	Fits
P2 Lot 18	Fits	Fits	Fits	Fits	Fits

*Assumptions:*

5' setback on sides of house

20' setback behind the house

15' setback from house/porch to back of sidewalk on segments with attached sidewalk

10' setback from house/porch to back of sidewalk on segments with detached sidewalk

20' setback from garage to back of sidewalk

*Yuba County Development Code*

TABLE 11.07.030: DEVELOPMENT REGULATIONS—RESIDENTIAL DISTRICTS						
Standard	RE Within VGB	RS	RM	RH	Additional Regulations	#
Accessory Structure	20	15	15	15	Exceptions 11.19.030, Accessory Structures	⑤
Minimum Setbacks (ft, measured from property line unless otherwise indicated)						
Front or Street Side	Detached sidewalk: 10 ft from edge of sidewalk Attached sidewalk: 15 ft from edge of sidewalk No sidewalk: 15 ft from edge of ultimate right of way and 10 feet from edge of drainage ditch if present			11.19.090 Setbacks and Yards		④
Interior Side	10	5 (D)	5 (D)	5 (D)		⑤
Rear, Primary Structure	25	20	15	15		⑥
Rear, Accessory Structure	10	5	5	5	11.19.030, Accessory Structures	⑦
Garage	A minimum 20 ft driveway apron shall be provided for front loaded garages				11.07.040(A), Residential Single Family Development	⑧
Parking, from street facing property line	n/a	n/a	40	40	11.07.040(B), Residential Multi-Family Development	⑨
Parking & Loading					11.25 Parking & Loading	

**Additional Regulations**

- A. **Lot Width.** The lot width at the primary street frontage for cul-de-sac, knuckles, and irregular shaped lots may be reduced to no less than 35 feet provided the minimum lot width for the zone district is met at the front yard setback line. Flag lots shall also meet the minimum lot width at the front yard setback line.
- B. **Second Dwelling Units.** Where second dwelling units are permitted they do not count towards the maximum density restrictions of the zone district.
- C. **Transitional Standards.** When an RH District is adjacent to an RS District, the following standards apply:
  1. The maximum height is 30 feet within 40 feet of an RS District; and
  2. The maximum height is 40 feet within 50 feet of an RS District.

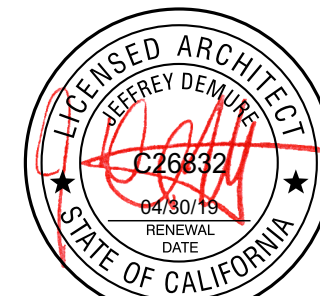


# Feather Glen

Olivehurst, California



1450 LAKE ROBBINS DRIVE, SUITE 140  
THE WOODLANDS, TX 77380  
281.362.8998



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JD+A Project Number: 18050

[illegible]

## PLAN 1

Sheet Description:  
FIRST FLOOR PLAN

Sheet Number:

## A3.1

1. FIRE BLOCKING SHALL BE PROVIDED IN ALL CONCEALED SPACES (CRC SECTION R302.11).
2. ALL DIAGONAL WALLS TO BE 45 DEGREES [UNO].
3. WINDOW "HEAD" HEIGHTS:
  - 1ST FLOOR = 8'-0" AFF [UNO]
  - 2ND FLOOR = 7'-0" AFF [UNO]
  - DOOR HEIGHTS AS NOTED ON FLOOR PLANS.
4. ALL DOORS TO BE CENTERED WITHIN ADJACENT WALLS, OR DOOR JAMB TO BE FRAMED AT 3" UNLESS OTHERWISE DIMENSIONED.
5. PROVIDE BACKING FOR ALL HARDWARE FIXTURES [TOWEL BARS, ETC.].
6. REFER TO BASE FLOOR PLAN FOR INFORMATION NOT SHOWN ON PARTIAL FLOOR PLANS. HATCHED WALLS ON PARTIAL FLOOR PLANS INDICATE FRAMING CHANGES FROM BASE FLOOR PLAN.

1 DWELLING/GARAGE FIRE SEPARATION: ALL SURFACES SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE, ALL HORIZONTAL SURFACES WITH HABITABLE SPACE ABOVE SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. [CRC SECTION R302.6 & TABLE R302.6]

2 OPENING PROTECTION: WHERE THE RESIDENCE AND PRIVATE GARAGE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, DOOR OPENINGS BETWEEN THE HOUSE AND THE GARAGE NEED ONLY BE SELF-CLOSING AND SELF-LATCHING. [CRC SECTION R302.5.1 EXCEPTION]

3 EMERGENCY ESCAPE AND RESCUE OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 46" MEASURED FROM THE FLOOR AND A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 20" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 24". [CRC SECTION R310.2]

4 TANKLESS WATER HEATER: SPEC PER ENERGY CALCULATIONS.

5 ATTIC ACCESS: PROVIDE A MINIMUM 22X30" OPENING OR LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT [CRC SECTION R807.1 & CMC SECTION 904.10] LOCATION APPROXIMATE: VERTICALLY COORDINATE WITH RAU3 LAYOUT. ACCESS PANEL TO BE WEATHER-STRIPPED AND HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS EQUIVALENT TO THE SURROUNDING AREA REQUIREMENTS. [SECTION 150 OF CALIFORNIA ENERGY CODE]

6 A/C CONDENSER: PROVIDE GRADE. 30" X 30" CONCRETE PAD MINIMUM 3" ABOVE GRADE. LOCATE PER PLAT PLAN.

7 TEMPERED SAFETY GLASS: PROVIDE TEMPERED GLASS AT HAZARDOUS LOCATIONS PER REQUIREMENTS. [CRC SECTION R308.4]

8 DRYER: VENT DUCT SHALL BE OF METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES AND A DIAMETER OF NOT LESS THAN 4", EXTENDING TO EXTERIOR WITH BACKDRIFT DAMPER. [CMC SECTION 504.4]

9 WASHING MACHINE: PROVIDE PRE-FABRICATED CORROSION RESISTANT PAN UNDER WASHING MACHINE LOCATED ON UPPER FLOOR. DRAIN TO EXTERIOR.

10 UPPER CABINETS: WALL MOUNTED ABOVE, 12" DEEP TYPICAL. 24" DEEP ABOVE REFRIGERATOR.

11 SHOWERS & TUB/SHOWER COMBINATIONS: FLOORS AND WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 4 FEET ABOVE THE FLOOR. [CRC SECTION R702.7] PROVIDE CEMENT, FIBER CEMENT OR GLASS MAT GYPSUM BACKERS AS A BASE FOR WALL TIE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWERS. [CRC SECTION R702.4.2] LOCATE SHOWER HEAD AT +64" AFF. GLAZING IN ALL FIXED AND OPERABLE PANELS OF A SWINGING, SLIDING, OR BI-FOLD DOOR SHALL BE CONSIDERED A HAZARDOUS LOCATION AND SHALL COMPLY WITH CRC SECTIONS R308.3 & R308.4.

12 LOW WALL: PROVIDE WITH DOUBLE TOP PLATE. HEIGHT AT +42" AFF. [UNO]

13 UNDER STAR PROTECTION: PROVIDE 1/2" GYPSUM BOARD ON ALL WALLS, UNDER STAR SURFACE AND ANY SOFFITS WITHIN ENCLOSED ACCESSIBLE SPACES. [CRC SECTION R302.7]

14 STAIRWAYS: SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH [AND NOT HAVE A VERTICAL RISE OF MORE THAN 147"]. MINIMUM HEADROOM SHALL NOT BE LESS THAN 6'-8". MAXIMUM RISER HEIGHT SHALL BE 7-3/4" AND MINIMUM TREAD DEPTH SHALL BE 10" [CRC SECTION R311.7]

15 HANDRAILS [AND GUARDS WHERE THE TOP OF THE GUARD ALTHOUGH AS A HANDRAIL: HEIGHT SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38", AND CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. [CRC SECTION R311.7.8] SEE DETAIL 6/A/D4

16 GUARDS: SHALL BE NOT LESS THAN 42" IN HEIGHT AND RAIL DESIGN TO COMPLY WITH CODE. [CRC SECTION R312] SEE DETAIL 5/A/D4

17 COOKING APPLIANCE: 30" COOKTOP / RANGE

18 INTERIOR PLAT SLOFT: FRAME AT 1'-1" AFF [UNO] 1ST FLOOR 2ND FLOOR FRAME AT 1'-1" AFF [UNO]

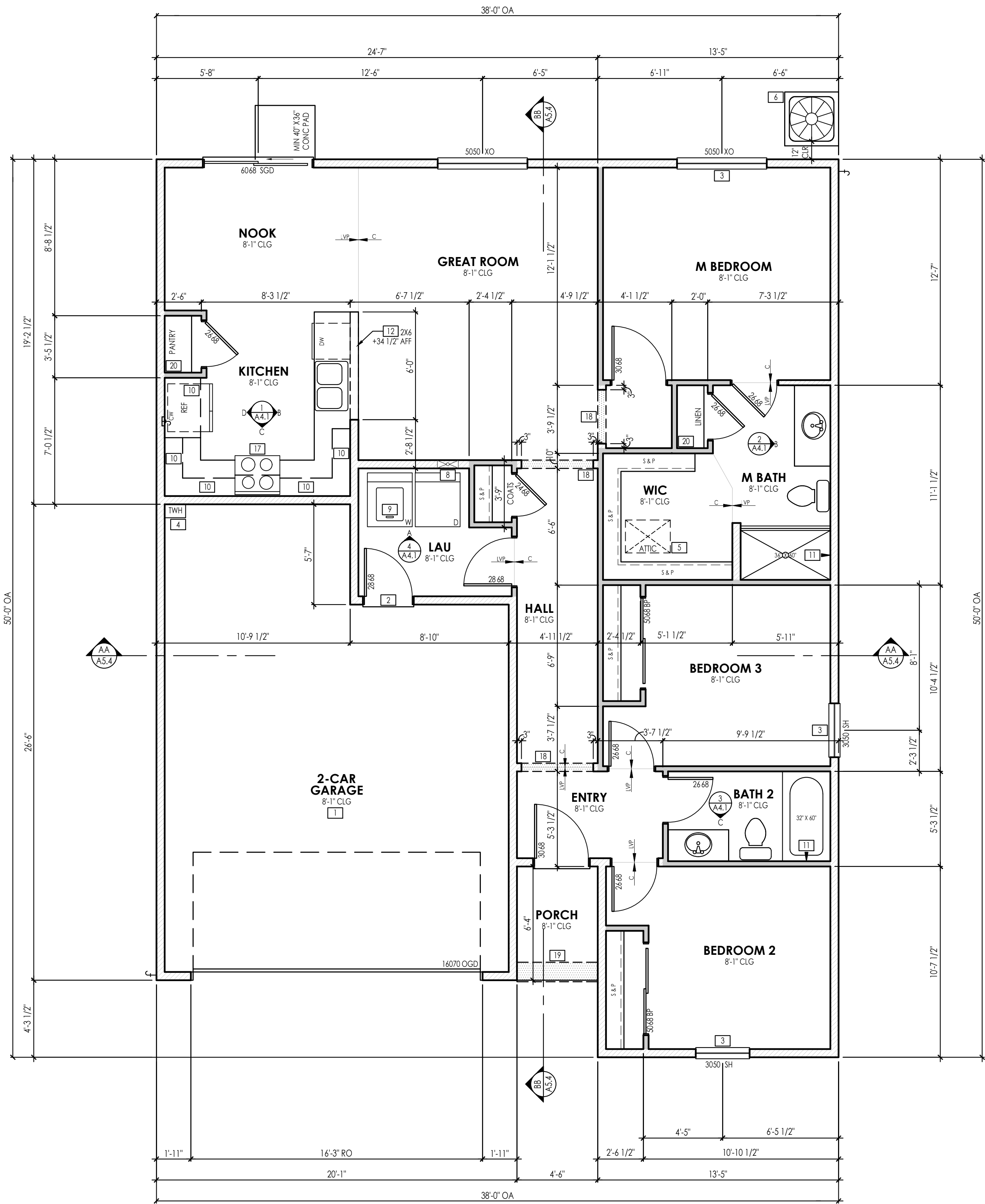
19 EXTERIOR SOFFT OR ARCH: SEE EXTERIOR ELEVATIONS FOR DIMENSIONS.

20 PANTRY / LINEN: (4) SHELVES, EQUAL SPACING.

21 DASHED LINE INDICATES OUTLINE OF FLOOR ABOVE, SOLID LINE INDICATES OUTLINE OF FLOOR BELOW.

22 ANY UNSUPPORTED COUNTER OVER 8" WILL BE SUPPORTED BY A CORBEL.

Floor Area	
LIVING AREA:	
FIRST FLOOR LIVING:	1292.4 SQ. FT.
TOTAL LIVING AREA:	1292 SQ. FT.
OTHER AREAS:	
GARAGE:	474 SQ. FT.
COVERED PORCH:	28 SQ. FT.



# FIRST FLOOR PLAN

$$1/4'' = 1'-0''$$

6/7/2018 PERMIT SET



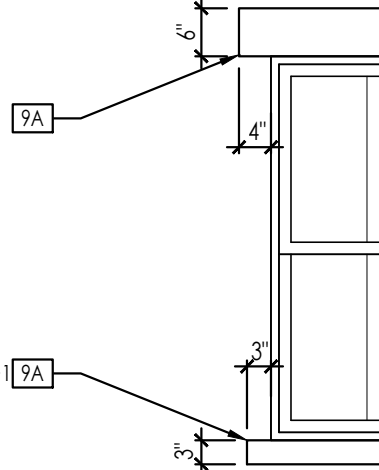
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# Sheet Notes:

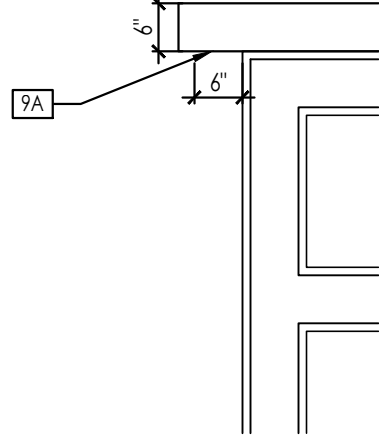
1. PARTIAL AND OPTION ELEVATIONS SHOW ONLY THE ATTRIBUTES AND DETAILS UNIQUE TO THE PARTIAL OR OPTION ELEVATION. REFER TO BACKGROUND FOR INFORMATION NOT SHOWN.
2. WINDOW HEAD HEIGHTS:
  - 1ST FLOOR = 8'-0" AFF (JUNO)
  - 2ND FLOOR = 7'-0" AFF (JUNO)
  - DOOR HEIGHTS AS NOTED ON FLOOR PLANS.
3. EXTERIOR WALLS (PER MFG INSTALLATION INSTRUCTIONS):
  - 1-COAT STUCCO SYSTEM: OVER MIN 1" FOAM INSULATION, OVER ONE LAYER OF 40-MINUTE GARDPAPER OR PAPER OR EQUAL, OVER STUDS OR WOOD-BASED SHEATHING.
4. ROOFING: REFER TO ROOF PLAN NOTES.
5. WINDOWS: VINYL, SPEC PER BUILDER. GRIDS / DIVIDED LITES AS SHOWN.
6. ENTRY DOORS: RAISED PANEL, SPEC PER BUILDER. OVER HEAD GARAGE DOORS: STEEL, SECTIONAL, SPEC PER BUILDER. RAISED PANEL AND GLASS INSERTS AS SHOWN.
7. FASCIA BOARD: 2X6, UNLESS NOTED OTHERWISE. REFER TO ELEVATION NOTES.
8. BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE. REFER TO ELEVATION NOTES.
9. ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC §319.1)
  - A. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
  - B. NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/32".
10. ROOF HEELS: LABELED AS STANDARD HEEL: 40".
  - RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS.

- 1 MINIMUM CLASS 'A' ROOFING.  
REFER TO ROOF PLAN SHEET NOTES.
- 2 2X6 FASCIA / BARGE RAFTER
- 3 GUTTER. STYLE SPEC PER BUILDER.
- 4 DOWNSPOUT. STYLE SPEC PER BUILDER.
- 5 CORROSION RESISTANT ROOF TO WALL FLASHING.  
REFER TO ROOF DETAILS.
- 6 EXTERIOR STUCCO, TYPICAL "40" (UNO). STANDARD FINISH.
- 7 EXTERIOR SIDING MATERIAL, COMPOSITE WOOD WITH WOOD GRAIN FINISH:
  - A. LAP WITH 6" REVEAL.
  - B. 1X2 BOARD & BATTEN (BATTEN AT 16" OC).
- 8 EXTERIOR ADHERED MASONRY VENEER. SPEC PER BUILDER.  
HEIGHT AND WRAP-ABO AS NOTED.
- 9 TRIM, SIZE AS NOTED (HEIGHT X DEPTH) OR SEE DETAIL:
  - A. STUCCO OVER FOAM, LIGHT SAND FINISH.
  - B. COMPOSITE WOOD WITH WOOD GRAIN FINISH (NOMINAL SIZE).
- 10 FAUX WOOD SHUTTER (STYLE PER DESIGN DETAIL)  
ATTACHMENT PER MFG RECOMMENDATION.
- 11 DECORATIVE SHAPED FOAM STUCCO CORBEL. PER DESIGN DETAIL.
- 12 DECORATIVE FAUX BEAM, SIZE AS NOTED. SEE DETAIL: 9/A03.
- 13 DECORATIVE GABLE END VENT, SIZE AS NOTED:
- 14 EXTERIOR COACH LIGHT; MOUNT AT +84" AFF [UNO].
- 15 ADDRESS NUMBER; MOUNT AT +66" AFF [UNO].
- 16 UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES.
- 17 DESIGN ELEMENT REQUIRED AT ENHANCED ELEVATION ONLY.

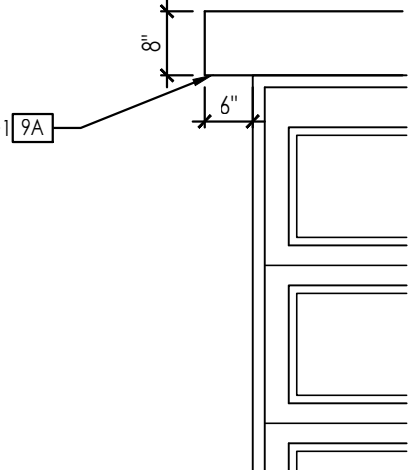
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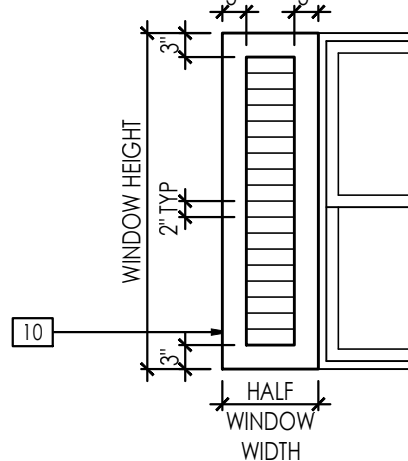
1 WINDOW  
SCALE 1/2" = 1'-0"



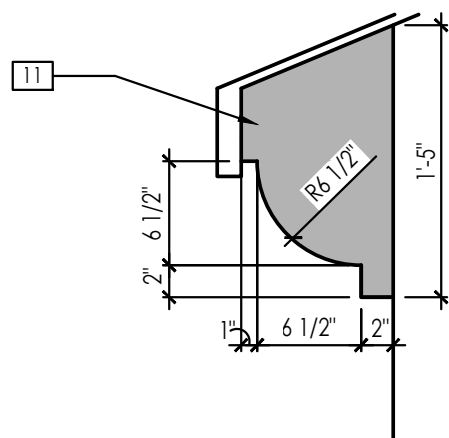
2 DOOR TRIM, TYP  
SCALE 1/2" = 1'-0"



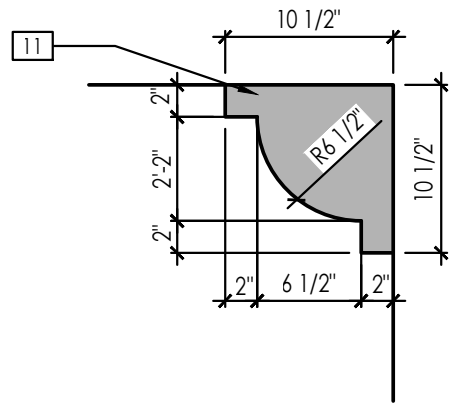
3 GARAGE DOOR TRIM, TYPE  
SCALE 1/2" = 1'-0"



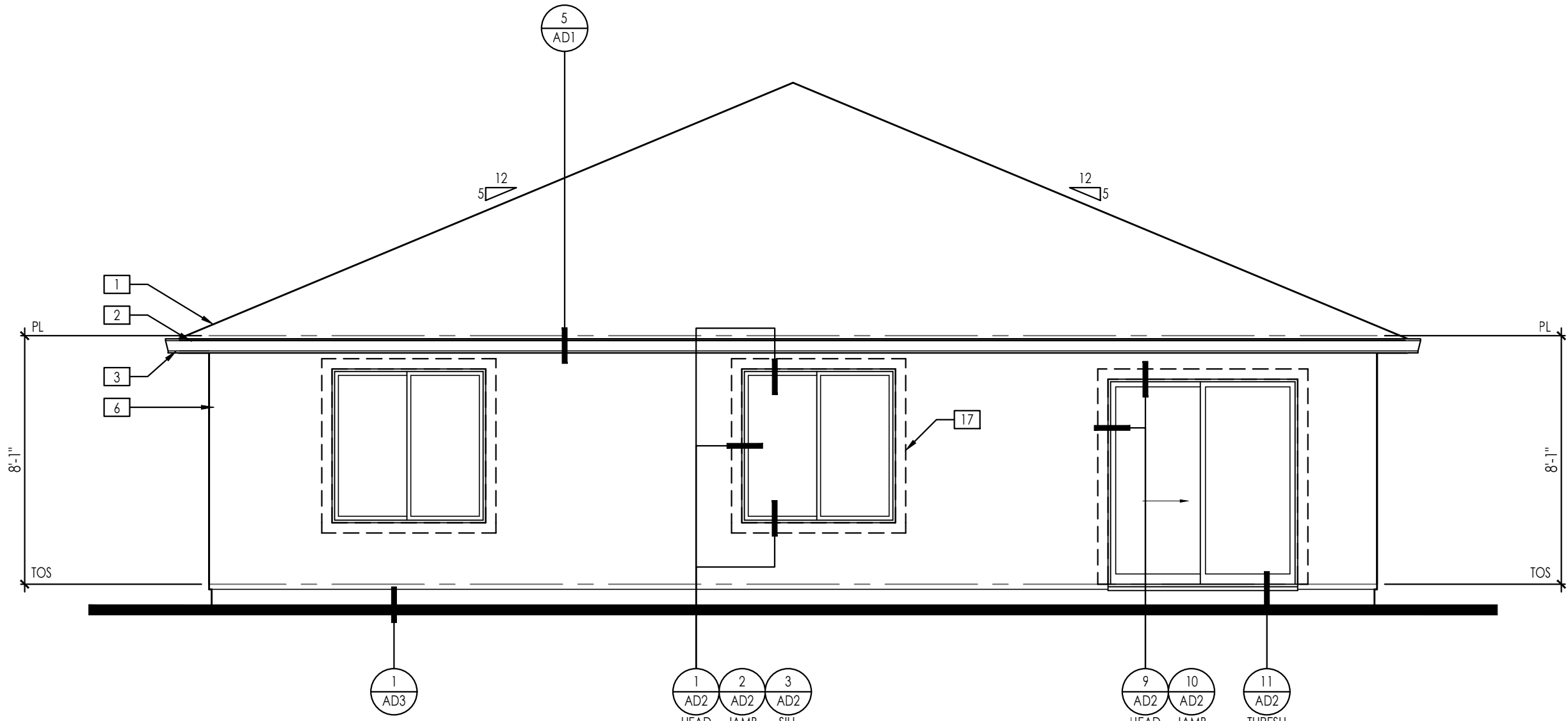
4 SHUTTER, TYPE  
SCALE 1/2" = 1'-0"



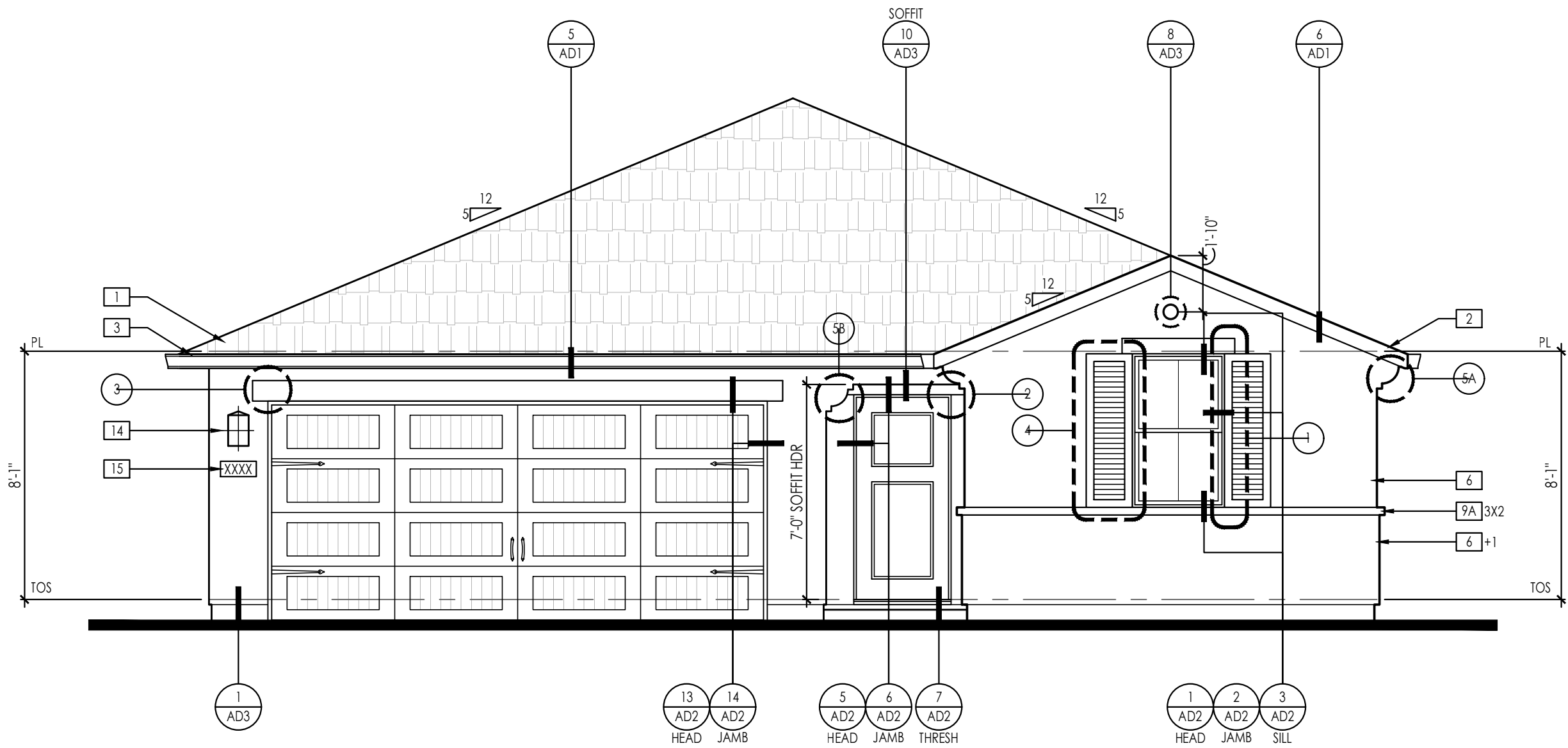
5A FOAM CORBEL AT EAVE  
SCALE 1/2" = 1'-0"



58 FOAM COR  
SCALE 1/2" = 1'-0"



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)  
REAR ELEVATION "A"

$$1/4'' = 1'-0''$$


'EARLY CALIFORNIA' (COMPOSITION SHINGLE),  
FRONT ELEVATION "A"

$$1/4'' = 1' - 0'$$

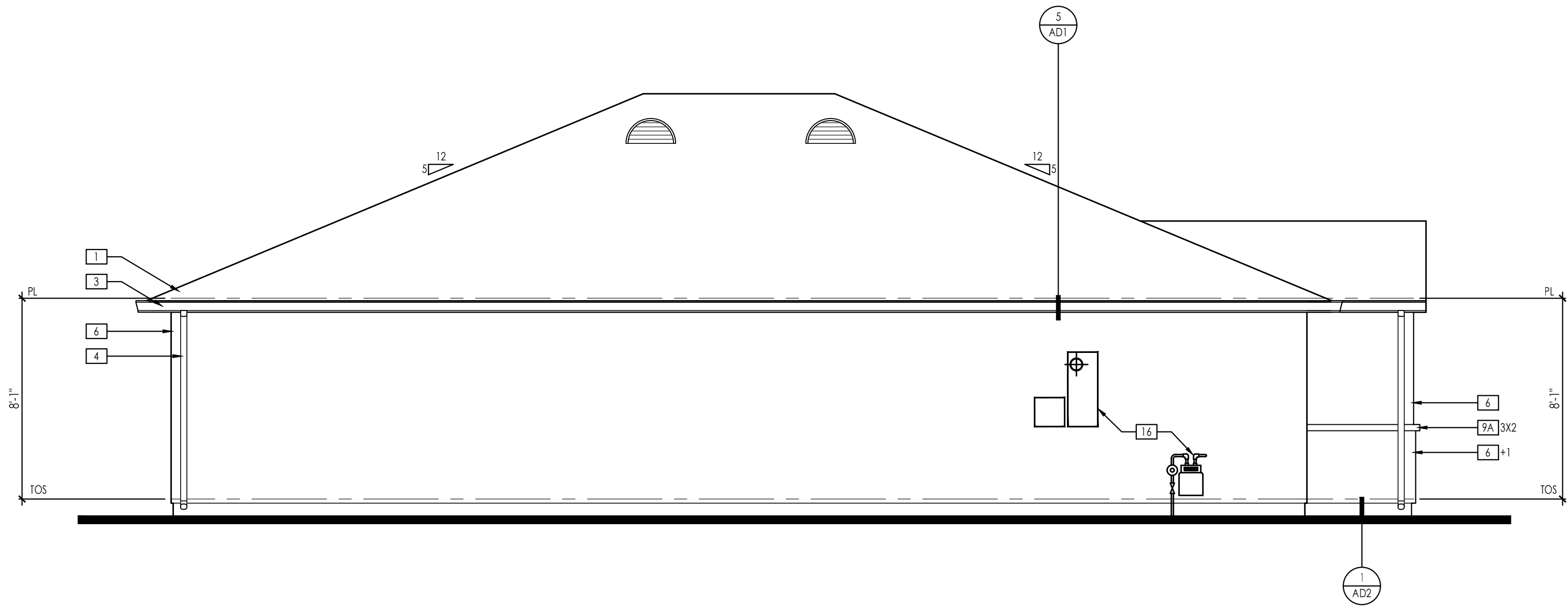
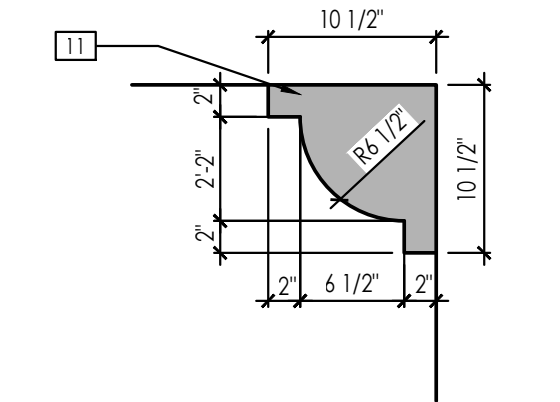
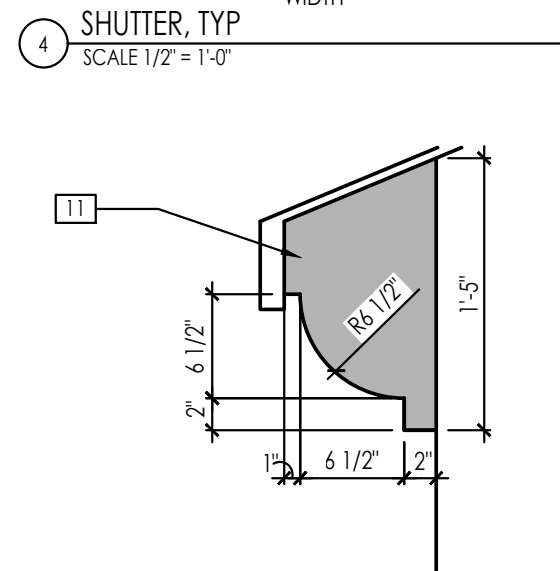
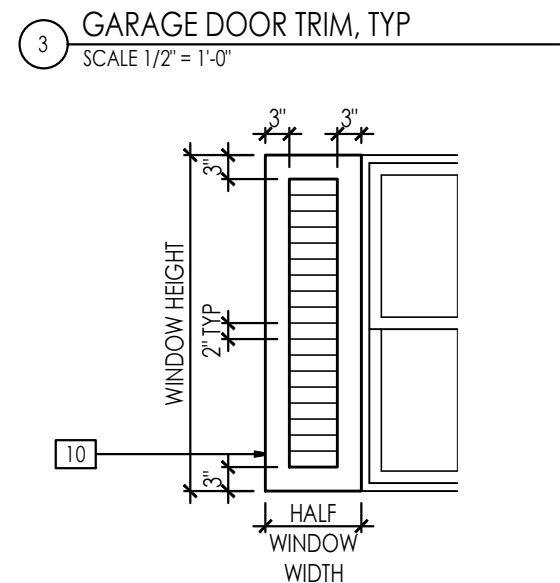
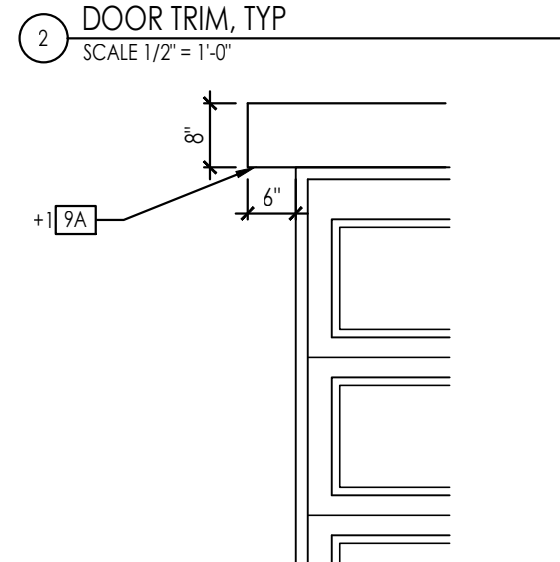
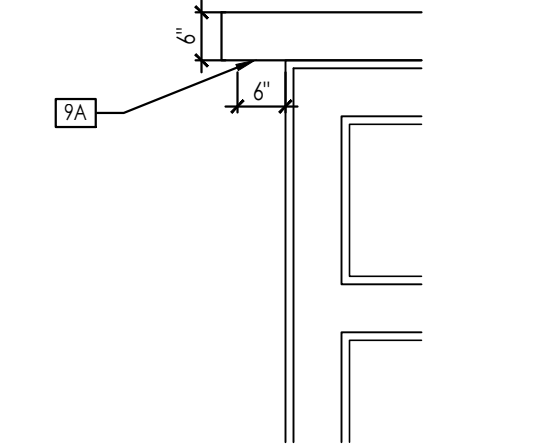
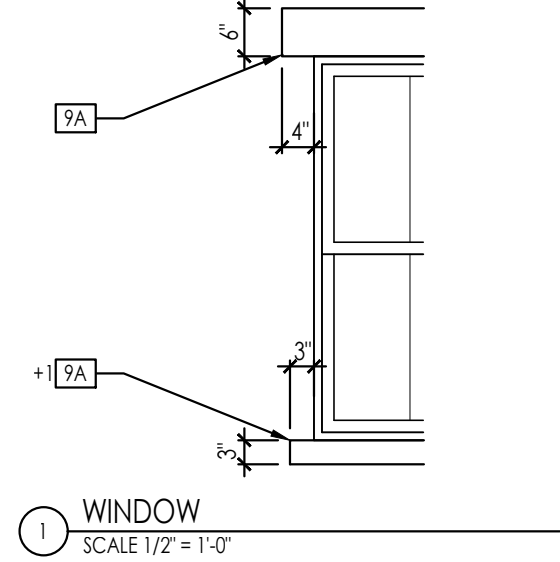
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5. WINDOWS: VINYL SPEC PER BUILDER.
6. GRIDS / DIVIDED UNITS AS SHOWN.
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9. FASCIA BOARD: 2X6, UNLESS NOTED OTHERWISE.
  - REFER TO ELEVATION NOTES.
10. BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE.
  - REFER TO ELEVATION KEYNOTES.
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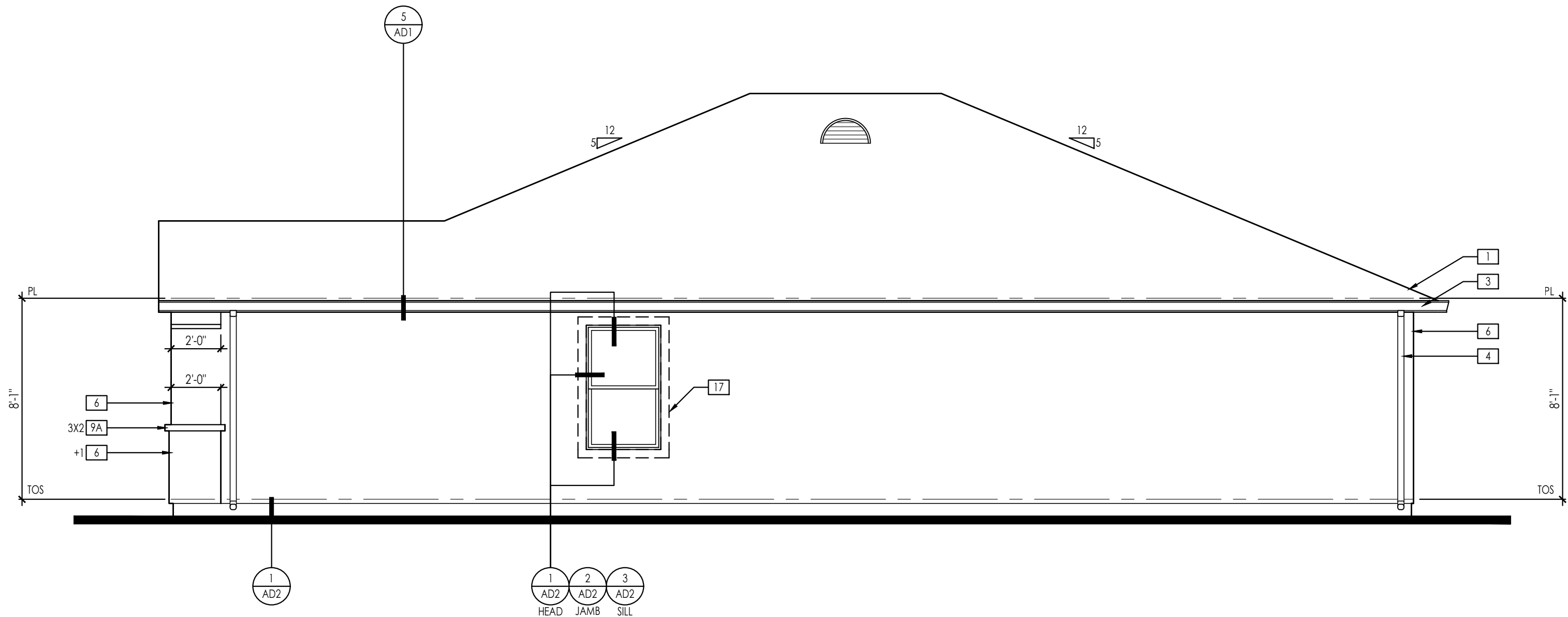
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'EARLY CALIFORNIA' (COMPOSITION SHINGLE)  
LEFT ELEVATION "A"

---

1/4" = 1'-0"



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)  
RIGHT ELEVATION "A"

---

1/4" = 1'-0"



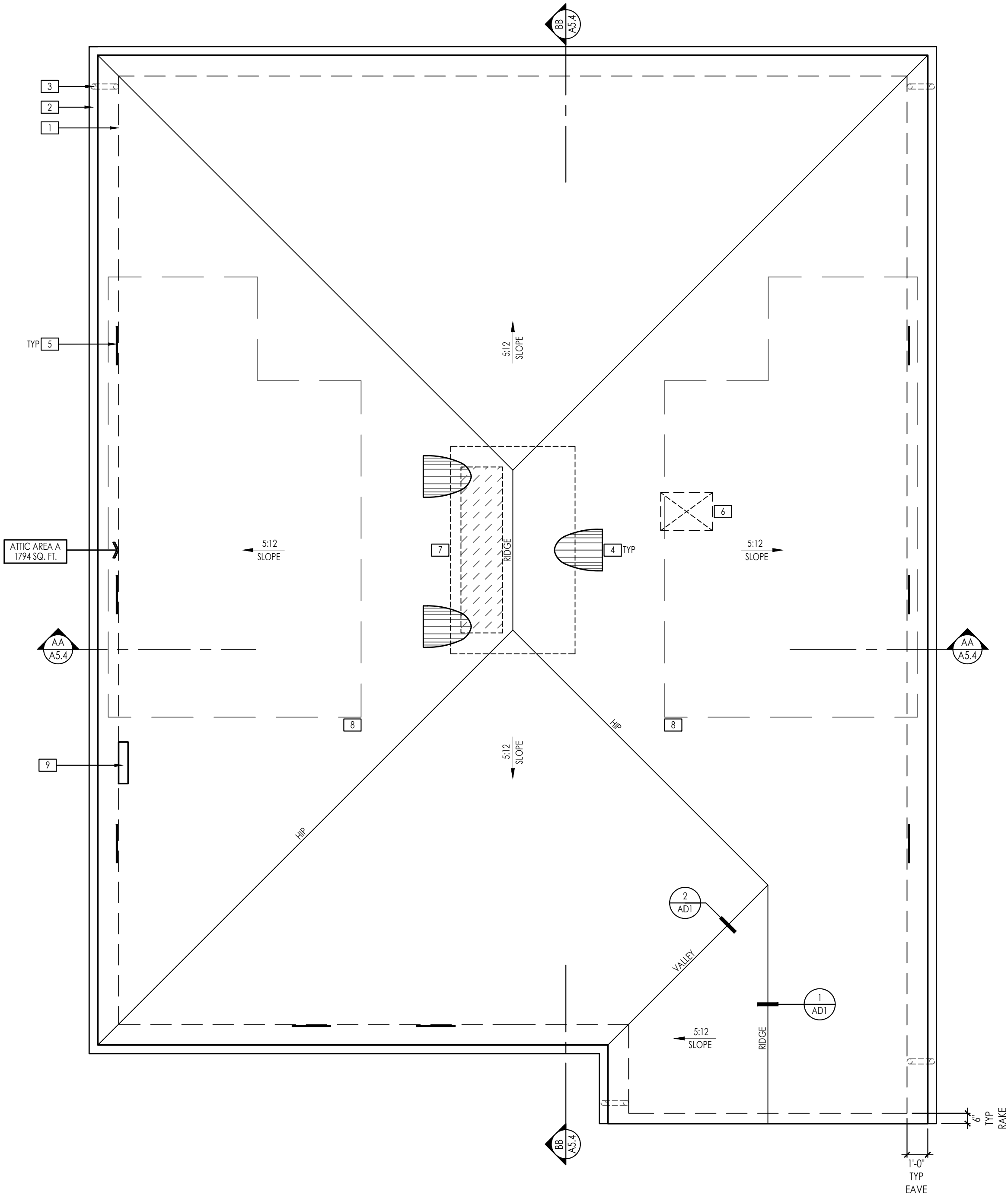
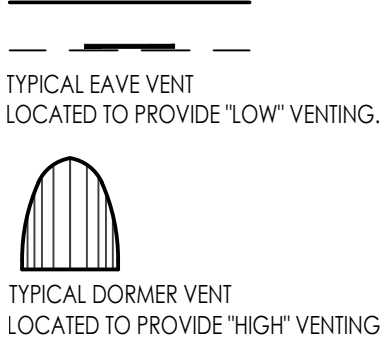
## Sheet Notes:

1. POOLING: CLASS 'A' FIRE-RETARDANT CONCRETE TILES, MFG SPEC PER REFERENCE, REFER TO ELEVATION SHEETS FOR FASCIA AND BARGE RAFTER SIZE. TILE TYPE PER ELEVATION STYLE:
  - EAVE: CALIFORNIA FRAMED ROOF AREAS INSTALLED SHINGLE
  - BUNGALOW: COMPOSITION SHINGLE
  - COTTAGE: COMPOSITION SHINGLE
2. ATTIC VENTILATION: ACTUAL NET FREE AREA OF INSTALLED ROOF VENTILATION SHALL MEET OR EXCEED REQUIRED VENTILATION AREA AS INDICATED IN THE VENTILATION TABLE. THE CONTRACTOR MAY SUBSTITUTE TYPE OF VENTING AND/OR MANUFACTURER, BUT SHALL VERIFY THAT THE ACTUAL VENTILATION AREA OF THE INSTALLED VENTING MEETS OR EXCEEDS CODE REQUIREMENTS. ATTIC VENTING MAY BE ACCOMPLISHED WITH EAVE VENTS, GABLE WALL VENTS, DORMER VENTS, RIDGE VENTS OR OTHER MANUFACTURERS' VENT PRODUCTS, OR IN ANY COMBINATION. THEREOF THAT PROVIDES THE REQUIRED VENTING. THE CONTRACTOR SHALL VERIFY THAT THE ACTUAL NET FREE VENTING AREA OF ANY VENTILATION PRODUCT INSTALLED.
3. VENTILATION: PROVIDE ROOF/ATTIC CROSS VENTILATION FOR EACH SEPARATE ATTIC SPACE. REFER TO ATTIC VENT CALCULATIONS FOR REQUIRED VENT AREA. OVERLAPPING OR "CALIFORNIA" FRAMED ROOF AREAS SHALL HAVE OPENINGS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO THE ADJACENT ATTIC TO ALLOW AIRCRAFT AND CROSS VENTILATION BETWEEN ADJACENT ATTIC SPACES. INSTALLED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CODE REQUIREMENTS. [CRC SECTION 8006.1]
4. MINIMUM AREA: THE TOTAL NET FREE VENTING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATION AREA SHALL BE PROVIDED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED NO MORE THAN 3 FEET BELOW THE CEILING OR ROOF. THE VENTILATION SHALL BE MEASURED VERTICALLY, WITH THE BALANCE OF REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. [CRC SECTION 8006.2]
5. VENT AND INSULATION CLEARANCE: WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT TOUCH THE FREE FLOW OF AIR. A MINIMUM OF A 1-INCH SPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT. [CRC SECTION 8006.3]

## Roof Plan Keynotes:

- |   |   |
|---|---|
| 1 | LINE OF EXTERIOR WALL BELOW.  |
| 2 | GUTTER: STYLE SPEC PER BUILDER.   |
| 3 | DOWNSPOUT: STYLE SPEC PER BUILDER.<br>LOCATION & COUNT TO BE SITE-VERIFIED.   |
| 4 | ATTIC VENT: TYPE PER ATTIC VENTILATION SCHEDULE.<br>LOCATION TO BE SITE VERIFIED.   |
| 5 | EAVE VENTS, THIS AREA: TYPE PER ATTIC VENTILATION SCHEDULE.<br>COORDINATE LOCATION WITH STRUCTURAL ENGINEER.  |
| 6 | ATTIC ACCESS: LOCATION APPROXIMATE, COORDINATE IN<br>FIELD WITH TRUSS.  |
| 7 | FAU & PLATFORM LOCATION: PROVIDE UNOBSTRUCTED<br>ACCESS AND PASSAGEWAY AT LEAST AS LARGE AS THE<br>LARGEST COMPONENT OF THE APPLIANCE, BUT NOT LESS THAN<br>22" X 30" WITH SOLID FLOORING MINIMUM 24" WIDE. DISTANCE<br>FROM ACCESS TO APPLIANCE SHALL NOT EXCEED 20'.<br>PROVIDE MINIMUM 30"X30" PLATFORM AT SERVICE SIDE OF<br>EQUIPMENT. (CMC SECTION 30.4.4 SEE DETAIL 1/ADA).<br>VERIFY LOCATION WITH MECHANICAL DRAWINGS. |
| 8 | POTENTIAL FUTURE SOLAR ZONE LOCATION  |
| 9 | FUTURE SOLAR PATHWAY ROUTING LOCATION.  |

### Attic Vent Legend:



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)  
ROOF PLAN "A"

---

1/4" = 1'-0"

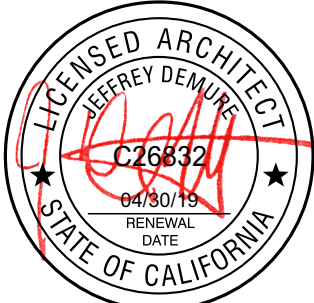
**JDA**  
**JEFFREY DEMURE + ASSOCIATES**  
**ARCHITECTS • PLANNERS**  
5905 GRANITE LAKE DRIVE, SUITE 140  
GRANITE BAY, CA 95746  
P: 916.783.3700  
F: 916.783.3711  
[WWW.JDAARCH.COM](http://WWW.JDAARCH.COM)

# Feather Glen

Olivehurst, California



1450 LAKE ROBBINS DRIVE, SUITE 140  
THE WOODLANDS, TX 77380  
281.362.8998



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JD+A Project Number: 18050

[illegible]

PLAN 1  
Sheet Description:  
ROOF PLAN "A"

Sheet Number:  
**A5.3**

# Feather Glen

Olivehurst, California



1450 LAKE ROBBINS DRIVE, SUITE 140  
THE WOODLANDS, TX 77380  
281.362.8998

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JD+A Project Number: 1805

[illegible]

## PLAN 2 (CARMEL)

Sheet Description:  
FIRST FLOOR PLAN

Sheet Number:

## A3.1

1. FIRE BLOCKING SHALL BE PROVIDED IN ALL CONCEALED SPACES [CRC SECTION R302.11].
2. ALL DIAGONAL WALLS TO BE 45 DEGREES [UNO].
3. WINDOW "HEAD" HEIGHTS:
  - 1ST FLOOR = 8'-0" AFF [UNO]
  - 2ND FLOOR = 7'-0" AFF [UNO]
  - DOOR HEIGHTS AS NOTED ON FLOOR PLANS.
4. ALL DOORS TO BE CENTERED WITHIN ADJACENT WALLS, OR DOOR JAMB TO BE FRAMED AT 3" UNLESS OTHERWISE DIMENSIONED.
5. PROVIDE BACKING FOR ALL HARDWARE FIXTURES [TOWEL BARS, ETC.].
6. REFER TO BASE FLOOR PLAN FOR INFORMATION NOT SHOWN ON PARTIAL FLOOR PLANS. HATCHED WALLS ON PARTIAL FLOOR PLAN INDICATE FRAMING CHANGES FROM BASE FLOOR PLAN.

[1] DWELLING/GARAGE FIRE SEPARATION: ALL SURFACES SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. ALL HORIZONTAL SURFACES WITH HABITABLE SPACE ABOVE SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 5/8" TYPE X GYPSUM BOARD APPLIED TO THE GARAGE SIDE. (CRC SECTION R302.6 & TABLE R302.6).

[2] OPENING PROTECTION: WHERE THE RESIDENCE AND PRIVATE GARAGE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, DOOR OPENINGS BETWEEN THE HOUSE AND THE GARAGE NEED ONLY BE SELF-CLOSING AND SELF-LATCHING. (CRC SECTION R302.5.1 EXCEPTION)

[3] EMERGENCY ESCAPE AND RESCUE OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 4' MEASURED FROM THE FLOOR AND A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 20" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 24". (CRC SECTION R302.2)

[4] TANKLESS WATER HEATER: SPEC PER ENERGY CALCULATIONS.

[5] ATTIC ACCESS: PROVIDE A MINIMUM 22"x30" OPENING OR LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT (CRC SECTION R807.1 & CMC SECTION 904.10) LOCATION APPROXIMATE: VERIFY/COORDINATE WITH TRUSS LAYOUT. ACCESS PANEL TO BE WEATHER-STRIPPED AND HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS EQUIVALENT TO THE SURROUNDING AREA REQUIREMENTS. (SECTION 150 OF CALIFORNIA ENERGY CODE)

[6] A/C CONDENSER: PROVIDE MINIMUM 30"x30" CONCRETE PAD MINIMUM 3" ABOVE GRADE. LOCATE PER LOT PLAN.

[7] TEMPERED SAFETY GLASS: PROVIDE TEMPERED GLASS AT HAZARDOUS LOCATIONS PER REQUIREMENTS. (CRC SECTION R308.4)

[8] DRYER: VENT DUCT SHALL BE OF METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES AND A DIAMETER OF NOT LESS THAN 4". EXTENDING TO EXTERIOR WITH BACKFRAST DAMPER. (CMC SECTION 50.4.4)

[9] WASHING MACHINE: PROVIDE PRE-FABRICATED CORROSION RESISTANT PAN UNDER WASHING MACHINE LOCATED ON UPPER FLOOR. DRAIN TO EXTERIOR.

[10] UPPER CABINETS: WALL MOUNTED ABOVE. 12" DEEP TYPICAL. 24" DEEP ABOVE REFRIGERATOR.

[11] SHOWERS & TUB/SHOWER COMBINATIONS: FLOORS AND WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (CRC SECTION R302.7)

[12] PROVIDE CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWERS. (CRC SECTION R702.4.2) LOCATE SHOWER HEAD AT 6'-6" AFF. GLAZING IN ALL FIXED AND OPERABLE PANELS OF A SWINGING, SLIDING, OR BI-FOLD DOOR SHALL BE CONSIDERED A HAZARDOUS LOCATION AND SHALL COMPLY WITH CRC SECTIONS R308.3 & R308.4.

[13] LOW WALL PROTECT WITH DOUBLE TOP PLATE. HEIGHT AT +42" AFF. [UNO]

[14] UNDER-STAR PROTECTION: PROVIDE 1/2" GYPSUM BOARD ON ALL WALLS, UNDER-STAR SURFACE AND ANY SOFFITS WITHIN ENCLOSED ACCESSIBLE SPACES. (CRC SECTION R302.7)

[15] STAIRWAYS: SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH (AND NOT HAVE A VERTICAL RISE OF MORE THAN 17"). MINIMUM HEADROOM SHALL NOT BE LESS THAN 6'-8". MAXIMUM RISER HEIGHT SHALL BE 7-3/4". AND MINIMUM TREAD DEPTH SHALL BE 10". (CRC SECTION R311.7)

[16] HANDRAILS (AND GUARDS WHERE THE TOP OF THE GUARD IS HIGHER AS A HANDRAIL): HEIGHT SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38", AND CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. (CRC SECTION R311.7.8) SEE DETAIL 6/A/D4

[17] GUARDS: SHALL BE NOT LESS THAN 42" IN HEIGHT AND RAIL DESIGN TO COMPLY WITH CODE. (CRC SECTION R312) SEE DETAIL 5/A/D4

[18] COOKING APPLIANCE: 30" COOKTOP / RANGE

[19] INTERIOR FLOOR SLOPE: FRAME AT 8'-1" AFF [UNO] 1ST FLOOR AND 2ND FLOOR FRAME AT 7'-1" AFF [UNO]

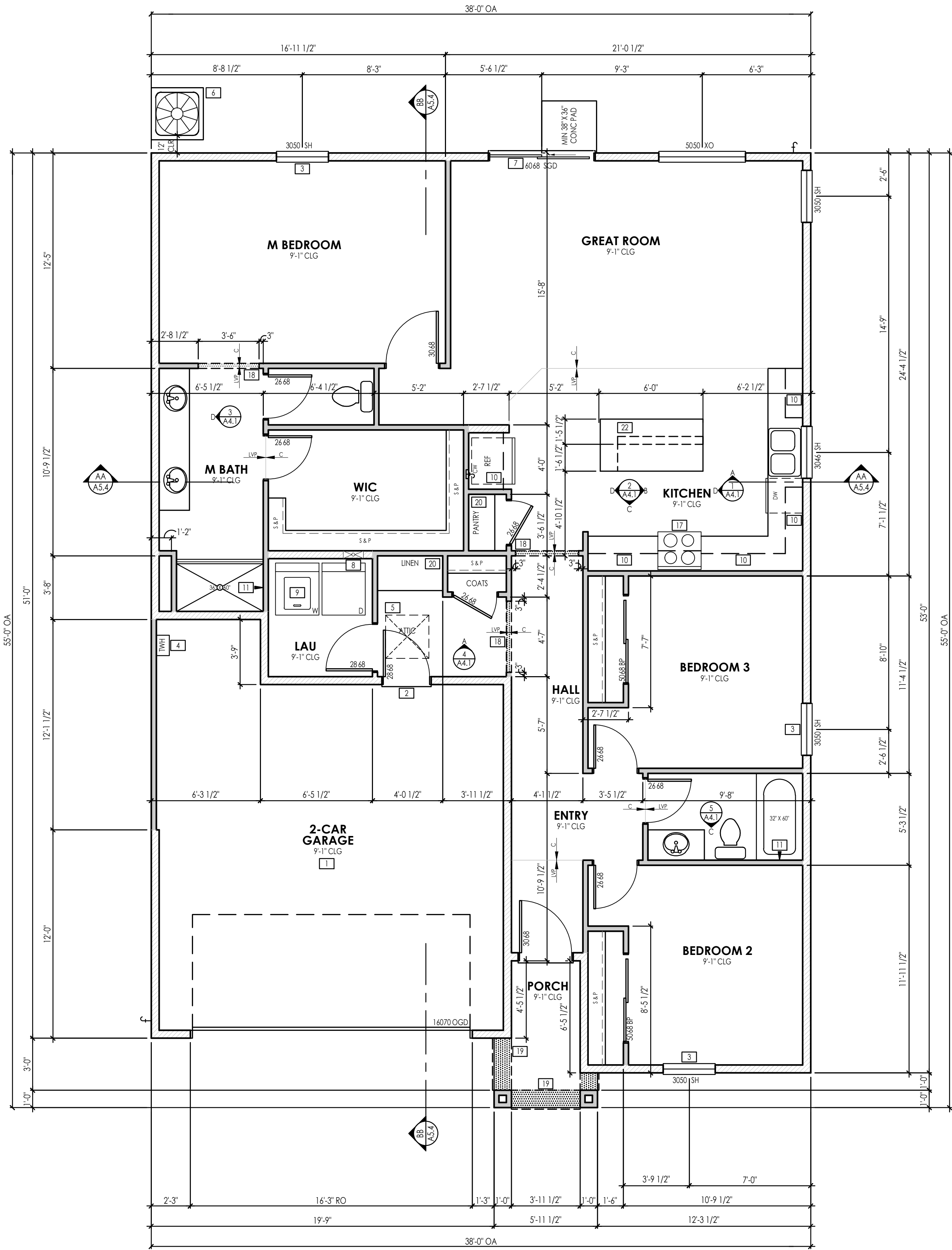
[20] EXTERIOR SOFFIT OR ARCH: SEE EXTERIOR ELEVATIONS FOR DIMENSIONS.

[21] PANTRY / LINEN: (4) SHELVES, EQUAL SPACING.

[22] DASHED LINE INDICATES OUTLINE OF FLOOR ABOVE. SOLID LINE INDICATES OUTLINE OF FLOOR BELOW.

[23] ANY UNSUPPORTED COUNTER OVER 8' WILL BE SUPPORTED BY A CORBEL.

Floor Area	
LIVING AREA:	
FIRST FLOOR LIVING:	1507.9 SQ. FT.
TOTAL LIVING AREA:	1508 SQ. FT.
OTHER AREAS:	
GARAGE:	439 SQ. FT.
COVERED PORCH :	39 SQ. FT.



# FIRST FLOOR PLAN

$$1/4'' = 1'-0''$$



## 6/4/2018

PLAN 2 (CARMEL)  
Sheet Description:  
EXTERIOR ELEVATION  
"A" (FRONT / REAR)

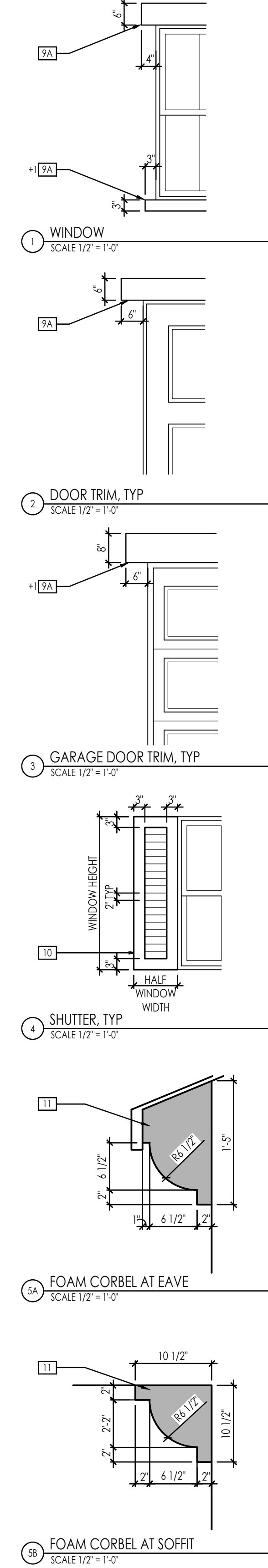
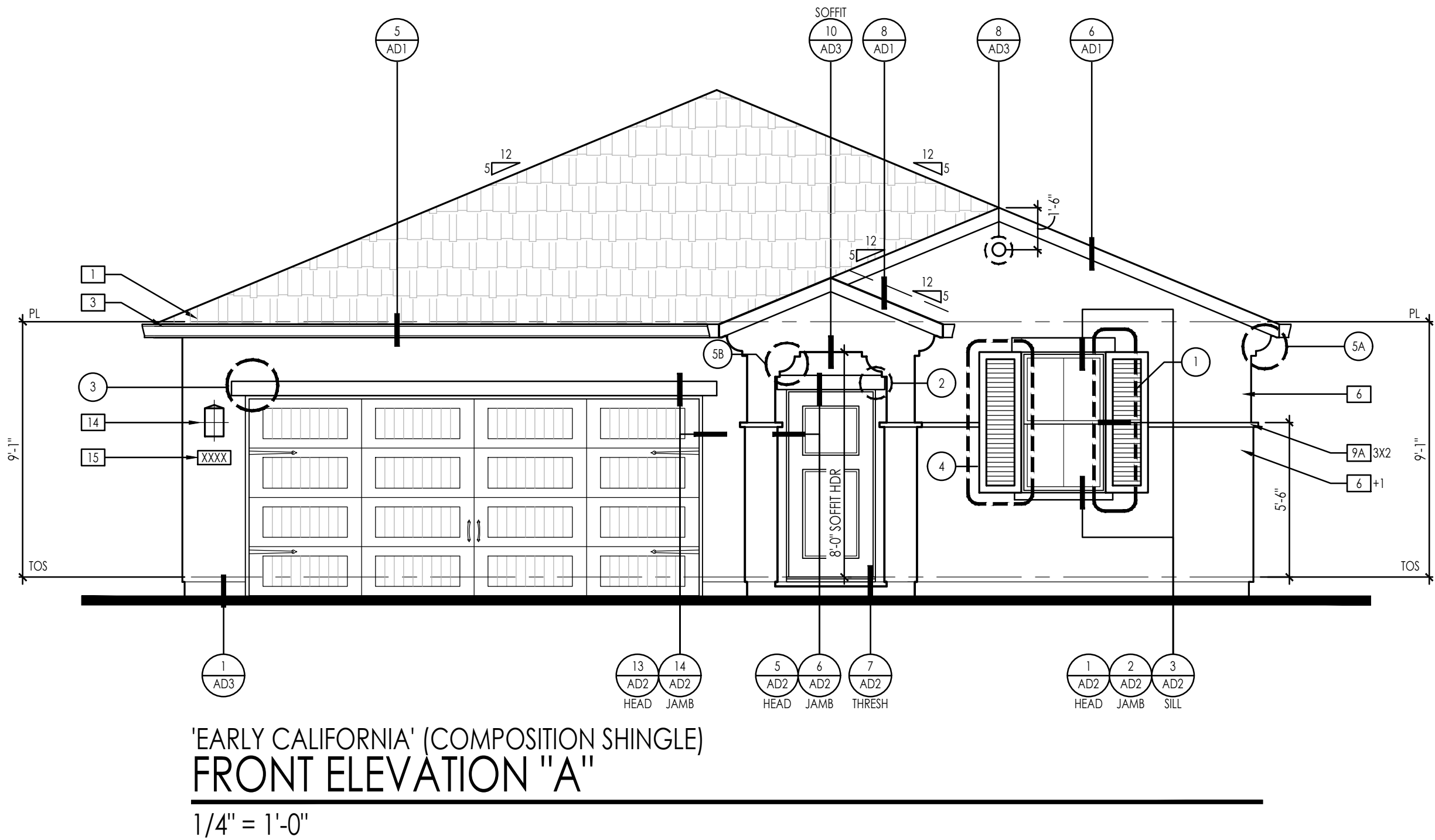
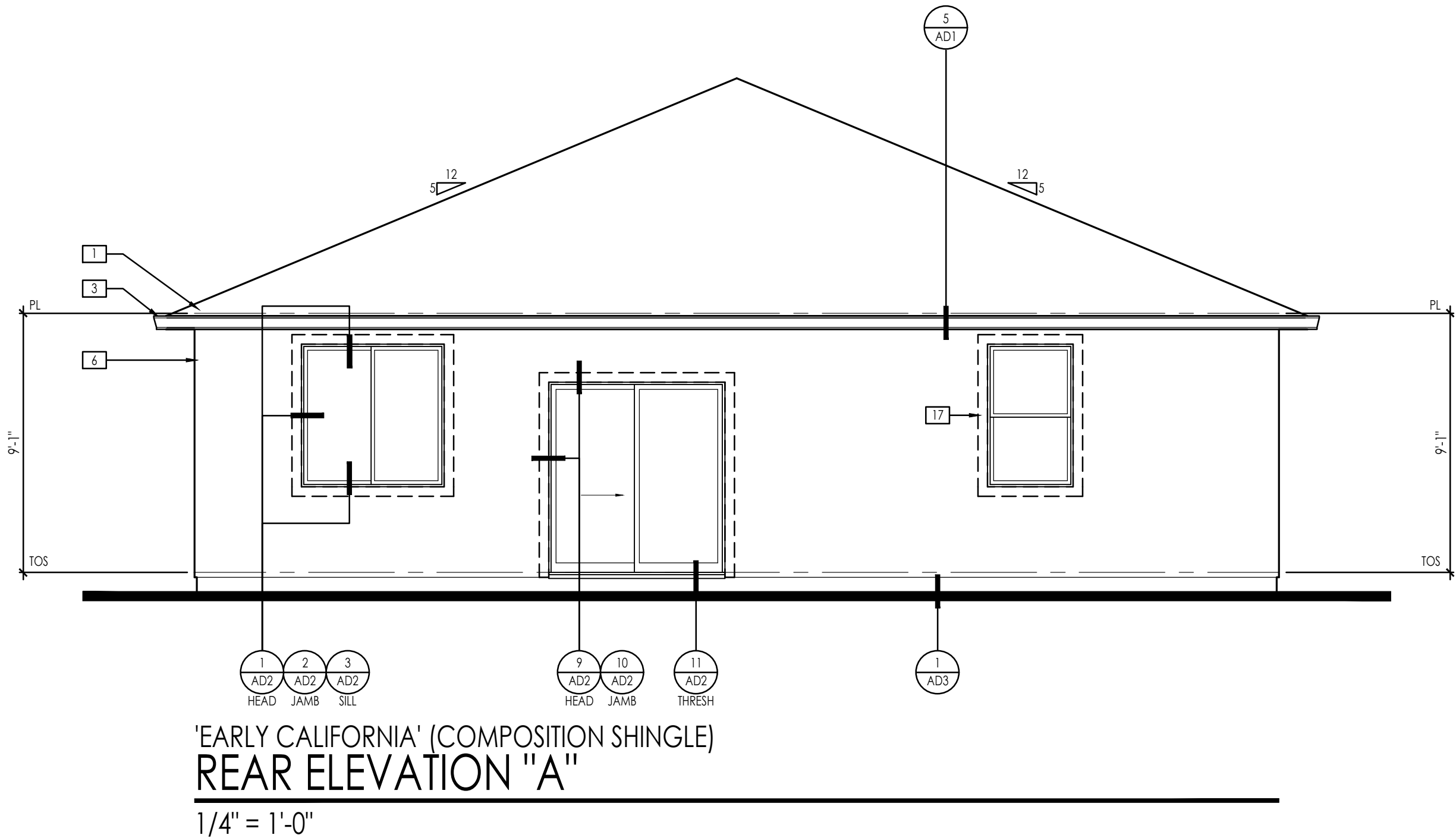
Sheet Number:

## A5.1

# Sheet Notes:

1. PARTIAL AND OPTION ELEVATIONS SHOW ONLY THE ATTRIBUTES AND DETAILS UNIQUE TO THE PARTIAL, OR OPTION ELEVATION. REFER TO BASE ELEVATION FOR INFORMATION NOT SHOWN.
2. WINDOW "HEAD" HEIGHTS:
  - 1ST FLOOR = 8'-0" AFF (JUNO)
  - 2ND FLOOR = 7'-0" AFF (JUNO)
  - DOOR HEIGHTS AS NOTED ON FLOOR PLANS.
3. EXTERIOR WALLS (PER IFM INSTALLATION INSTRUCTIONS):
  - 1-COAT STUCCO SYSTEM: OVER MIN 1" FOAM INSULATION, OVER ONE LAYER OF 40-MINUTE GARDEN PAPER OR EQUAL, OVER STUDS OR WOOD-BASED SHEATHING.
4. ROOFING: REFER TO ROOF PLAN SHEET NOTES.
5. WINDOWS: VINYL, SPEC PER BUILDER.  
GRIDS / DIVIDED LITES AS SHOWN.
6. ENTRY DOORS: RAISED PANEL, SPEC PER BUILDER.  
OVER HEAD GARAGE DOORS:  
STEEL, SECTIONAL, SPEC PER BUILDER.  
RAISED PANEL AND GLASS INSERTS AS SHOWN.
7. FASCIA BOARD: 2X6, UNLESS NOTED OTHERWISE.  
REFER TO ELEVATION KEYNOTES.
8. BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE.  
REFER TO ELEVATION KEYNOTES.
9. ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC §319.1).
  - A. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
  - B. NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/16".
10. ROOF HEELS: LABELED AS  
STANDARD HEEL: 40".  
RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS.

- 1 MINIMUM CLASS 'A' ROOFING.  
REFER TO ROOF PLAN SHEET NOTES.
- 2 2X6 FASCIA / BARGE RAFTER
- 3 GUTTER. STYLE SPEC PER BUILDER.
- 4 DOWNSPOUT. STYLE SPEC PER BUILDER.
- 5 CORROSION RESISTANT ROOF TO WELD FLASHING.  
REFER TO ROOF DETAILS.
- 6 EXTERIOR STUCCO, TYPICAL 40" [UNO], STANDARD FINISH.
- 7 EXTERIOR Siding MATERIAL, COMPOSITE WOOD WITH WOOD GRAIN FINISH:
  - A. LAP WITH 6" REVEAL.
  - B. 1X2 BOARD & BATTEN [BATTEN AT 16" OC].
- 8 EXTERIOR ADHAPED MASONRY VENEER, SPEC PER BUILDER.  
HEIGHT AND WRAP-BACK AS NOTED.
- 9 TRIM, SIZE AS NOTED [HEIGHT X DEPTH] OR SEE DETAIL:
  - A. STUCCO OVER FOAM, LIGHT SAND FINISH.
  - B. COMPOSITE WOOD WITH WOOD GRAIN FINISH [NOMINAL SIZE].
- 10 FAUX WOOD SHUTTER [STYLE PER DESIGN DETAIL]  
ATTACHMENT PER MFG RECOMMENDATION.
- 11 DECORATIVE SHAPED FOAM STUCCO CORBEL, PER DESIGN DETAIL.
- 12 DECORATIVE FAUX BEAM, SIZE AS NOTED. SEE DETAIL: 9/AD3.
- 13 DECORATIVE GABLE END VENT, SIZE AS NOTED:
- 14 EXTERIOR COACH LIGHT; MOUNT AT +84' AFF [UNO].
- 15 ADDRESS NUMBER: MOUNT AT +66' AFF [UNO].
- 16 UTILITY CONNECTIONS [TYPICAL], PER MUNICIPAL CODES.
- 17 DESIGN ELEMENT REQUIRED AT ENHANCED ELEVATION ONLY.

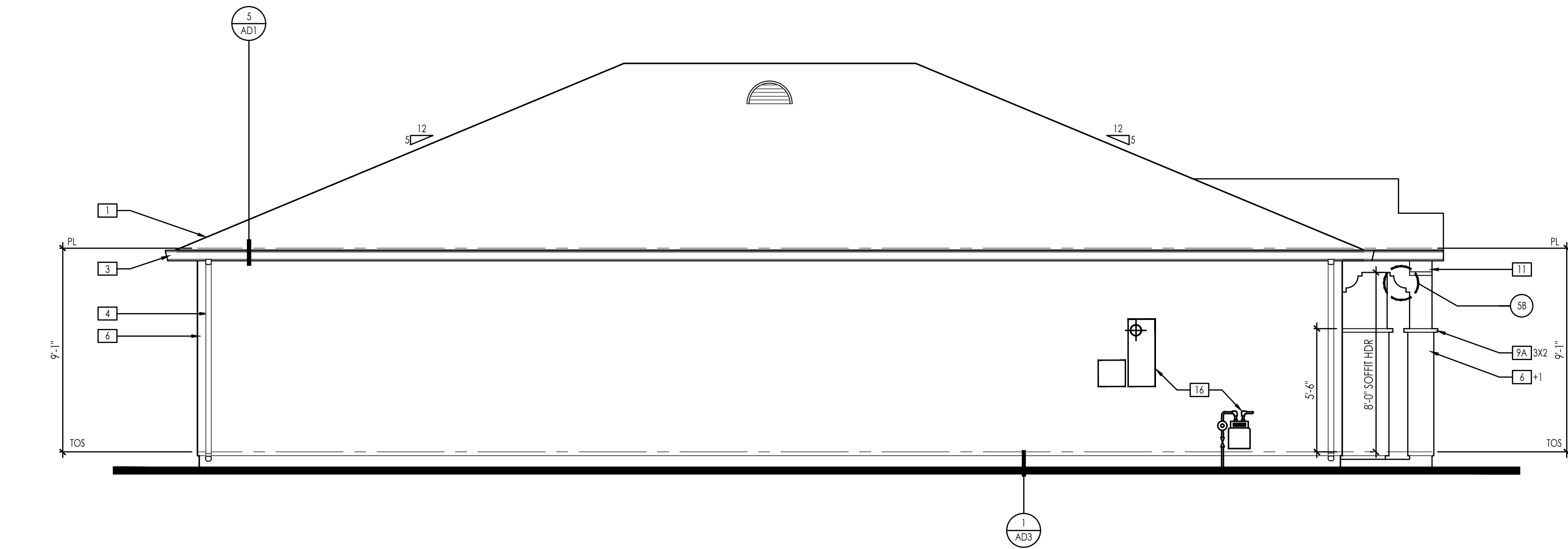


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# Sheet Notes:

1. PARTIAL AND OPTION ELEVATIONS SHOW ONLY THE ATTRIBUTES AND DETAILS UNIQUE TO THE PARTIAL OR OPTION ELEVATION. REFER TO BASE ELEVATION FOR INFORMATION NOT SHOWN.
2. WINDOW HEAD HEIGHTS:
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  - 2ND FLOOR = 7'-0" AFF (JUNO)
  - DOOR HEIGHTS AS NOTED ON FLOOR PLANS.
3. EXTERIOR WALLS (PER IFM MFG INSTALLATION INSTRUCTIONS):
  - 1-COAT STUCCO SYSTEM: OVER MIN 1" FOAM INSULATION, OVER ONE LAYER OF 40-MINUTE GARDEN D PAPER OR EQUAL, OVER STUDS OR WOOD-BASED SHEATHING.
4. ROOFING: REFER TO ROOF PLAN SHEET NOTES.
5. WINDOWS: VINYL, SPEC PER BUILDER.
6. GRIDS / DIVIDED LITES AS SHOWN.
7. ENTRY DOORS: RAISED PANEL, SPEC PER BUILDER.
7. OVER HEAD GARAGE DOORS:
  - STEEL, SECTIONAL, SPEC PER BUILDER.
  - RAISED PANEL AND GLASS INSERTS AS SHOWN.
8. FASCIA BOARD: 2X6, UNLESS NOTED OTHERWISE.  
REFER TO ELEVATION KEYNOTES.
9. BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE.  
REFER TO ELEVATION KEYNOTES.
10. ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC §131.1).
  - A. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
  - B. NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2".
10. ROOF HEELS: LABELED AS STANDARD HEEL: "0".  
RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS.

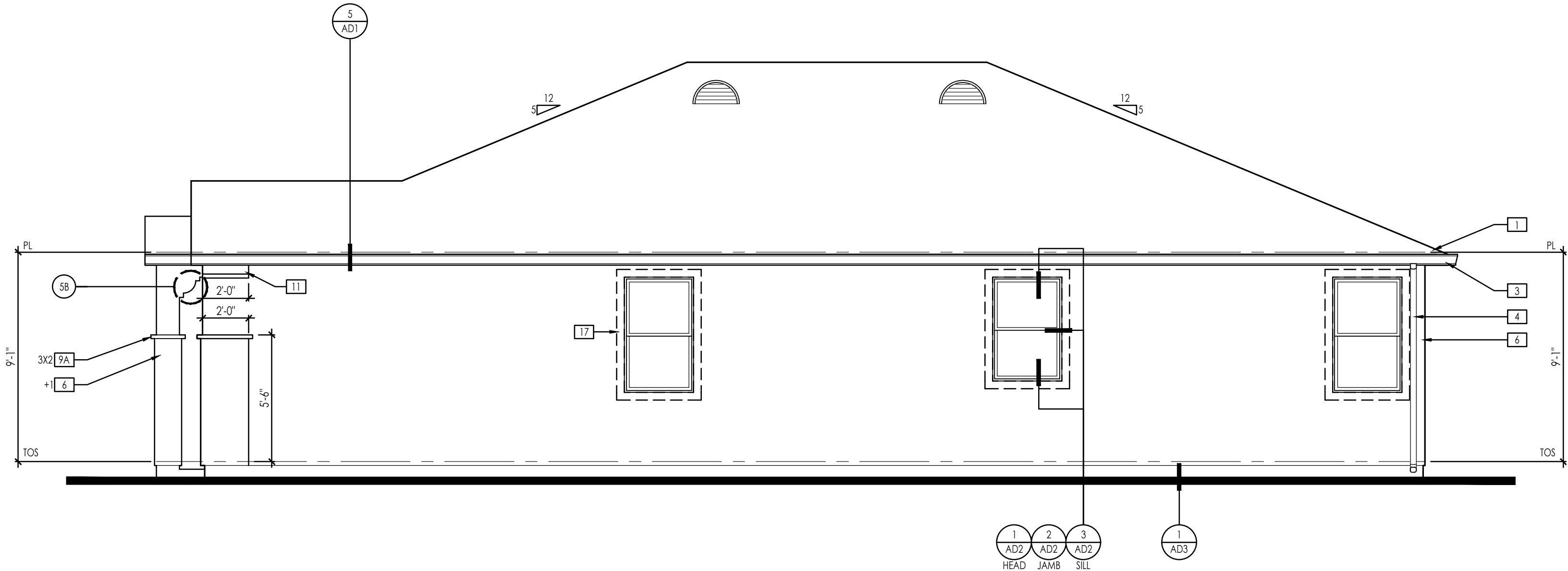
- 1 MINIMUM CLASS 'A' ROOFING.  
REFER TO ROOF PLAN SHEET NOTES.
- 2 2X6 FASCIA / BARGE RAFTER
- 3 GUTTER, STYLE SPEC PER BUILDER.
- 4 DOWNSPOUT, STYLE SPEC PER BUILDER.
- 5 CORROSION RESISTANT ROOF TO FLAT FLASHING.  
REFER TO ROOF DETAILS.
- 6 EXTERIOR STUCCO, TYPICAL "4" [UNQ]. STANDARD FINISH.
- 7 EXTERIOR SIDING MATERIAL, COMPOSITE WOOD WITH WOOD GRAIN FINISH:
  - A. LAP WITH 6" REVEAL.
  - B. 1X2 BOARD & BATTEN [BATTEN AT 16" OC].
- 8 EXTERIOR ADHESIVE MASONRY VENEER, SPEC PER BUILDER.  
HEIGHT AND WRAP-46 AS NOTED.
- 9 TRIM, SIZE AS NOTED [HEIGHT X DEPTH] OR SEE DETAIL:
  - A. STUCCO OVER FOAM, LIGHT SAND FINISH.
  - B. COMPOSITE WOOD WITH WOOD GRAIN FINISH [NOMINAL SIZE].
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ATTACHMENT PER MFG RECOMMENDATION.
- 11 DECORATIVE SHAPED FOAM STUCCO CORBEL, PER DESIGN DETAIL.
- 12 DECORATIVE FAUX BEAM, SIZE AS NOTED, SEE DETAIL: 9/A03.
- 13 DECORATIVE GABLE END VENT, SIZE AS NOTED:
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- 16 UTILITY CONNECTIONS [TYPICAL], PER MUNICIPAL CODES.
- 17 DESIGN ELEMENT REQUIRED AT ENHANCED ELEVATION ONLY.



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)  
LEFT ELEVATION "A"

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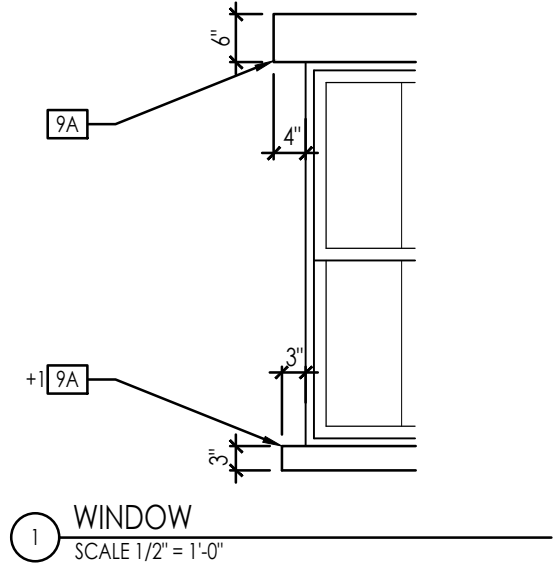
1/4" = 1'-0"



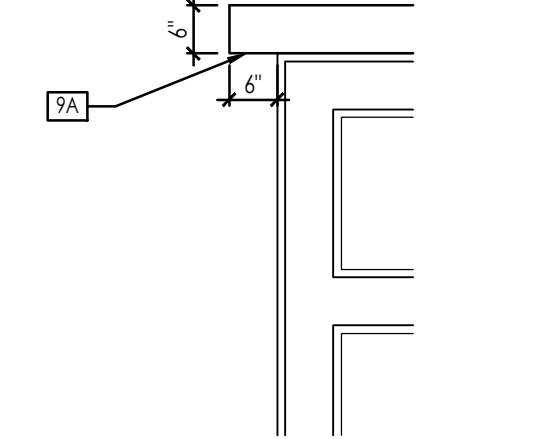
'EARLY CALIFORNIA' (COMPOSITION SHINGLE)  
RIGHT ELEVATION "A"

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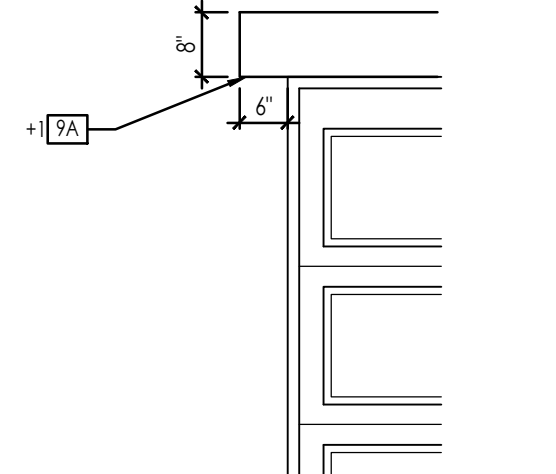
1/4" = 1'-0"



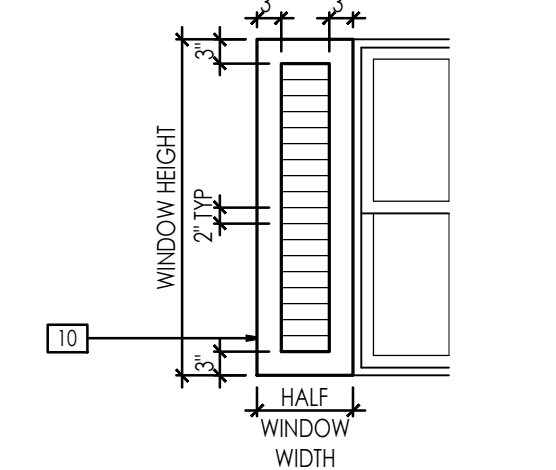
1 WINDOW  
SCALE 1/2" = 1'-0"



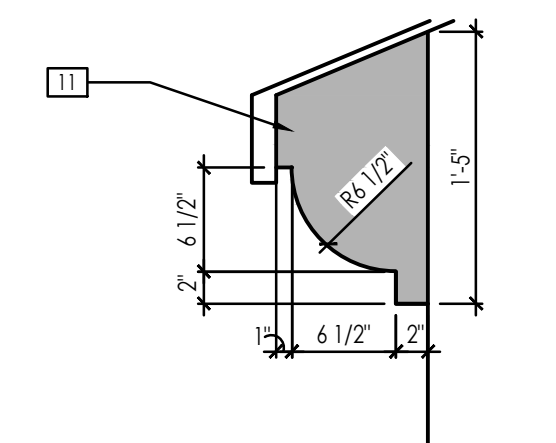
2 DOOR TRIM, TYP  
SCALE 1/2" = 1'-0"



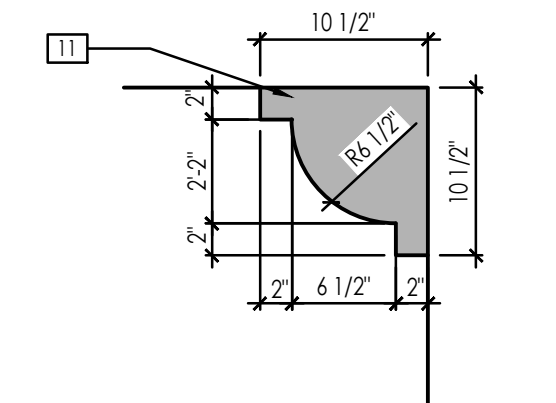
3 GARAGE DOOR TRIM, TYP  
SCALE 1/2" = 1'-0"



4 SHUTTER, TYPE  
SCALE 1/2" = 1'-0"



5A FOAM CORBEL AT EAVE  
SCALE 1/2" = 1'-0"



58 FOAM CORE  
SCALE 1/2" = 1'-0"



# Feather Glen

Olivehurst, California



1450 LAKE ROBBINS DRIVE, SUITE 140  
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JD+A Project Number: 18050

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PLAN 2 (CARMEL)  
Sheet Description:  
ROOF PLAN "A"

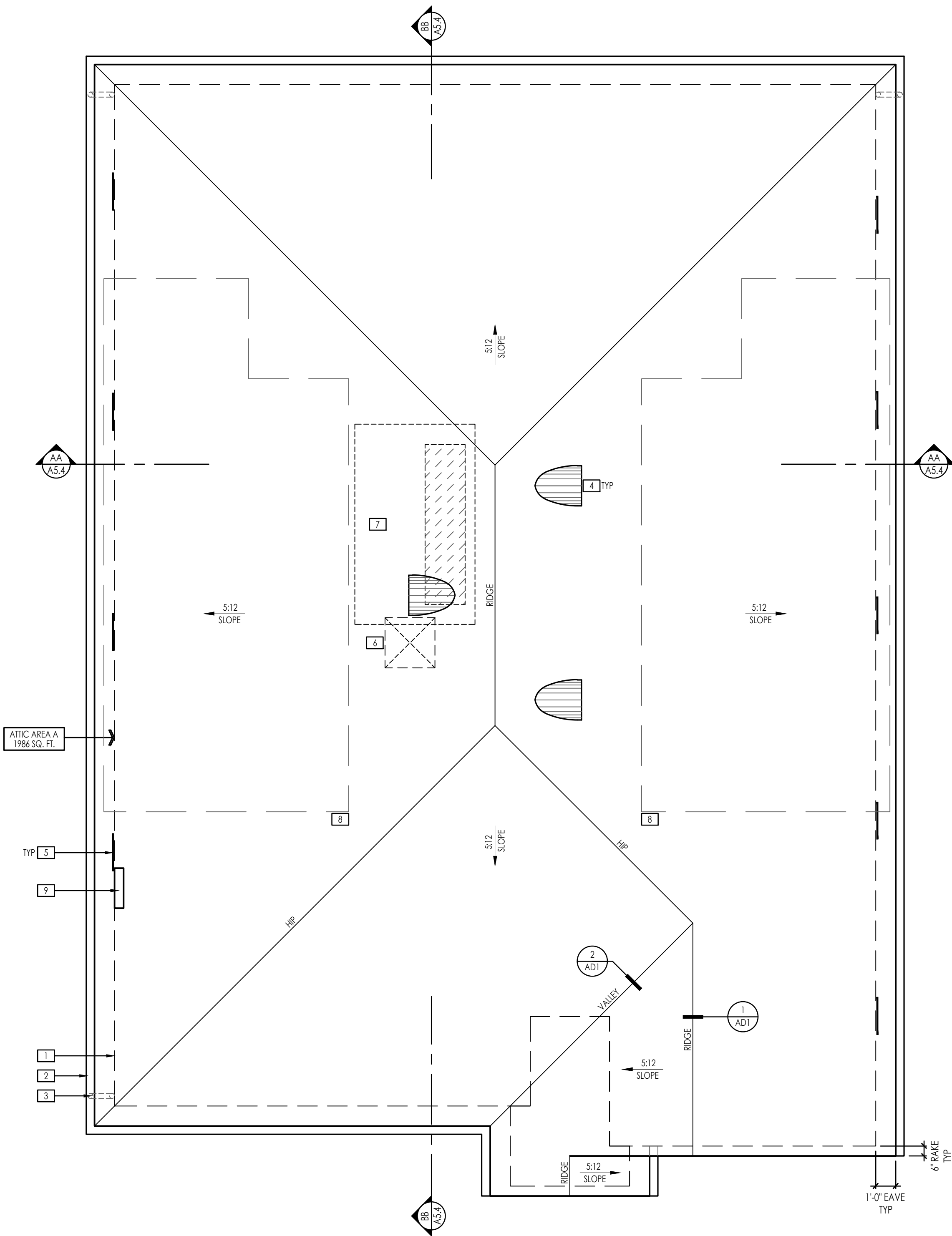
Sheet Number:

## A5.3

6/4/2018 PERMIT SET

6/4/2018

'EARLY CALIFORNIA' (COMPOSITION SHINGLE)  
ROOF PLAN "A"

$$1/4'' = 1'-0''$$


### ATTIC VENTILATION:

Elevation "A"

NOTE:

Contractor shall verify that installed venting provides the min required net free vent area as specified in this table.

AREA A		
Attic Area:		1986 sq. ft.
Vent Ratio:	1/ 300	
<b>Minimum Venting Required:</b>		<b>953 sq. in.</b>
	Quantity	Venting Area
24 in. Dormer Vents NFVA sq.in.: 134	3	402 sq. in.
Percent High:	40.73%	
Full Screen Eave Vents NFVA sq.in.: 65	9	585 sq. in.
<b>Total Venting Provided:</b>		<b>987 sq. in.</b>

## Roof Plan Keynotes:

- 1 LINE OF EXTERIOR WALL BELOW.
- 2 GUTTER: STYLE SPEC PER BUILDER.
- 3 DOWNSPOUT: STYLE SPEC PER BUILDER.  
LOCATION & COUNT TO BE SITE-VERIFIED.
- 4 ATTIC VENT: TYPE PER ATTIC VENTILATION SCHEDULE.  
LOCATION TO BE SITE VERIFIED.
- 5 EAVE VENTS, THIS AREA: TYPE PER ATTIC VENTILATION SCHEDULE.  
COORDINATE LOCATION WITH STRUCTURAL ENGINEER.
- 6 ATTIC ACCESS: LOCATION APPROXIMATE, COORDINATE IN  
FIELD WITH TRUSS.
- 7 FAU & PLATFORM LOCATION: PROVIDE UNOBSTRUCTED  
ACCESS AND PASSAGEWAY AT LEAST AS LARGE AS THE  
LARGEST COMPONENT OF THE APPLIANCE, BUT NOT LESS THAN  
22" X 30" WITH FLOOR FINISHING MINIMUM 24" WIDE. DISTANCE  
FROM ACCESS TO APPLIANCE SHALL NOT EXCEED 20'.  
PROVIDE A MINIMUM 30"X30" PLATFORM AT SERVICE SIDE OF  
EQUIPMENT (CANC SECTION 904.4 SEE DETAIL 1/ADA,  
VERIFY LOCATION WITH MECHANICAL DRAWINGS.
- 8 POTENTIAL FUTURE SOLAR ZONE LOCATION
- 9 FUTURE SOLAR PATHWAY ROUTING LOCATION.

### Attic Vent Legend:



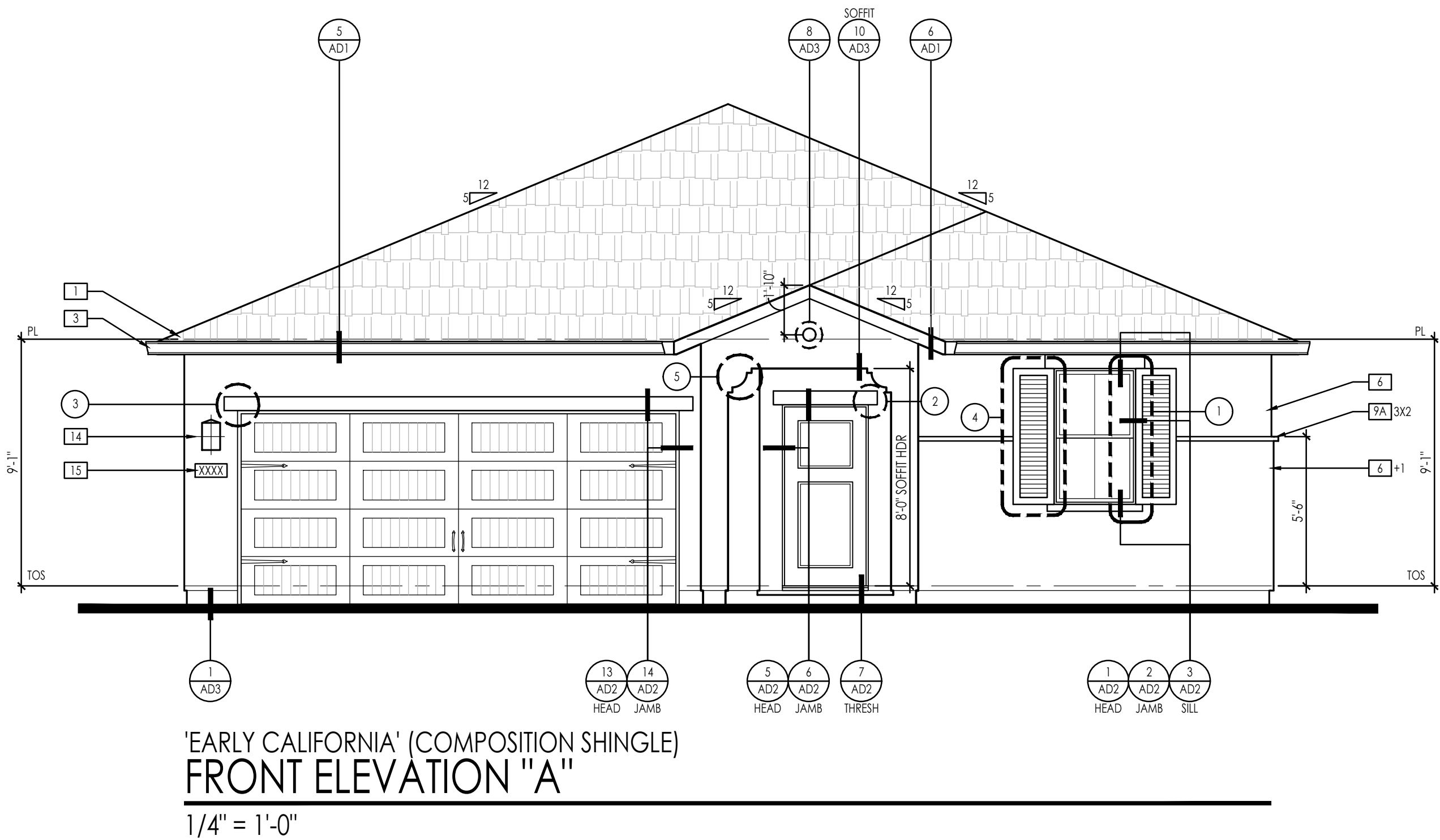
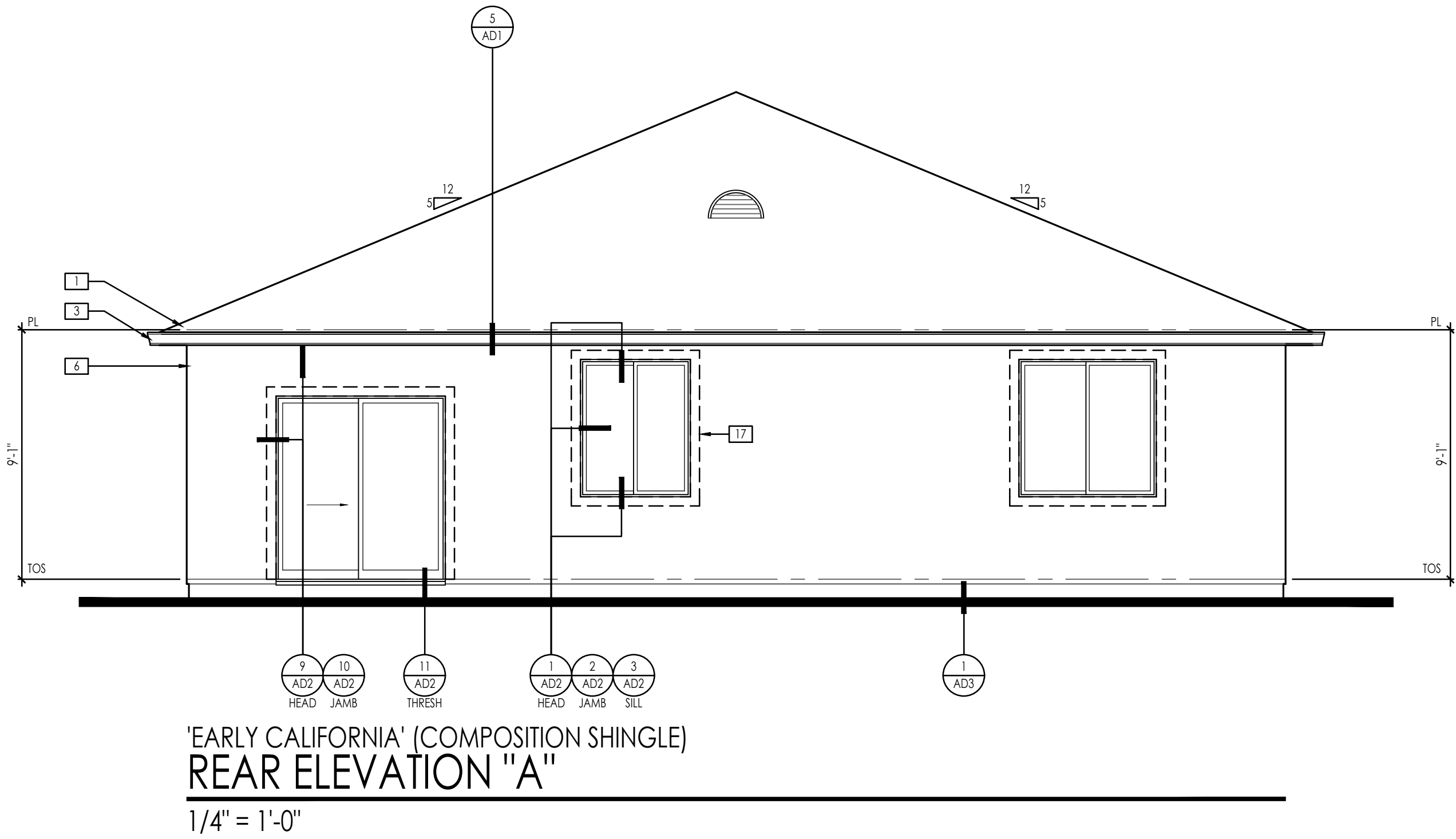
TYPICAL EAVE VENT  
LOCATED TO PROVIDE "LOW" VENTING.



TYPICAL DORMER VENT  
LOCATED TO PROVIDE "HIGH" VENTING

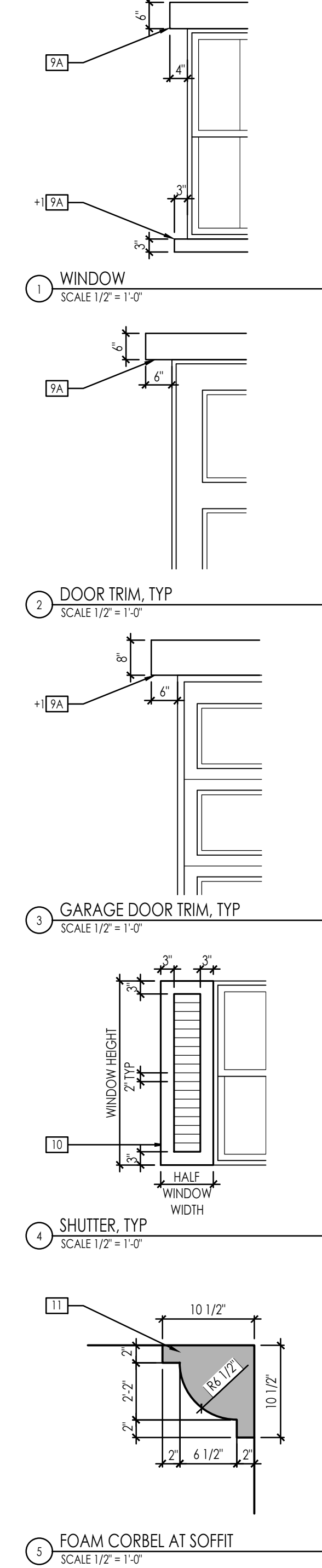






Elevation Design Details: Sheet Notes:

THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.

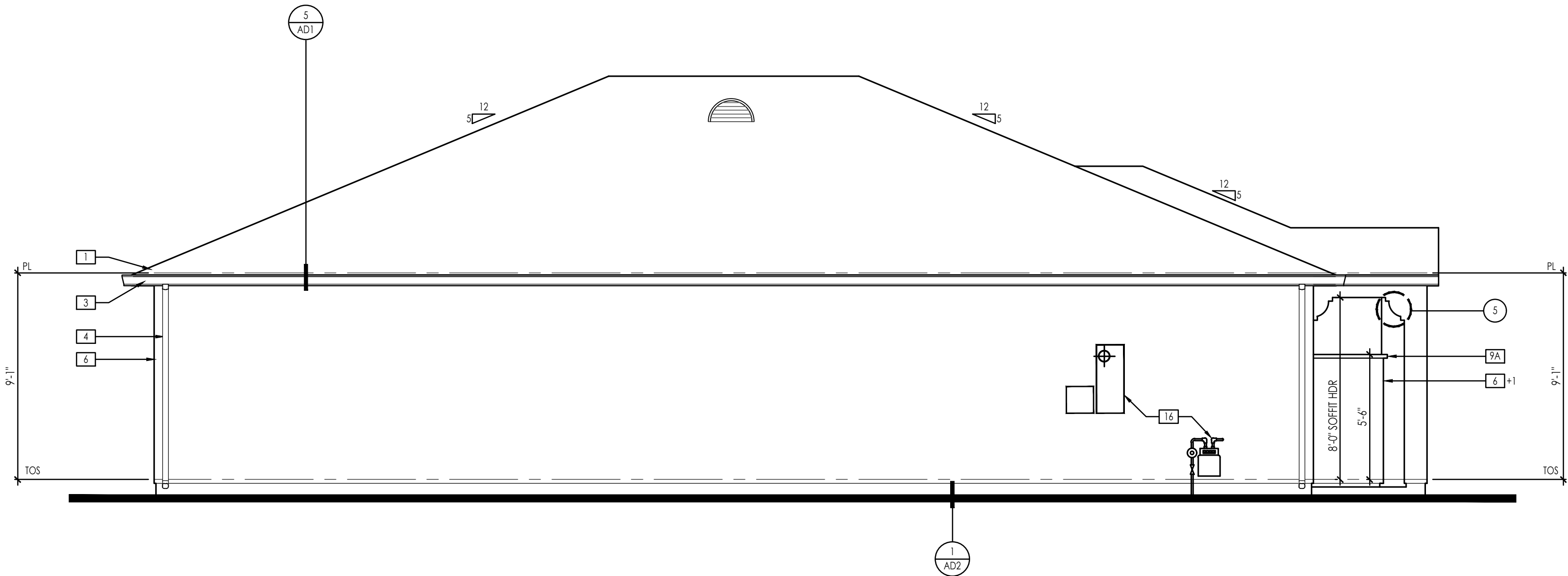


- PARTIAL AND OPTION ELEVATIONS SHOW ONLY THE ATTRIBUTES AND DETAILS UNIQUE TO THE PARTIAL OR OPTION ELEVATION. REFER TO BASE ELEVATION FOR INFORMATION NOT SHOWN.
- WINDOW "HEAD" HEIGHTS:
  - 1ST FLOOR = 8'-0" AFF (JUNO)
  - 2ND FLOOR = 7'-0" AFF (JUNO)
  - DOOR HEIGHTS AS NOTED ON FLOOR PLANS.
- EXTERIOR WALLS (PER MFG INSTALLATION INSTRUCTIONS):
  - 1-COAT STUCCO SYSTEM: OVER MIN 1" FOAM INSULATION, OVER ONE LAYER OF 40-MINUTE GRADE D PAPER OR EQUAL, OVER STUDS OR WOOD-BASED SHEATHING.
- ROOFING: REFER TO ROOF-PLAN SHEET NOTES.
- WINDOWS: VINYL, SPEC PER BUILDER, GRIDS / DIVIDED LITES AS SHOWN.
- ENTRY DOORS: RAISED PANEL, SPEC PER BUILDER.
- OVER HEAD GARAGE DOORS:
  - STEEL SECTIONAL, SPEC PER BUILDER.
  - RAISED PANEL AND GLASS INSERTS AS SHOWN.
- FASCIA BOARD: 2X6, UNLESS NOTED OTHERWISE. REFER TO ELEVATION KEYNOTES.
- BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE. REFER TO ELEVATION KEYNOTES.
- ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC R319.1)
  - A. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
  - B. NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2".
- ROOF HEELS: LABELED AS
  - STANDARD HEEL: -40"
  - RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS.

Elevation Keynotes:

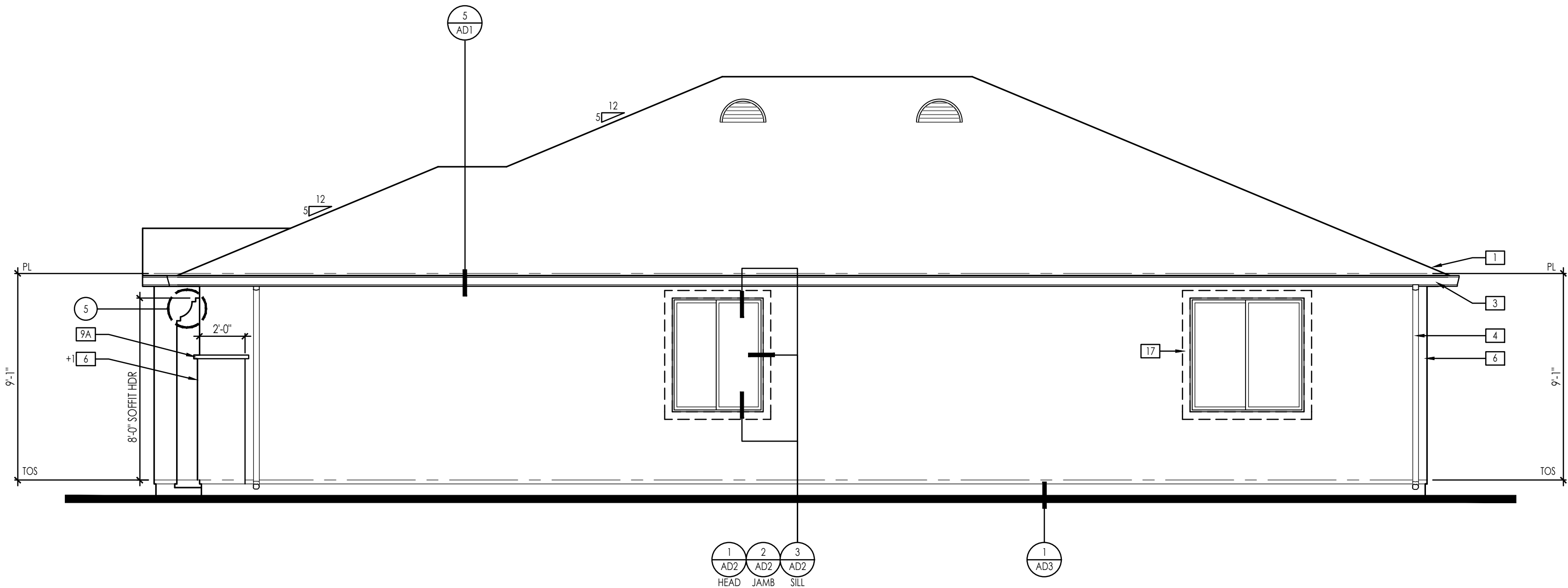
- MINIMUM CLASS 'A' ROOFING. REFER TO ROOF-PLAN SHEET NOTES.
- 2X6 FASCIA / BARGE RAFTER
- GUTTER, STYLE SPEC PER BUILDER.
- DOWNSPOUT, STYLE SPEC PER BUILDER.
- CORROSION RESISTANT ROOF TO WALL FLASHING. REFER TO ROOF DETAILS.
- EXTERIOR STUCCO, TYPICAL +40" (JUNO), STANDARD FINISH.
- EXTERIOR SIDING MATERIAL, COMPOSITE WOOD WITH WOOD GRAIN FINISH:
  - A. LAP WITH 6" REVEAL.
  - B. 1X2 BOARD & BATTEN (BATTEN AT 16" OC).
- EXTERIOR ADHERED MASONRY VENEER, SPEC PER BUILDER. HEIGHT AND WRAP-BACK AS NOTED.
- TRIM, SIZE AS NOTED (HEIGHT X DEPTH) OR SEE DETAIL:
  - A. STUCCO OVER FOAM, LIGHT SAND FINISH.
  - B. COMPOSITE WOOD WITH WOOD GRAIN FINISH (NOMINAL SIZE).
- FAUX WOOD SHUTTER (STYLE PER DESIGN DETAIL) ATTACHMENT PER MFG RECOMMENDATION.
- DECORATIVE SHAPED FOAM STUCCO CORBEL, PER DESIGN DETAIL.
- DECORATIVE FAUX BEAM, SIZE AS NOTED. SEE DETAIL: 9/AD3.
- DECORATIVE GABLE END VENT, SIZE AS NOTED.
- EXTERIOR COACH LIGHT: MOUNT AT +84" AFF (JUNO).
- ADDRESS NUMBER: MOUNT AT +66" AFF (JUNO).
- UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES.
- DESIGN ELEMENT REQUIRED AT ENHANCED ELEVATION ONLY.

Sheet Revisions		
#	DATE	COMMENT
-	-	INITIAL PLAN CHECK SUBMITAL



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)  
LEFT ELEVATION "A"

1/4" = 1'-0"

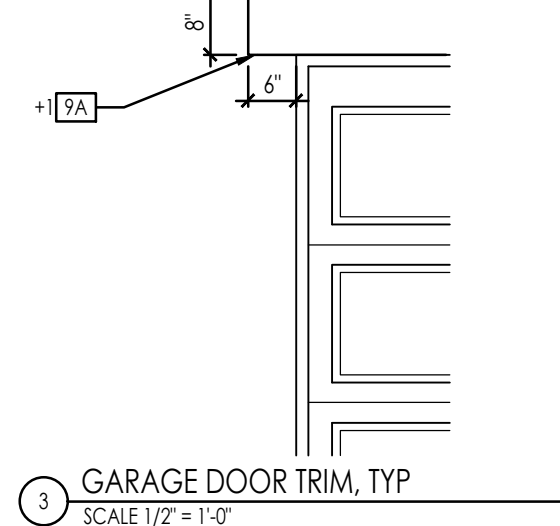
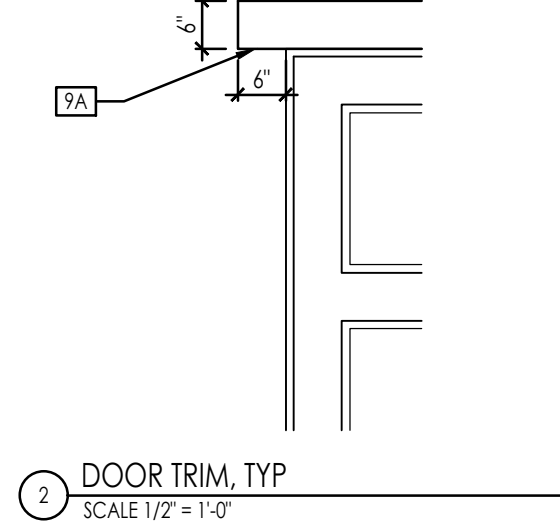
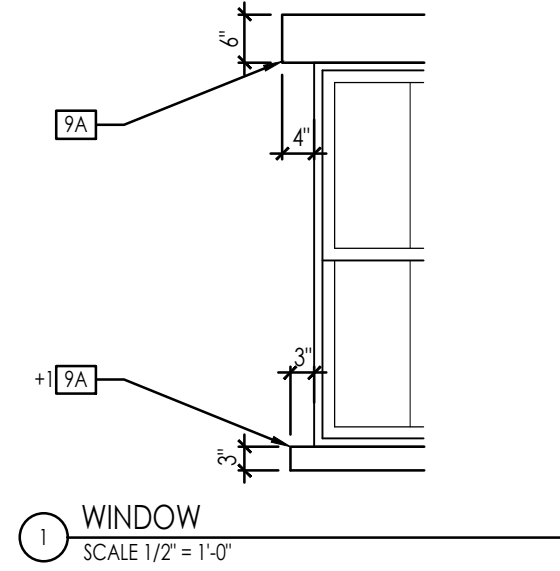


'EARLY CALIFORNIA' (COMPOSITION SHINGLE)  
RIGHT ELEVATION "A"

1/4" = 1'-0"

Elevation Design Details:

THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.

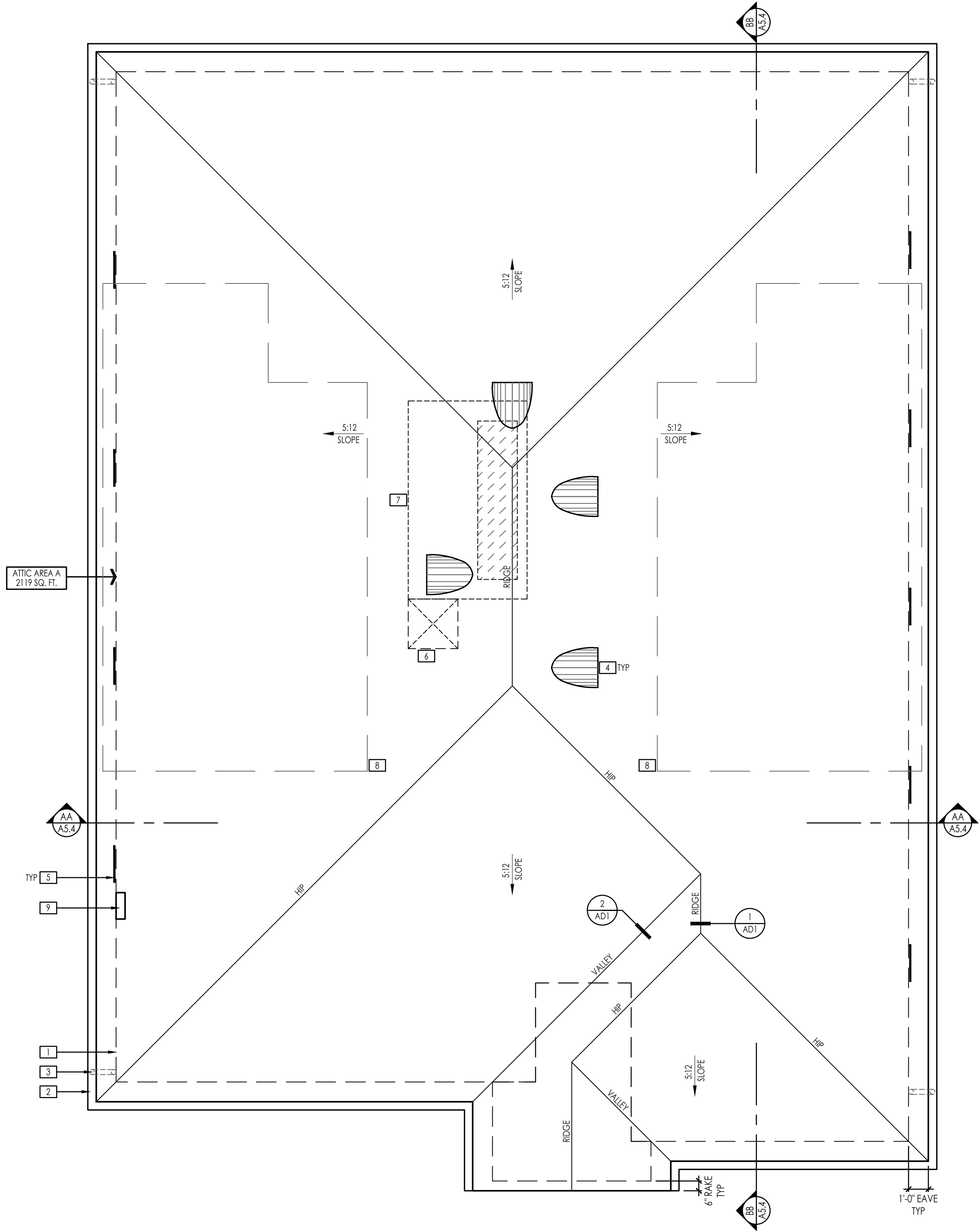




ATTIC VENTILATION:  
Elevation "A"

NOTE:  
Contractor shall verify that installed venting provides the  
min required net free vent area as specified in this table.

AREA A		
Attic Area:		2119 sq. ft.
Vent Ratio:	1/ 300	
Minimum Venting Required:		1017 sq. in.
	Quantity	Venting Area
24 in. Dormer Vents	4	536 sq. in.
Percent High:	47.81%	
Full Screen Eave Vents	9	585 sq. in.
Total Venting Provided:		1121 sq. in.



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)  
ROOF PLAN "A"

1/4" = 1'-0"

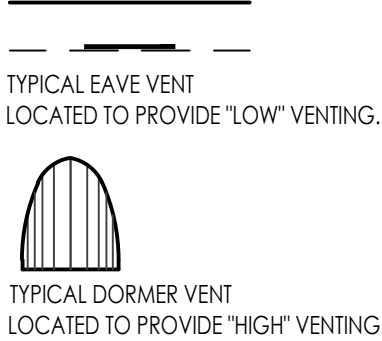
Sheet Notes:

1. ROOFING: CLASS 'A' FIRE-RETARDANT CONCRETE TILES, MFG SPEC PER BUILDER. REFER TO ELEVATION SHEETS FOR FASCIA AND BARGE RAFTER SIE. TILE TYPE PER ELEVATION STYLE:
  - 'BUNGALOW': COMPOSITION SHINGLE
  - 'COTTAGE': COMPOSITION SHINGLE
2. ATTIC VENTILATION: ACTUAL NET FREE AREA OF INSTALLED ROOF VENTILATION SHALL MEET OR EXCEED REQUIRED VENTILATION AREA AS INDICATED IN THE VENTILATION TABLE. THE CONTRACTOR MAY SUBSTITUTE TYPE OF VENTING AND/OR MANUFACTURER, BUT SHALL VERIFY THAT ACTUAL TOTAL NET FREE VENT AREA OF INSTALLED VENTING MEETS OR EXCEEDS CODE REQUIREMENTS. ATTIC VENTING MAY BE ACCOMPLISHED WITH EAVE VENTS, GABLE WALL VENTS, DORMER VENTS, RIDGE VENTS OR OTHER MANUFACTURERS VENT PRODUCTS, OR IN ANY COMBINATION THEREOF THAT PROVIDES THE REQUIRED VENTING. THE CONTRACTOR SHALL VERIFY MANUFACTURERS STATED ACTUAL NET FREE VENTING AREA OF ANY VENTILATION PRODUCT INSTALLED.
3. VENTILATION: PROVIDE ROOF/ATTIC CROSS VENTILATION FOR EACH SEPARATE ATTIC SPACE. REFER TO ATTIC VENT CALCULATIONS FOR REQUIRED VENT AREA. OVERLAPPING OR 'CALIFORNIA' FRAMED ROOF AREAS SHALL HAVE OPENINGS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO THE ADJACENT ATTIC TO ALLOW ACCESS AND CROSS VENTILATION BETWEEN THE TWO SPACES. ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CODE REQUIREMENTS. (CRC SECTION R806.1)
4. MINIMUM AREA: THE TOTAL NET FREE VENTING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATION AREA SHALL BE PROVIDED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. WITH THE BALANCE OF REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. (CRC SECTION R806.2)
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Roof Plan Keynotes:

- 1 LINE OF EXTERIOR WALL BELOW.
- 2 GUTTER: STYLE SPEC PER BUILDER.
- 3 DOWNSPOUT: STYLE SPEC PER BUILDER. LOCATION & COUNT TO BE SITE-VERIFIED.
- 4 ATTIC VENT: TYPE PER ATTIC VENTILATION SCHEDULE. LOCATION TO BE SITE VERIFIED.
- 5 EAVE VENTS, THIS AREA: TYPE PER ATTIC VENTILATION SCHEDULE. COORDINATE LOCATION WITH STRUCTURAL ENGINEER.
- 6 ATTIC ACCESS: LOCATION APPROXIMATE. COORDINATE IN FIELD WITH TRUSS.
- 7 FAU & PLATFORM LOCATION: PROVIDE UNOBSTRUCTED ACCESS AND PASSAGEWAY AT LEAST AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE, BUT NOT LESS THAN 22" X 30" WITH SOLID FLOORING MINIMUM 24" WIDE. DISTANCE FROM ACCESS TO APPLIANCE SHALL NOT EXCEED 20'. PROVIDE A MINIMUM 30"X30" PLATFORM AT SERVICE SIDE OF EQUIPMENT. (CMC SECTION 304.4) SEE DETAIL 1/AD.4. VERIFY LOCATION WITH MECHANICAL DRAWINGS.
- 8 POTENTIAL FUTURE SOLAR ZONE LOCATION
- 9 FUTURE SOLAR PATHWAY ROUTING LOCATION.

Attic Vent Legend:

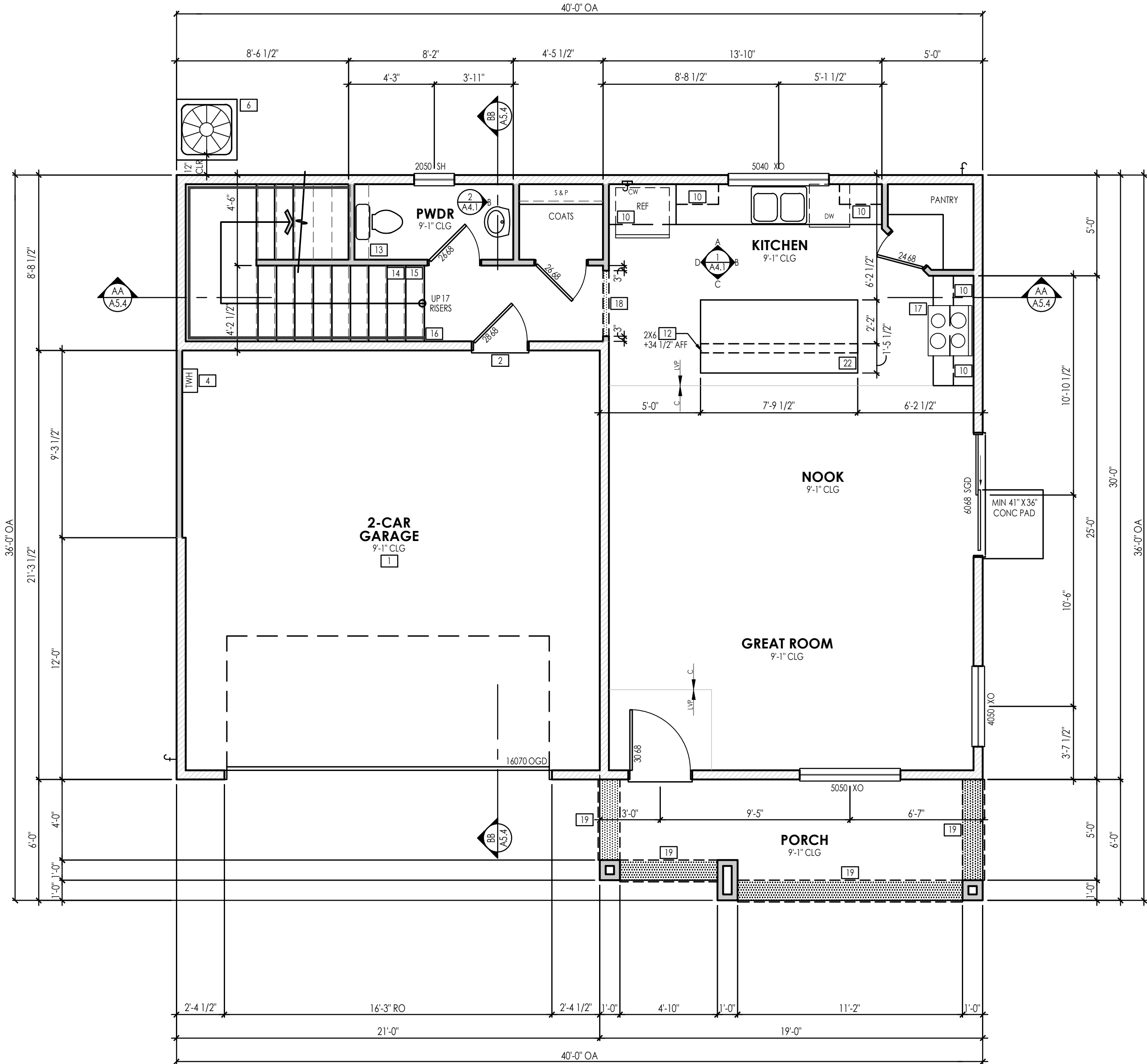


Sheet Revisions		
#	DATE	COMMENT
-	-	INITIAL PLAN CHECK SUBMITTAL

1. FIRE BLOCKING SHALL BE PROVIDED IN ALL CONCEALED SPACES [CRC SECTION R302.11].
2. ALL DIAGONAL WALLS TO BE 45 DEGREES [UNO].
3. WINDOW "HEAD" HEIGHTS:
  - 1ST FLOOR = 8'-0" AFF [UNO]
  - 2ND FLOOR = 7'-0" AFF [UNO]
  - DOOR HEIGHTS AS NOTED ON FLOOR PLANS.
4. ALL DOORS TO BE CENTERED WITHIN ADJACENT WALLS, OR DOOR JAMB TO BE FRAMED AT 3" UNLESS OTHERWISE DIMENSIONED.
5. PROVIDE BRACKING FOR ALL HARDWARE FIXTURES [TOWEL BARS, ETC.].
6. REFER TO BASE FLOOR PLAN FOR INFORMATION NOT SHOWN ON PARTIAL FLOOR PLANS. HATCHED WALLS ON PARTIAL FLOOR PLANS INDICATE FRAMING CHANGES FROM BASE FLOOR PLAN.

- 1 DWELLING/GARAGE FIRE SEPARATION: ALL SURFACES SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE, AND ALL HORIZONTAL SURFACES WITH HABITABLE SPACE ABOVE SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. (CRC SECTION R302.6 & TABLE R302.6).
- 2 OPENING PROTECTION: WHERE THE RESIDENCE AND PRIVATE GARAGE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, DOOR OPENINGS BETWEEN THE HOUSE AND THE GARAGE NEED ONLY BE SELF-CLOSING AND SELF-LATCHING. (CRC SECTION R302.5.1) EXCEPTION:
- 3 EMERGENCY ESCAPE AND RESCUE OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR AND A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 20" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 24". (CRC SECTION R310.2)
- 4 TANKLESS WATER HEATER: SPEC PER ENERGY CALCULATIONS.
- 5 ATTIC ACCESS: PROVIDE A MINIMUM 22"x30" OPENING OR LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT (CRC SECTION R807.1 & CMC SECTION 904.10) LOCATION APPROXIMATE. VERIFY/COORDINATE WITH TRUSS LAYOUT. ACCESS PANEL TO BE WEATHER-STRIPPED AND HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS EQUIVALENT TO THE SURROUNDING AREA REQUIREMENTS. (SECTION 15.00 OF CALIFORNIA ENERGY CODE)
- 6 A/C CONDENSERS: MINIMUM 30"x30" CONCRETE PAD, MINIMUM 3" ABOVE GRADE. LOCATE PER TYPED PLAN.
- 7 TEMPERED SAFETY GLASS: PROVIDE TEMPERED GLASS AT HAZARDOUS LOCATIONS PER REQUIREMENTS. (CRC SECTION R308.4)
- 8 DRYER: VENT DUCT SHALL BE OF METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES AND A DIAMETER OF NOT LESS THAN 4", EXTENDING TO EXTERIOR WITH BACKDRIFT DAMPER. (CMC SECTION 504.4)
- 9 WASHING MACHINE: PROVIDE PRE-FABRICATED CORROSION RESISTANT PAN FOR UNDER WASHING MACHINE LOCATED ON UPPER FLOOR. DRAIN TO EXTERIOR.
- 10 UPPER CABINETS: WALL MOUNTED ABOVE, 12" DEEP TYPICAL. 24" DEEP ABOVE REFRIGERATOR.
- 11 SHOWERS & TUB/SHOWER COMBINATIONS: FLOORS AND WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 4 FEET ABOVE THE FLOOR. (CRC SECTION R702.7) FOR CEILING: FIBER GLASS OR GLASS MAT GYPSUM BACKERS AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS AREAS IN SHOWERS. (CRC SECTION R702.4.2) LOCATE SHOWER HEAD AT 8'-4" AFF. GLAZING IN ALL FIXED AND OPERABLE PANELS OF A SWINGING, SLIDING, OR BI-FOLD DOOR SHALL BE CONSIDERED A HAZARDOUS LOCATIONS AND SHALL COMPLY WITH CRC SECTIONS R308.3 & R308.4.
- 12 LOW WALL: PROVIDE WITH DOUBLE TOP PLATE. HEIGHT AT 4'-2" AFF. (JUNO)
- 13 UNDER-STAR PROTECTION: PROVIDE 1/2" GYPSUM BOARD ON ALL WALLS, UNDER STAR SURFACE AND ANY SOFFITS WITH ENCLOSED ACCESSIBLE SPACES. (CRC SECTION R302.7)
- 14 STAIRWAYS: SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH (AND NOT HAVE A VERTICAL RISE MORE THAN 147"). MINIMUM HEADROOM SHALL NOT BE LESS THAN 6'-8"; MAXIMUM RISER HEIGHT SHALL BE 7-3/4". AND MINIMUM TREAD DEPTH SHALL BE 10". (CRC SECTION R313.7)
- 15 HANDRAILS (AND GUARDS WHERE THE TOP OF THE GUARD ALSO SERVES AS A HANDRAIL): HEIGHT SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38"; AND CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. (CRC SECTION R311.7.8) SEE DETAIL 6/4D/4
- 16 GUARDS: SHALL BE NOT LESS THAN 42" IN HEIGHT AND RAIL DESIGN TO COMPLY WITH CODE. (CRC SECTION R312) SEE DETAIL 5/4D/4
- 17 COOKING APPLIANCE: 30" COOKTOP / RANGE
- 18 INTERIOR SLIP-SOFT: FRAME AT 8'-1" AFF (JUNO) 1ST FLOOR AND 2ND FLOOR FRAMED AT 7'-1" AFF (JUNO)
- 19 EXTERIOR SOFFIT OR ARCH: SEE EXTERIOR ELEVATIONS FOR DIMENSIONS.
- 20 PANTRY / UNEN: (4) SHELVES, EQUAL SPACING.
- 21 DASHED LINE INDICATES OUTLINE OF FLOOR ABOVE. SOLID LINE INDICATES OUTLINE OF FLOOR BELOW.
- 22 ANY UNSUPPORTED COUNTER OVER 8" WILL BE SUPPORTED BY A CORBEL.

Floor Area	
LIVING AREA:	
FIRST FLOOR LIVING:	752.9 SQ. FT.
SECOND FLOOR LIVING:	1121.6 SQ. FT.
TOTAL LIVING AREA:	1874 SQ. FT.
OTHER AREAS:	
GARAGE:	447 SQ. FT.
COVERED PORCH:	108 SQ. FT.


$$1/4'' = 1'-0''$$

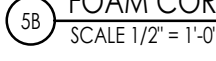
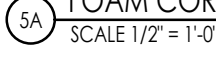
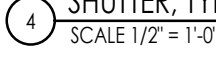




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2. WINDOW HEAD HEIGHTS:
  - 1ST FLOOR = 8'-0" AFF (JACO)
  - 2ND FLOOR = 7'-0" AFF (JACO)
  - DOOR HEIGHTS AS NOTED ON FLOOR PLANS.
3. EXTERIOR WALLS (PER MFG INSTALLATION INSTRUCTIONS):
  - I-COAT STUCCO SYSTEM: OVER MIN 1" FOAM INSULATION;
  - OVER ONE LAYER OF 40-MINUTE GRADE D PAPER OR EQUAL;
  - OVER STUDS OR WOOD-BASED SHEATHING.
4. ROOFING: REFER TO ROOF PLAN SHEET NOTES.
5. WINDOWS: VINYL SPEC PER BUILDER.
6. GIRDERS / DIVIDED LITES AS SHOWN.
7. ENTRY DOORS: RAISED PANEL, SPEC PER BUILDER.
8. OVER HEAD GARAGE DOORS:
  - STEEL SECTIONAL, SPEC PER BUILDER.
  - RAISED PANEL AND GLASS INSERTS AS SHOWN.
9. FASCIA BOARD: 2x6, UNLESS NOTED OTHERWISE.
10. REFER TO ELEVATION KEYNOTES.
11. GABLE BATTER: 2x6, UNLESS NOTED OTHERWISE.
12. REFER TO ELEVATION KEYNOTES.
13. ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC R319.1)
  - a. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
  - b. NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STICK-UP WIDTH OF 1/2".
14. ROOF HEELS: LABELED AS
  - STANDARD HEEL: 40°.
  - RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS.

- 1 MINIMUM CLASS "A" ROOFING.  
REFER TO ROOF PLAN SHEET NOTES.
- 2 2X6 FASCIA / BARGE RAFTER
- 3 GUTTER. STYLE SPEC PER BUILDER.
- 4 DOWNSPOUT. STYLE SPEC PER BUILDER.
- 5 CORROSION RESISTANT ROOF TO FLAT FLASHING.  
REFER TO ROOF DETAILS.
- 6 EXTERIOR STUCCO, TYPICAL "40" [UNO], STANDARD FINISH.
- 7 EXTERIOR SIDING MATERIAL, COMPOSITE WOOD WITH WOOD GRAIN FINISH:
  - A. LAP WITH 4" REVEAL.
  - B. 1X2 BOARD & BATTEN [BATTEN AT 16" OC].
- 8 EXTERIOR ADHAPED MASONRY VENEER, SPEC PER BUILDER.  
HEIGHT AND WRAP-BACK AS NOTED.
- 9 TRIM, SIZE AS NOTED [HEIGHT X DEPTH] OR SEE DETAIL:
  - A. STUCCO OVER FORM, LIGHT SAND FINISH.
  - B. COMPOSITE WOOD WITH WOOD GRAIN FINISH [NOMINAL SIZE].
- 10 FAUX WOOD SHUTTER [STYLE PER DESIGN DETAIL]  
ATTACHMENT PER MFG RECOMMENDATION.
- 11 DECORATIVE SHAPED FOAM STUCCO CORBEL, PER DESIGN DETAIL.
- 12 DECORATIVE FAUX BEAM, SIZE AS NOTED. SEE DETAIL: 9/A03.
- 13 DECORATIVE GABLE END VENT, SIZE AS NOTED:
- 14 EXTERIOR COACH LIGHT; MOUNT AT +84" AFF [UNO].
- 15 ADDRESS NUMBER; MOUNT AT +66" AFF [UNO].
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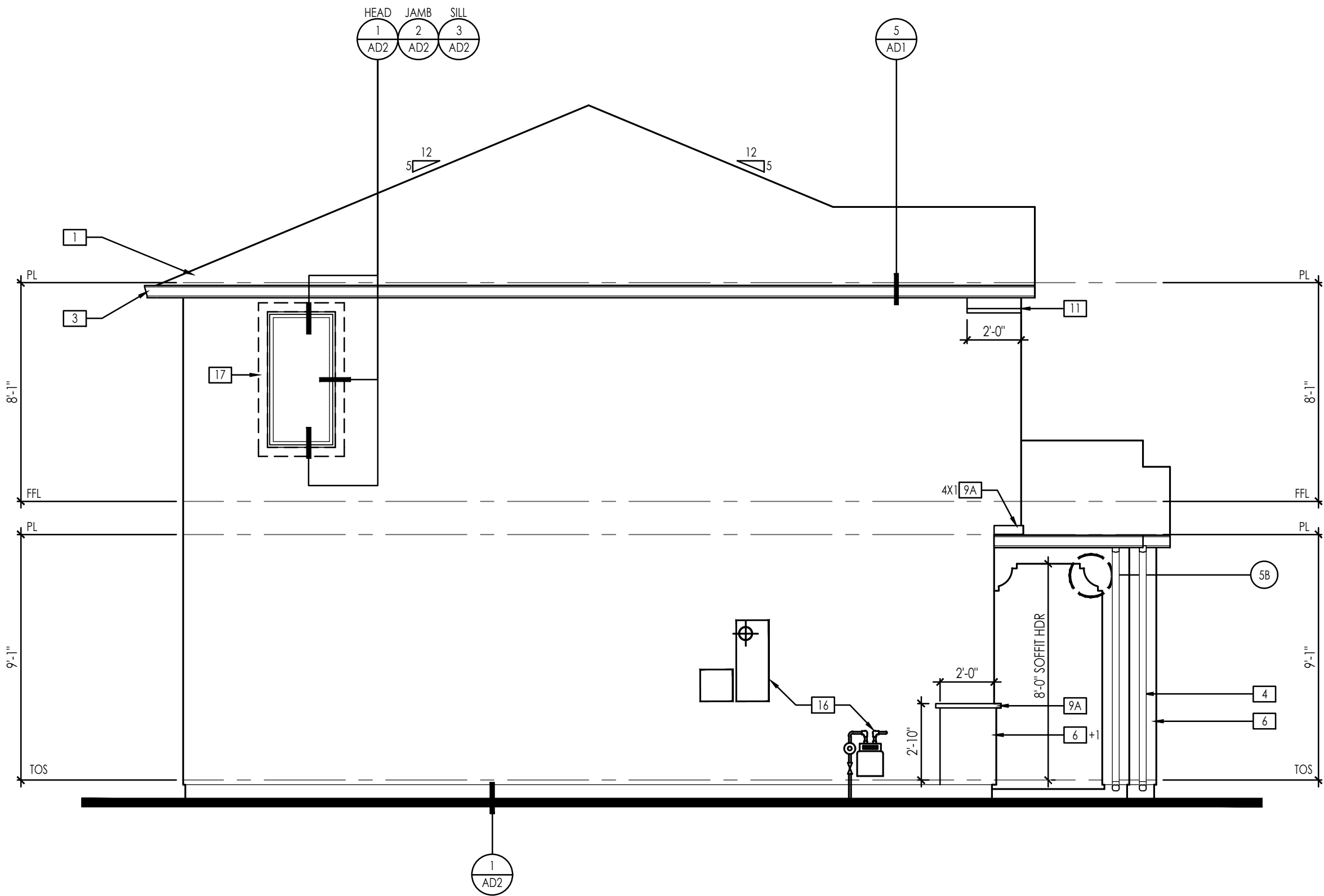
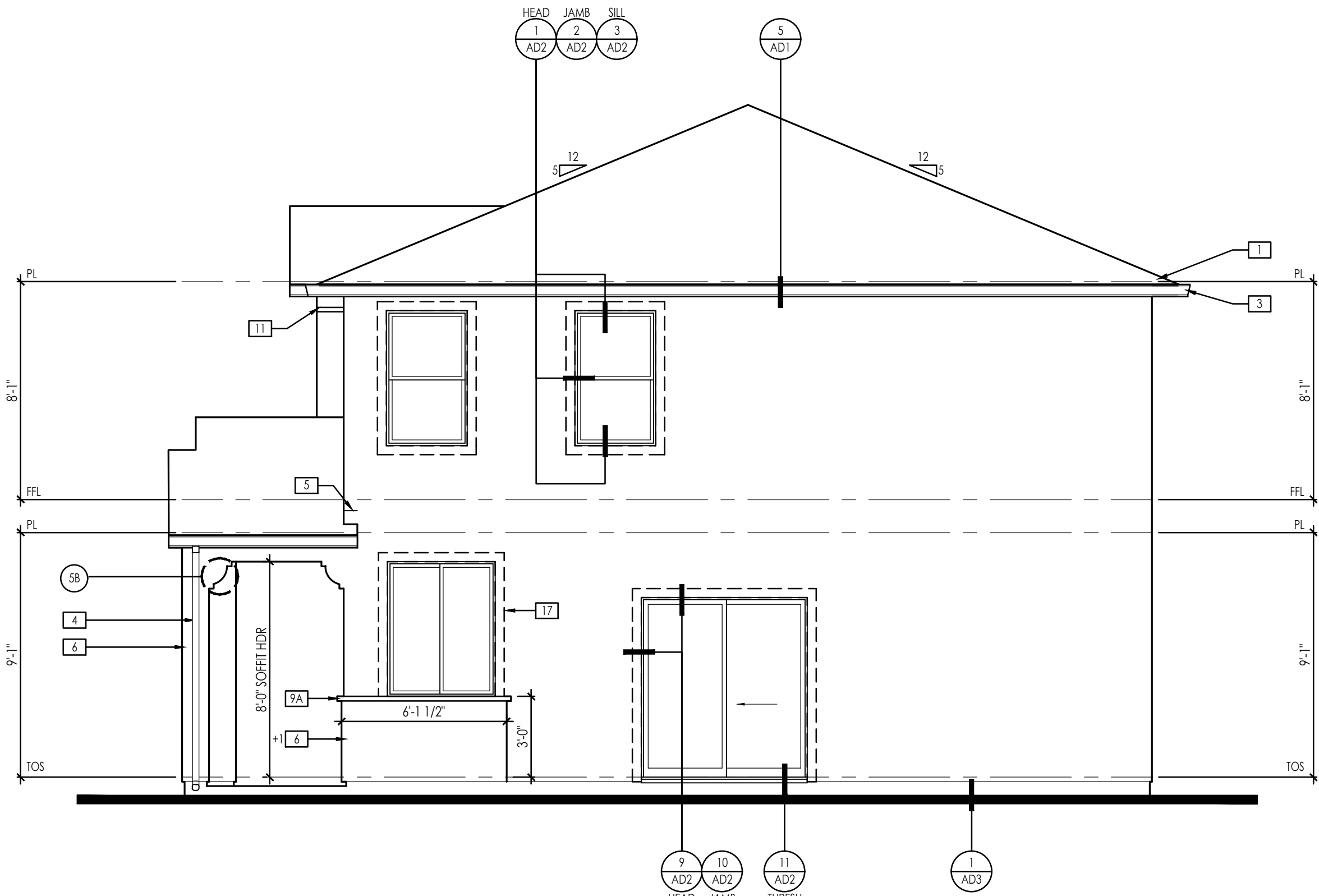
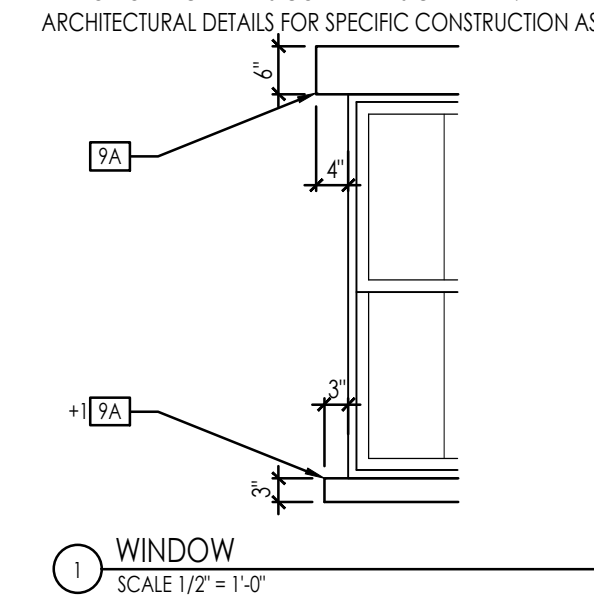
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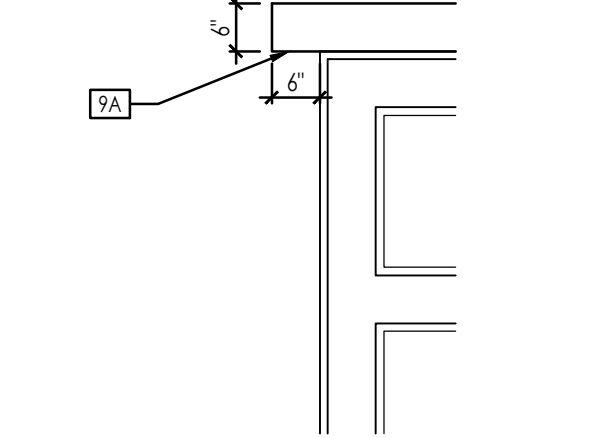
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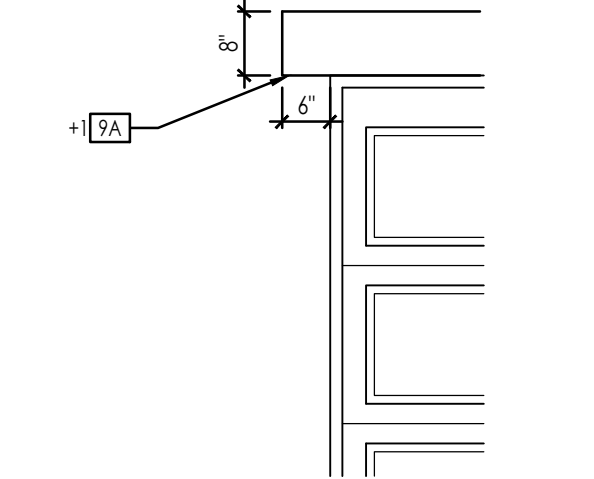
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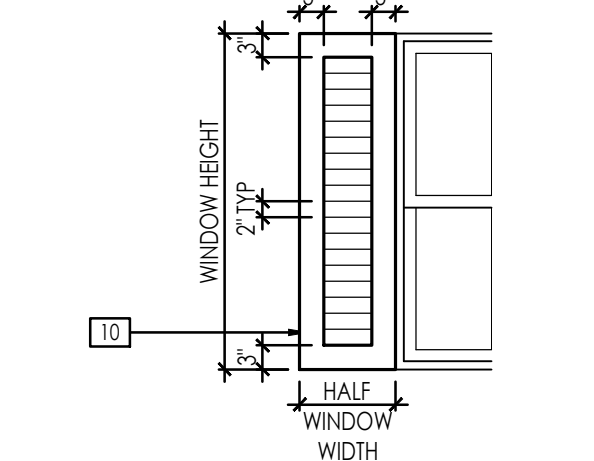
1 WINDOW  
SCALE 1/2" = 1'-0"



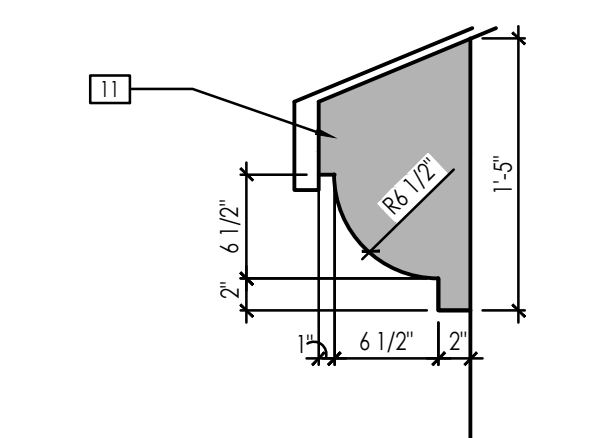
2 DOOR TRIM, TYPE  
SCALE 1/2" = 1'-0"



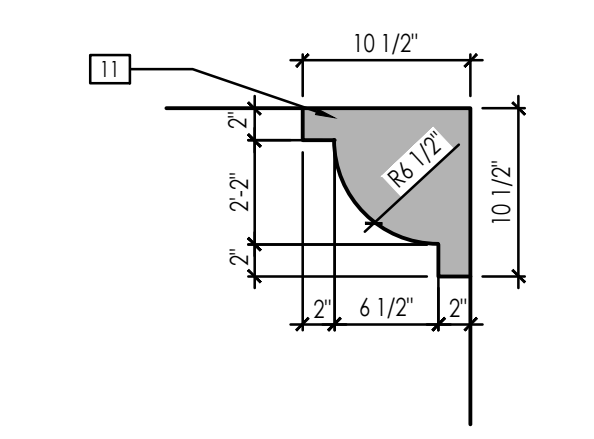
3 GARAGE DOOR TRIM, TYPE  
SCALE 1/2" = 1'-0"



4 SHUTTER, TYPE  
SCALE 1/2" = 1'-0"



5A FOAM CORBEL AT EAVE  
SCALE 1/2" = 1'-0"



5B FOAM CORBEL AT SOFFIT  
SCALE 1/2" = 1'-0"

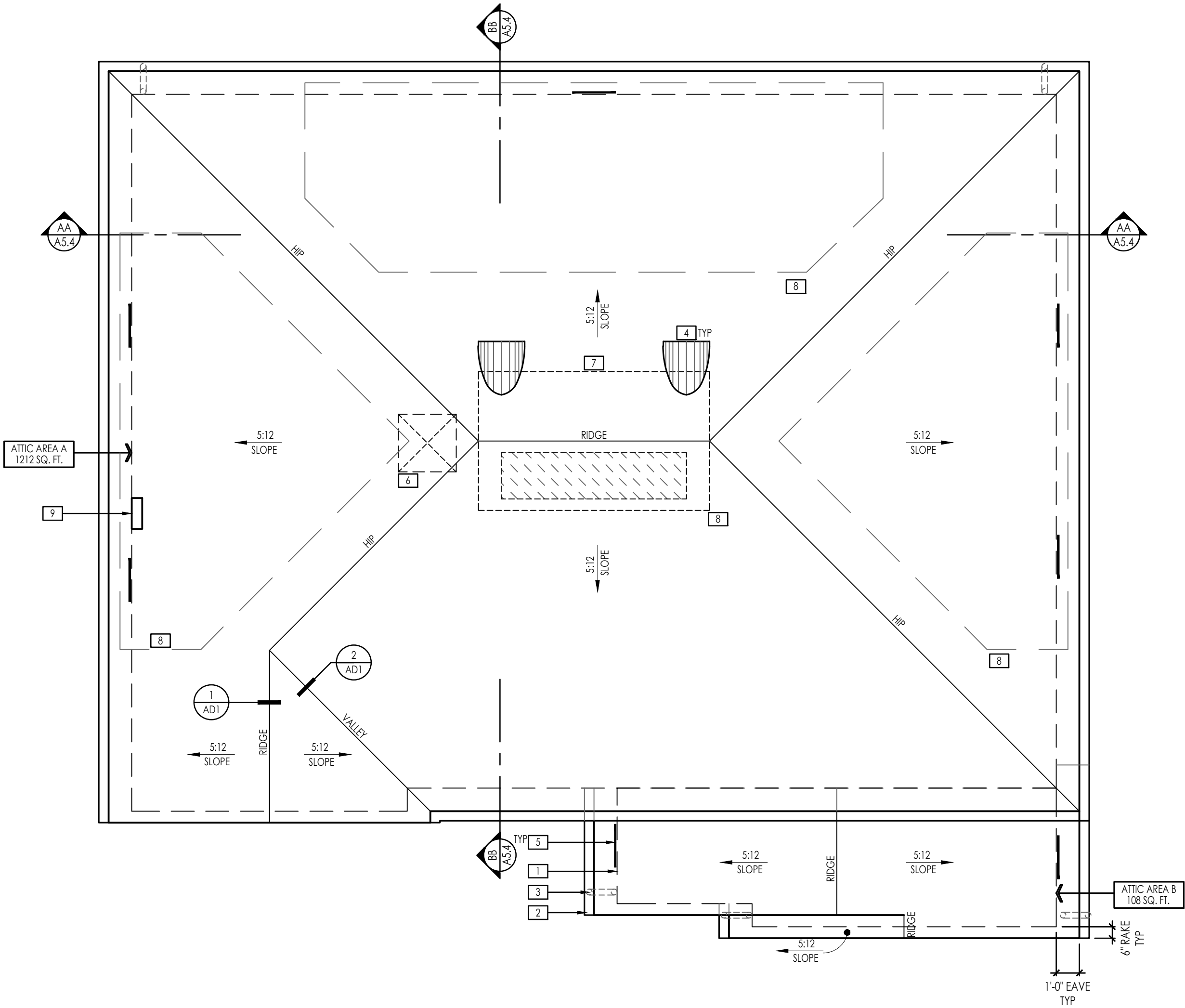
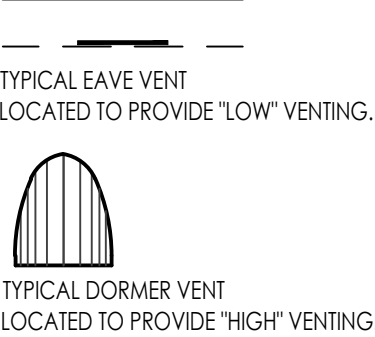
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- 5 EAVE VENTS. THIS AREA: TYPE PER ATTIC VENTILATION SCHEDULE. COORDINATE LOCATION WITH STRUCTURAL ENGINEER.
- 6 ATTIC ACCESS: LOCATION APPROXIMATE. COORDINATE IN FIELD WITH TRUSS.
- 7 FAU & PLATFORM LOCATION: PROVIDE UNOBSTRUCTED ACCESS AND PASSAGEWAY AT LEAST AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE, BUT NOT LESS THAN 22" X 30" WITH SOLID FLOORING MINIMUM 24" WIDE. DISTANCE FROM ACCESS TO APPLIANCE SHALL NOT EXCEED 20'. PROVIDE A MINIMUM 30"X30" PLATFORM AT SERVICE SIDE OF EQUIPMENT. (CMC SECTION 304.4) SEE DETAIL 1/AD4. VERIFY LOCATION WITH MECHANICAL DRAWINGS.
- 8 POTENTIAL FUTURE SOLAR ZONE LOCATION
- 9 FUTURE SOLAR PATHWAY ROUTING LOCATION.

Attic Vent Legend:



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)  
ROOF PLAN "A"  
1/4" = 1'-0"

ATTIC VENTILATION:  
Elevation "A"

NOTE:  
Contractor shall verify that installed venting provides the min required net free vent area as specified in this table.

AREA A		
Attic Area:	1212 sq. ft.	
Vent Ratio:	1/ 300	
Minimum Venting Required:	582 sq. in.	
	Quantity	Venting Area
24 in. Dormer Vents	2	268 sq. in.
Percent High:	45.19%	
Full Screen Eave Vents	5	325 sq. in.
Total Venting Provided:	593 sq. in.	
AREA B		
Attic Area:	108 sq. ft.	
Vent Ratio:	1/ 150	
Minimum Venting Required:	104 sq. in.	
	Quantity	Venting Area
Full Screen Eave Vents	2	130 sq. in.
Total Venting Provided:	130 sq. in.	

Sheet Revisions		
#	DATE	COMMENT
-	-	INITIAL PLAN CHECK SUBMITTAL





Olivehurst, California



1450 LAKE ROBBINS DRIVE, SUITE 140  
THE WOODLANDS, TX 77380  
281.362.8998

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JD+A Project Number: 1805

[illegible]

PLAN 5 (STINSON)  
Sheet Description:  
SECOND FLOOR PLAN

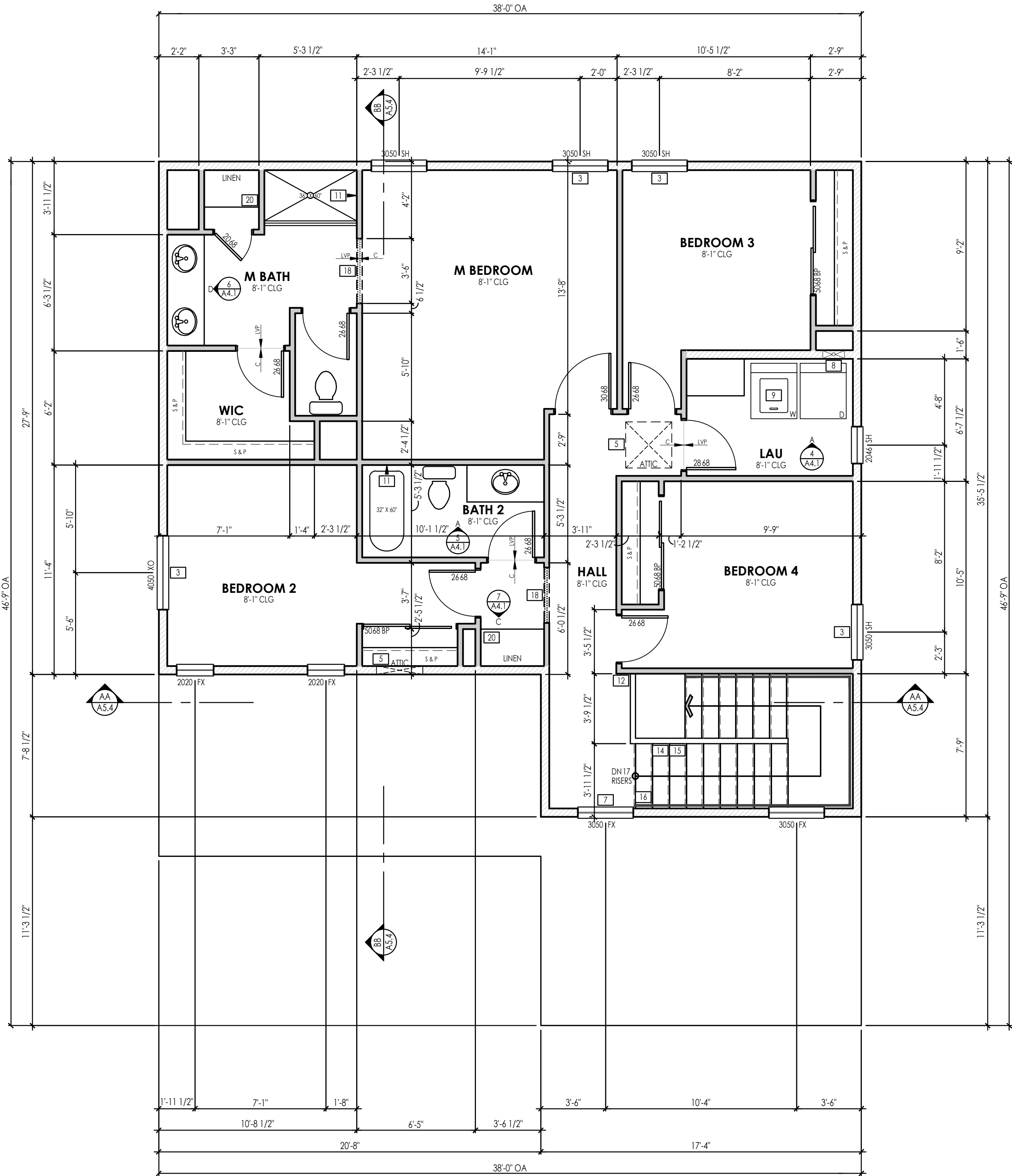
Sheet Number:

## A3.2

1. FIRE BLOCKING SHALL BE PROVIDED IN ALL CONCEALED SPACES [CRC SECTION R302.11].
2. ALL DIAGONAL WALLS TO BE 45 DEGREES [UNO].
3. WINDOW "HEAD" HEIGHTS:
  - 1ST FLOOR = 8'-0" AFF [UNO]
  - 2ND FLOOR = 7'-0" AFF [UNO]
  - DOOR HEIGHTS AS NOTED ON FLOOR PLANS.
4. ALL DOORS TO BE CENTERED WITHIN ADJACENT WALLS, OR DOOR JAMB TO BE FRAMED AT 3" UNLESS OTHERWISE DIMENSIONED.
5. PROVIDE BACKSPLASH FOR ALL HARDWARE FIXTURES [TOWEL BARS, ETC.].
6. REFER TO BASE FLOOR PLAN FOR INFORMATION NOT SHOWN ON PARTIAL FLOOR PLANS. HATCHED WALLS ON PARTIAL FLOOR PLANS INDICATE FRAMING CHANGES FROM BASE FLOOR PLAN.

- 1 DWELLING/GARAGE FIRE SEPARATION: ALL SURFACES SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE, ALL HORIZONTAL SURFACES WITH HABITABLE SPACE ABOVE SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. (CRC SECTION R302.6 & TABLE R302.6).
- 2 OPENING PROTECTION: WHERE THE RESIDENCE AND PRIVATE GARAGE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, DOOR OPENINGS BETWEEN THE HOUSE AND THE GARAGE NEED ONLY BE SELF-CLOSING AND SELF-LATCHING. (CRC SECTION R302.5.1 EXCEPTION)
- 3 EMERGENCY ESCAPE AND RESCUE OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR AND A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 20" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 24". (CRC SECTION R310.2)
- 4 TANKLESS WATER HEATER: SPEC PER ENERGY CALCULATIONS.
- 5 ATTIC ACCESS: PROVIDE A MINIMUM 22"x30" OPENING OR LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT (CRC SECTION R807.1 & CMC SECTION 904.10) LOCATION APPROXIMATE. VERIFY/COORDINATE WITH TRUSS LAYOUT. ACCESS PANEL TO BE WEATHER-STRIPPED AND HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS EQUIVALENT TO THE SURROUNDING AREA REQUIREMENTS. (SECTION 15.0 OF CALIFORNIA ENERGY CODE)
- 6 A/C CONDENSERS: MINIMUM 30"x30" CONCRETE PAD, MINIMUM 3" ABOVE GRADE. LOCATE PER TYPED PLAN.
- 7 TEMPERED SAFETY GLASS: PROVIDE TEMPERED GLASS AT HAZARDOUS LOCATIONS PER REQUIREMENTS. (CRC SECTION R308.4)
- 8 DRYER: VENT DUCT SHALL BE OF METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES AND A DIAMETER OF NOT LESS THAN 4", EXTENDING TO EXTERIOR WITH BACKDRIFT DAMPER. (CMC SECTION 504.4)
- 9 WASHING MACHINE: PROVIDE PRE-FABRICATED CORROSION RESISTANT PANH USED WASHING MACHINE LOCATED ON UPPER FLOOR. DRAIN TO EXTERIOR.
- 10 UPPER CABINETS: WALL MOUNTED ABOVE, 12" DEEP TYPICAL. 24" DEEP ABOVE REFRIGERATOR.
- 11 SHOWERS & TUB/SHOWER COMBINATIONS: FLOORS AND WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 4 FEET ABOVE THE FLOOR. (CRC SECTION R307.2) FOR CEILING, FIBERGLASS OR GLASS MAT GYPSUM BACKERS AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS AREAS IN SHOWERS. (CRC SECTION R702.4.2) LOCATE SHOWER HEAD AT 8'-4" AFF. GLAZING IN ALL FIXED AND OPERABLE PANELS OF A SWINGING, SLIDING, OR BI-FOLD DOOR SHALL BE CONSIDERED A HAZARDOUS LOCATION AND SHALL COMPLY WITH CRC SECTIONS R308.3 & R308.4.
- 12 LOW WALL: PROVIDE WITH DOUBLE TOP PLATE. HEIGHT AT 4'-2" AFF. (JUNO)
- 13 UNDER-STAR PROTECTION: PROVIDE 1/2" GYPSUM BOARD ON ALL WALLS, UNDER STAR SURFACE AND ANY SOFFITS WITH ENCLOSED ACCESSIBLE SPACES. (CRC SECTION R307.7)
- 14 STAIRWAYS: SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH (AND NOT HAVE A VERTICAL RISE MORE THAN 147"). MINIMUM HEADROOM SHALL NOT BE LESS THAN 6'-8". MAXIMUM RISER HEIGHT SHALL BE 7-3/4". AND MINIMUM TREAD DEPTH SHALL BE 10". (CRC SECTION R313.7)
- 15 HANDRAILS (AND GUARDS WHERE THE TOP OF THE GUARD ALSO SERVES AS A HANDRAIL): HEIGHT SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38", AND CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. (CRC SECTION R311.7.8) SEE DETAIL 6/4D/4
- 16 GUARDS: SHALL BE NOT LESS THAN 42" IN HEIGHT AND RAIL DESIGN TO COMPLY WITH CODE. (CRC SECTION R312) SEE DETAIL 5/4D/4
- 17 COOKING APPLIANCE: 30" COOKTOP / RANGE
- 18 INTERIOR SLIP-SOFT: FRAME AT 8'-1" AFF (JUNO) 1ST FLOOR 2ND FLOOR FRAMED AT 7'-1" AFF (JUNO)
- 19 EXTERIOR SOFFIT OR ARCH: SEE EXTERIOR ELEVATIONS FOR DIMENSIONS.
- 20 PANTRY / UNEN: (4) SHELVES, EQUAL SPACING.
- 21 DASHED LINE INDICATES OUTLINE OF FLOOR ABOVE. SOLID LINE INDICATES OUTLINE OF FLOOR BELOW.
- 22 ANY UNSUPPORTED COUNTER OVER 8" WILL BE SUPPORTED BY A CORBEL.

Floor Area	
LIVING AREA:	
FIRST FLOOR LIVING:	1051.6 SQ. FT.
SECOND FLOOR LIVING:	1097.0 SQ. FT.
TOTAL LIVING AREA:	2149 SQ. FT.
OTHER AREAS:	
GARAGE:	431 SQ. FT.
COVERED PORCH:	104 SQ. FT.


$$1/4'' = 1'-0''$$



# Feather Glen

Olivehurst, California



1450 LAKE ROBBINS DRIVE, SUITE 140  
THE WOODLANDS, TX 77380  
281 262 8008

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JD+A Project Number: 1805

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### PLAN 5 (STINSON)

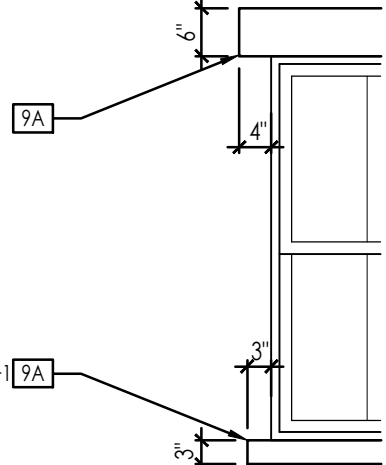
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EXTERIOR ELEVATIONS  
"A" (FRONT / REAR)

Sheet Number:

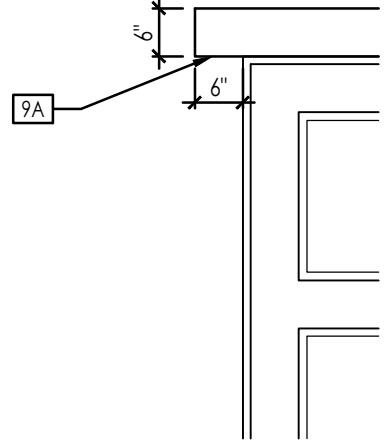
# A5.1

## Sheet Notes:

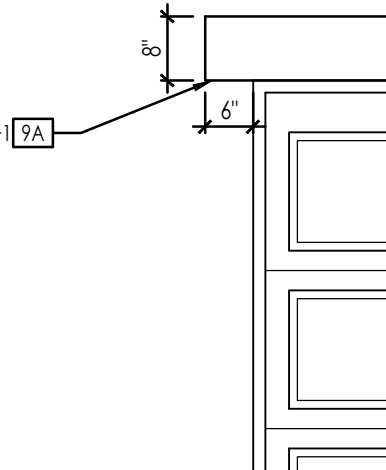
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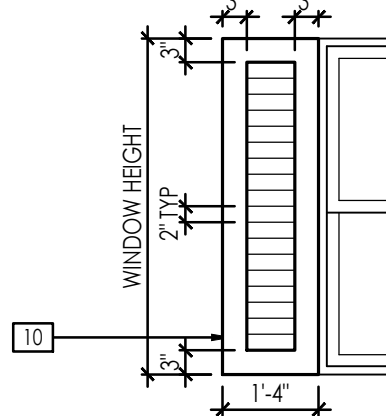
1 WINDOW  
SCALE 1/2" = 1'-0"



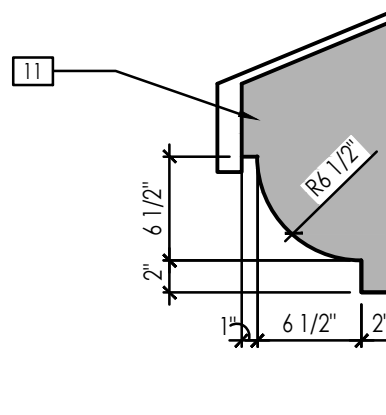
2 DOOR TRIM, TYPE  
SCALE 1/2" = 1'-0"



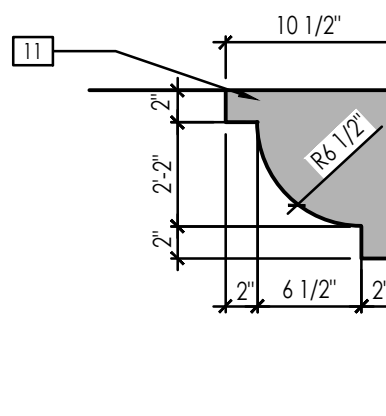
3 GARAGE DOOR TRIM, TYPE  
SCALE 1/2" = 1'-0"



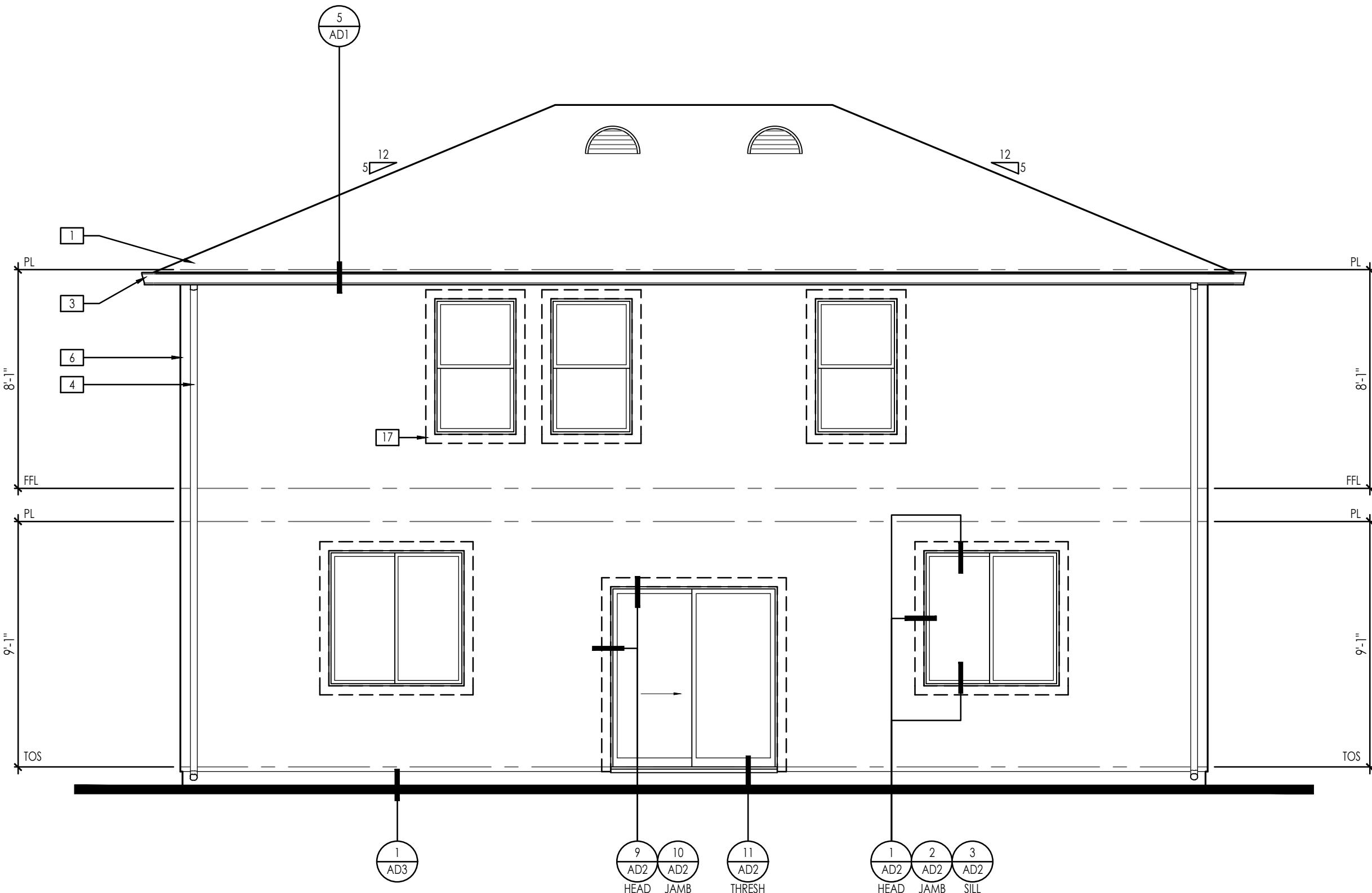
4 SHUTTER, TYPE  
SCALE 1/2" = 1'-0"



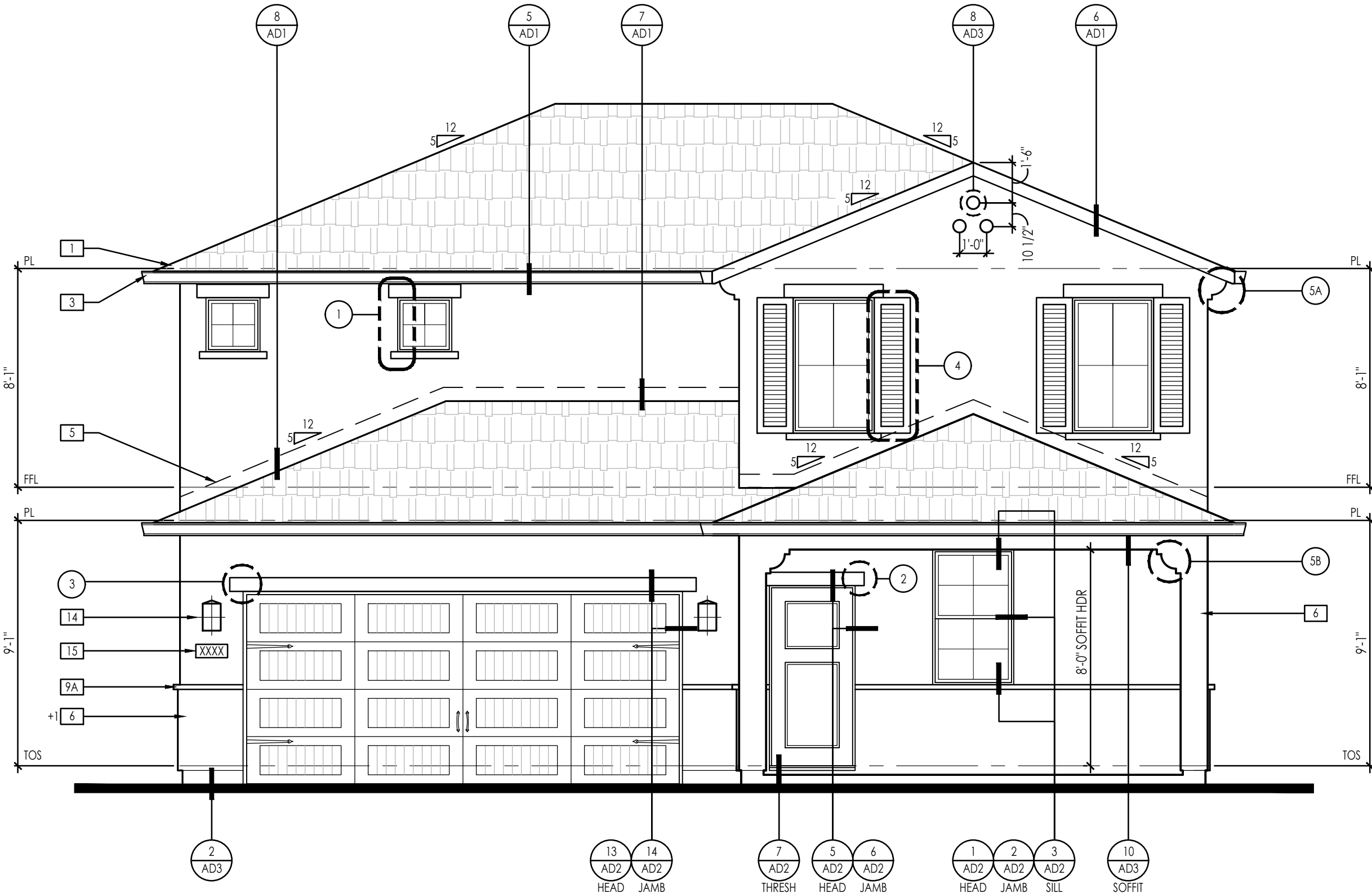
5A FOAM CORBEL AT EAVE  
SCALE 1/2" = 1'-0"



5B FOAM CORE  
SCALE 1/2" = 1'-0"



## 'EARLY CALIFORNIA' (COMPOSITION SHINGLE) REAR ELEVATION "A"

$$1/4'' = 1'-0''$$


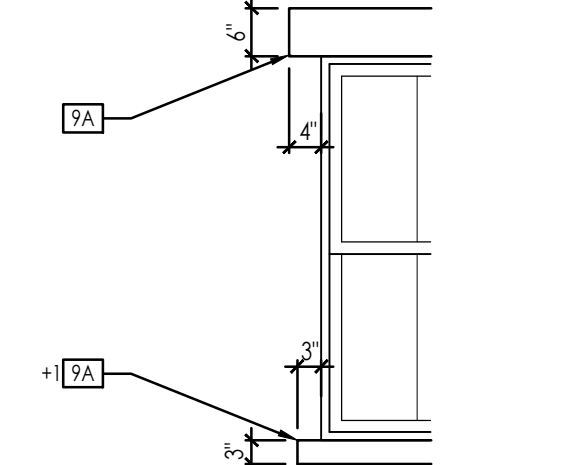
'EARLY CALIFORNIA' (COMPOSITION SHINGLE)  
FRONT ELEVATION "A"

$$1/4'' = 1'-0''$$

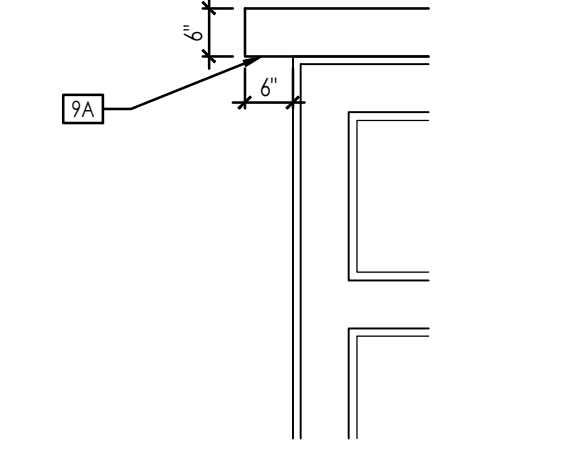
# Sheet Notes:

1. PARTIAL AND OPTION ELEVATIONS SHOW ONLY THE ATTRIBUTES AND DETAILS UNIQUE TO THE PARTIAL OR OPTION ELEVATION. REFER TO BASE ELEVATION FOR INFORMATION NOT SHOWN.
2. WINDOW HEAD HEIGHTS:
  - 1ST FLOOR = 8'-0" AFF. (JUNO)
  - 2ND FLOOR = 7'-0" AFF. (JUNO)
  - DOOR HEIGHTS AS NOTED ON FLOOR PLANS.
3. EXTERIOR WALLS (PER MFG INSTALLATION INSTRUCTIONS):
  - 1-COAT STUCCO SYSTEM: OVER MIN 1" FOAM INSULATION, OVER ONE LAYER OF 40-MINUTE GARD PAPER OR EQUIV., OVER STUDS OR WOOD-BASED SHEATHING.
4. ROOFING: REFER TO ROOF PLAN SHEET NOTES.
5. WINDOWS: VINYL SPEC PER SHOW.
6. GRIDS / DIVIDED LITS AS SHOWN.
7. ENTRY DOORS: RAISED PANEL SPEC PER BUILDER.
8. OVER HEAD GARAGE DOORS:
  - STEEL SECTIONAL SPEC PER BUILDER.
  - RAISED PANEL AND GLASS INSERTS AS SHOWN.
9. FASCIA BOARD: 2X6, UNLESS NOTED OTHERWISE.
  - REFER TO ELEVATION NOTES.
10. BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE.
  - REFER TO ELEVATION KEYNOTES.
11. ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC §319.1)
  - A. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
  - B. NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/32".
12. ROOF HEELS: LABELED AS
  - STANDARD HEEL: 40°.
  - RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS.

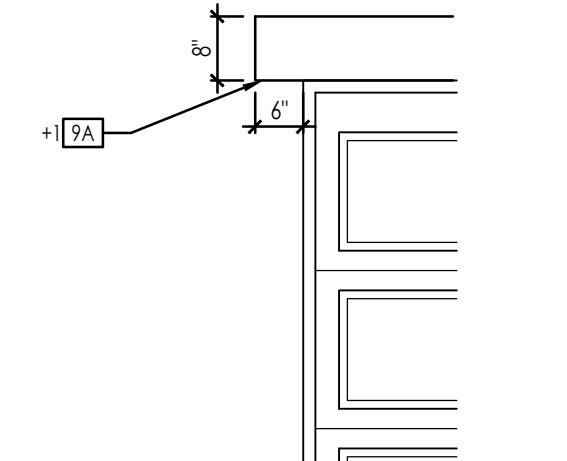
THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.



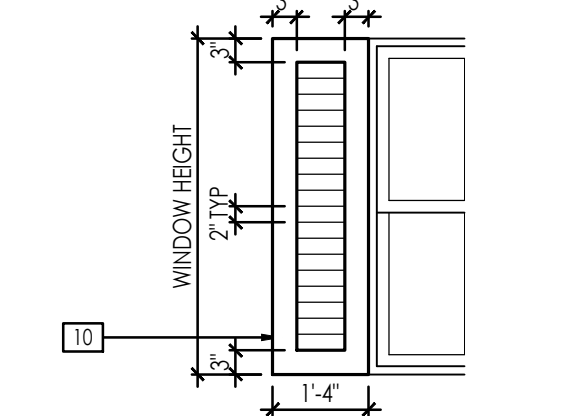
1 WINDOW  
SCALE 1/2" = 1'-0"



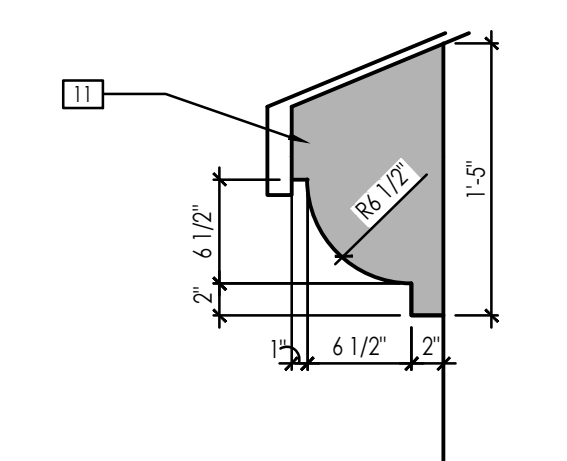
2 DOOR TRIM, TYPE  
SCALE 1/2" = 1'-0"



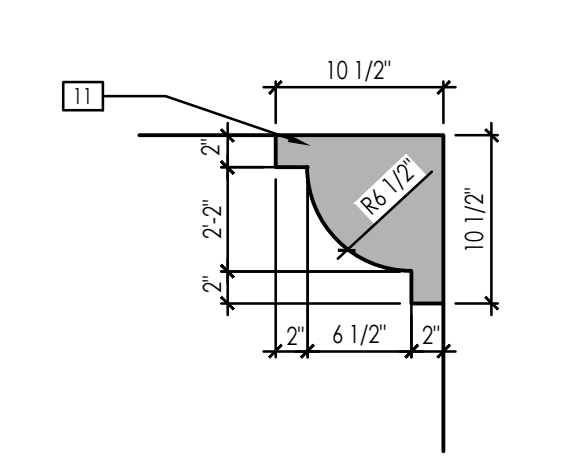
3 GARAGE DOOR TRIM, TYPE  
SCALE 1/2" = 1'-0"



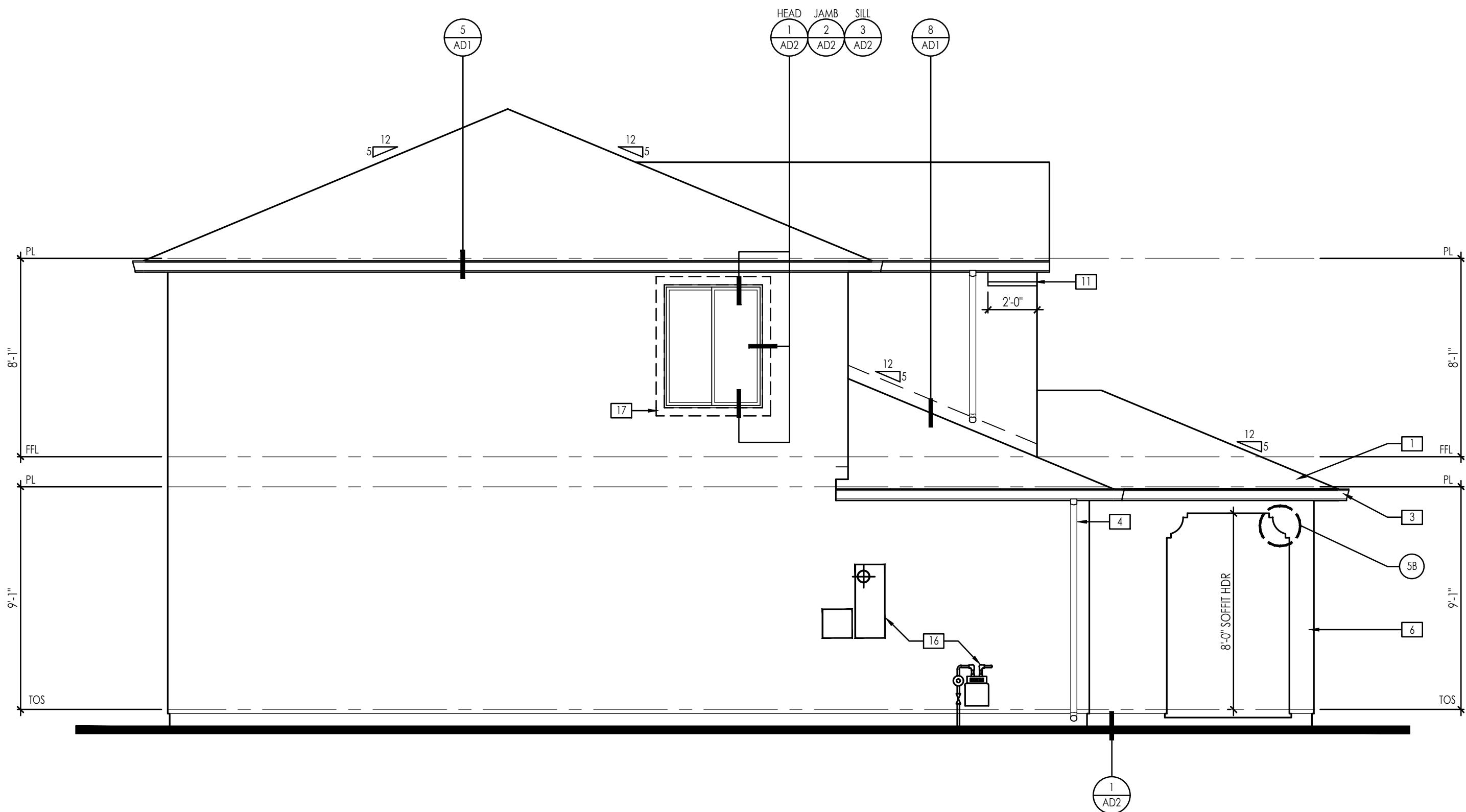
4 SHUTTER, TYPE  
SCALE 1/2" = 1'-0"



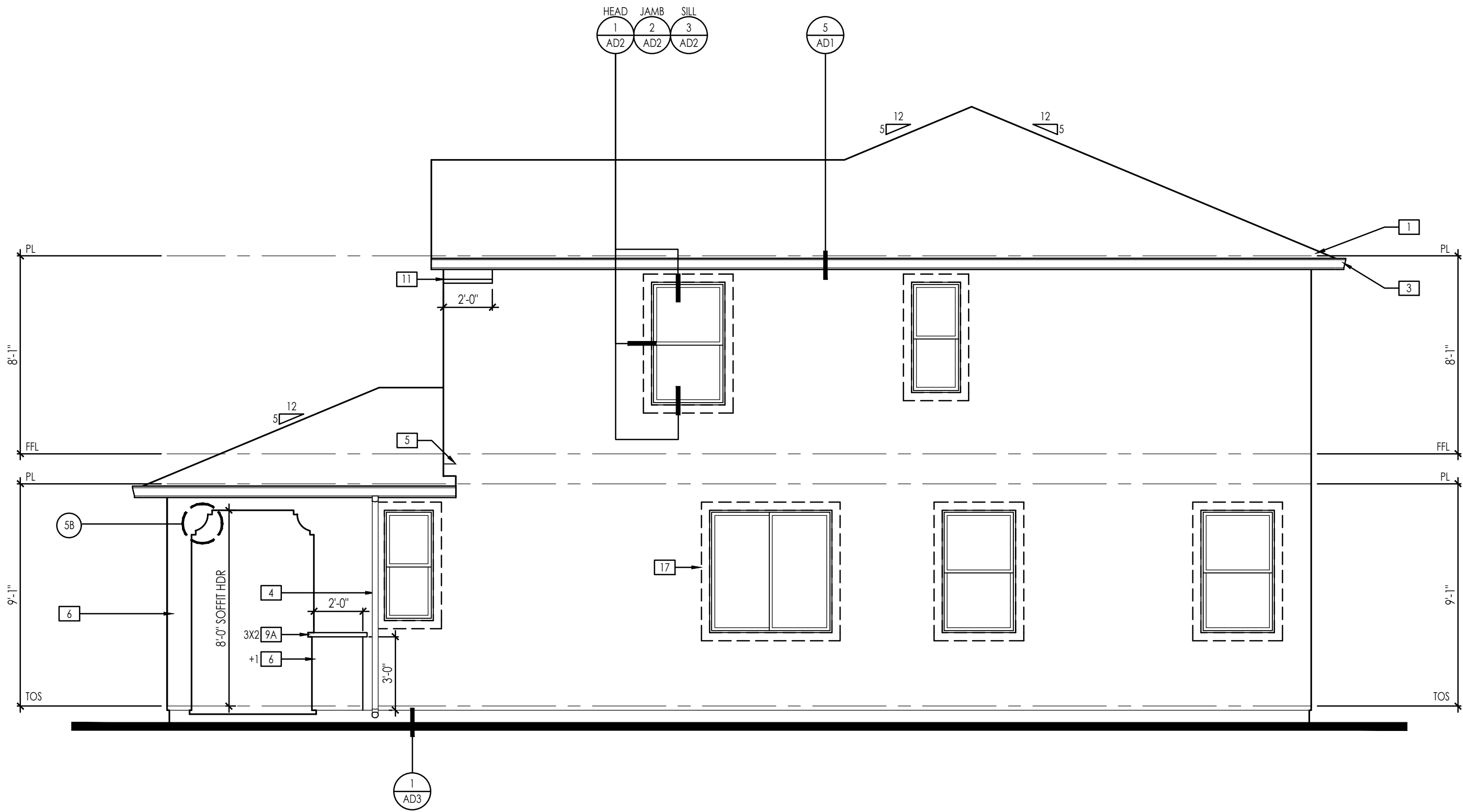
5A FOAM CORBEL AT EAVE  
SCALE 1/2" = 1'-0"



5B FOAM CORBEL AT SOFFIT  
SCALE 1/2" = 1'-0"



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)  
LEFT ELEVATION "A"

$$1/4'' = 1'-0''$$


'EARLY CALIFORNIA' (COMPOSITION SHINGLE)  
RIGHT ELEVATION "A"

$$1/4'' = 1'-0''$$



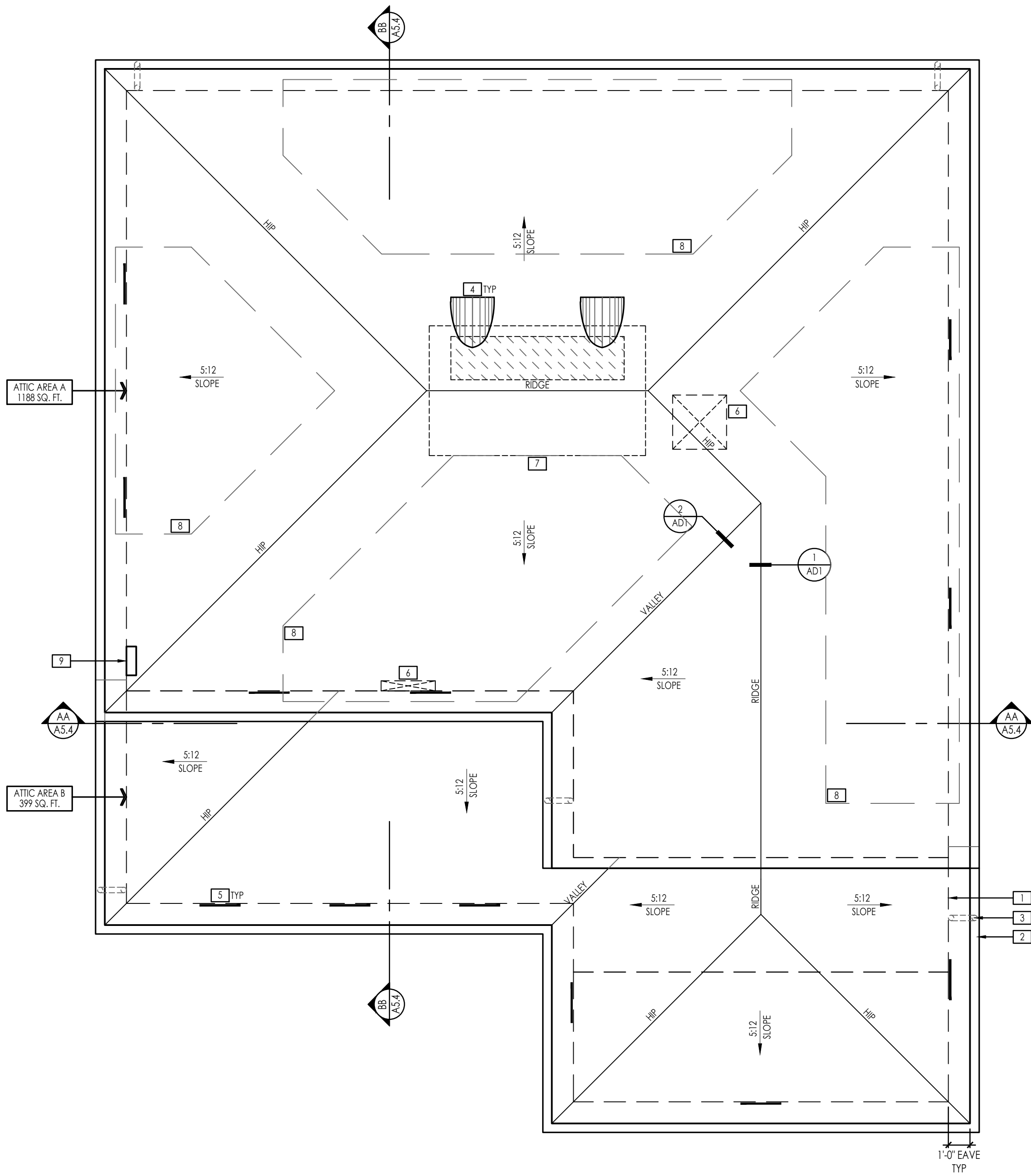
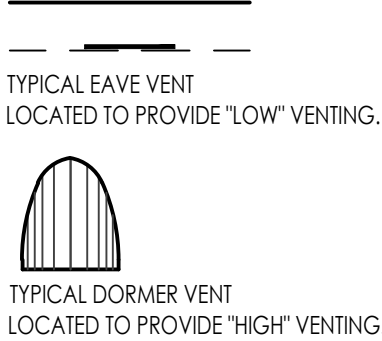
## Sheet Notes:

1. ROOFING: CLASS "A" FIRE-RETARDANT CONCRETE TIERS, MFG SPEC PER BUILDING; REFER TO ELEVATION SHEETS FOR FASCIA AND BARGE RAFTER, EAVE, TILE TYPE PER ELEVATION STYLE.
  - \* EARLY CALIFORNIA: COMPOSITION SHINGLE
  - \* BUNGALOW: COMPOSITION SHINGLE
  - \* COTTAGE: COMPOSITION SHINGLE
2. ATTIC VENTILATION: ACTUAL NET FREE AREA OF INSTALLED ROOF VENTILATION SHALL MEET OR EXCEED REQUIRED VENTILATION AREA AS INDICATED IN THE VENTILATION TABLE. THE CONTRACTOR MAY SUBSTITUTE THE TYPE OF VENTILATION PROVIDED, BUT THE AREA SHALL BE THAT ACTUAL TOTAL NET FREE VENTILATION AREA OF INSTALLED VENTING MEETS OR EXCEEDS CODE REQUIREMENTS. ATTIC VENTING MAY BE ACCOMPLISHED WITH EAVE VENTS, GABLE WALL VENTS, DORMER VENTS, RIDGE VENTS OR OTHER MANUFACTURERS' VENT PRODUCTS, OR IN ANY COMBINATION THEREOF THAT PROVIDES THE REQUIRED VENTILATION. THE CONTRACTOR SHALL VERIFY MANUFACTURERS' STATED ACTUAL NET FREE VENTING AREA OF ANY VENTILATION PRODUCT INSTALLED.
3. VENTILATION: PROVIDE ROOF/ATTIC CROSS VENTILATION FOR EACH SEPARATE ATTIC SPACE. REFER TO ATTIC VENT CALCULATIONS FOR REQUIRED VENT AREA. OVERLAPPING OR "CALIFORNIA" FRAMED ROOF AREAS SHALL HAVE OPENINGS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) AND AIR SHALL ENTER THE ATTIC SPACE THROUGH EAVE AND CROSS VENTILATION BETWEEN THE TWO SPACES. CALCULATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CODE REQUIREMENTS. [CRC SECTION 8806.1]
4. MINIMUM AREA: THE TOTAL NET FREE VENTING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATION AREA SHALL BE PROVIDED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED NO MORE THAN 3 FEET BELOW THE ROOF OR CEILING. THE REMAINING 50% OF THE SPACE MEASURED VERTICALLY, WITH THE BALANCE OF REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. [CRC SECTION 8806.2]
5. VENT AND INSULATION CLARENCE: WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT TOUCH THE FREE FLOW OF AIR. A MINIMUM OF A 1-INCH SPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT. [CRC SECTION 8806.3]

## Roof Plan Keynotes:

- 1 LINE OF EXTERIOR WALL BELOW.
- 2 GUTTER: STYLE SPEC PER BUILDER.
- 3 DOWNSPOUT: STYLE SPEC PER BUILDER.  
LOCATION & COUNT TO BE VERIFIED.
- 4 ATTIC VENT: TYPE PER ATTIC VENTILATION SCHEDULE.  
LOCATION TO BE SITE VERIFIED.
- 5 EAVE VENTS, THIS AREA: TYPE PER ATTIC VENTILATION SCHEDULE.  
COORDINATE LOCATION WITH STRUCTURAL ENGINEER.
- 6 ATTIC ACCESS: LOCATION APPROXIMATE, COORDINATE IN  
FIELD WITH TRUSS.
- 7 FAU & PLATFORM LOCATION: PROVIDE UNOBSTRUCTED  
ACCESS AND PASSAGEWAY AT LEAST AS LARGE AS THE NOT LESS THAN  
22' X 30" WITH SOLID FLOORING MINIMUM 24" WIDE. DISTANCE  
FROM ACCESS TO PLATFORM SHOULD NOT EXCEED 20'.  
PROVIDE MINIMUM 30X30" PLATFORM AT SERVICE SIDE OF  
EQUIPMENT. (CMC SECTION 30.4.4 SEE DETAIL 1/ADA,  
VERIFY LOCATION WITH MECHANICAL DRAWINGS.
- 8 POTENTIAL FUTURE SOLAR ZONE LOCATION
- 9 FUTURE SOLAR PATHWAY ROUTING LOCATION.

### Attic Vent Legend:



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)  
ROOF PLAN "A"

---

1/4" = 1'-0"

**JDA**  
**JEFFREY DEMURE + ASSOCIATES**  
**ARCHITECTS • PLANNERS**  
5905 GRANITE LAKE DRIVE, SUITE 140  
GRANITE BAY, CA 95746  
P: 916.783.3700  
F: 916.783.3711  
[WWW.JDAARCH.COM](http://WWW.JDAARCH.COM)

Feather Glen  
Olivehurst, California



1450 LAKE ROBBINS DRIVE, SUITE 140  
THE WOODLANDS, TX 77380  
281.362.8998

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JD+A Project Number: 18050

[illegible]

PLAN 5 (STINSON)  
Sheet Description:  
ROOF PLAN "A"

Sheet Number:

# A5.3

**DRAFT CONDITIONS OF APPROVAL  
YUBA COUNTY PLANNING COMMISSION**

**Applicant/Owner: Lendco, LLC**  
**APN: 019-762-002 & 019-762-003**

**Case Number: TSTM 2019-0004, CZ 2019-0001,  
& CUP 2019-0005**  
**Public Hearing Date: December 18, 2019**

**GENERAL CONDITIONS:**

- 1) Unless specifically provided otherwise herein or by law, each condition of these Conditions of Approval shall be completed to the satisfaction of the County prior to filing of the Final Map.
- 2) As a condition for project approval, Owner or an agent of Owner acceptable to County shall defend, indemnify, and hold harmless the County and its agents, officers, and employees from any claim, action, or proceeding, against the County or its agents, officers, and employees; including all costs, attorneys' fees, expenses, and liabilities incurred in the defense of such claim, action, or proceeding to attack, set aside, void or annul an approval by the County, Planning Commission, Development Review Committee, or other County advisory agency, appeal board, or legislative body concerning the conditional use permit. County shall promptly notify owner of any such claim, action, or proceeding and shall cooperate fully in the defense of said claim, action, or proceeding.
- 3) Owner(s), Owner's agent(s) or Applicant shall comply with all applicable federal, state, and local laws, ordinances, and regulations including the requirements provided by the Subdivision Map Act (Government Code Section 66410 and following) and Chapter 11.15 of the Yuba County Ordinance Code.
- 4) Unless specifically provided otherwise herein, all references to the Final Map, Final Maps, or to the Final Subdivision Map contained herein shall also mean a map or maps prepared for recordation of each phase of development if the project is to be phased.
- 5) Notwithstanding the provisions of any other of these Conditions of Approval, this map cannot be recorded until expiration of the 10-day appeal period which begins the day following the date of approval. The expiration date of the appeal period is January 1, 2020 at 5:00 p.m.
- 6) This tentative map shall expire 24 months from the effective date of approval unless extended pursuant to Chapter 11 of the Yuba County Ordinance Code.
- 7) Approval of the Tentative Parcel Map is contingent upon Board of Supervisor approval of the Change of Zone. The map cannot be recorded until after the Change of Zone has been effectuated.

**PUBLIC WORKS DEPARTMENT:**

- 8) The Public Works Director may reasonably modify any of the Public Works conditions contained herein. The required street widths as stated herein shall take precedence over those as shown on the tentative map.
- 9) Owner shall dedicate to the County of Yuba sufficient right-of-way in fee simple to provide a 59 foot strip of land adjoining the centerline of Erle Road lying within the bounds of this property.
- 10) Owner shall dedicate to the County of Yuba sufficient right-of-way in fee simple strips of land 40 feet in width, including 53-foot knuckles, for the internal access street as shown on the Tentative Tract Map. The right-of-way line shall be located 0.50 foot behind the back of curb. Corner radii shall be dedicated in accordance with Yuba County standards.

**DRAFT CONDITIONS OF APPROVAL  
YUBA COUNTY PLANNING COMMISSION**

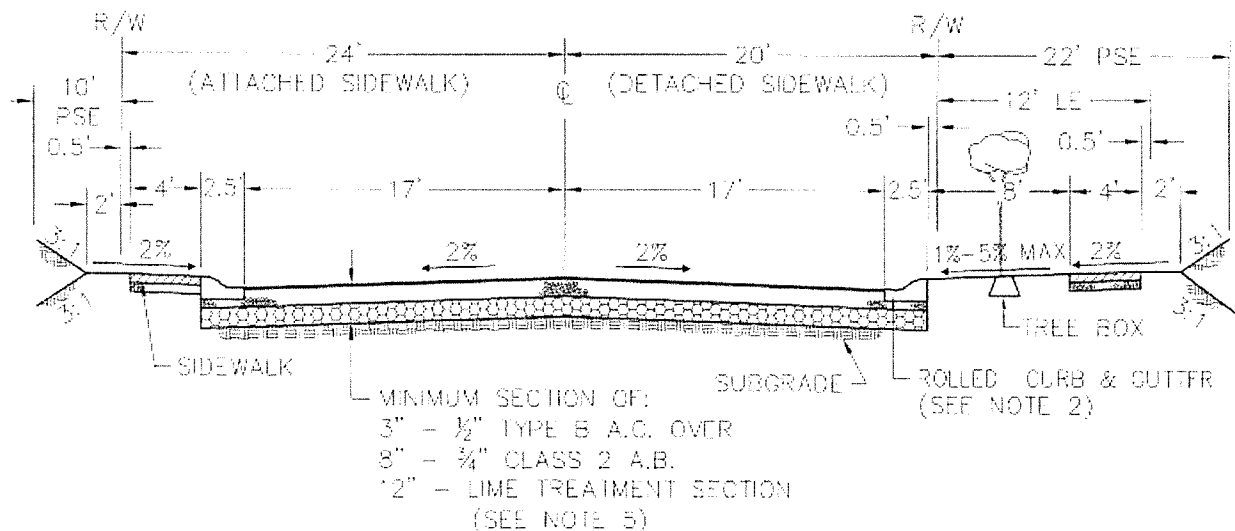
**Applicant/Owner: Lendco, LLC**  
**APN: 019-762-002 & 019-762-003**

**Case Number: TSTM 2019-0004, CZ 2019-0001,  
& CUP 2019-0005**

**Public Hearing Date: December 18, 2019**

- 11) The following note shall be included in the Grant Deed to the County of Yuba: "Should the Board of Supervisors of the County of Yuba determine that the public purpose for which property was dedicated in fee simple no longer exists, or the property or any portion thereof is not needed for public utilities, the County of Yuba shall reconvey the above described property to the Grantor, or to the successor(s) in interest pursuant to Government Code Section 66477.5."
- 12) Owner shall provide and offer to dedicate to the County of Yuba a 12-foot easement for pedestrian, landscaping, street signs, traffic safety signs, and streetlights along the interior street frontage of this property measured from a point 0.50-foot from the back of the (future) street curb.
- 13) Owner shall provide and offer to dedicate to the County of Yuba a 22-foot easement for public services along the interior street frontage of this property measured from a point 0.50-foot from the back of the (future) street curb.
- 14) Road construction for the interior street as shown on the tentative map shall meet the requirements for an Urban Residential (Local) Road in conformance with the Yuba County Standard (Drawing No. 101) or as modified by the Public Works Director. Such standard includes curbs, gutters, with a detached sidewalk and landscaping.

**URBAN RESIDENTIAL (LOCAL) ROAD**



(Refer to Drawing No. 101 for addition notes and requirements.)

- 15) Street construction along Erle Road shall meet the requirements for an Urban Arterial Road in conformance with the Yuba County Standards (Drawing 103), including a masonry wall along the frontage of Erle Road, and the installation of landscaping and an irrigation system between the curb and the masonry wall.

**DRAFT CONDITIONS OF APPROVAL  
YUBA COUNTY PLANNING COMMISSION**

**Applicant/Owner: Lendco, LLC**  
**APN: 019-762-002 & 019-762-003**

**Case Number: TSTM 2019-0004, CZ 2019-0001,  
& CUP 2019-0005**

**Public Hearing Date: December 18, 2019**

- 16) Owner shall repair/replace any existing sidewalks or curb and gutter along the frontage of the property that, in the opinion of the Public Works Department, are non-compliant with current ADA standards or pose a safety hazard to the general public.
- 17) Owner shall provide a streetlight plan to be approved by the Public Works Department. Streetlights shall be LED type models and be maintained by Pacific Gas & Electric (PG&E). Owner shall maintain all streetlights until accepted by the Public Works Department. Prior to map recordation the Owner shall pay the County for two (2) years of service for the streetlights in accordance with rates (LS1-E) set by PG&E.
- 18) Improvement plans, prepared in compliance with Sections 3 and 7 of the Yuba County Standards shall be submitted to and approved by the Public Works Department prior to any construction. The initial submittal shall also include the necessary calculations for all improvements and associated drainage facilities along with the appropriate plan checking fees based upon a preliminary engineer's estimate. The engineer's estimate shall include estimated costs for the construction of the road and drainage improvements, landscaping requirements (if any), and construction staking. Such approvals shall include the alignment and grades of roads and drainage facilities.
- 19) All road and drainage construction required by these conditions of approval shall be inspected in compliance with Section 4 of the Yuba County Standards and approved by the Yuba County Department of Public Works. Owner's contractor shall meet on-site with the Public Works Department representative prior to the commencement of work to discuss the various aspects of the project.
- 20) Owner shall submit a Preliminary Soils Report prepared by a registered civil engineer and based upon adequate test borings to the Public Works Department for review in compliance with section 66490 of the Subdivision Map Act. Should such preliminary soils report indicate the presence of critically expansive soils or other soils problems which, if not corrected, would lead to structural defects, a soils investigation of each lot in the subdivision may be required by the decision-making authority (section 11.40.040 (G) of Yuba County Ordinance Code).
- 21) Any improvement work within the County right-of-ways for roadway connections and/or road widening or other improvements shall be accomplished under an encroachment permit issued by the Public Works Department. Improvement plans and associated checking and inspection fees shall be submitted to the Public Works Department for review and approval before any construction will be permitted within the County right-of-way.
- 22) Frontage access rights for ingress and egress along the entire frontage of Erle Road is restricted and are to be dedicated to Yuba County.
- 23) Owner shall warranty all improvements required by these Conditions of Approval for a period of 12 months from the time the improvements are accepted by the Public Works Department and a Notice of Completion is recorded.



**DRAFT CONDITIONS OF APPROVAL  
YUBA COUNTY PLANNING COMMISSION**

**Applicant/Owner: Lendco, LLC**  
**APN: 019-762-002 & 019-762-003**

**Case Number: TSTM 2019-0004, CZ 2019-0001,  
& CUP 2019-0005**

**Public Hearing Date: December 18, 2019**

- 24) Owner shall provide a one-year warranty bond for all street and drainage improvements required by these conditions of approval. The warranty bond period will commence after the Notice of Completion is recorded.
- 25) Owner shall submit a drainage plan to provide for on-site and off-site storm water drainage for the project, designed by a registered civil engineer, to the Public Works Department for review and approval, prior to any construction. The drainage design for the project shall result in a zero percent increase in the storm water discharge from the project compared to the pre-development state using a 100-year storm event peak discharge. Owner shall construct such approved drainage facilities in order to provide drainage from access roads and lots to acceptable natural drainage courses.
- 26) Prior to the approval of any grading permit or improvement plans, owner must submit documentation demonstrating that all necessary permits and approvals have been obtained, which may include: a 404 permit from Army Corps of Engineers; including Section 7 consultation with the U.S. Fish and Wildlife Service, 401 certification from the Regional Water Quality Control Board, 2081/1602 permit, as necessary, from the California Department of Fish and Wildlife, and pre-construction surveys for special status species.
- 27) Whenever construction or grading activities will disrupt an area of 1 acre or more of soil or is less than 1 acre but is associated with a larger common plan of development, it is required to obtain a National Pollutant Discharge Elimination System (NPDES) General Permit for Storm Water Discharges Associated with Construction Activities, NPDES No. CAS000004, Order No. 2013-0001-DWQ. Coverage under the General Permit must be obtained prior to any construction. More information may be found at <http://www.swrcb.ca.gov/stormwtr/construction.html>. Owner must obtain an approved and signed Notice of Intent (NOI) from the Regional Water Quality Control Board (RWQCB), a Waste Discharge Identification (WDID) number and a Storm Water Pollution Prevention Plan (SWPPP), as described by either the RWQCB or the State Water Regional Control Board (SWRCB). The SWPPP shall describe and identify the use of Storm Water Best Management Practices (BMP's) and must be reviewed by the Yuba County Public Works Department prior to the Department's approval of Improvement Plans or issuance of a Grading Permit for the project. See Yuba County's Stormwater Regulations for Construction Activities Procedures for details. According to state law it is the responsibility of the property owner that the SWPPP is kept up to date to reflect changes in site conditions and is available on the project site at all times for review by local and state inspectors. Erosion and sediment control measures, non-stormwater and material management measures, and post-construction stormwater management measures for this project shall be in substantial compliance with the SWPPP.
- 28) Owner shall submit an erosion and sediment control plan for the project, designed by a registered civil engineer, to the Department of Public Works for review and approval prior to each phase of construction and/or grading permit. Erosion and sediment control measures shall conform to Section 11 of the Yuba County Improvement Standards and all Yuba County Ordinance Codes. Owner shall implement such erosion and sediment control measures as per the approved plan prior to construction or grading.
- 29) Owner shall pay an in-lieu fee for parkland dedication per Yuba County Development Code §11.45.060 prior to filing the final map.

**DRAFT CONDITIONS OF APPROVAL  
YUBA COUNTY PLANNING COMMISSION**

**Applicant/Owner: Lendco, LLC**  
**APN: 019-762-002 & 019-762-003**

**Case Number: TSTM 2019-0004, CZ 2019-0001,  
& CUP 2019-0005**

**Public Hearing Date: December 18, 2019**

- 30) Owner shall be responsible for giving 60 days notice to the appropriate public utilities, PG&E, AT&T, Comcast, etc., prior to any new construction or development of this project.
- 31) Owner shall name the access road in a manner determined by Chapter 9.70 of the Yuba County Ordinance Code and be approved by the Address Coordinator at the Department of Public Works.
- 32) Owner shall provide all necessary street signs and pavement markings, including, but not limited to, street name signs, stop signs, speed limit signs, stop legends, limit lines, and crosswalks, as required by the Public Works Department.
- 33) Owner shall provide a concrete base or bases for the placement of a centralized mail delivery unit or units within the subdivision as directed by the United States Postal Service. Specifications and location(s) of such base(s) shall be determined pursuant to the applicable requirements of the Postal Service and the Yuba County Department of Public Works, with due consideration for streetlight location, traffic safety, security and consumer convenience. Such base(s) shall be located within a Public Service Easement. Owner shall provide a letter from the Postal Service to the County Surveyor stating that the location of the centralized mail delivery unit or units comply with their requirements and that they have no objection to the filing of the final map.
- 34) Approximate centerlines of all perennial streams or ditches within this division shall be shown on the Tentative Map.
- 35) Owner shall provide public service easements as necessary for any existing overhead or underground utilities, sewer lines, waterlines, etc. which may provide service to any or all of the lots being created by this final map. Such easements shall have a minimum width of 10 feet or larger as may be required by the service provider and shall be clearly identified by metes and bounds on the final map. Any relocation or rearrangement of the public service provider's facilities to accommodate this project shall be at the Owner's expense.
- 36) Owner shall be required to pay all taxes, past and current, including those amounts levied as of January 1, but not yet billed, on the property prior to filing the Final Map.
- 37) Owner shall submit a current Preliminary Title Report or Subdivision Map Guarantee, in favor of Yuba County, two (2) check prints of the Final Map, calculations, supporting documentation and map checking fees to the County Surveyor, Department of Public Works for checking, approval and filing of the Final Map. An updated Subdivision Map Guarantee shall be provided 1 week prior to filing the final map with the Yuba County Recorder.
- 38) Owner shall petition to be assessed for County Service Area 70 (CSA 70) prior to filing the Final Map.
- 39) Owner shall have the property surveyed and have corner monuments placed at all lot corners in conformance with requirements of the County Surveyor, chapter 11.41 of the Yuba County Ordinance Code and the California Subdivision Map Act (Government Code section 66410 and following).



**DRAFT CONDITIONS OF APPROVAL  
YUBA COUNTY PLANNING COMMISSION**

**Applicant/Owner: Lendco, LLC  
APN: 019-762-002 & 019-762-003**

**Case Number: TSTM 2019-0004, CZ 2019-0001,  
& CUP 2019-0005**

**Public Hearing Date: December 18, 2019**

- 40) Prior to commencing performance of any public improvement or facility to be dedicated to County, and subject to approval by the Public Works Department, Owner shall acquire and present proof of general and automobile liability and Workers Compensation and Employers Liability insurance. Such general and automobile liability insurance shall name the County and its agents as additional insured.
- 41) All easements of record that affect this property are to be shown on the Final Map.
- 42) Prior to submitting the final map to the Recorder's Office for filing, all outstanding County fees due to the Community Development and Services Agency departments shall be paid in full.
- 43) Owner shall submit a copy of the final map for review by the Planning Department for conformance with the Department's conditions of approval, mitigation measures or other requirements. Before the final map can be filed with the Yuba County Recorder, a statement from the Planning Director which states that the final map is found to be in conformity with the Department's conditions of approval, mitigation measures and requirements shall be received by the County Surveyor.
- 44) Owner shall submit a copy of the final map for review by the Environmental Health Department for conformance with the Department's conditions of approval and other requirements. Before the final map can be filed with the Yuba County Recorder, a statement from the Environmental Health Department Director which states that the final map has been found to be in conformity with the Environmental Health Department conditions and requirements and that it is in conformance with the requirements of Chapter 7.07 of the Yuba County Ordinance Code shall be received by the County Surveyor.
- 45) Owner shall submit a copy of the final map to the Linda County Water District (LCWD) for review to determine conformance with the LCWD requirements. Before the final map can be filed with the Yuba County Recorder, a letter from the Linda County Water District is to be submitted to the County Surveyor which states that the LCWS requirements have been met and that any public service easements as may be shown on the final map are satisfactory and that there are no objections to filing the final map.
- 46) Owner shall submit a copy of the final map to the Linda Fire Protection District (LFPD) for review to determine conformance with the District's requirements. Before the final map can be filed with the Yuba County Recorder, a letter from the Linda Fire Protection District is to be submitted to the County Surveyor which states that the District's requirements have been met and that there are no objections to filing the final map.

**ENVIRONMENTAL HEALTH DEPARTMENT:**

- 47) Owner shall connect parcel(s) 1-56 to Linda County Water District for water and sewer services and facilities prior to building permit final inspection for occupancy.
- 48) Owner shall submit to Environmental Health a "Will Serve" letter from Linda County Water District for water and sewer services and facilities for parcel(s) 1-56.

**DRAFT CONDITIONS OF APPROVAL  
YUBA COUNTY PLANNING COMMISSION**

**Applicant/Owner: Lendco, LLC  
APN: 019-762-002 & 019-762-003**

**Case Number: TSTM 2019-0004, CZ 2019-0001,  
& CUP 2019-0005**

**Public Hearing Date: December 18, 2019**

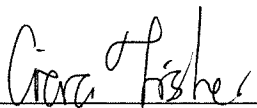
- 49) All abandoned, wrecked, dismantled, or inoperative vehicles, machines, and equipment shall be removed by Owner from the subject site.
- 50) All existing trash and debris shall be removed from the subject site.
- 51) All abandoned or inactive wells on the subject site shall be destroyed or maintained in accordance with the "Water Well Standards: State of California, Bulletin 74-81".

**LINDA FIRE PROTECTION DISTRICT**

- 52) The project proponent shall meet all hydrant requirements of the district.
- 53) The project proponent shall meet all fire apparatus access requirements of the current fire code.
- 54) Owner shall design and construct all fire suppression facilities in conformance with the requirements of the Linda Fire Protection District and the current Uniform Fire Code.
- 55) Wood shake roofs shall not be permitted on any structure erected on the subject site.

**PLANNING DEPARTMENT**

- 56) Lot design on the Final Subdivision Map shall be in conformance with the approved Tentative Map as filed with the Community Development Department. The Community Development Director may approve minor modifications to the final configuration; however, the number of lots shall not exceed that shown on the approved tentative map.
- 57) Any relocation or arrangement of any existing PG&E facilities to accommodate this project will be at the developers/applicants expense or as agreed by PG&E. There shall be no building of structures allowed under or over any PG&E easements that exist within the subject area.

  
\_\_\_\_\_  
Ciara Fisher  
Planner II



**PUBLIC WORKS  
PRELIMINARY CONDITIONS OF APPROVAL  
YUBA COUNTY**

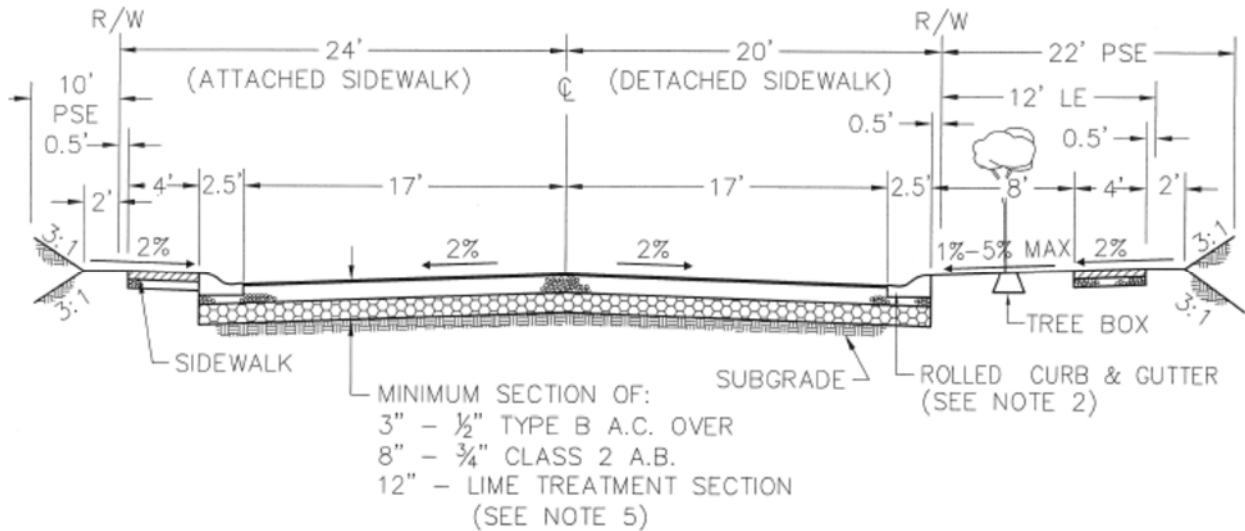
**Applicant:** David Lanza  
**Owner:** Lendco LLC  
**APN:** 019-762-002

**Case Number:** TSTM 2019-0004

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5. The Public Works Director may reasonably modify any of the Public Works conditions contained herein. The required street widths as stated herein shall take precedence over those as shown on the tentative map.
  6. Owner shall dedicate to the County of Yuba sufficient right-of-way in fee simple to provide a 59 foot strip of land adjoining the centerline of Erle Road lying within the bounds of this property.
  7. Owner shall dedicate to the County of Yuba sufficient right-of-way in fee simple strips of land 40 feet in width, including 53-foot knuckles, for the internal access street as shown on the Tentative Tract Map. The right-of-way line shall be located 0.50 foot behind the back of curb. Corner radii shall be dedicated in accordance with Yuba County standards.
  8. The following note shall be included in the Grant Deed to the County of Yuba: "Should the Board of Supervisors of the County of Yuba determine that the public purpose for which property was dedicated in fee simple no longer exists, or the property or any portion thereof is not needed for public utilities, the County of Yuba shall reconvey the above described property to the Grantor, whose address is \_\_\_\_\_, or to the successor(s) in interest pursuant to Government Code Section 66477.5."
  9. Owner shall provide and offer to dedicate to the County of Yuba a 12-foot easement for pedestrian, landscaping, street signs, traffic safety signs, and streetlights along the interior street frontage of this property measured from a point 0.50-foot from the back of the (future) street curb.
  10. Owner shall provide and offer to dedicate to the County of Yuba a 22-foot easement for public services along the interior street frontage of this property measured from a point 0.50-foot from the back of the (future) street curb.
  11. Road construction for the interior street as shown on the tentative map shall meet the requirements for an Urban Residential (Local) Road in conformance with the Yuba County Standard (Drawing No. 101) or as modified by the Public Works Director. Such standard includes curbs, gutters, with a detached sidewalk and landscaping.

URBAN RESIDENTIAL (LOCAL) ROAD

## Attachment 5



(Refer to Drawing No. 101 for addition notes and requirements.)

12. Street construction along Erle Road shall meet the requirements for an Urban Arterial Road in conformance with the Yuba County Standards (Drawing 103), including a masonry wall along the frontage of Erle Road, and the installation of landscaping and an irrigation system between the curb and the masonry wall.
13. Owner shall repair/replace any existing sidewalks or curb and gutter along the frontage of the property that, in the opinion of the Public Works Department, are non-compliant with current ADA standards or pose a safety hazard to the general public.
14. Owner shall provide a streetlight plan to be approved by the Public Works Department. Streetlights shall be LED type models and be maintained by Pacific Gas & Electric (PG&E). Owner shall maintain all streetlights until accepted by the Public Works Department. Prior to map recordation the Owner shall pay the County for two (2) years of service for the streetlights in accordance with rates (LS1-E) set by PG&E.
15. Improvement plans, prepared in compliance with Sections 3 and 7 of the Yuba County Standards shall be submitted to and approved by the Public Works Department prior to any construction. The initial submittal shall also include the necessary calculations for all improvements and associated drainage facilities along with the appropriate plan checking fees based upon a preliminary engineer's estimate. The engineer's estimate shall include estimated costs for the construction of the road and drainage improvements, landscaping requirements (if any), and construction staking. Such approvals shall include the alignment and grades of roads and drainage facilities.
16. All road and drainage construction required by these conditions of approval shall be inspected in compliance with Section 4 of the Yuba County Standards and approved by the Yuba County Department of Public Works. Owner's contractor shall meet on-site with the Public Works Department representative prior to the commencement of work to discuss the various aspects of the project.
17. Owner shall submit a Preliminary Soils Report prepared by a registered civil engineer and based upon adequate test borings to the Public Works Department for review in compliance with section 66490 of the Subdivision Map Act. Should such preliminary soils report indicate the presence of critically expansive soils or other soils problems which, if not corrected, would lead to structural defects, a soils



## Attachment 5

investigation of each lot in the subdivision may be required by the decision-making authority (section 11.40.040 (G) of Yuba County Ordinance Code).

18. Any improvement work within the County right-of-ways for roadway connections and/or road widening or other improvements shall be accomplished under an encroachment permit issued by the Public Works Department. Improvement plans and associated checking and inspection fees shall be submitted to the Public Works Department for review and approval before any construction will be permitted within the County right-of-way.
19. Frontage access rights for ingress and egress along the entire frontage of Erle Road is restricted and are to be dedicated to Yuba County.
20. Owner shall warranty all improvements required by these Conditions of Approval for a period of 12 months from the time the improvements are accepted by the Public Works Department and a Notice of Completion is recorded.
21. Owner shall provide a one-year warranty bond for all street and drainage improvements required by these conditions of approval. The warranty bond period will commence after the Notice of Completion is recorded.
22. Owner shall submit a drainage plan to provide for on-site and off-site storm water drainage for the project, designed by a registered civil engineer, to the Public Works Department for review and approval, prior to any construction. The drainage design for the project shall result in a zero percent increase in the storm water discharge from the project compared to the pre-development state using a 100-year storm event peak discharge. Owner shall construct such approved drainage facilities in order to provide drainage from access roads and lots to acceptable natural drainage courses.
23. Prior to the approval of any grading permit or improvement plans, owner must submit documentation demonstrating that all necessary permits and approvals have been obtained, which may include: a 404 permit from Army Corps of Engineers; including Section 7 consultation with the U.S. Fish and Wildlife Service, 401 certification from the Regional Water Quality Control Board, 2081/1602 permit, as necessary, from the California Department of Fish and Wildlife, and pre-construction surveys for special status species.
24. Whenever construction or grading activities will disrupt an area of 1 acre or more of soil or is less than 1 acre but is associated with a larger common plan of development, it is required to obtain a National Pollutant Discharge Elimination System (NPDES) General Permit for Storm Water Discharges Associated with Construction Activities, NPDES No. CAS000004, Order No. 2013-0001-DWQ. Coverage under the General Permit must be obtained prior to any construction. More information may be found at <http://www.swrcb.ca.gov/stormwtr/construction.html>. Owner must obtain an approved and signed Notice of Intent (NOI) from the Regional Water Quality Control Board (RWQCB), a Waste Discharge Identification (WDID) number and a Storm Water Pollution Prevention Plan (SWPPP), as described by either the RWQCB or the State Water Regional Control Board (SWRCB). The SWPPP shall describe and identify the use of Storm Water Best Management Practices (BMP's) and must be reviewed by the Yuba County Public Works Department prior to the Department's approval of Improvement Plans or issuance of a Grading Permit for the project. See Yuba County's Stormwater Regulations for Construction Activities Procedures for details. According to state law it is the responsibility of the property owner that the SWPPP is kept up to date to reflect changes in site conditions and is available on the project site at all times for review by local and state inspectors. Erosion and sediment control measures, non-stormwater and material management measures, and post-construction stormwater management measures for this project shall be in substantial compliance with the SWPPP.

## Attachment 5

25. Owner shall submit an erosion and sediment control plan for the project, designed by a registered civil engineer, to the Department of Public Works for review and approval prior to each phase of construction and/or grading permit. Erosion and sediment control measures shall conform to Section 11 of the Yuba County Improvement Standards and all Yuba County Ordinance Codes. Owner shall implement such erosion and sediment control measures as per the approved plan prior to construction or grading.
26. Owner shall pay an in-lieu fee for parkland dedication per Yuba County Development Code §11.45.060 prior to filing the final map.
27. Owner shall be responsible for giving 60 days notice to the appropriate public utilities, PG&E, AT&T, Comcast, etc., prior to any new construction or development of this project.
28. Owner shall name the access road in a manner determined by Chapter 9.70 of the Yuba County Ordinance Code and be approved by the Address Coordinator at the Department of Public Works.
29. Owner shall provide all necessary street signs and pavement markings, including, but not limited to, street name signs, stop signs, speed limit signs, stop legends, limit lines, and crosswalks, as required by the Public Works Department.
30. Owner shall provide a concrete base or bases for the placement of a centralized mail delivery unit or units within the subdivision as directed by the United States Postal Service. Specifications and location(s) of such base(s) shall be determined pursuant to the applicable requirements of the Postal Service and the Yuba County Department of Public Works, with due consideration for streetlight location, traffic safety, security and consumer convenience. Such base(s) shall be located within a Public Service Easement. Owner shall provide a letter from the Postal Service to the County Surveyor stating that the location of the centralized mail delivery unit or units comply with their requirements and that they have no objection to the filing of the final map.
31. Approximate centerlines of all perennial streams or ditches within this division shall be shown on the Tentative Map.
32. Owner shall provide public service easements as necessary for any existing overhead or underground utilities, sewer lines, waterlines, etc. which may provide service to any or all of the lots being created by this final map. Such easements shall have a minimum width of 10 feet or larger as may be required by the service provider and shall be clearly identified by metes and bounds on the final map. Any relocation or rearrangement of the public service provider's facilities to accommodate this project shall be at the Owner's expense.
33. Owner shall be required to pay all taxes, past and current, including those amounts levied as of January 1, but not yet billed, on the property prior to filing the Final Map.
34. Owner shall submit a current Preliminary Title Report or Subdivision Map Guarantee, in favor of Yuba County, two (2) check prints of the Final Map, calculations, supporting documentation and map checking fees to the County Surveyor, Department of Public Works for checking, approval and filing of the Final Map. An updated Subdivision Map Guarantee shall be provided 1 week prior to filing the final map with the Yuba County Recorder.
35. Owner shall petition to be assessed for County Service Area 70 (CSA 70) prior to filing the Final Map.



## Attachment 5

36. Owner shall have the property surveyed and have corner monuments placed at all lot corners in conformance with requirements of the County Surveyor, chapter 11.41 of the Yuba County Ordinance Code and the California Subdivision Map Act (Government Code section 66410 and following).
37. Prior to commencing performance of any public improvement or facility to be dedicated to County, and subject to approval by the Public Works Department, Owner shall acquire and present proof of general and automobile liability and Workers Compensation and Employers Liability insurance. Such general and automobile liability insurance shall name the County and its agents as additional insured.
38. All easements of record that affect this property are to be shown on the Final Map.
39. Prior to submitting the final map to the Recorder's Office for filing, all outstanding County fees due to the Community Development and Services Agency departments shall be paid in full.
40. Owner shall submit a copy of the final map for review by the Planning Department for conformance with the Department's conditions of approval, mitigation measures or other requirements. Before the final map can be filed with the Yuba County Recorder, a statement from the Planning Director which states that the final map is found to be in conformity with the Department's conditions of approval, mitigation measures and requirements shall be received by the County Surveyor.
41. Owner shall submit a copy of the final map for review by the Environmental Health Department for conformance with the Department's conditions of approval and other requirements. Before the final map can be filed with the Yuba County Recorder, a statement from the Environmental Health Department Director which states that the final map has been found to be in conformity with the Environmental Health Department conditions and requirements and that it is in conformance with the requirements of Chapter 7.07 of the Yuba County Ordinance Code shall be received by the County Surveyor.
42. Owner shall submit a copy of the final map to the Linda County Water District (LCWD) for review to determine conformance with the LCWD requirements. Before the final map can be filed with the Yuba County Recorder, a letter from the Linda County Water District is to be submitted to the County Surveyor which states that the LCWS requirements have been met and that any public service easements as may be shown on the final map are satisfactory and that there are no objections to filing the final map.
43. Owner shall submit a copy of the final map to the Linda Fire Protection District (LFPD) for review to determine conformance with the District's requirements. Before the final map can be filed with the Yuba County Recorder, a letter from the Linda Fire Protection District is to be submitted to the County Surveyor which states that the District's requirements have been met and that there are no objections to filing the final map.

## Attachment 5

### ENVIRONMENTAL HEALTH DIVISION CONDITIONS OF APPROVAL TSTM 2019-0004

1. Owner shall connect parcel(s) 1-56 to Linda County Water District for water and sewer services and facilities prior to building permit final inspection for occupancy.
2. Owner shall submit to Environmental Health a "Will Serve" letter from Linda County Water District for water and sewer services and facilities for parcel(s) 1-56.
3. All abandoned, wrecked, dismantled, or inoperative vehicles, machines, and equipment shall be removed by Owner from the subject site.
4. All existing trash and debris shall be removed from the subject site.
5. All abandoned or inactive wells on the subject site shall be destroyed or maintained in accordance with the "Water Well Standards: State of California, Bulletin 74-81".



**Fisher, Ciara**

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**From:** Marquez, Melanie  
**Sent:** Tuesday, August 20, 2019 1:46 PM  
**To:** Fisher, Ciara  
**Subject:** RE: TSTM2019-0004, GPA2019-0001, & CUP2019-0005 - South Orchard Estates

Code Enforcement does not have any comments regarding this project.

Thanks,

*Melanie Marquez*

Code Enforcement Supervisor  
County of Yuba, CDSA  
(530) 749-5430 – Main  
(530) 749-5643 – Direct  
(530) 749-5616 – Fax  
[mmarquez@co.yuba.ca.us](mailto:mmarquez@co.yuba.ca.us)



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**From:** Fisher, Ciara <cfisher@CO.YUBA.CA.US>  
**Sent:** Monday, August 19, 2019 4:27 PM  
**To:** Benedict, Christopher <cbenedict@CO.YUBA.CA.US>; Maddux, Dave <dmaddux@CO.YUBA.CA.US>; Boeck, Van <vboeck@CO.YUBA.CA.US>; Marquez, Melanie <mmarquez@CO.YUBA.CA.US>  
**Cc:** Hochstrasser, Margaret <mhochstrasser@CO.YUBA.CA.US>; Burns, Danny <dburns@CO.YUBA.CA.US>; Peterson, Daniel <dpeterson@CO.YUBA.CA.US>; Lee, Mike G. (Public Works Dept) <mlee@co.yuba.ca.us>; Pickell, Clark <CPickell@CO.YUBA.CA.US>; Strang, Jeremy <JStrang@CO.YUBA.CA.US>; Kaiser, Pam <pkaiser@yubacounty.onmicrosoft.com>  
**Subject:** TSTM2019-0004, GPA2019-0001, & CUP2019-0005 - South Orchard Estates

Hello All,

Please provide comments for South Orchard Estates, a Tentative Subdivision Tract Map (TSTM2019-0004), Rezone (GPA2019-0001) and Major Conditional Use Permit (CUP2019-0005) located at 4863 Autumn Lane, approximately 1.26 miles east of Lindhurst Ave and Erle Road, in the Olivehurst Community. All documents are on TrakIt. Please forward any comments you may have, as well as COA, by Tuesday September 10th.

**Fisher, Ciara**

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**From:** Steve Fordice <steve@rd784.org>  
**Sent:** Wednesday, August 28, 2019 7:04 AM  
**To:** Fisher, Ciara  
**Cc:** Lee, Mike G. (Public Works Dept)  
**Subject:** Application Routing- Early Consultation APN 021-150-051

Ciara Fisher- RD784 staff reviewed the application and determined the parcels are within the RD784 Boundary but outside internal drainage basins. These parcels are not subject to RD784 impact fees. The District has no opposition to the proposed development.

With Kindest Regards,

Steven L. Fordice, General Manager  
Reclamation District 784  
1594 Broadway  
Arboga, CA 95961  
530-742-0520

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# *Linda Fire Protection District*

1286 Scales Avenue ☆ Marysville, California 95901

Telephone: (530) 743-1553

*Chief*

*Richard Webb*

*Directors*

*Jim Brannon  
Robert Shinn  
Glen Weldon*

August 26, 2019

Ms. Ciara Fisher, Planner II  
County of Yuba Planning Department  
915 8th Street  
Marysville, CA 95901

**Re: Request for Comments – Early Consultation: TSTM 2019-0004, GPA 2019-0001, CUP 2019-0004 (South Orchard Estates)**

Dear Ms. Fisher:

The Linda Fire Protection District has no opposition to TSTM 2019-0004, GPA 2019-0001 or the granting of Conditional Use Permit CUP 2019-0004 as requested for this project.

If I may be of assistance, please do not hesitate to contact me at 743-1553.

Sincerely,



Richard H. Webb  
Chief





## *Marysville Joint Unified School District*

1919 B Street ~ Marysville, CA 95901

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September 4, 2019

Ciara Fisher, Planner II  
County of Yuba  
915 8<sup>th</sup> Street  
Marysville CA 95901

**RE: Comment to Early Consultation; Case TSTM2019-0004, GPA2019-0001, & CUP2019-0004 South Orchard Estates**

Dear Ms. Fisher:

This letter is to provide comment from the Marysville Joint Unified School District ("MJUSD") regarding the recent application and early consultation on the proposed extension of lots in the South Orchard Estates ("Development" or "Project"), adjacent to the Orchard Estates within the Edgewater development area. This application proposes additional development, as well as considers re-zoning and parcel splits in order to accommodate more homes than originally approved in; this Developmental Plan, the County General Plan, and the MJUSD Facilities Master Plan.

The change in zoning and additional mapped parcels have the potential to cause severe effects on the schools of attendance for the proposed homes. Currently, all schools of attendance for these addresses are highly impacted. While the MJUSD is making every effort to expand the sites, limited capital funding makes this cost prohibitive. Being unable to house the students from this proposed Development at designated attendance schools, the District does reserve the right to overflow students to various sites throughout the District where room may be available by grade level.

Any findings regarding schools as a public service in future reports or determinations will need have be clear language that schools of attendance will vary due to the inability of MJUSD to expand the current sites, as well as designate that any expansions and additions to sites in order to accommodate students from this Development are a Significant Impact.

The District is open to discuss of the needs and concerns for the students generated from this Development further with both the County of Yuba and the Developer at any time. MJUSD feels that thoughtful and well planned development is the key to any expanding community, and want to ensure exemplary service to our current and future students.

Thank you for your time on this matter.

Sincerely,

A handwritten signature in blue ink, appearing to read "Travis Barnett", is written over a horizontal line.

Travis Barnett  
Director of Buildings and Grounds